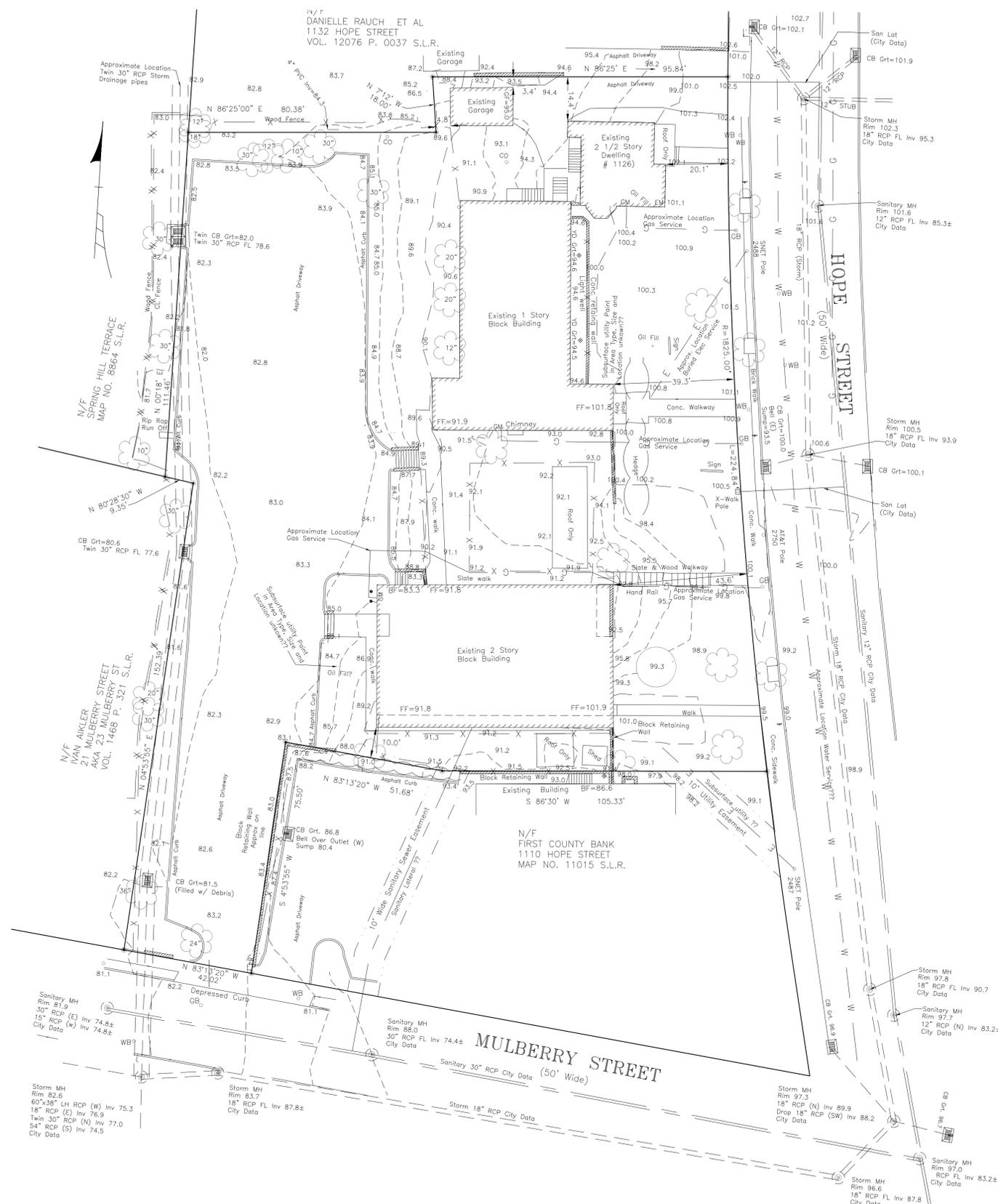


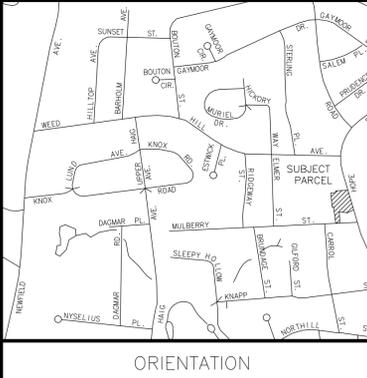
RM-1 ZONE
 RM-1(1) ZONE BUILDING SETBACK REQUIREMENTS
 RM-1 Multi-Family, Low Density Design District
 Front Street Line Setback..... 25'
 Center Line Of Street Setback..... 50'
 (14) Rear Yard Setback..... 30'
 (15) Side Yard Setback..... 10' W/ Total Of.... 20'
 (16) Max. Building Coverage.....25% Of Lot Area
 (18) Max. Height 2 1/2 Stories 30'
 (17.22) Minimum Lot Area per Dwelling Unit: 3750 sq. ft.

Procedure. All projects located on lots of 30,000 square feet or more, and all applications for RM-1 Special Exception uses shall be subject to approval of site and architectural plans by the Zoning Board. Except that an Apartment Building for the Elderly - Nonprofit, as defined in definition 4.4, may be erected in the RM-1 District at a density of 2,500 square feet per family, only on lots 30,000 square feet and over, and may also be created through the rehabilitation of an existing structure on lots with a minimum area of not less than one acre (43,560 square feet) at a density as approved by the Zoning Board not to exceed the maximum permitted in the Master Plan, pursuant to Article III, Section 7.2 of these Regulations. In the case of rehabilitated structures, no increased density shall be granted nor site plan approved until the Zoning Board has made a special finding that the site plan is compatible with and implements the objectives and policies of Stamford's Master Plan, that the existing building will not be expanded beyond the limits of the existing foundation, and that the preservation is in the public interest and will not impair future development of the surrounding area. (89-023) For regulations pertaining to Designed Districts see Section 9, of the City of Stamford Zoning regulations. In the RM-1 District the maximum building area percentage may be increased to 27 percent if a one-car enclosed garage is provided for each unit or increased to 32 percent if a two-car enclosed garage is provided for each unit. These percentages of coverage apply to both an interior and a corner lot. Zoning Information Is Subject To The Review And Approval By The Appropriate Governing Authority



LEGEND

Existing	
Spot Elevation	x 100.0
Contour	--- 100 ---
Storm Drain	=====
Sanitary Sewer	=====
Gas Main	=====
Water Main	=====
Electric	=====
Stone Wall	=====
Stone Masonry Wall	=====
Concrete Wall	=====
Brick Wall	=====
Fence	X X
Catch Basin (In Curb)	Manhole
Catch Basin (Flush)	Yard Drain
Water Box	Light Pole
Gas Box	Sign
Gas Meter	Tree
Elec meter	Tree
Traffic Signal Pole	Tree



Property Lines Not Staked By Contractual Agreement
 Soil Types Not Delineated By Contractual Agreement

**PLOT PLAN
 PREPARED FOR
 GARDEN HOMES
 1114 HOPE STREET
 STAMFORD, CONNECTICUT**



- NOTES:
- Underground utility, structure and facility locations depicted and noted herein have been compiled, in part, from record mapping supplied by the respective utility companies or governmental agencies, from parcel testimony and from other sources. These locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to Edward J. Frattaroli, Inc. The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. The location of underground pipes, utilities depicted are approximate and not field surveyed, information provided by the City of Stamford and other public entities.
 - The contractor shall notify all public utility companies by calling Call-Before-You-Dig at 1-800-922-4455 at least 72 hours prior to crossing their lines.
 - Property is Subject to Title verification, Easements, Agreements, Restrictions (if any) and References as noted, depicted and or defined in referenced map and filed documents. (No Title information Provided)
 - Elevations Based on NAVD-88 Datum

This survey and map has been prepared in accordance with Section 20-300b-1 thru 20-300b-20 of the Regulation of Connecticut State Agencies--"Minimum Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a "ZONING LOCATION SURVEY" based on a "RESURVEY" conforming to horizontal Accuracy Class "A-2" and intended to be used for Compliance and Noncompliance with Existing Requirements.

To my knowledge and belief this plan is substantially correct as noted herein.

BY:
FOR: EDWARD J. FRATTAROLI, INC.
 Land Surveyors • Engineers • Land Planners
 STAMFORD, CONNECTICUT MARCH 10, 2020

Refer To:
 Parcel "A"
 Map No. 10873 S.L.R.
 Area = 42,024 Sq. Ft.
 Existing Buildings, Sheds and Roof Onlys Cover 21.0% of Lot Area

Scale: 1" = 20'

SITE DEVELOPMENT PLANS

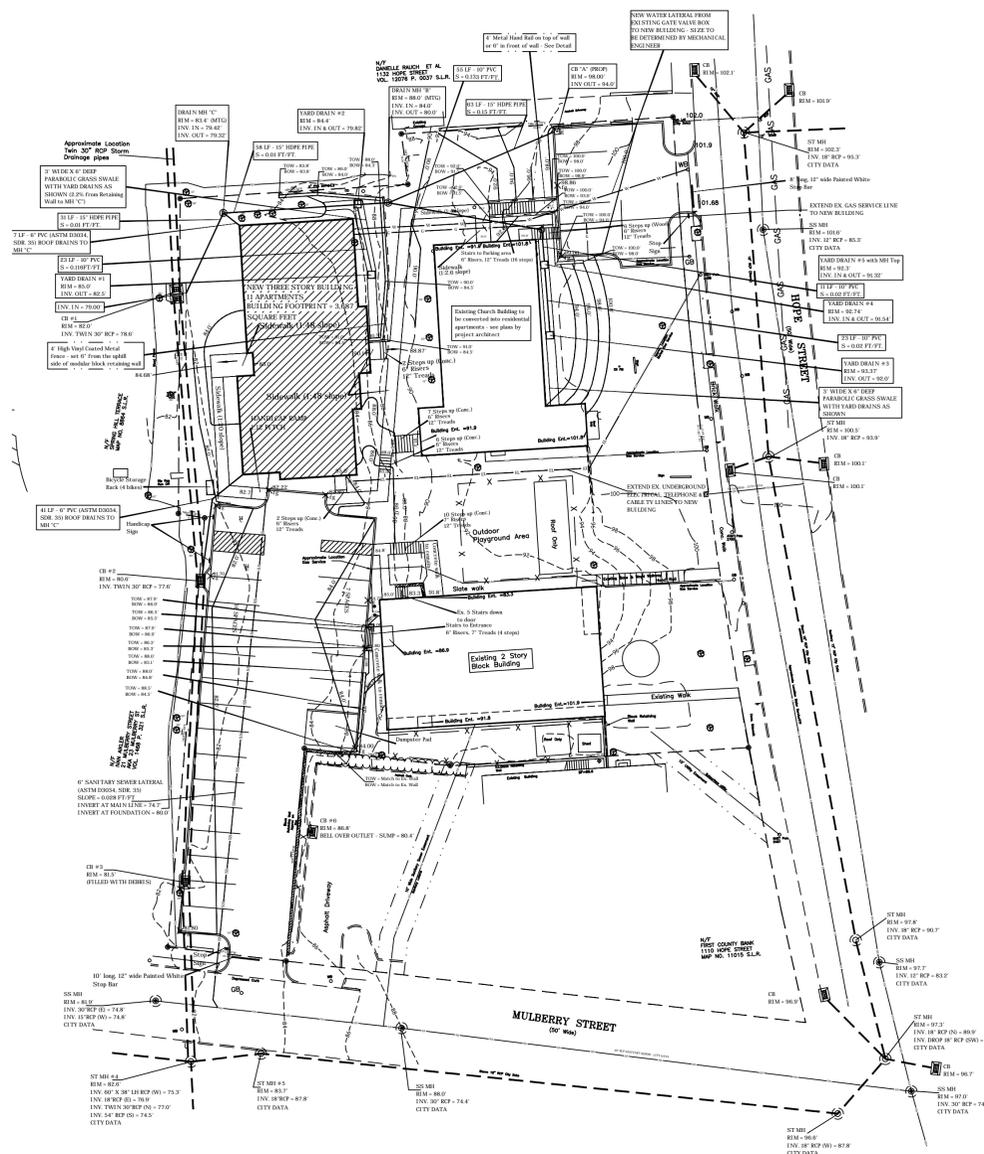
1114 HOPE STREET

STAMFORD - CONNECTICUT

PREPARED FOR

GARDEN HOMES FOUNDATION

DATE: 9/7/2020



VERTICAL DATUM: NAVD-88
 ZONE: RM-1
 AREA: 0.9647 ACRES

Standard City of Stamford Notes:

1. A street opening permit is required for all work within the City of Stamford Right-of-Way.
2. All work within the City of Stamford Right-of-Way shall be constructed to City of Stamford requirements, the State of Connecticut Basic Building Code and the Connecticut Guidelines for Soil Erosion and Sediment Control.
3. The Engineering Bureau of the City of Stamford shall be notified three days prior to any commencement of construction or work within the City of Stamford Right-of-Way.
4. Trees within the City of Stamford Right-of-Way to be removed shall be posted in accordance with Tree Ordinance.
5. Prior to any excavation, the Contractor and/or Applicant/Owner in accordance with Public Act 77-350, shall be required to contact "Call Before You Dig" at 1-800-922-4455 for mark out of underground utilities.
6. All retaining walls three (3) feet or higher measured from the finished grade at the bottom of the wall to finish grade at the top of the wall and retaining walls supporting a surcharge or impounding Class I, II, III-A liquids are required to have a building permit. Retaining walls shall be designed and inspected during construction by a Professional Engineer licensed in the State of Connecticut. Prior to the issuance of a Certificate of Occupancy, retaining wall shall be certified by a Professional Engineer licensed in the State of Connecticut.
7. Certification will be required by a professional engineer licensed in the State of Connecticut that work has been completed in compliance with the approved drawings.
8. A Final Improvement Location Survey will be required by a professional land surveyor licensed in the State of Connecticut.
9. Connection to a city-owned storm sewer shall require the Waiver Covering Storm Sewer Connection to be filed with the City of Stamford Engineering Bureau.
10. Granite block or other decorative stone or brick, depressed curb, driveway apron and curbing within the City of Stamford Right-of-Way shall require the Waiver Covering Granite Block Depressed Curb and Driveway Aprons to be filed with the City of Stamford Engineering Bureau.
11. Sediment and erosion controls shall be maintained and repaired as necessary throughout the construction until the site is stabilized.
12. To obtain a Certificate of Occupancy, submittal must include all items outlined in the checklist for Certificate of Occupancy (Appendix D of the City of Stamford Drainage Manual).
13. Reference EPB Permit #, Zoning Permit #, Zoning Board of Appeals #, Subdivision #, if applicable.

