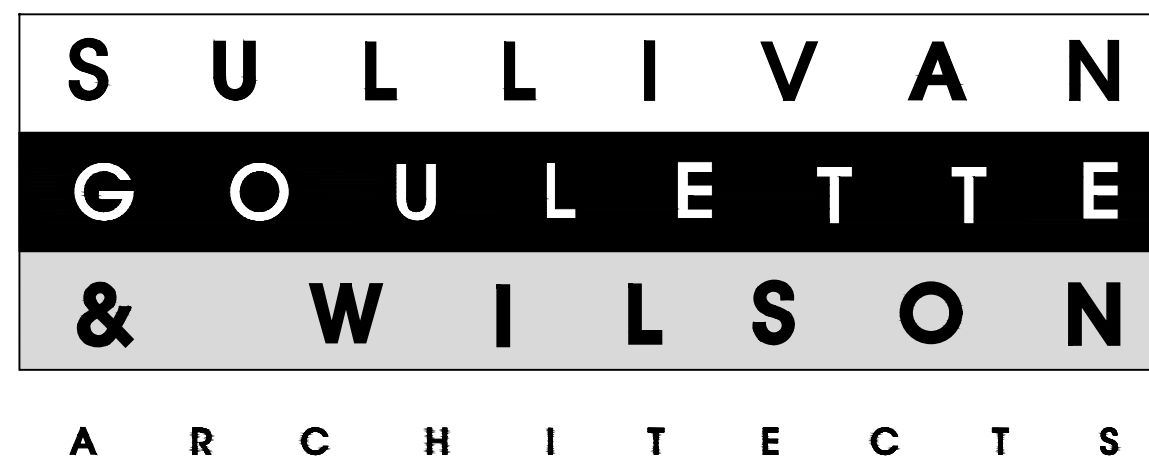


NEW FULLY SPRINKLERED, 3-STORY
CLIMATE CONTROLLED SELF-STORAGE
FACILITY (S-1) W/ ACCESSORY OFFICE (B)
TYPE II-A CONSTRUCTION
AT

535 HOPE STREET
STAMFORD, CONNECTICUT 06906



ARCHITECT:



ARCHITECT:
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CHICAGO, IL 60611
TEL: (312) 988-7412
FAX: (312) 988-7409
www.sgwarch.com

CIVIL ENGINEER:
RVDI & DS&E, PE
SIX NEIL LANE
PO BOX 549
TEL: (203) 637-1779
FAX: (203) 637-1770

DEVELOPER:
SAFEGUARD SELF STORAGE
1522 OLD COUNTRY ROAD
PLAINVIEW, NEW YORK 11803
TEL: (631) 539-0200
FAX: (631) 539-0206
www.safeguarditf.com

LANDSCAPE ARCHITECT:
ENVIRONMENTAL LAND SOLUTIONS, LLC
8 KNIGHT STREET, SUITE 203
NORWALK, CT 06851
COMPANY ADDRESS
TEL: (203) 855-7879
FAX: (203) 855-7836