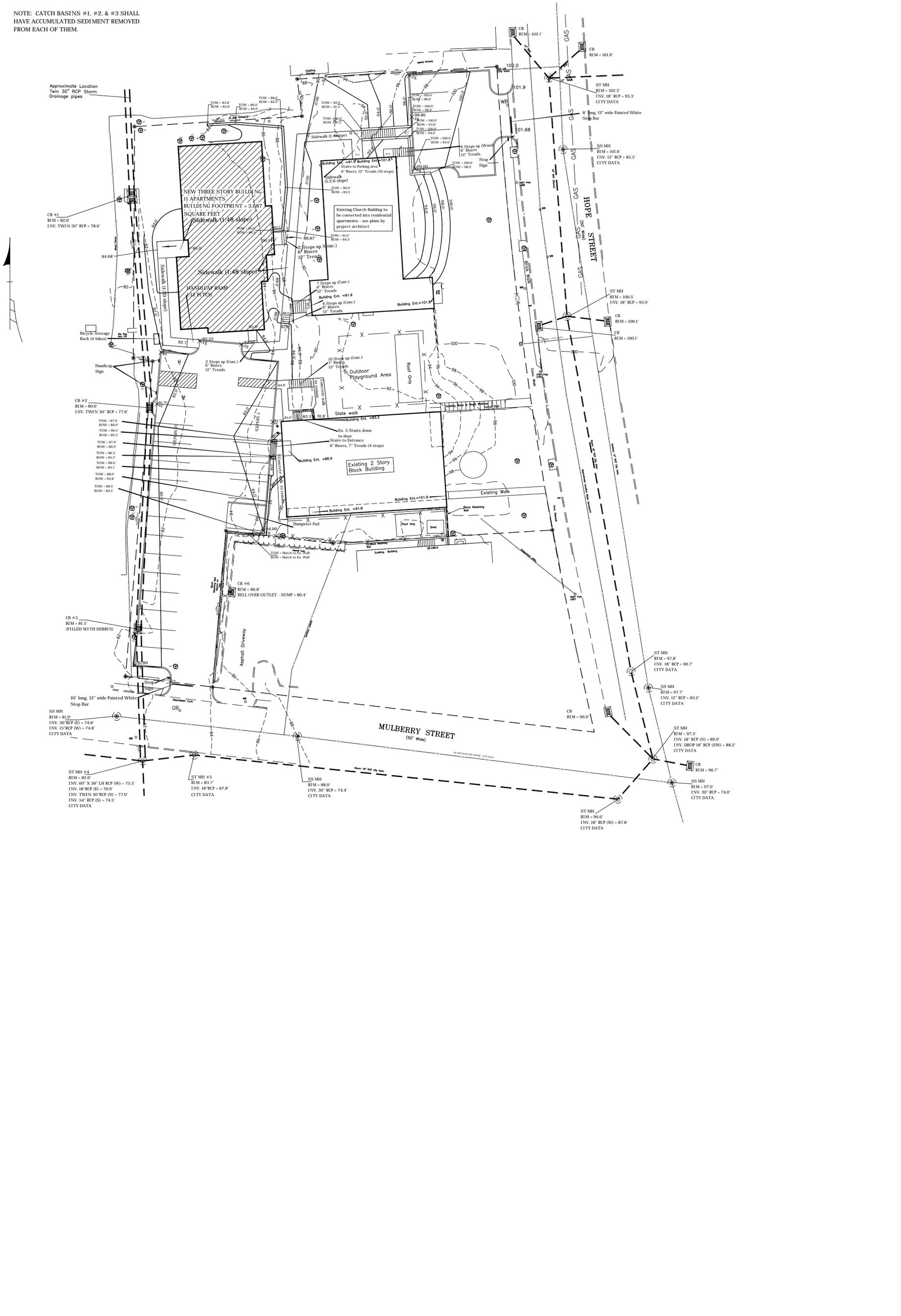
PLAN LIST:

- SHEET 1 - TITLE SHEET
 - SHEET 2 - GRADING PLAN
 - SHEET 3 - STORMWATER PLAN
 - SHEET 4 - SITE UTILITIES PLAN
 - SHEET 5 - SITE PLAN
 - SHEET 6 - EROSION CONTROL PLAN
 - SHEET 7 - EXISTING CONDITIONS PLAN
 - SHEET 8 - CONSTRUCTION NARRATIVE
 - SHEET 9 - CONSTRUCTION DETAILS
- REVISION DATES:
 Revision #1: 12/12/20



TRINKAUS ENGINEERING, LLC
 CIVIL ENGINEERS
 114 HUNTERS RIDGE ROAD
 SOUTHURY, CONNECTICUT 06488
 203-264-4558 (office)
 Email: strinkaus@earthlink.net

NOTE: CATCH BASINS #1, #2, & #3 SHALL HAVE ACCUMULATED SEDIMENT REMOVED FROM EACH OF THEM.

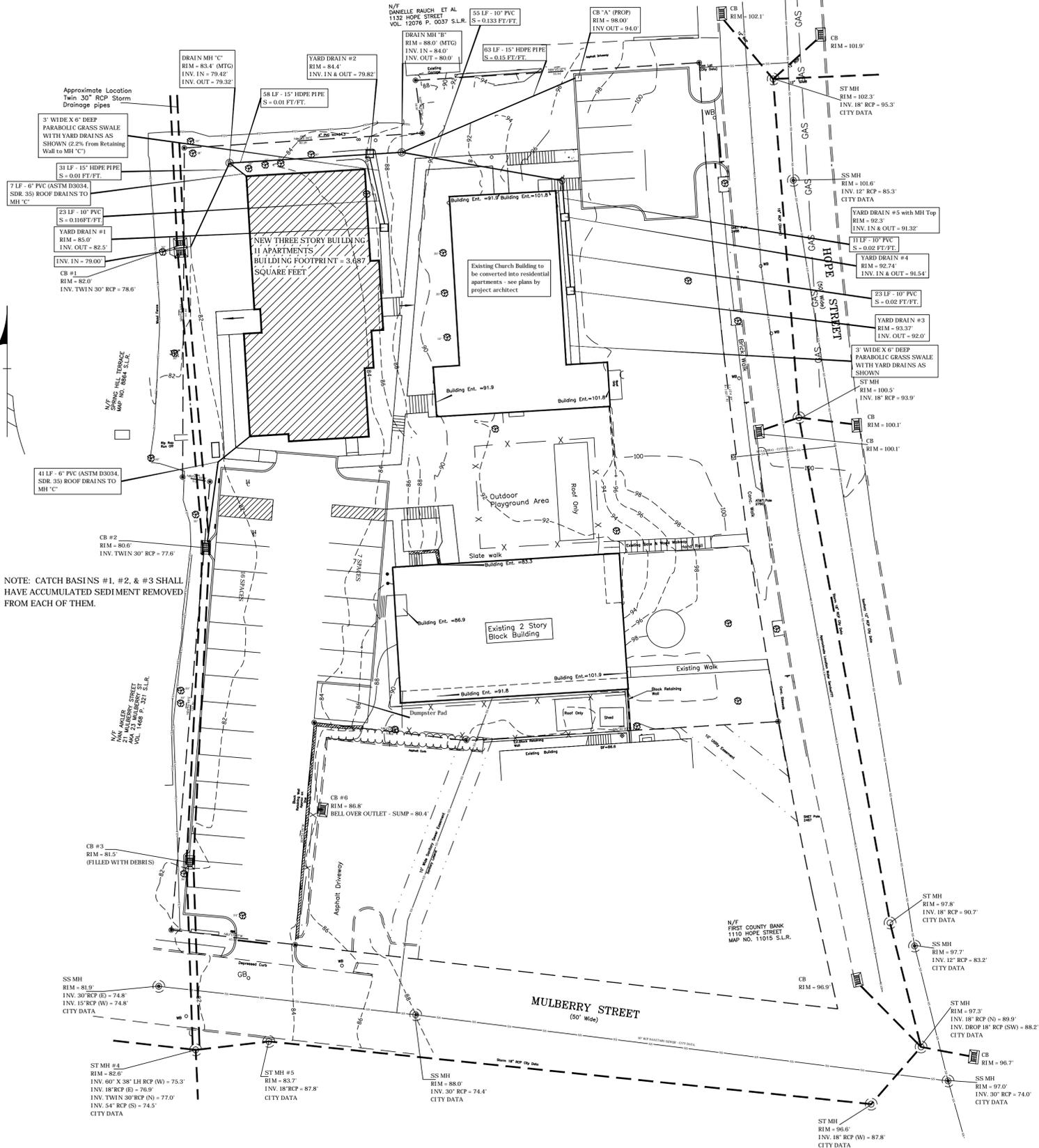


PREPARED FOR
GARDEN HOMES FOUNDATION
1114 HOPE STREET
STAMFORD - CONNECTICUT

GRADING PLAN
SHEET 2 OF 9
PROJECT #023-2020
SCALE: 1" = 20'
DATE: 9/7/20, Rev. 12/12/20



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 1114 HOPE STREET
 STAMFORD - CONNECTICUT

STORMWATER PLAN
 SHEET 3 OF 9
 PROJECT #023-2020
 SCALE: 1" = 20'
 DATE: 9/7/20, Rev. 12/12/20



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ALL NEW BUILDINGS - 3/4" = 1'-0" TO BE DETERMINED BY MECHANICAL ENGINEER

N/F DANIELLE RAUCH ET AL
1132 HOPE STREET
VOL. 12076 P. 0037 S.L.R.

Approximate Location
Twin 30" RCP Storm
Drainage Pipes

CB #1
RIM = 82.0'
INV. TWIN 30" RCP = 78.6'

N/F
MAP NO. 8864 S.L.R.

N/F
MAP NO. 1448 S.L.R.

6" SANITARY SEWER LATERAL
(ASTM D3034, SDR 35)
SLOPE = 0.028 FT/FT
INVERT AT MAIN LINE = 74.7'
INVERT AT FOUNDATION = 80.0'

CB #3
RIM = 81.5'
(FILLED WITH DEBRIS)

SS MH
RIM = 81.9'
INV. 30" RCP (E) = 74.8'
INV. 15" RCP (W) = 74.8'
CITY DATA

ST MH #4
RIM = 82.6'
INV. 60" X 38" LH RCP (W) = 75.3'
INV. 18" RCP (E) = 78.9'
INV. TWIN 30" RCP (N) = 77.0'
INV. 54" RCP (S) = 74.5'
CITY DATA

NEW THREE STORY BUILDING
11 APARTMENTS
BUILDING FOOTPRINT - 3,687
SQUARE FEET

Existing Church Building to
be converted into residential
apartments - see plans by
project architect

Existing 2 Story
Block Building

Outdoor
Playground Area

Asphalt Driveway

MULBERRY STREET
(50' Wide)

N/F
FIRST COUNTY BANK
1110 HOPE STREET
MAP NO. 11015 S.L.R.

ST MH
RIM = 97.8'
INV. 18" RCP = 90.7'
CITY DATA

SS MH
RIM = 97.7'
INV. 12" RCP = 83.2'
CITY DATA

ST MH
RIM = 97.3'
INV. 18" RCP (N) = 80.9'
INV. DROP 18" RCP (SW) = 88.2'
CITY DATA

CB
RIM = 96.7'

SS MH
RIM = 97.0'
INV. 30" RCP = 74.0'
CITY DATA

ST MH
RIM = 96.6'
INV. 18" RCP (W) = 87.8'
CITY DATA

CB
RIM = 96.9'

ST MH
RIM = 100.5'
INV. 18" RCP = 93.9'

CB
RIM = 100.1'

CB
RIM = 100.1'

CB
RIM = 102.1'

ST MH
RIM = 102.3'
INV. 18" RCP = 95.3'
CITY DATA

SS MH
RIM = 101.6'
INV. 12" RCP = 85.3'
CITY DATA

EXTEND EX. GAS SERVICE LINE
TO NEW BUILDING

EXTEND EX. UNDERGROUND
ELECTRICAL, TELEPHONE &
CABLE TV LINES TO NEW
BUILDING

HOPE STREET

GAS

GAS

GAS

GAS

GAS

GAS

GAS

GAS

NOTE: CATCH BASINS #1, #2, & #3 SHALL
HAVE ACCUMULATED SEDIMENT REMOVED
FROM EACH OF THEM.

PREPARED FOR
GARDEN HOMES FOUNDATION
1114 HOPE STREET
STAMFORD - CONNECTICUT

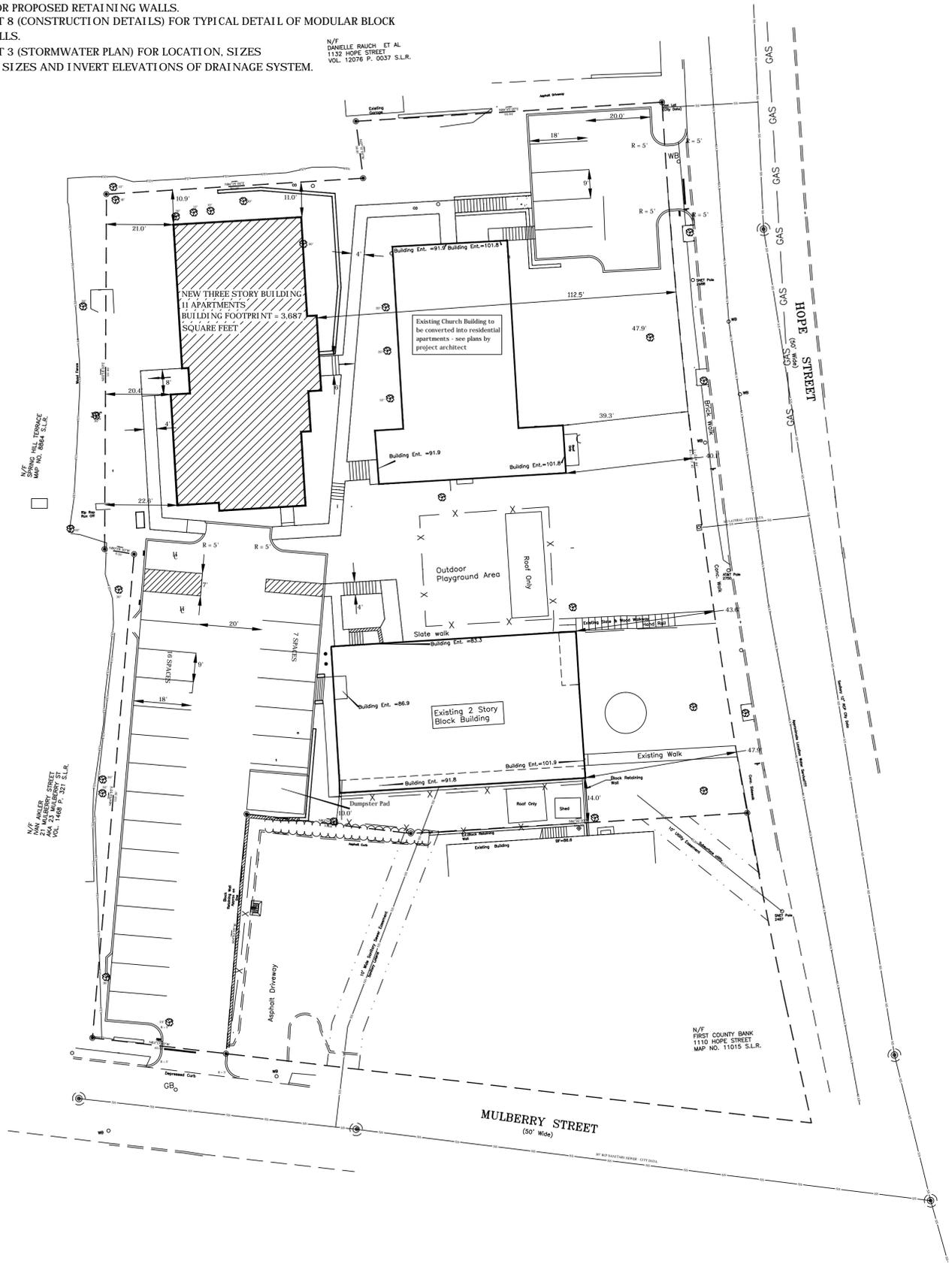
SITE UTILITIES PLAN
SHEET 4 OF 9
PROJECT #023-2020
SCALE: 1" = 20'
DATE: 9/7/20, Rev. 12/12/20



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NOTE: REFER TO SHEET 2 (SITE GRADING PLAN) FOR TOP AND BOTTOM ELEVATIONS FOR PROPOSED RETAINING WALLS.
 REFER TO SHEET 8 (CONSTRUCTION DETAILS) FOR TYPICAL DETAIL OF MODULAR BLOCK RETAINING WALLS.
 REFER TO SHEET 3 (STORMWATER PLAN) FOR LOCATION, SIZES FOR LOCATION, SIZES AND INVERT ELEVATIONS OF DRAINAGE SYSTEM.

N/F DANIELLE RAUCH ET AL
 1132 HOPE STREET
 VOL. 12076 P. 0037 S.L.R.



N/F DANIELLE RAUCH ET AL
 1132 HOPE STREET
 VOL. 12076 P. 0037 S.L.R.

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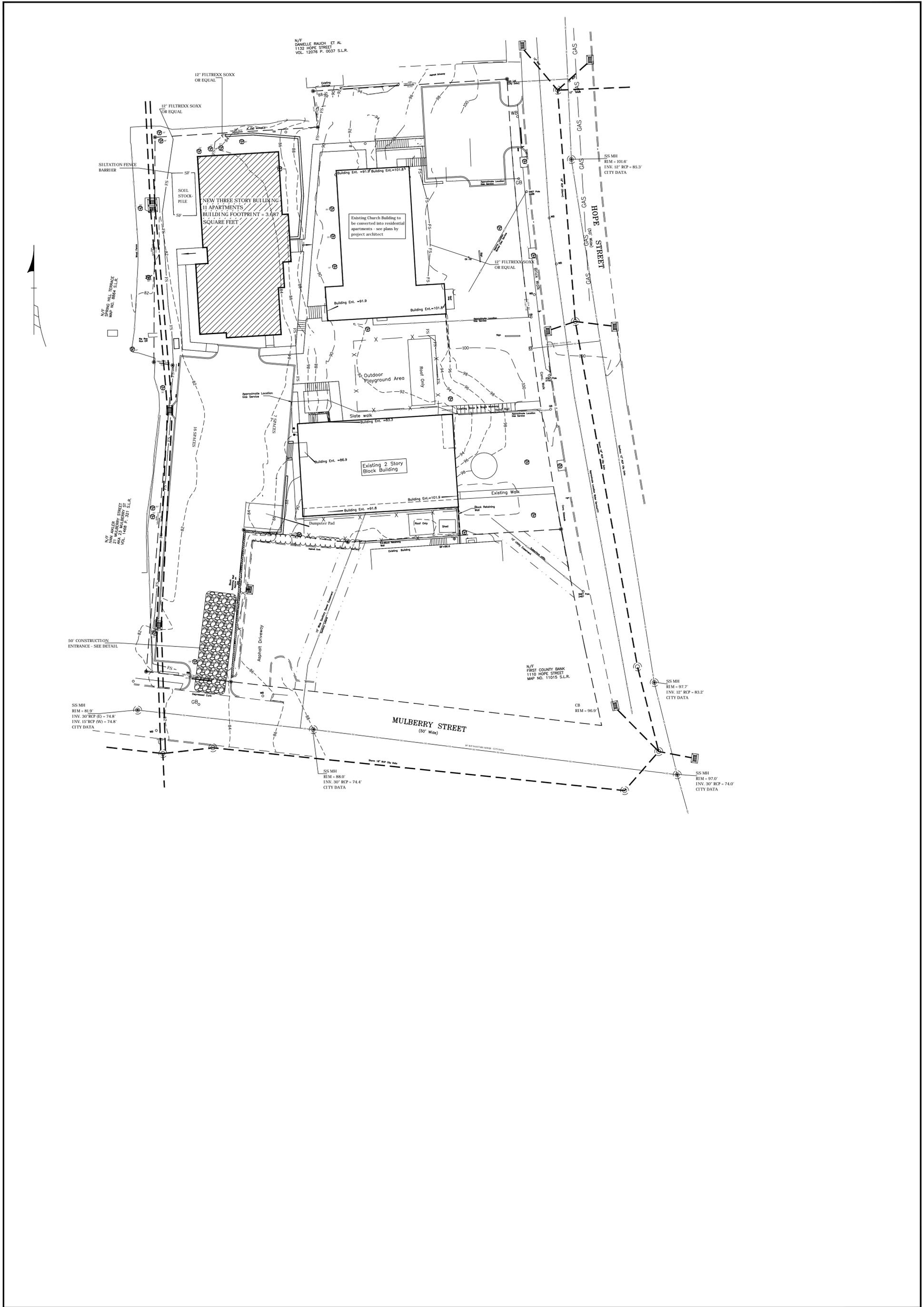
N/F FIRST COUNTY BANK
 1110 HOPE STREET
 MAP NO. 11015 S.L.R.