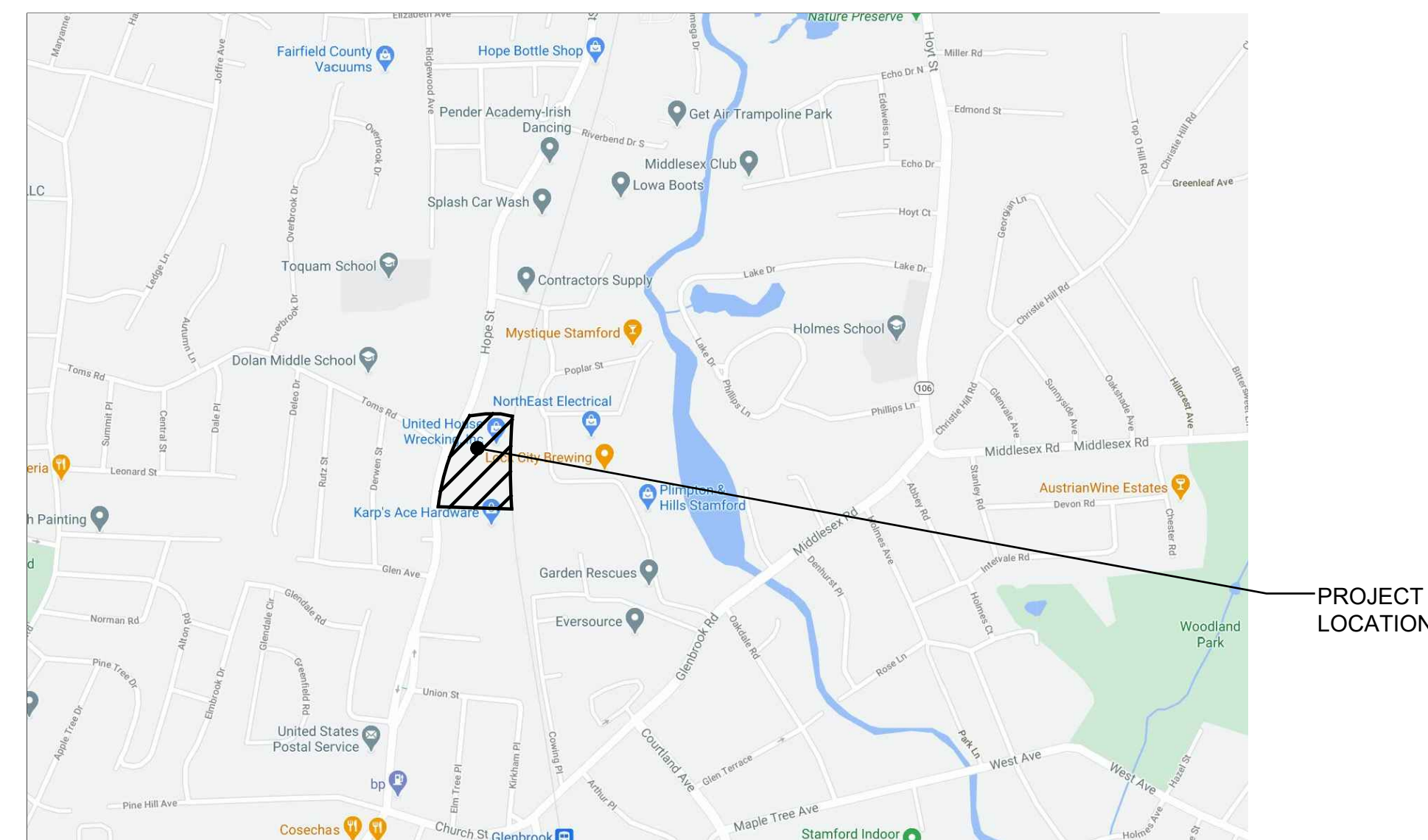
ABBREVIATIONS

ALT	ALTERNATE	ELECT	ELECTRICAL	MULL	MULLION
AC	AIR CONDITIONING	EL	ELEVATION	NIC	NOT IN CONTRACT
AF	ABOVE FINISHED FLOOR	EJ	EXPANSION JOINT	NTS	NOT TO SCALE
AL	ALUMINUM	EP	EPOXY PAINT	OC	ON CENTER
ARF	ABOVE RAISED FLOOR	EQ	EQUAL	OFCI	OWNER FURNISHED, CONTRACTOR TO INSTALL
AT	ACOUSTIC TILE	EXIST	EXISTING	OPP	OPOSITE
BD	BOARD	EXP	EXPOSED	PNT	PAINT
BLD	BUILDING	EXT	EXTERIOR	PR	PAIR
BLKG	BLOCKING	EWC	ELECTRIC WATER COOLER	PLAM	PLASTIC LAMINATE
BO	BOTTOM OF	FEC	FIRE EXTINGUISHER CABINET	PL	PLATE
BR	BRUSHED	FHC	FIRE HOSE CABINET	QT	QUARRY TILE
BRG	BEARING	FN	FINISH	RAD	RADIUS
CA	CLEAR ANODIZED	FD	FLOOR DRAIN	R	RISER
CAB	CABINET	FLR	FLOOR	RH	RIGHT HAND
CPT	CARPET	FOM	FACE OF MASONRY TO FACE OF MASONRY	REQ'D	REQUIRED
CL	CENTERLINE	FTG	FOOTING	RO	ROUGH OPENING
CLG	CEILING	GA	GAUGE	SB	SANDBLAST
CJ	CONTROL JOINT	GALV	GALVANIZED	SC	SOLID CORE
CMU	CONC. MASONRY UNIT	GB	GYPSPUM BOARD	SCHD	SCHEDULE
CONC	CONCRETE	GL	GLASS	SM	SHEET METAL
CONT	CONTINUOUS	HDWD	HARDWOOD	SMT	SHEET
CI	CAST IRON	HDWR	HARDWARE	SIM	SIMILAR
CO	CLEAN OUT	HM	HOLLOW METAL	SS	STAINLESS STEEL
CW	COLD WATER	HR	HOUR	STD	STANDARD
CP	CEMENT PLASTER	HT	HEIGHT	THK	THICK
CT	CERAMIC TILE	HW	HOT WATER	TRANS	TRANSPARENT
DF	DRINKING FOUNTAIN	INT	INTERIOR	T	TREAD
DIA	DIAMETER	INSUL	INSULATION	TO	TOP OF
DIM	DIMENSION	JT	JOINT	T & G	TONGUE AND GROOVE
DN	DOWN	LC	LIGHTWEIGHT CONC.	TYP	TYPICAL
DS	DOWNSPOUT	LAM	LAMINATED	UNO	UNLESS NOTED OTHERWISE
DET	DETAIL	LAV	LAVATORY	VCT	VINYL COMPOSITION TILE
DW	DRY WALL	LH	LEFT HAND	VIF	VERIFY IN FIELD
DWG	DRAWING	MFR	MANUFACTURER	WD	WOOD
EA	EACH	MO	MASONRY OPENING	WP	WALL PHONE
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	MWK	MILLWORK	WWF	WELDED WIRE FABRIC
		MTL	METAL		

LEGEND

	ROOM NAME/NUMBER TAG		RCP ELEVATION TAG		GLASS (ELEV.)
	FLOOR TAG		SMOKE DETECTOR		GLASS (SECT.)
	DRAWING REVISION TAG		CARBON MONOXIDE DETECTOR		MORTAR, GROUT, THINSET OR CEMENT
	NOTE TAG		NEW PARTITION - SEE PLANS FOR TYPE		GYPSPUM BOARD
	DOOR TAG (See A5-# series dwgs)		EXISTING CONSTRUCTION TO BE REMOVED		METAL LATH & PLASTER
	WINDOW TAG (See A5-# series dwgs)		EXISTING N.I.C.		PLYWOOD
	WALL TYPE (See A4-# series dwgs)		STEEL		QUARRY TILE OR CERAMIC TILE
	DETAIL #		ACOUSTIC TILE		RIGID INSULATION
	DWG #		ALUMINUM		STEEL
	ELEVATION #		BATT. INSUL. OR SOUND ATTN. BLANKET		TERRAZZO
	INTERIOR ELEVATION TAG		BRICK (PLAN & SECTION)		WOOD STYLE
	EXTERIOR ELEVATION TAG		BRICK (ELEV.)		WOOD-ROUGH OR FRAMING
	SECTION #		CONCRETE		2 x 2 LAY-IN ACOUSTICAL TILE CEILING
	SECTION TAG		CONCRETE MASONRY UNIT (C.M.U.)		GYP. BD. CLG./SOFFIT
	EXISTING DOOR TO REMAIN		EXISTING DOOR TO REMAIN		