PREPARED FOR
 GARDEN HOMES FOUNDATION
 1114 HOPE STREET
 STAMFORD - CONNECTICUT

SITE PLAN
 SHEET 5 OF 9
 PROJECT #023-2020
 SCALE: 1" = 20'
 DATE: 9/7/20, Rev. 12/12/20



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PREPARED FOR
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 1114 HOPE STREET
 STAMFORD - CONNECTICUT

EROSION CONTROL PLAN
 SHEET 6 OF 9
 PROJECT #023-2020
 SCALE: 1" = 20'
 DATE: 9/7/20, Rev. 12/12/20



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PROPERTY LOCATION: 1116 HOPE STREET - STAMFORD, CONNECTICUT

1.1 PROJECT DESCRIPTION:

The existing single family house, garage and other existing man-made improvements on the site will be removed. The existing Church building will be converted into residential apartments. A new apartment building located in the northwest corner of the site will be constructed. The parking area along the western property line will be improved. New sidewalks will be constructed to provide access to the residential apartments as well as the other existing uses on the site. A new parking area for five vehicles will be constructed in the northeast corner of the site with access to Hope Street.

1.2 ESTIMATED DISTURBANCE AREA:

Approximately 0.5 acres of the site will be disturbed by the proposed construction.

1.3 EROSION CONTROL MEASURES:

12" high Filtrex Soxx, siltation fence barriers, anti-tracking pad will be used on this site.

1.4 CONSTRUCTION PHASES:

Phase I: Site Demolition

Phase II: New Building construction, parking lots construction and access walkways

1.5 CONSTRUCTION START DATES:

Construction may commence within 90 days of receiving land use approvals from the City of Stamford.

1.6 DESIGN INFORMATION:

All Design information is shown on the project plan set consisting of five sheets prepared by Trinkaus Engineering, LLC

1.7 OTHER PERMITS:

Only permits required for this project are local land use approvals from the City of Stamford.

1.8 CONSERVATION PRACTICES:

Impervious area on the site has been reduced from 23,194 square feet to 21,300 square feet. A reduction of 1,894 square feet. The reduction of impervious area will reduce runoff rates and volumes from the site.

1.9 DOCUMENT LIST:

Plan set consisting of five sheets not including title page.

2.1 HYDROLOGIC CALCULATIONS:

None provided as the impervious area is being reduced on the site.

2.2 SOIL TEST RESULTS:

None Performed.

CONSTRUCTION SEQUENCE:

PHASE I:

1. Installation of perimeter erosion control measures.
2. Removal of existing house, garage and other man-made improvements which are not part of this project. All debris shall be placed in dumpsters and removed from the site.
3. After the house and garage have been removed, any foundations holes shall be backfilled with structural fill and compacted in 12" lifts to 95% Proctor Density for the material.
4. The new catch basin (in the northern parking lot) & other drainage structures running westerly to the existing 30" CMP shall be installed at this time.
5. Gravel for the subbase of the driveway and parking area shall be placed and mechanically compacted to 95% Proctor Density for the material. The base course of bituminous concrete shall be placed and be utilized as a staging area for the other construction activities on the site.
6. The retaining wall along the parking area and the concrete stair and walkway shall be installed at this time in accordance with approved plans.
7. The grass swale with yard drains along the east side of the former church building shall be installed per the approved plan. The existing retaining wall along the east side of the church building shall be removed. The 12" Filtrex Soxx shall be installed above the newly installed grass swale to protect it from the slope above it is regraded.
8. After the slope has been regraded, it shall be covered with a minimum of 4" of topsoil, seeded and mulched.
9. The yard drain system shall be connected to the previously installed drainage system in the northern portion of the site.

PHASE II:

1. The construction entrance shall be installed off Mulberry Street and in accord with the attached detail.
2. The foundation for the new building shall be excavated at this time per the approved architect's plans. After the foundation has been installed in shall be backfilled and compacted.
3. The lower parking area off Mulberry Street shall be delineated by the project land surveyor. It shall be graded to the required subgrade elevation.
4. Gravel subbase material shall be placed and mechanically compacted to 95% Proctor Density for the material.
5. The retaining wall along the east side of the new building shall be installed. Grading and the yard drains shall be installed per the approved plan. This drainage system shall be connected to the drainage pipe as shown.
6. This concrete or modular block retaining wall shall be installed around the perimeter of this parking area per the plan and the details provided by a structural engineer or the manufacturer of the modular block wall system.
7. After the retaining walls have been installed, they shall be backfilled with structural fill material. All fill material shall be compacted in 12" lifts to 95% Proctor Density for the material. In the driveway/parking area, the height of the structural fill shall be to the required bottom of the gravel base layers per the detail.
8. Retaining walls along the lower parking lot shall then be installed in accordance with approved plans and details.
9. Concrete sidewalks shall be installed per the plan. Wood steps in portions of the sidewalks shall be installed per plans by project architect.
10. All disturbed areas shall be covered with a minimum of 4" of topsoil, seeded and covered with straw or hay mulch. Erosion control barriers shall remain in place and in effective condition until a permanent grass cover has been established over these areas.

PLAN OBJECTIVES AND PRINCIPALS:

The objectives of the Soil Erosion and Sediment Control Plan are to manage both the runoff and the earthwork operations by using Best Management Practices. The objectives are as follows:

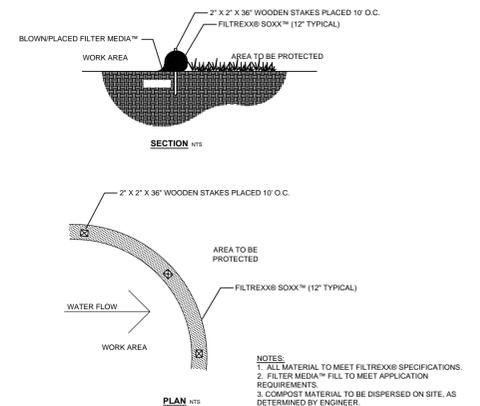
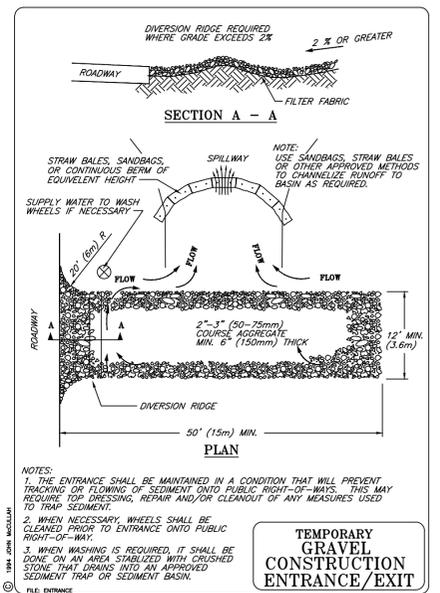
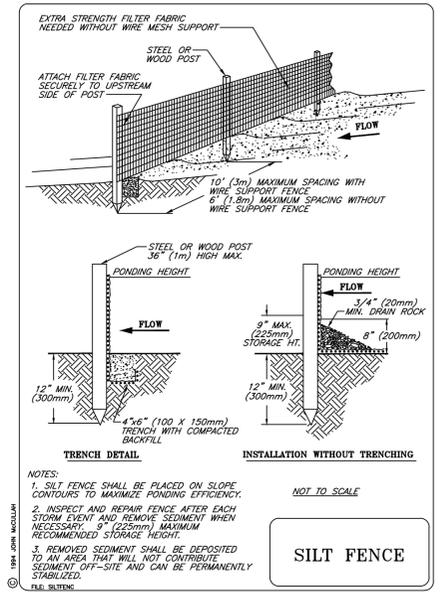
- a. Control erosion at its source with temporary control measures, minimize the runoff from areas of disturbance, distribute stormwater through natural vegetation before being discharged into wetland systems.
- b. Keep land disturbance to a minimum. The site layout has been designed to minimize any potential impacts to wetlands.
- c. Construct the project in phases to minimize the area of the site under active construction at one time.
- d. Retain existing vegetation wherever feasible. Siltation fence or other barriers will be used to limit the extent of earthwork.
- e. Stabilize disturbed areas as soon as practical. Earth disturbance shall not occur on a given area until active construction is to take place in this area.
- f. Minimize the length and steepness of slopes.
- g. Maintain low runoff velocities.
- h. Trap sediment on site. Siltation fence barriers and driveway construction entrance will trap sediment during the construction period.
- i. Establish a maintenance and repair program during the construction period. Erosion control measures will be inspected monthly during the active construction period and/or following rainfall events of greater than 0.5 inches and repaired as needed to ensure that they function properly.
- j. Assign responsibility for the maintenance program. The responsibility for the maintenance program will be assigned to the contractor who shall designate one of its supervisory personnel to be the liaison to the owner's representative. The owner shall retain the services of a licensed professional who shall inspect and monitor the contractor's methods and have the authority to require modifications to the Erosion and Sediment Control Plan. The town will be copied on all inspection reports prepared on behalf of the project.

TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES - MAINTENANCE REQUIREMENTS:

1. Siltation fence barriers: Accumulated sediment shall be removed when it has reached a height of 25% of the exposed sediment barrier and disposed off in an appropriate manner.
2. Filtrex Soxx shall be inspected on a monthly basis. Accumulated sediment shall be removed from the uphill side of the Soxx when it is 50% of the height of the Soxx above grade.

CONTROL PLAN IMPLEMENTATION:

1. The contractor shall inspect the effectiveness and condition of erosion control devices during storm events, and after each rainfall event of 0.5" or more, prior to weekends and prior to forecasted large storm events.
2. The contractor shall repair or replace damaged erosion control measures immediately, and in case, more than four hours after observing such deficiencies.
3. The contractor shall be prepared to implement interim drainage controls and erosion control measures as may be necessary during the course of construction.
4. The constactor shall make available on-site all equipment, materials and labor necessary to effect emergency erosion control measures within four hours of any impending emergency situation.
5. The contractor shall make a final inspection, and clean up any tracked sediment on the existing road.
6. The contractor shall have on call at all times, a responsible representative who, when authorized, will mobilize the necessary personnel, materials and equipment and otherwise provide the required action when notified of any impending emergency situation.
7. The contractor shall supply a telephone number to the town engineer, planning agent so that the contractor may be contacted during the evenings and on weekends, if necessary.
8. The contractor shall maintain a minimum of 165 lf of Filtrex 12" Soxx and 200 lf of silt fence on the site for emergencies.



FILTREXX® SEDIMENT CONTROL

NTS

ALTERNATIVE COMPOST SOCKS WHICH ARE AN APPROVED EQUIVALENT TO THE FILTREXX SOXX MAY BE USED

GENERAL EROSION AND SEDIMENTATION CONTROL PLAN NOTES:

1. Regrading on this site shall done in such a manner as to prevent stagnant water from collecting in depressions.
2. All erosion and sedimentation control measures will be installed prior to the start of any construction activity.
3. All erosion and sedimentation control measures shall be constructed in accordance with the submitted construction details and in compliance with the specifications and standards found in the "Guidelines for Soil Erosion and Sediment Control" as prepared by the State of Connecticut, revised to 2002.
4. Siltation fence barriers will be installed at the limit of all disturbed areas. Staked straw bales, will be utilized as necessary during the construction period. All work done shall be in accordance with the details shown on the plans.
5. Land disturbance will be kept to a minimum. Restabilization of all disturbed areas will occur as soon as final grading is complete.
6. All erosion and sedimentation control measures will be maintained in an effective conditions throughout the construction period.
7. Accumulated sediment will be removed from the control structures and disposed of in a lawful and safe manner.
8. Additional control measures will be installed during the construction period if the Zoning or Wetland Enforcement Officer requires them. The design engineer shall inspect the site periodically to ensure the proper installation of erosion control measures.
9. Regular inspections of the construction site shall be made by a representative of the City of Stamford and a professional retained by the owner to assure compliance with the approved plans.
10. The responsibility for implementing the erosion and sedimentation control plan, informing all parties engaged on the construction site of the requirements and objectives of the plan, notifying the appropriate town agencies of any transfer of this responsibility and for conveying a copy of the erosion and sedimentation control plan if title to the land is transferred is placed upon the owner of record.

SEEDING MIXTURES FOR AREAS TO BE MAINTAINED AS GRASS:

MIXTURE #1	
KENTUCKY BLUEGRASS	20 LBS/ACRE
CREEPING RED FESCUE	20 LBS/ACRE
PERENNIAL RYEGRASS	5 LBS/ACRE
MIXTURE #2	
CREEPING RED FESCUE	20 LBS/ACRE
REDTOP	2 LBS/ACRE
TALL FESCUE	20 LBS/ACRE

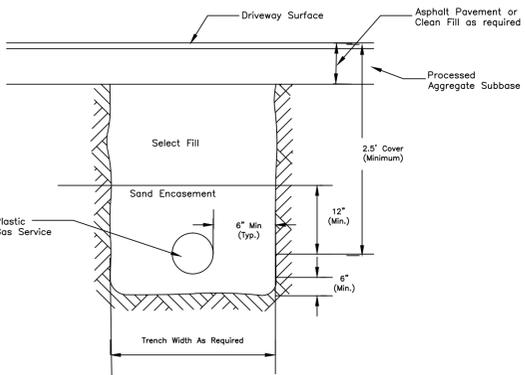
PREPARED FOR
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1114 HOPE STREET
STAMFORD - CONNECTICUT

CONSTRUCTION NARRATIVE

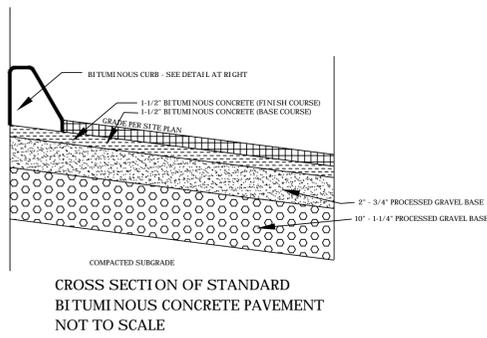
SHEET 8 OF 9
PROJECT #023-2020
SCALES AS NOTED
DATE: 9/7/20, Rev. 12/12/20



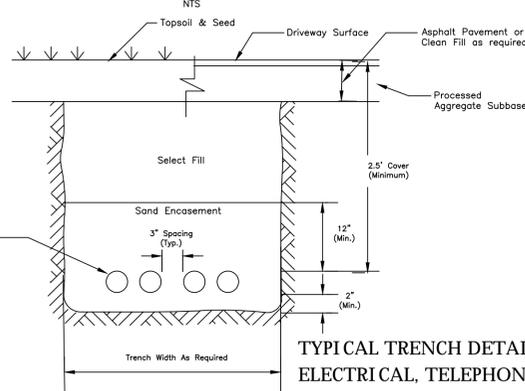
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203-264-4558 (office)
Email: strinkaus@earthlink.net



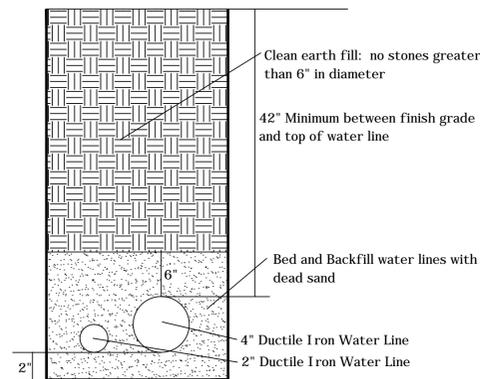
Detail For Underground Gas Service



CROSS SECTION OF STANDARD BITUMINOUS CONCRETE PAVEMENT NOT TO SCALE

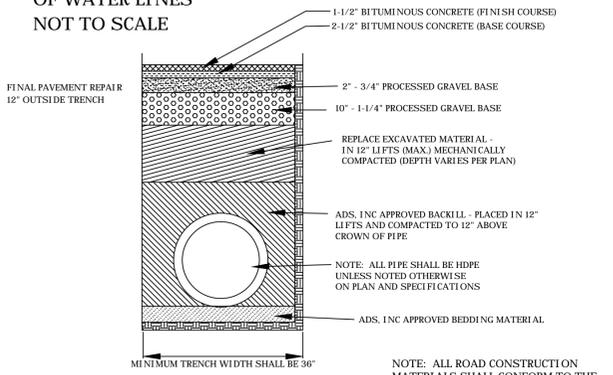


Detail For Underground Utility Trench



TYPICAL DETAIL OF MODULAR BLOCK RETAINING WALL NOT TO SCALE

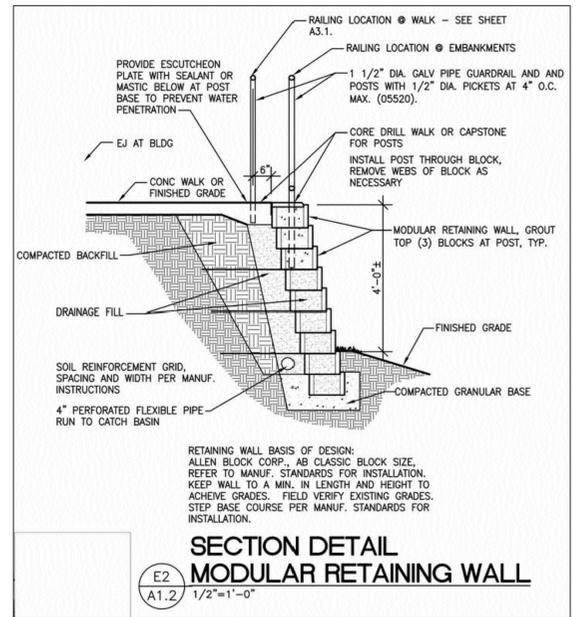
TRENCH DETAIL FOR INSTALLATION OF WATER LINES NOT TO SCALE



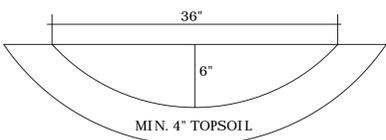
TRENCH DETAIL - N.T.S.

Note: Pavement patch on Washington Boulevard shall conform to City of Stamford & CT DOT requirements & be the full width of pavement

NOTE: ALL BEDDING AND BACKFILL MATERIAL FOR ADS PIPE SHALL BE IN FULL COMPLIANCE WITH SPECIFICATIONS FOUND IN ADS, INC. DRAINAGE MANUAL, SECTION 5.0



SECTION DETAIL MODULAR RETAINING WALL



CROSS SECTION OF PARABOLIC GRASS SWALE NOT TO SCALE

DETAIL OF YARD DRAINS NOT TO SCALE

2' X 2' LAWN INLET

CHOICE CONCRETE

2' X 2' LAWN INLET GRATE

CHOICE CONCRETE

48" ID DOG HOUSE MANHOLE

MANHOLE DESIGN SPECIFICATIONS CONFORMS TO: PRECAST REINFORCED CONCRETE MANHOLE SECTIONS A.S.T.M. DESIGNATION C478. LATEST REVISION

DESIGNED TO MEET RESILIENT CONNECTORS REQUIREMENTS OF A.S.T.M. C-923-79

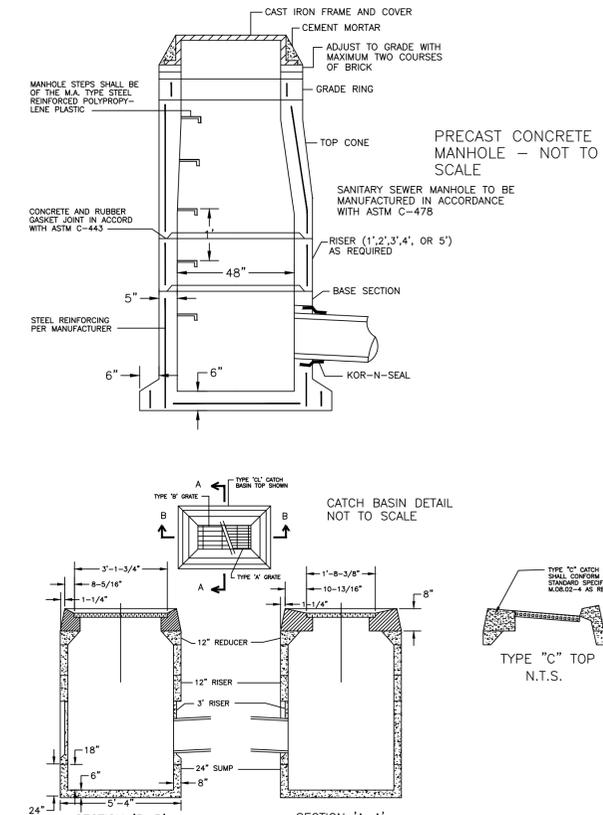
A LOK GASKET PER A.S.T.M. RUBBER GASKET SPECS. C413, CAST INTEGRALLY IN MANHOLE WALL AND LOCATED AS REQUIRED. JOINT ALLOWS 10" OMBIDIRECTIONAL DEFLECTION.

M.A. INDUSTRIES, INC MODEL PS-1-PF MANHOLE STEP

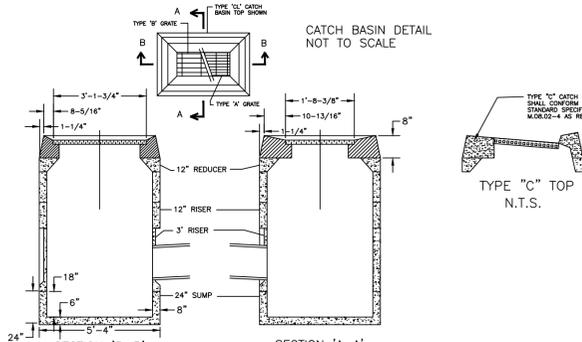
CONCRETE COMPRESSIVE STRENGTH 4000 P.S.I.

#4 BARS @ 12" CTRS. EACH WAY

CHOICE CONCRETE



PRECAST CONCRETE MANHOLE - NOT TO SCALE



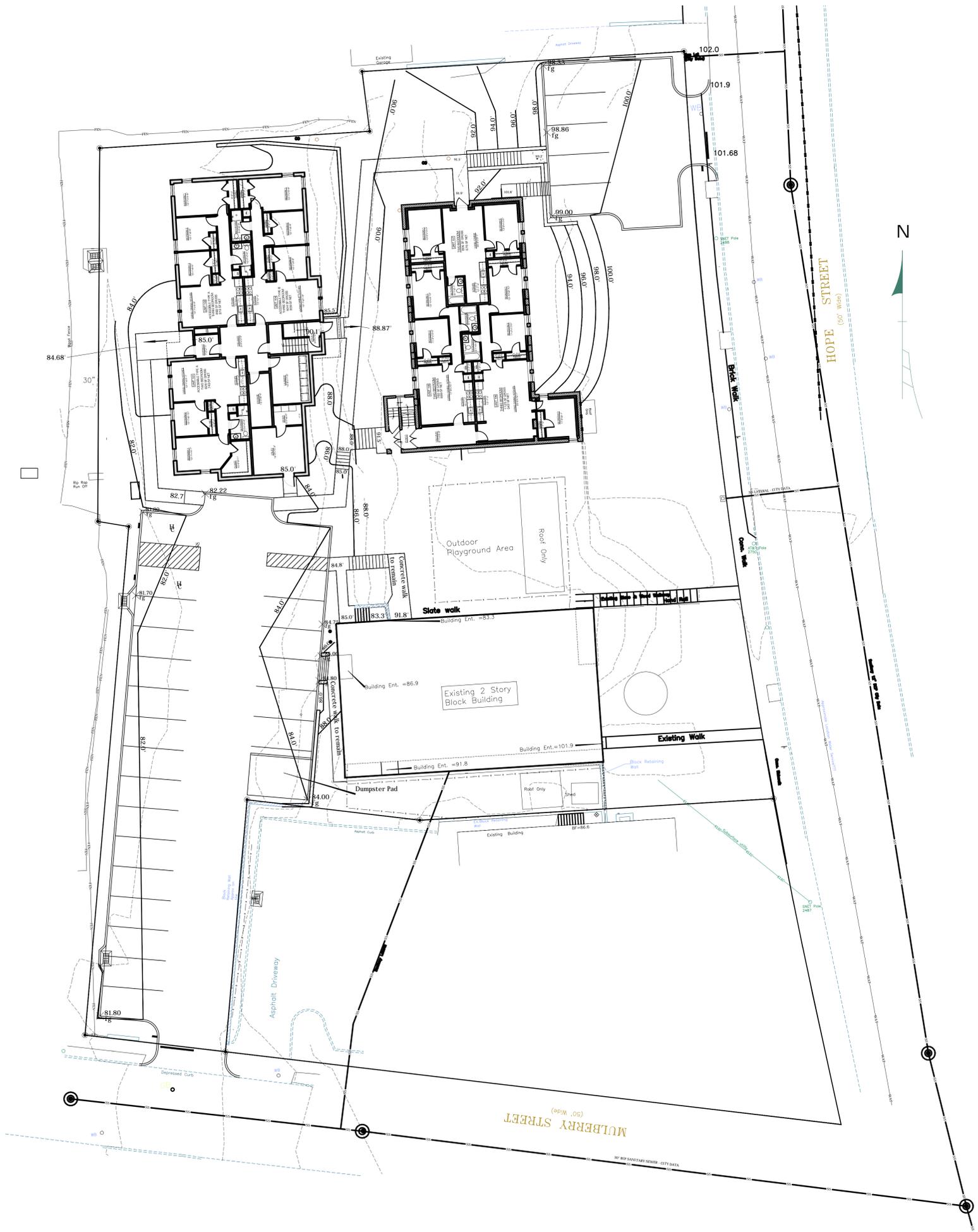
CATCH BASIN DETAIL NOT TO SCALE

PREPARED FOR
GARDEN HOMES FOUNDATION
1114 HOPE STREET
STAMFORD - CONNECTICUT

CONSTRUCTION DETAILS
SHEET 9 OF 9
PROJECT #023-2020
SCALE: 1" = 20'
DATE: 9/7/20, Rev. 12/12/20



TRINKAUS ENGINEERING, LLC
CIVIL ENGINEERS
114 HUNTERS RIDGE ROAD
SOUTHURY, CONNECTICUT 06488
203-264-4558 (office)
Email: strinka@earthlink.net



1 SITE LAYOUT WITH FIRST FLOOR BUILDING PLANS
 S.1 SCALE: 1/16" = 1'-0"

SITE LAYOUT

REVISIONS:

PROJECT:
 NEW BUILDING AND CONVERSION
 1116 HOPE STREET
 STAMFORD, CT

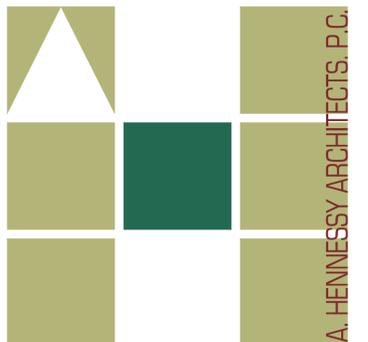
CLIENT:
 GARDEN HOMES MANAGEMENT
 29 KNAPP STREET
 STAMFORD, CT

A. HENNESSY ARCHITECTS, P.C.
 • ARCHITECTURE • LAND PLANNING
 • ENGINEERING • DEVELOPMENT
 1200 STONY BROOK COURT - SUITE 3
 NEWBURGH, NEW YORK 12550
 PHONE: 845-561-7500 FAX: 845-561-7534
 WWW.HENNESSYARCHITECTS.COM

ARCHITECT'S SEAL:

PROJECT No.: PROJ.#
 SCALE: SCALE
 DATE: DATE
 DESIGNER: DESIGNER
 CHECKED: CHECKER
 DRAWN BY: DRAWER

SHEET NO.
A-1





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CLIENT:
**GARDEN HOMES
 MANAGEMENT**

PROJECT:
**NEW BUILDING
 AND CONVERSION**
 1116 HOPE STREET
 STAMFORD, CT

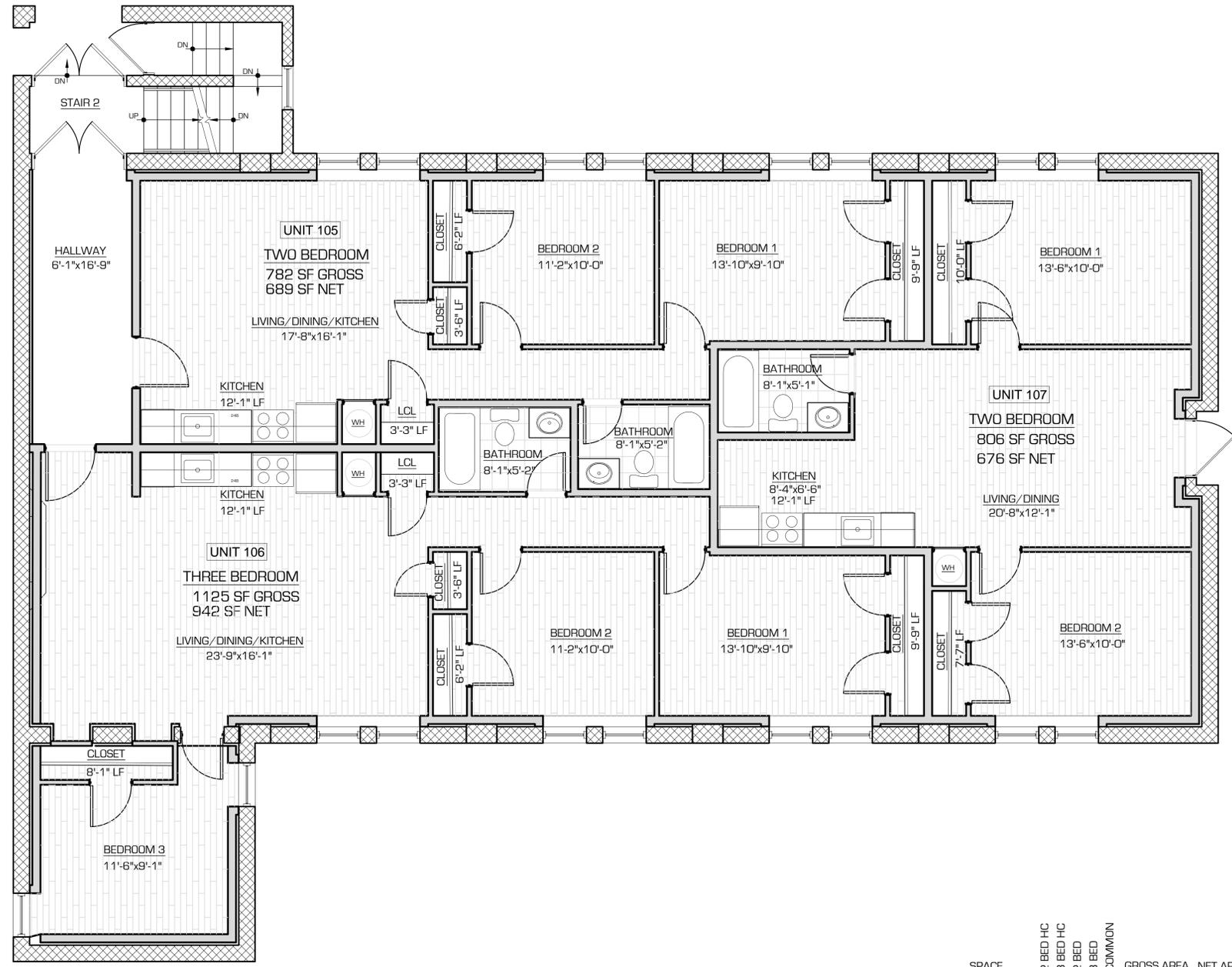
ARCHITECT'S SEAL:

**CHURCH
 FIRST FLOOR PLAN**

REVISIONS:

PROJECT NO.: 20007
 SCALE: AS NOTED
 DATE: 6.17.20
 DESIGNER: AJH
 CHECKED: AJH
 DRAWN BY: MH

SHEET NO.
CD.1



1 FIRST FLOOR PLAN
 CD.1 SCALE: 1/4" = 1'-0"

SPACE	2 BED HC	3 BED HC	2 BED	3 BED	COMMON	GROSS AREA	NET AREA	TOTAL GROSS AREA
UNIT 105			●			782 SF	689 SF	2713 SF
UNIT 106			●			1125 SF	942 SF	
UNIT 107			●			806 SF	676 SF	
HALLWAY					●	133 SF		301 SF
STAIR					●	168 SF		
TOTALS		2	1			3014 SF		3014 SF



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CLIENT:
**GARDEN HOMES
 MANAGEMENT**

PROJECT:
**NEW BUILDING
 AND CONVERSION**
 1116 HOPE STREET
 STAMFORD, CT

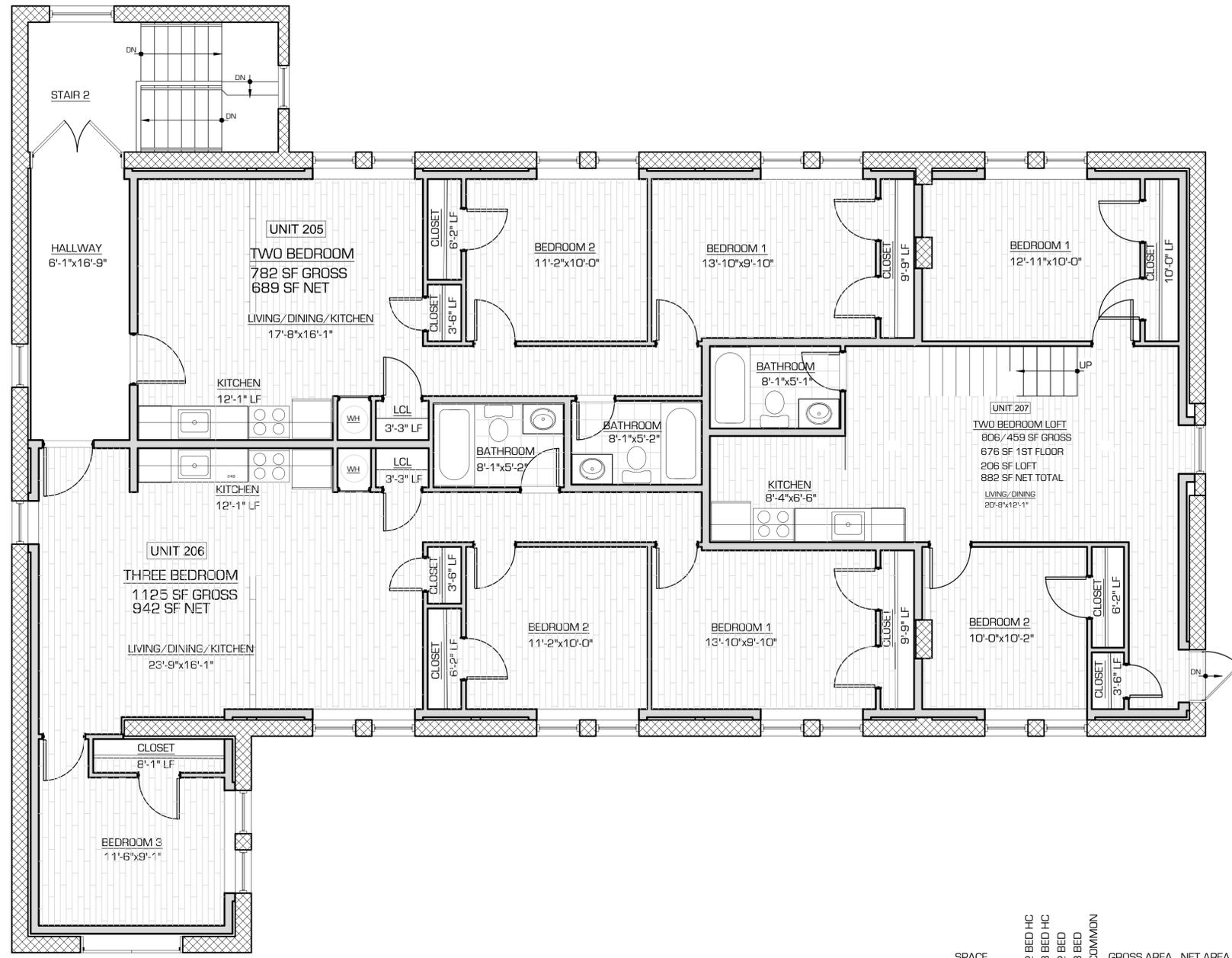
ARCHITECT'S SEAL:

**CHURCH
 SECOND FLOOR PLAN**

REVISIONS:

PROJECT NO.: 20007
 SCALE: AS NOTED
 DATE: 6.17.20
 DESIGNER: AJH
 CHECKED: AJH
 DRAWN BY: MH

SHEET NO.
CD.2



1 SECOND FLOOR PLAN
 CD.2 SCALE: 1/4" = 1'-0"

SPACE	2 BED HC	3 BED HC	2 BED	3 BED	COMMON	GROSS AREA	NET AREA	TOTAL GROSS AREA
UNIT 205			●			782 SF	689 SF	
UNIT 206				●		1125 SF	942 SF	2713 SF
UNIT 207			●			806 SF	676 SF	
HALLWAY					●	133 SF		301 SF
STAIR					●	168 SF		
TOTALS			2	1		3014 SF		3014 SF



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CLIENT:
**GARDEN HOMES
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PROJECT:
**NEW BUILDING
 AND CONVERSION**

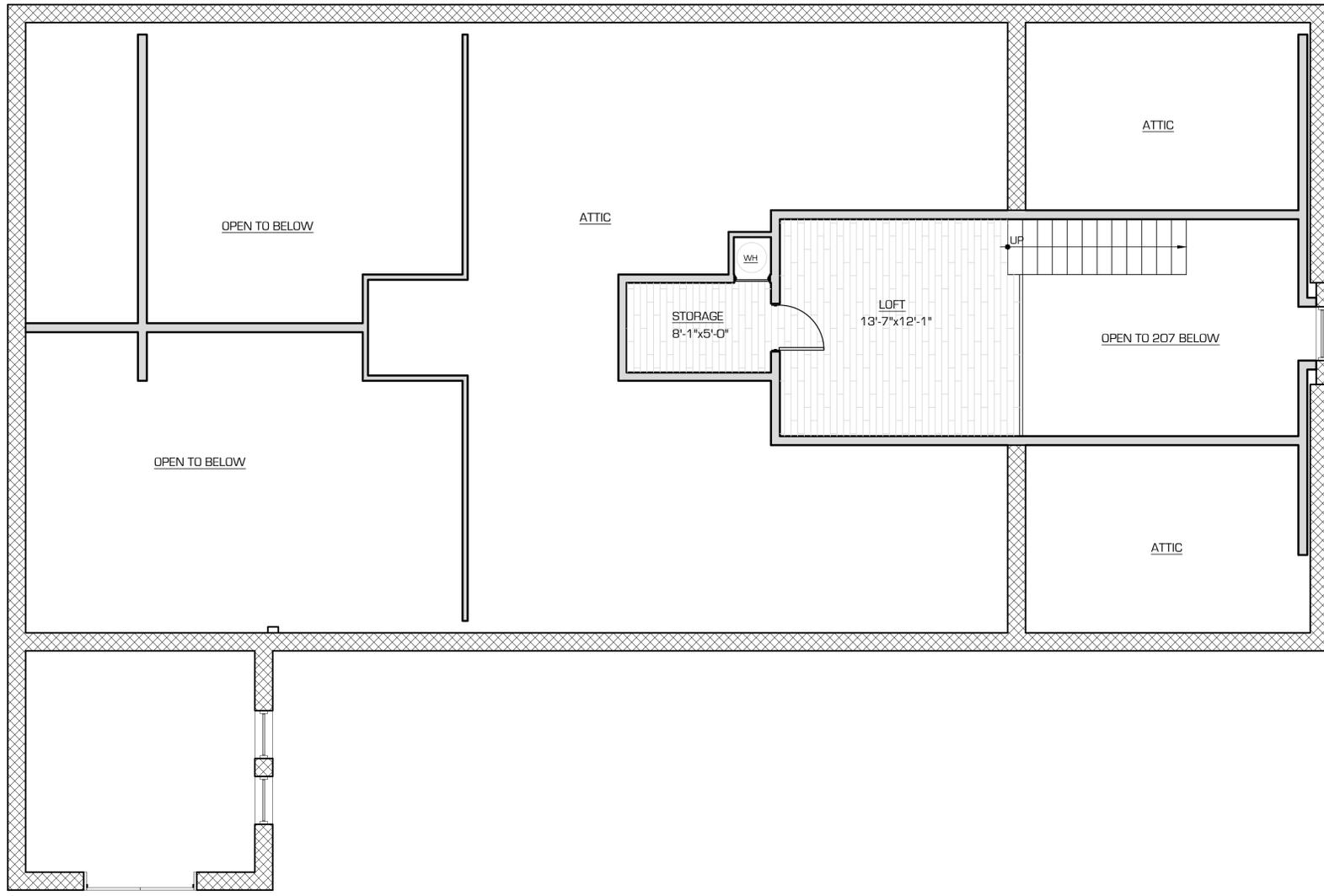
 1116 HOPE STREET
 STAMFORD, CT

ARCHITECT'S SEAL:

**CHURCH
 LOFT PLAN**

REVISIONS:

PROJECT NO.:	20007	SHEET NO.	CD.3
SCALE:	AS NOTED		
DATE:	6.17.20		
DESIGNER:	AJH		
CHECKED:	AJH		
DRAWN BY:	MH		



1 LOFT PLAN
 CD.3 SCALE: 1/4" = 1'-0"



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CLIENT:
**GARDEN HOMES
 MANAGEMENT**

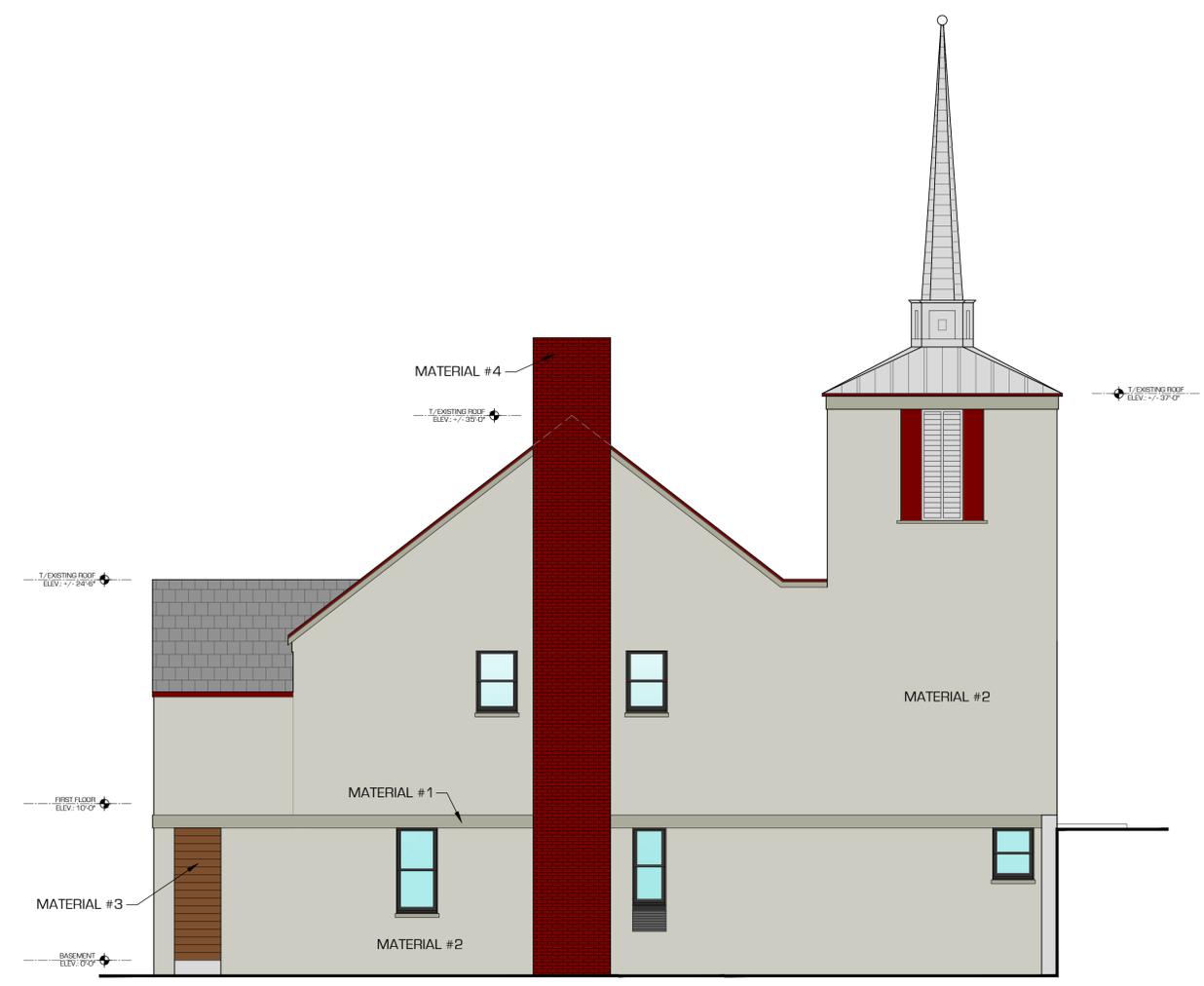
PROJECT:
CONVERSION
 1116 HOPE STREET
 STAMFORD, CT

ARCHITECT'S SEAL:

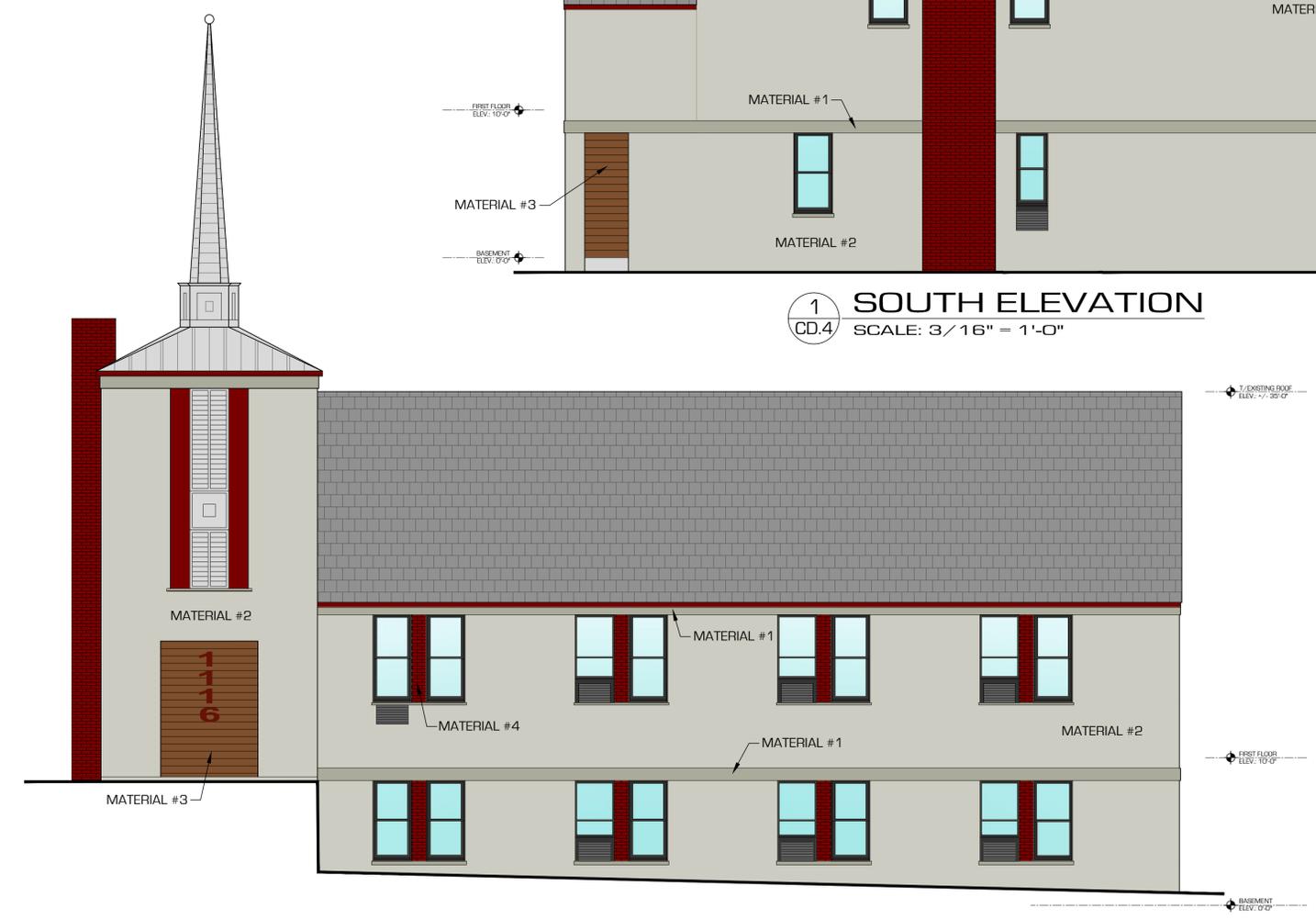
**CHURCH
 ELEVATIONS**

REVISIONS:

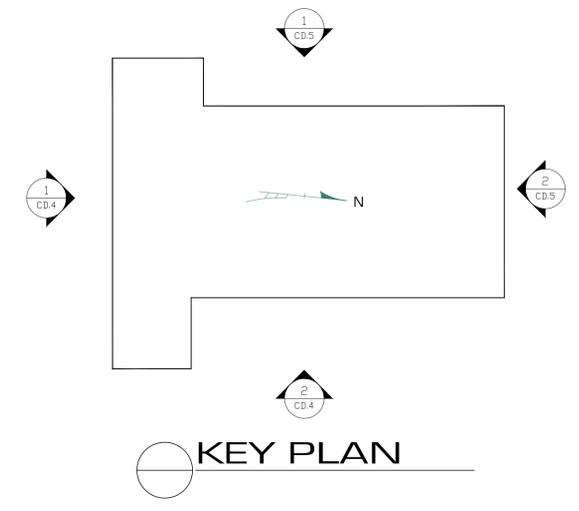
PROJECT NO.:	20007	SHEET NO.:	CD.4
SCALE:	AS NOTED		
DATE:	8.26.20		
DESIGNER:	AJH		
CHECKED:	AJH		
DRAWN BY:	MH		



1 SOUTH ELEVATION
 CD.4 SCALE: 3/16" = 1'-0"



2 EAST ELEVATION
 CD.4 SCALE: 3/16" = 1'-0"



KEY PLAN

CALLOUT	PRODUCT	HATCH
MATERIAL #1	PAINT TO MATCH ARCHITECTURAL BLOCK - GRAY	[Hatch pattern]
MATERIAL #2	PAINT TO MATCH HARDIPANEL - PEARL GRAY	[Hatch pattern]
MATERIAL #3	NICH-BIA VINTAGEWOOD - REDWOOD	[Hatch pattern]
MATERIAL #4	EXISTING BRICK	[Hatch pattern]
MATERIAL #5	EXISTING METAL - GRAY	[Hatch pattern]



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CLIENT:
**GARDEN HOMES
 MANAGEMENT**

PROJECT:
CONVERSION
 1116 HOPE STREET
 STAMFORD, CT

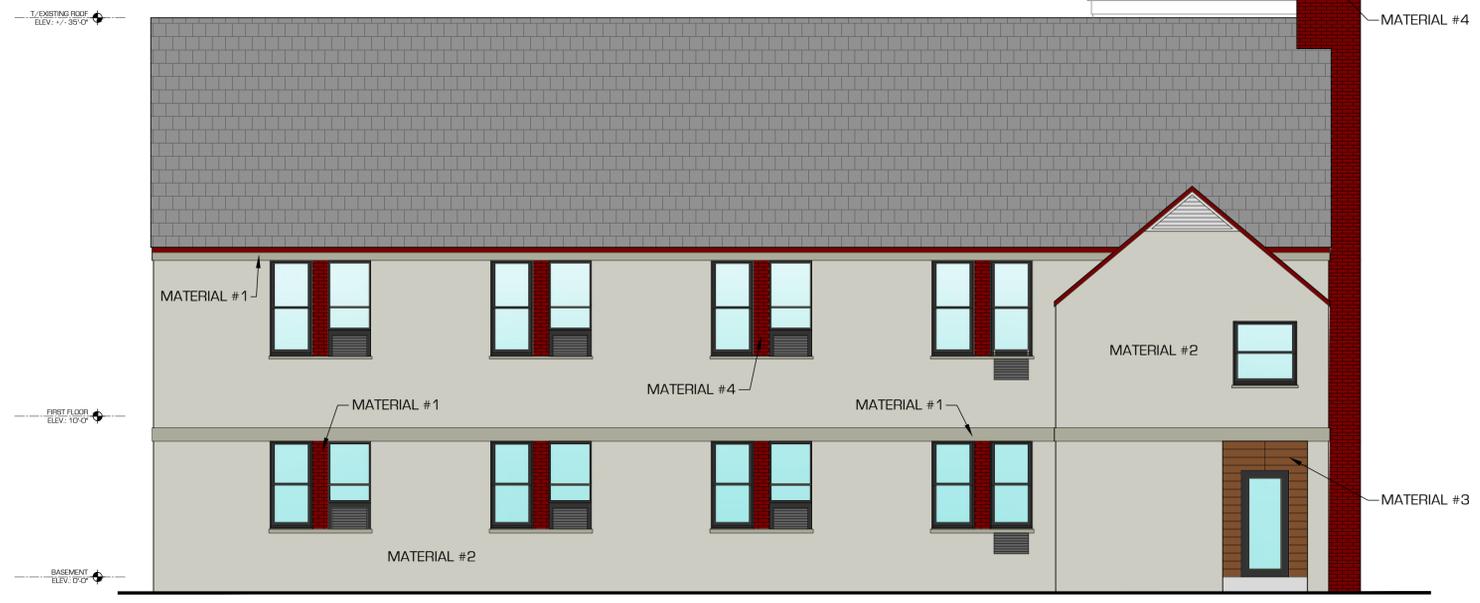
ARCHITECT'S SEAL:

**CHURCH
 ELEVATIONS**

REVISIONS:

PROJECT NO.: 20007
 SCALE: AS NOTED
 DATE: 8.26.20
 DESIGNER: AJH
 CHECKED: AJH
 DRAWN BY: MH

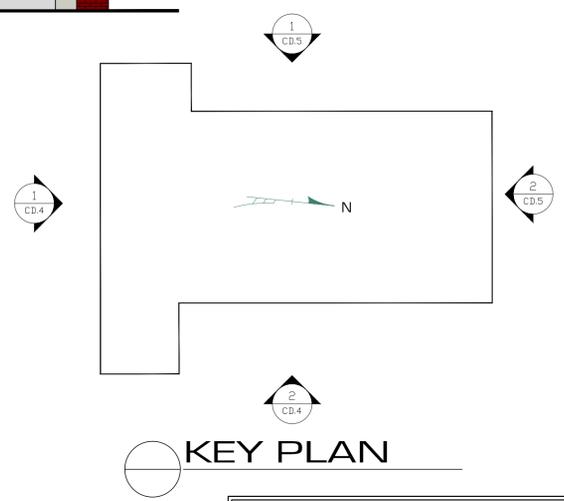
SHEET NO.
CD.5



1 WEST ELEVATION
 CD.5 SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION
 CD.5 SCALE: 3/16" = 1'-0"



KEY PLAN

CALLOUT	PRODUCT	HATCH
MATERIAL #1	PAINT TO MATCH ARCHITECTURAL BLOCK - GRAY	[Hatch pattern]
MATERIAL #2	PAINT TO MATCH HARDIPANEL - PEARL GRAY	[Hatch pattern]
MATERIAL #3	NICH-BIA VINTAGEWOOD - REDWOOD	[Hatch pattern]
MATERIAL #4	EXISTING BRICK	[Hatch pattern]
MATERIAL #5	EXISTING METAL - GRAY	[Hatch pattern]



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CLIENT:
**GARDEN HOMES
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PROJECT:
**NEW BUILDING
 AND CONVERSION**
 1116 HOPE STREET
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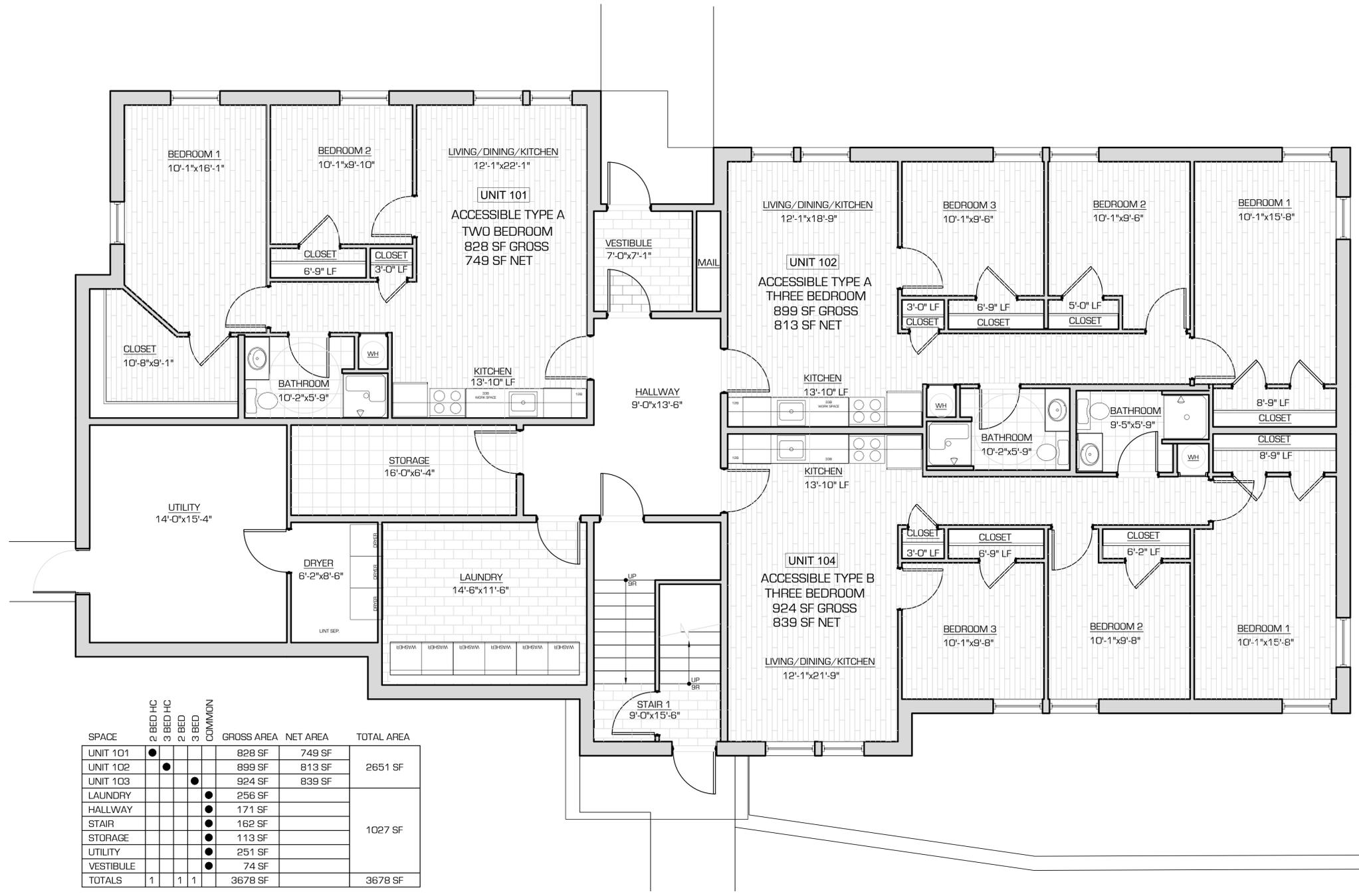
ARCHITECT'S SEAL:

FIRST FLOOR PLAN

REVISIONS:

PROJECT NO.: 20007
 SCALE: AS NOTED
 DATE: 6.17.20
 DESIGNER: AJH
 CHECKED: AJH
 DRAWN BY: MH

SHEET NO.
DD.1



SPACE	2 BED HC	3 BED HC	2 BED	3 BED	COMMON	GROSS AREA	NET AREA	TOTAL AREA
UNIT 101	●					828 SF	749 SF	2651 SF
UNIT 102	●					899 SF	813 SF	
UNIT 103			●			924 SF	839 SF	
LAUNDRY					●	256 SF		1027 SF
HALLWAY					●	171 SF		
STAIR					●	162 SF		
STORAGE					●	113 SF		
UTILITY					●	251 SF		
VESTIBULE					●	74 SF		
TOTALS	1	1	1			3678 SF		

1 FIRST FLOOR PLAN
 DD.1 SCALE: 1/4" = 1'-0"



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CLIENT:
**GARDEN HOMES
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PROJECT:
**NEW BUILDING
 AND CONVERSION**
 1116 HOPE STREET
 STAMFORD, CT

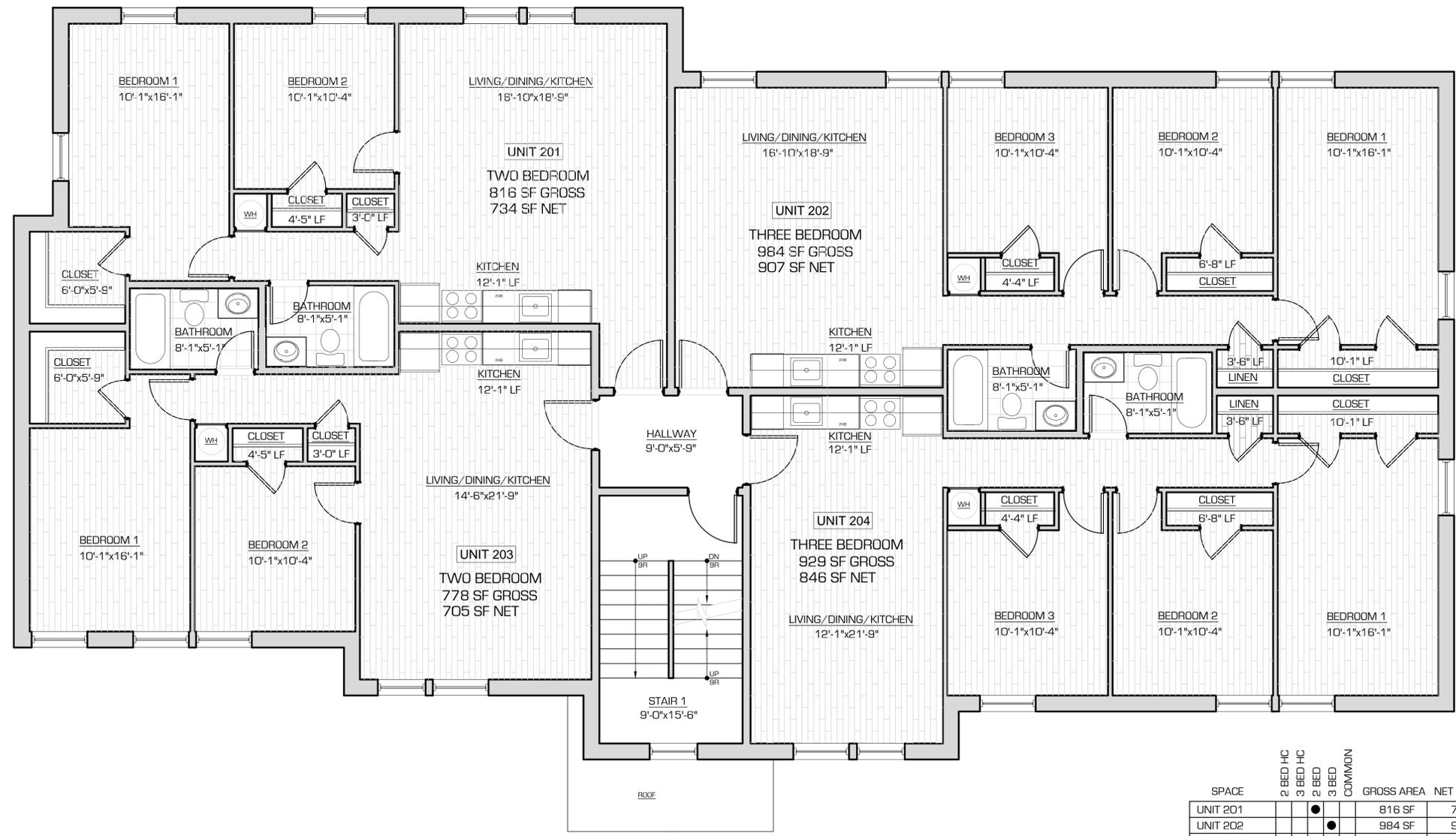
ARCHITECT'S SEAL:

**SECOND
 FLOOR PLAN**

REVISIONS:

PROJECT NO.: 20007
 SCALE: AS NOTED
 DATE: 6.17.20
 DESIGNER: AJH
 CHECKED: AJH
 DRAWN BY: MH

SHEET NO.
DD.2



1 SECOND FLOOR PLAN
 DD.2 SCALE: 1/4" = 1'-0"

SPACE	2 BED HC	3 BED HC	3 BED	COMMON	GROSS AREA	NET AREA	TOTAL GROSS AREA
UNIT 201			●		816 SF	734 SF	3507 SF
UNIT 202			●		984 SF	907 SF	
UNIT 203			●		778 SF	705 SF	
UNIT 204			●		929 SF	846 SF	
HALLWAY				●	60 SF		222 SF
STAIR				●	162 SF		
TOTALS		2	2		3729 SF		3729 SF



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CLIENT:
**GARDEN HOMES
 MANAGEMENT**

PROJECT:
**NEW BUILDING
 AND CONVERSION**
 1116 HOPE STREET
 STAMFORD, CT

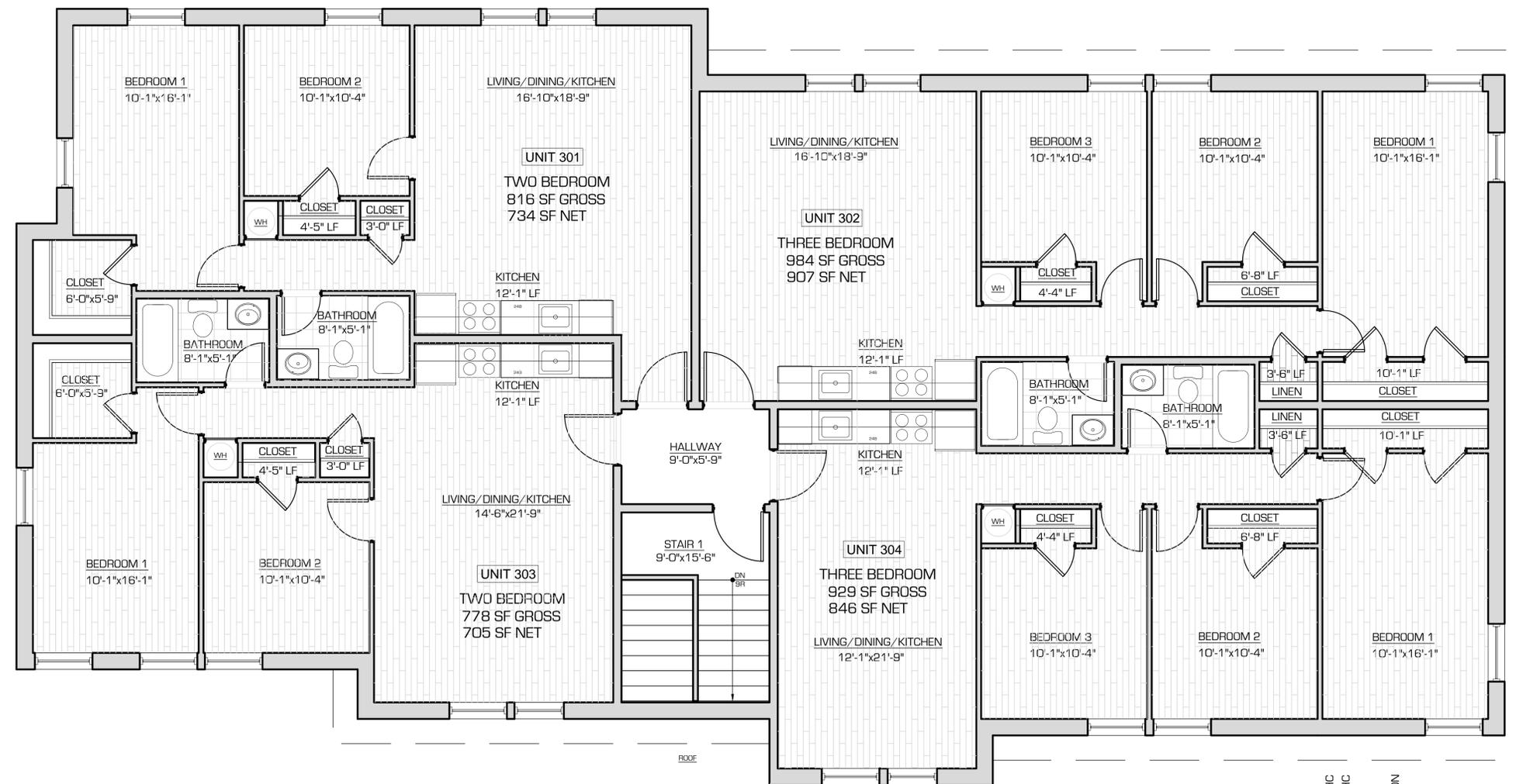
ARCHITECT'S SEAL:

**THIRD
 FLOOR PLAN**

REVISIONS:

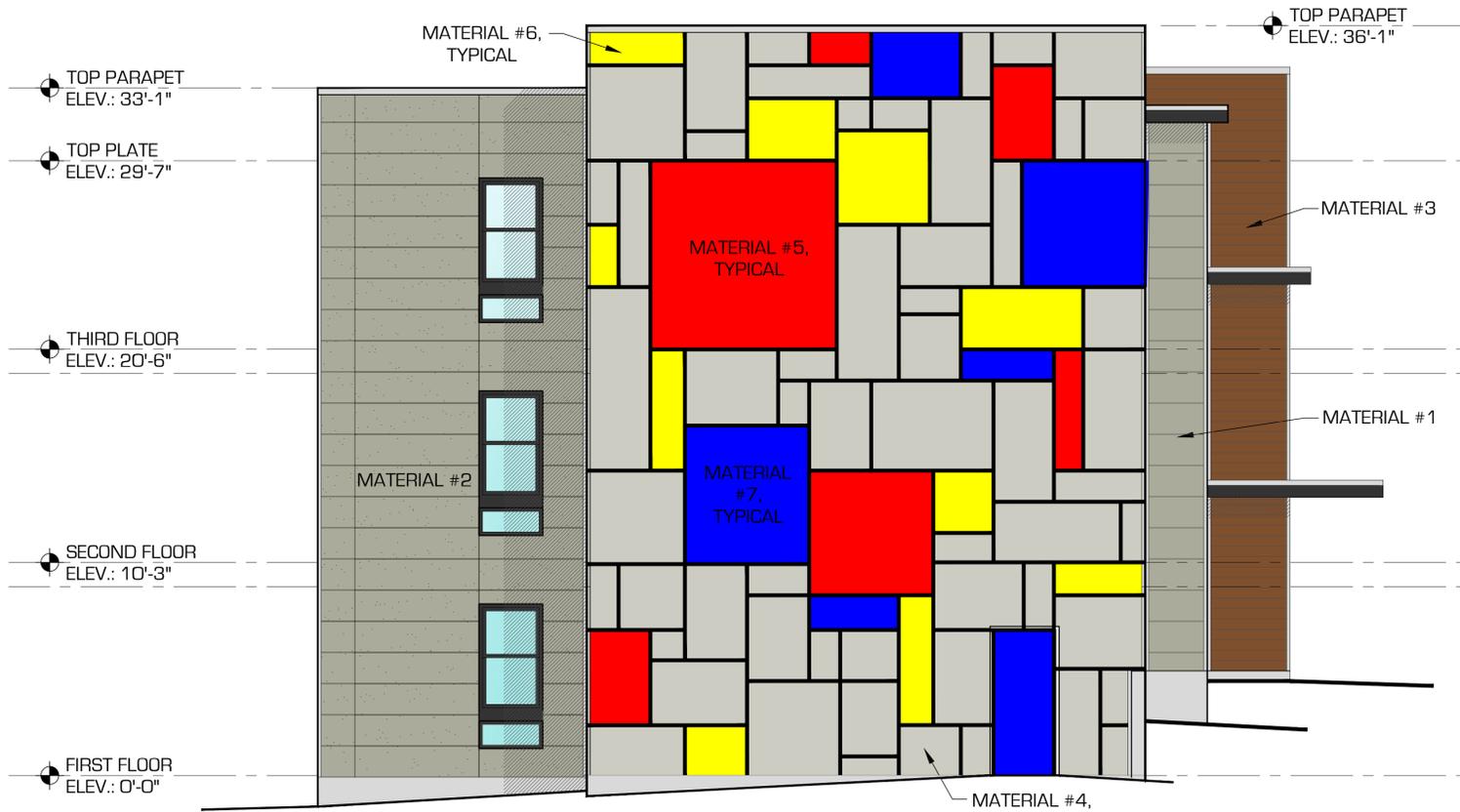
PROJECT NO.: 20007
 SCALE: AS NOTED
 DATE: 6.17.20
 DESIGNER: AJH
 CHECKED: AJH
 DRAWN BY: MH

SHEET NO.
DD.3



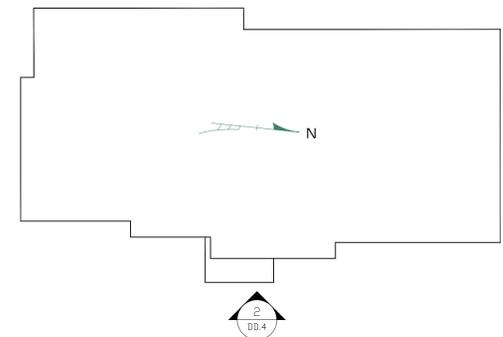
1 THIRD FLOOR PLAN
 DD.3 SCALE: 1/4" = 1'-0"

SPACE	2 BED HC	3 BED HC	2 BED	3 BED	COMMON	GROSS AREA	NET AREA	TOTAL GROSS AREA
UNIT 301			●			816 SF	734 SF	3507 SF
UNIT 302				●		984 SF	907 SF	
UNIT 303			●			778 SF	705 SF	
UNIT 304				●		929 SF	846 SF	
HALLWAY					●	60 SF		222 SF
STAIR					●	162 SF		
TOTALS		2	2			3729 SF		3729 SF



1 SOUTH
DD.4 SCALE: 1/4" = 1'-0"

LEGEND		
CALLOUT	PRODUCT	HATCH
MATERIAL #1	NICIHA ARCHITECTURAL BLOCK - GREY	
MATERIAL #2	NICIHA TUFFBLOCK - PEWTER	
MATERIAL #3	NICIHA VINTAGEWOOD - REDWOOD	
MATERIAL #4	HARDIPANEL - VERTICAL SIDING W/ SMOOTH FINISH - PEARL GRAY	
MATERIAL #5	HARDIPANEL - VERTICAL SIDING W/ SMOOTH FINISH - RED (PAINTED IN FIELD)	
MATERIAL #5	HARDIPANEL - VERTICAL SIDING W/ SMOOTH FINISH - YELLOW (PAINTED IN FIELD)	
MATERIAL #5	HARDIPANEL - VERTICAL SIDING W/ SMOOTH FINISH - BLUE (PAINTED IN FIELD)	



KEY PLAN



2 EAST
DD.4 SCALE: 1/4" = 1'-0"



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CLIENT:
**GARDEN HOMES
 MANAGEMENT**

PROJECT:
NEW BUILDING
 1116 HOPE STREET
 STAMFORD, CT

ARCHITECT'S SEAL:

**NEW BUILDING
 ELEVATIONS**

REVISIONS:

PROJECT NO.:	20007	SHEET NO.	DD.4
SCALE:	AS NOTED		
DATE:	8.26.20		
DESIGNER:	AJH		
CHECKED:	AJH		
DRAWN BY:	MH		



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PROJECT:
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 1116 HOPE STREET
 STAMFORD, CT

ARCHITECT'S SEAL:

**NEW BUILDING
 ELEVATIONS**

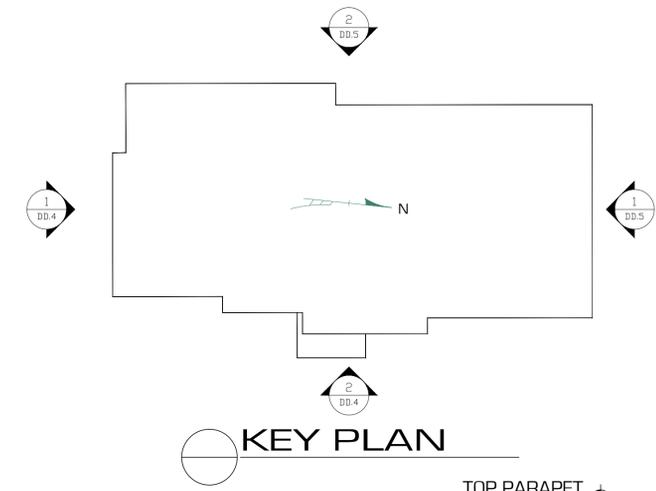
REVISIONS:

PROJECT NO.:	20007	SHEET NO.:	
SCALE:	AS NOTED	DD.5	
DATE:	8.26.20		
DESIGNER:	AJH		
CHECKED:	AJH		
DRAWN BY:	MH		

LEGEND		
CALLOUT	PRODUCT	HATCH
MATERIAL #1	NICIHA ARCHITECTURAL BLOCK - GREY	
MATERIAL #2	NICIHA TUFFBLOCK - PEWTER	
MATERIAL #3	NICIHA VINTAGEWOOD - REDWOOD	
MATERIAL #4	HARDIPANEL - VERTICAL SIDING W/ SMOOTH FINISH - PEARL GRAY	
MATERIAL #5	HARDIPANEL - VERTICAL SIDING W/ SMOOTH FINISH - RED (PAINTED IN FIELD)	
MATERIAL #5	HARDIPANEL - VERTICAL SIDING W/ SMOOTH FINISH - YELLOW (PAINTED IN FIELD)	
MATERIAL #5	HARDIPANEL - VERTICAL SIDING W/ SMOOTH FINISH - BLUE (PAINTED IN FIELD)	



1 NORTH
 DD.5 SCALE: 1/4" = 1'-0"



KEY PLAN



2 WEST
 DD.5 SCALE: 1/4" = 1'-0"

NO.	ISSUE	DATE
7		
6		
5		
4		
3		
2		
1	ISSUED	20.12.23

GARDEN HOMES
FOUNDATION
1114 HOPE STREET
STAMFORD, CT

PROJECT
LANDSCAPE
SITE PLAN AND
DETAILS

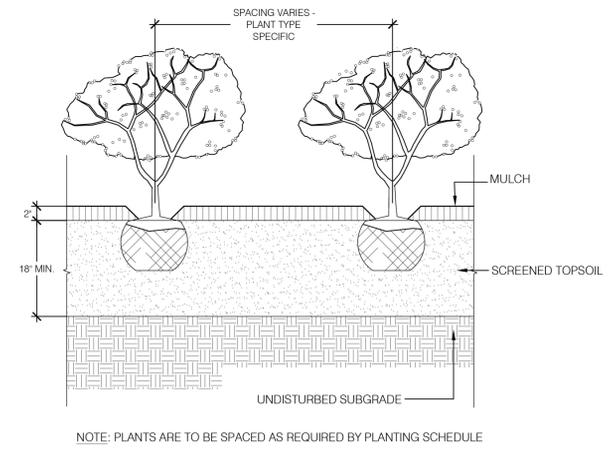
DATE
2020.12.23

SCALE
1"=20'-0"

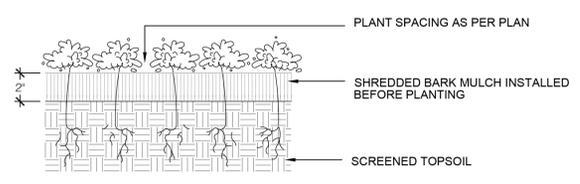
SPL-1.0

PLANTING SCHEDULE

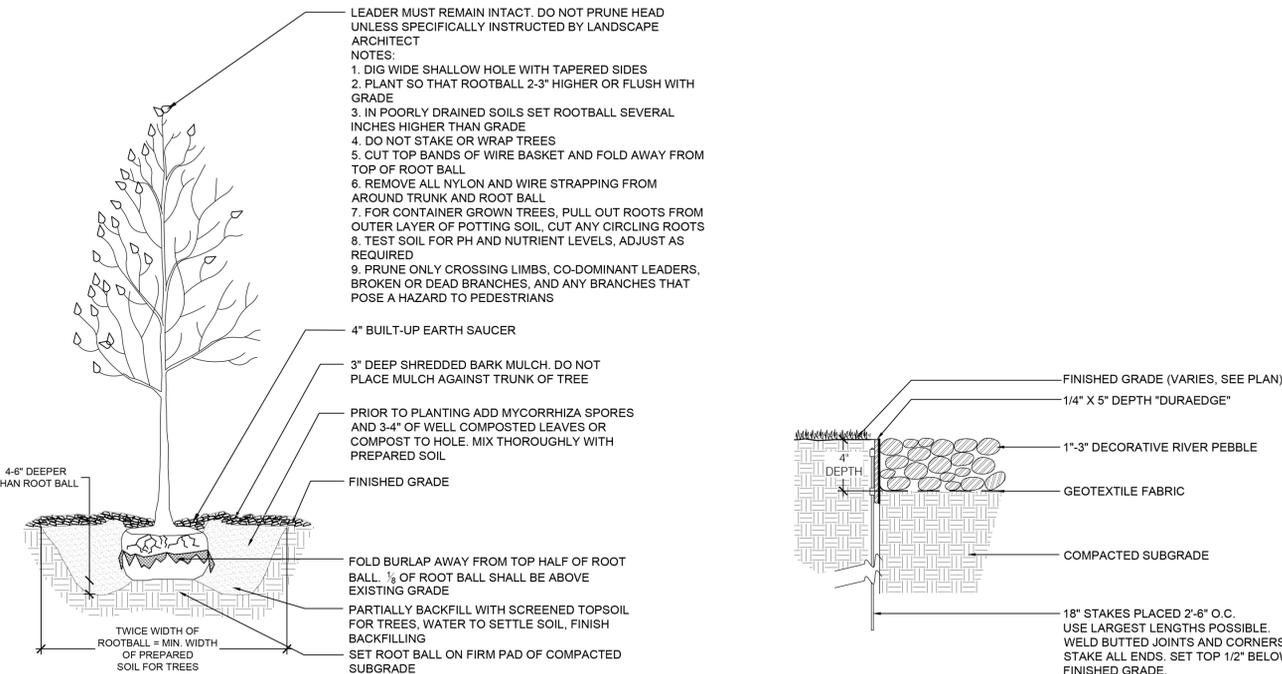
SYM	QTY.	BOTANICAL NAME	COMMON NAME	ROOT	MIN. SIZE	COMMENTS	MATURE SIZE
TREES							
AG	4	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	B&B	2.5-3" Cal.	Specimen, single trunk	15-20' H x 10-15' W
AS	1	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	B&B	3.5-4" Cal.	Full, Branching 6' clear	50-60' H x 40-50' W
LF	3	Liriodendron tulipifera 'Fastigiatum'	Columnar Tulip Tree	B&B	3.5-4" Cal.	Full, Branching 6' clear	40-50' H x 15-20' W
LT	1	Liriodendron tulipifera	Tulip Tree	B&B	3.5-4" Cal.	Full, Branching 6' clear	70-90' H x 35-50' W
MR	7	Quercus acutissima	Sawtooth Oak	B&B	3.5-4" Cal.	Full, Branching 6' clear	40-60' H x 40-60' W
SHRUBS							
IG	15	Ilex glabra 'Shamrock'	Shamrock Inkberry	B&B	24" H x 24" W	Full, Heavy	3-4' H x 3-4' W
PERENNIALS AND GROUNDCOVER							
IV	12	Itea virginica 'Henry's Garnet'	Henry's Garnet Sweetspire	CONT	#3		3-5' H x 4-6' W
LM	185	Liriope Muscari 'Big Blue'	Big Blue Lilyturf	CONT	#1	Spacing 18" O.C.	18-24" H x 18-24" W



2 TYPICAL SHRUB PLANTING SCALE: NTS

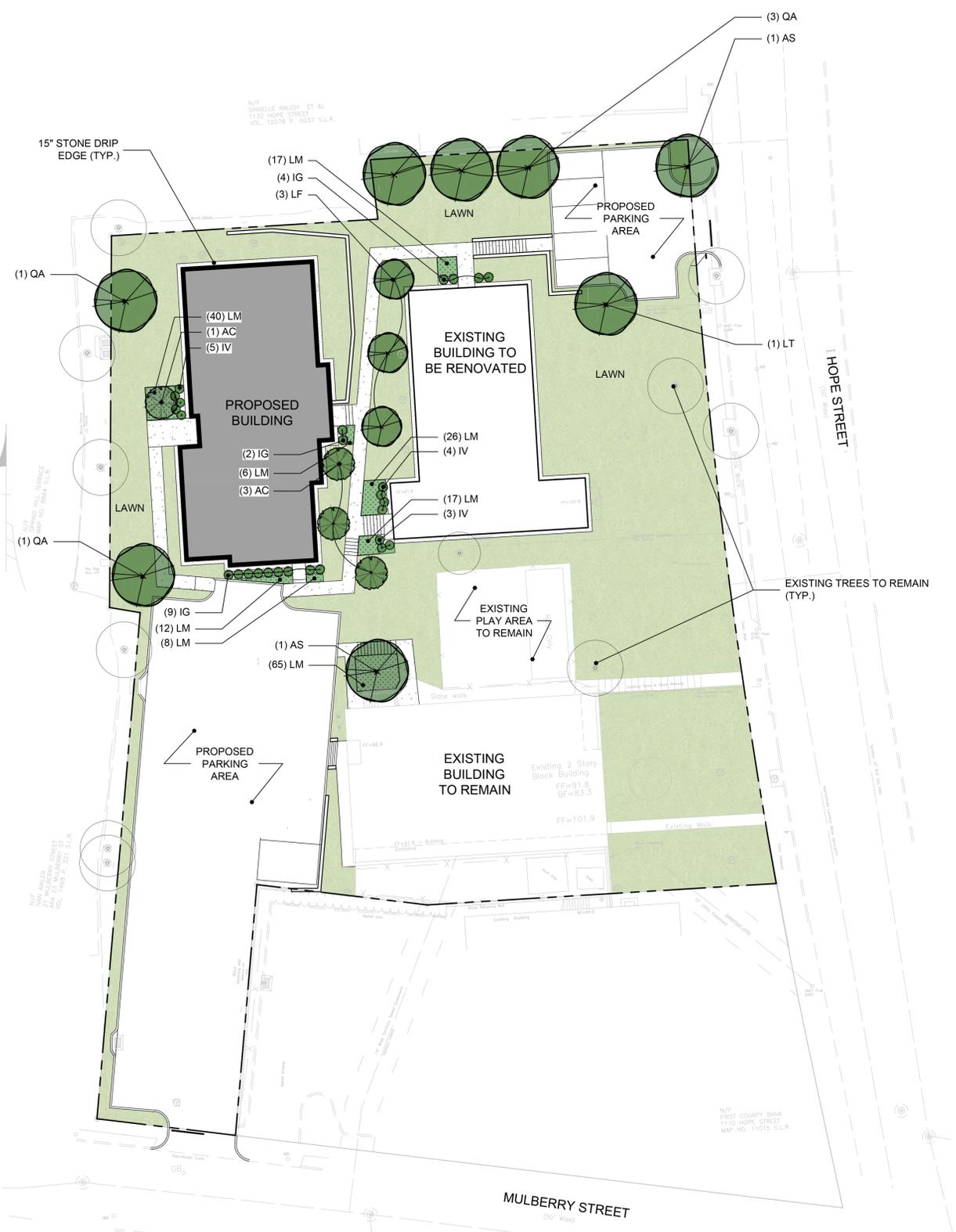


2 TYPICAL GROUNDCOVER PLANTING SCALE: NTS



4 TYPICAL TREE PLANTING SCALE: NTS

5 STONE DRIP EDGE SCALE: NTS



1 LANDSCAPE SITE PLAN
SPL-1.0

SCALE: 1"=20'-0"

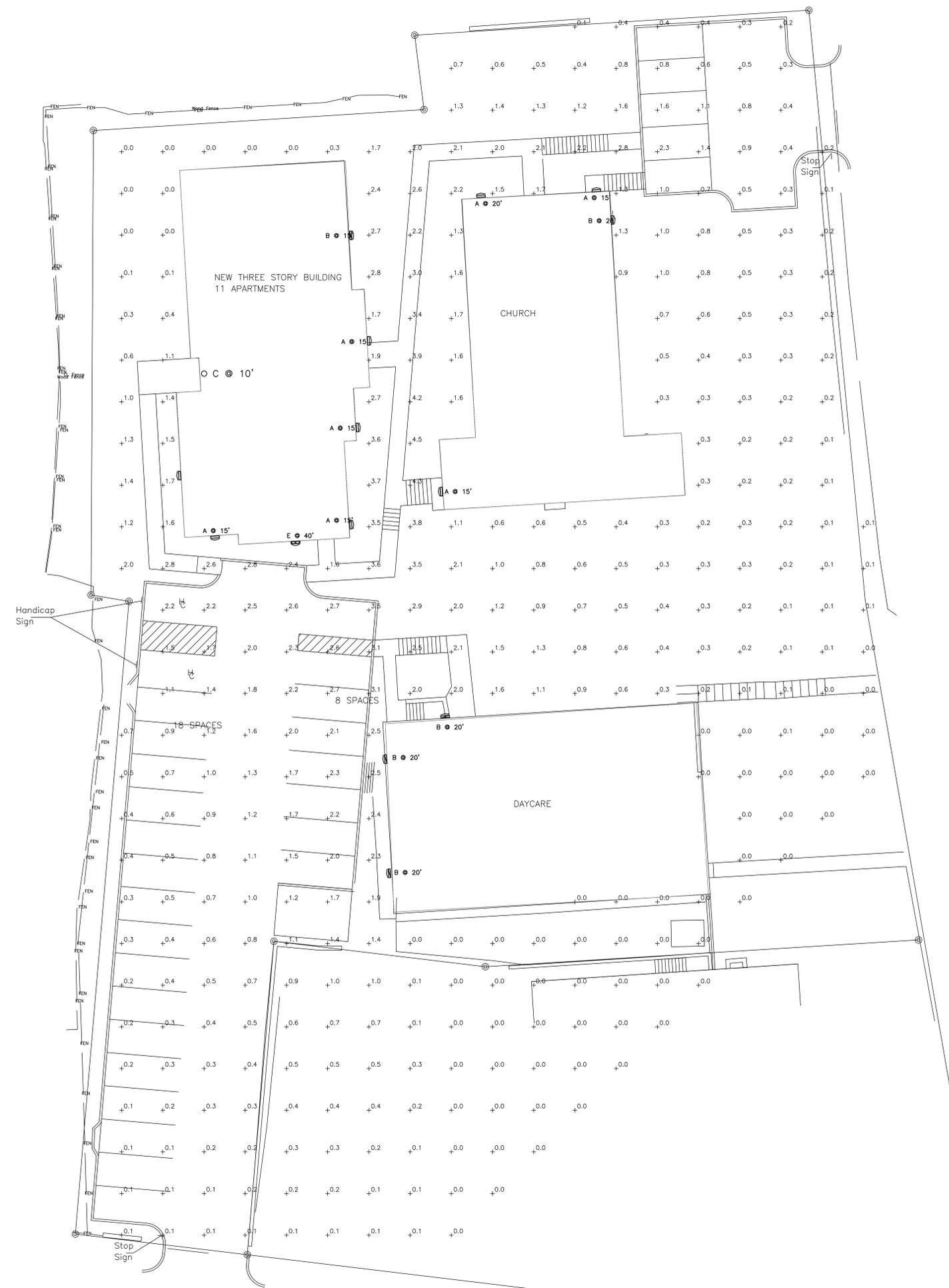
SCALE: NTS

SCALE: NTS

LIGHTING DESIGN AND PHOTOMETRIC ANALYSIS NOTES

- GENERAL:
1. THE LIGHT DESIGN PHILOSOPHY IS TO PROVIDE THE PROPER AMOUNT OF LIGHT IN THE SUBJECT AREAS WITHOUT ANY UNNECESSARY LIGHT IN OTHER AREAS.
 2. LIGHTING DESIGN IS BASED ON THE RECOMMENDATIONS OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA). IES IS THE PRIMARY LIGHTING AUTHORITY IN THE UNITED STATES. THE IES IS DEDICATED TO PROMOTING THE ART AND SCIENCE OF QUALITY LIGHTING TO ITS MEMBERS, ALLIED PROFESSIONAL ORGANIZATIONS, AND THE PUBLIC.
- SITE AND AREA DESCRIPTION:
- AREA TO BE LIGHTED: PARKING AND PEDESTRIAN WALKWAYS, STAIRS, BUILDING ENTRANCES AND EXITS, PARKING AND HANDICAP PARKING.
- SAFETY AND SECURITY OF AREA: ADDITIONAL LIGHTING NOT CONSIDERED FOR SAFETY AND SECURITY PURPOSE BEYOND NORMAL LEVELS.
- PEOPLE USING AREA: TYPICALLY, FAMILIES WITH CHILDREN.
- SURROUNDING AREA TYPE: RESIDENTIAL, COMMERCIAL, AND MIXED USE.
- EXISTING LIGHTING SURROUNDING AREA: HOPE ST WELL LIT. TO THE SOUTH, ALL COMMERCIAL USES WHICH ARE LIT ALL NIGHT LONG.
- FIXTURES AND LUMINAIRES:
3. THE BUILDING MOUNTED AREA LIGHT FIXTURES THAT ARE USED ON THIS PROJECT ARE FULL CUT-OFF. FULL CUT-OFF AS DESIGNATED BY IESNA REQUIRES A LUMINAIRE HAVING A LIGHT DISTRIBUTION IN WHICH ZERO CANDELA INTENSITY OCCURS AT OR ABOVE AN ANGLE OF 90° ABOVE NADIR. THESE FIXTURES HAVE FLAT LENSES WITH THE LIGHT ENGINES UP INSIDE THE FIXTURE SO THE LAMPING CANNOT BE SEEN AT DISTANCE AND LIGHT IS DIRECTED DOWN TO WHERE IT IS NEEDED.
 4. EACH FIXTURE IS LABEL WITH ITS TYPE AND MOUNTING HEIGHT ABOVE GROUND LEVEL IN FEET.
 5. FIXTURES THAT ARE SHOWN ON THE SITE PLAN DRAWING ARE SHOWN AT LEAST TWICE THEIR PHYSICAL SIZE FOR CLARITY, THE ACTUAL SIZE IS MUCH SMALLER. SEE FIXTURE CUT SHEETS FOR SPECIFIC DETAILS, THERE SIZES AND OTHER CHARACTERISTICS BASED ON THEIR PART NUMBER.
 6. LAMP LUMENS AND FIXTURE WATTS ARE PROVIDED FOR CODE.
- SOFTWARE AND REPORT:
7. THE SOFTWARE USED IS VISUAL PROFESSIONAL EDIION AND IS THE LATEST RELEASE. VISUAL IS A COMPREHENSIVE LIGHTING ANALYSIS TOOL DESIGNED FOR DEMANDING INTERIOR AND EXTERIOR APPLICATIONS.
 8. THIS PHOTOMETRIC REPORT HAS BEEN GENERATED USING METHODS RECOMMENDED BY THE IESNA. CALCULATIONS ARE BASED ON PHOTOMETRIC DATA PROVIDED BY THE MANUFACTURER, AND THE ACCURACY OF THIS PHOTOMETRIC REPORT IS DEPENDENT ON THE ACCURACY OF THE DATA PROVIDED. END-USER ENVIRONMENT AND APPLICATION (INCLUDING, BUT NOT LIMITED TO, VOLTAGE VARIATION AND DIRT ACCUMULATION) CAN CAUSE ACTUAL PHOTOMETRIC PERFORMANCE TO DIFFER FROM THE PERFORMANCE CALCULATED USING THE DATA PROVIDED WHICH IS BEYOND OUR CONTROL.
- RESULTS:
9. THE NUMERICAL RESULTS SHOWN ARE THE DIRECT LIGHT POWER IN FOOT CANDLES ON THE GROUND FROM FIXTURES SHOWN.
 10. ANALYSES RESULTS DO NOT INCLUDE OTHER OFF-SITE LIGHTING, SUCH AS STREET LIGHTING.

FIXTURE SCHEDULE						
Label	Catalog Number	Description	Lamp	File	Lamp Lumens	Lumen Multiplier/LLF/Watts
A	DSXWY LED 100-530-40K-T2M-MVOLT	DSXWY LED WITH (1) 10 LED LIGHT ENGINES TYPE T2S OPTIC 4000K @ 530ma	LED	DSXWY_LED_100_530_40K_T2S_MVOLT.es	2265.114	1 1 19.1
B	DSXWY LED 200-530-40K-T2M-MVOLT	DSXWY LED WITH (2) 10 LED LIGHT ENGINES TYPE T2M OPTIC 4000K @ 530ma	LED	DSXWY_LED_200_530_40K_T2M_MVOLT.es	4287.338	1 1 34.9
C	FAMIL 7-840	7" VERSULITE LED FLUSH MOUNT WITH MATTE WHITE ACRYLIC DIFFUSER AND 4000K LEDS	LED	FAMIL_7_840.es	655.6751	1 1 9.33
E	DSXWY LED 300-1000-40K-TPTM-MVOLT	DSXWY LED WITH 3 LIGHT ENGINES 30 LED's 1000ma DRIVER 4000K LED TYPE FORWARD THROW MEDIUM OPTIC	LED	DSXWY_LED_300_1000_40K_TPTM_MVOLT.es	11120.27	1 1 100



1 PHOTOMETRIC AND LIGHT SITE PLAN
 SCALE: 1/8" = 1'-0"

CLIENT:
GARDEN HOMES MANAGEMENT

**29 KNAPP STREET
 STAMFORD, CT 06907**

PROJECT:
**1114 HOPE ST
 SPRINGDALE
 SITE LIGHTING
 HOPE ST
 STAMFORD, CT**

CONSULTANTS:
KUEGLER ASSOCIATES
 consulting engineers

**ELECTRICAL
 LIGHTING PLAN WITH ANALYSIS
 SITE**

PROJECT: 1114 HOPE ST
 DATE: 10/08/20
 CHECKED: ERK
 DRAWN BY: XXX

E100