LOCATION MAP



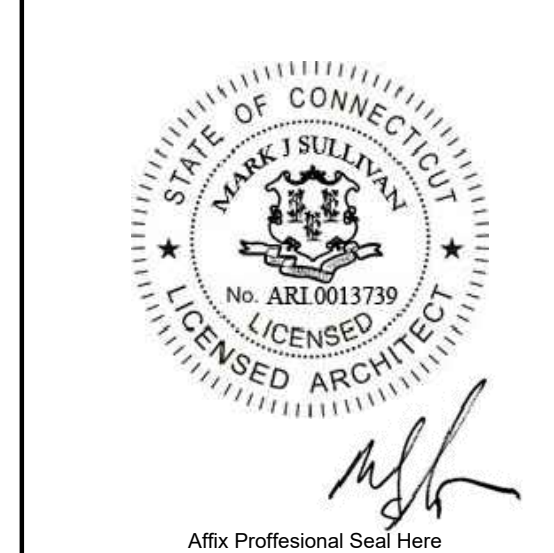
DRAWING INDEX

DWG#	DESCRIPTION	CITY OF STAMFORD SUBMITTAL ISSUED: 04/15/2021	CITY OF STAMFORD RESUBMITTAL ISSUED: 06/18/2021	STAMFORD ZONING REVISIONS ISSUED: 07/19/2021
GENERAL				
G0-00	TITLE SHEET & DRAWING INDEX	•	•	•
G0-01	ZONING DATA	•	•	•
CIVIL				
C-0	COVER SHEET	•	•	•
C-01	TOPOGRAPHIC SURVEY - "EXISTING CONDITIONS"	•	•	•
C-1	DEMOLITION PLAN	•	•	•
C-2	SITE GRADING & LAYOUT PLAN	•	•	•
C-3	STORM DRAINAGE & UTILITY PLAN	•	•	•
C-4	SEDIMENTATION & EROSION CONTROL PLAN	•	•	•
C-5	NOTES & DETAILS	•	•	•
C-6	DETAILS	•	•	•
C1-1	LOW-IMPACT DEVELOPMENT PLAN	•	•	•
LANDSCAPE				
LP-1	LANDSCAPE PLAN	•	•	•
ARCHITECTURAL				
A0-01	ARCHITECTURAL SITE PLAN	•	•	•
A1-01	FIRST & SECOND FLOOR PLAN	•	•	•
A1-02	THIRD FLOOR & ROOF PLAN	•	•	•
A2-01	WEST & NORTH BUILDING ELEVATIONS	•	•	•
A2-02	EAST & SOUTH BUILDING ELEVATIONS	•	•	•
A2-03	BUILDING PERSPECTIVES	•	•	•

NOT FOR CONSTRUCTION

07/19/21 - ISSUED FOR REVIEW

THE DRAWINGS COMPLY WITH THE FOLLOWING
STAMFORD CONNECTICUT MUNICIPAL CODES:
2018 Connecticut State Building Code
2015 International Mechanical Code
2015 International Plumbing Code
2017 National Electric Code
2015 International Plumbing Code
2015 International Energy Conservation Code
2009 ICC Accessibility Code



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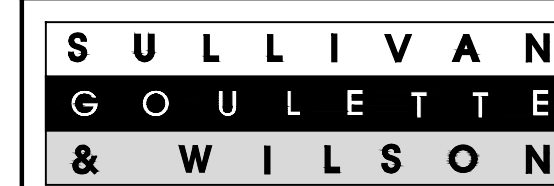
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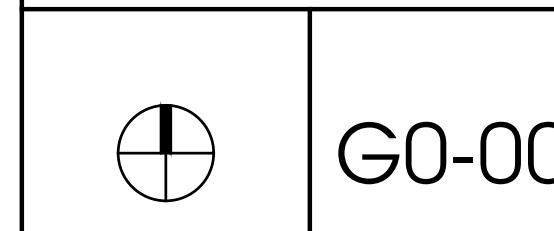


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535 HOPE STREET

STAMFORD, CONNECTICUT 06906

TITLE SHEET & DRAWING INDEX





Building Data

4/8/2021

	ESTIMATED EFFICIENCY	F.A.R. [SF]	GROSS AREA [SF]
Level 1			
Office [SF]		799.0	799.0
Loading [SF]		1,960.0	1,960.0
Storage Area [SF]		39,572.0	39,572.0
Core [SF]		869.0	869.0
Building Use [SF]		933.0	933.0
Floor Total	72%	44,133.0	44,133.0
Level 2-3			
Storage Area [SF]		43,264.0	43,264.0
Core [SF]		869.0	869.0
Per Floor Total	78.4%	44,133.0	44,133.0
Level 2-3 Totals	78.4%	88,266.0	88,266.0
Scheme Totals	76.2%	132,399.00	132,399.00

Notes:



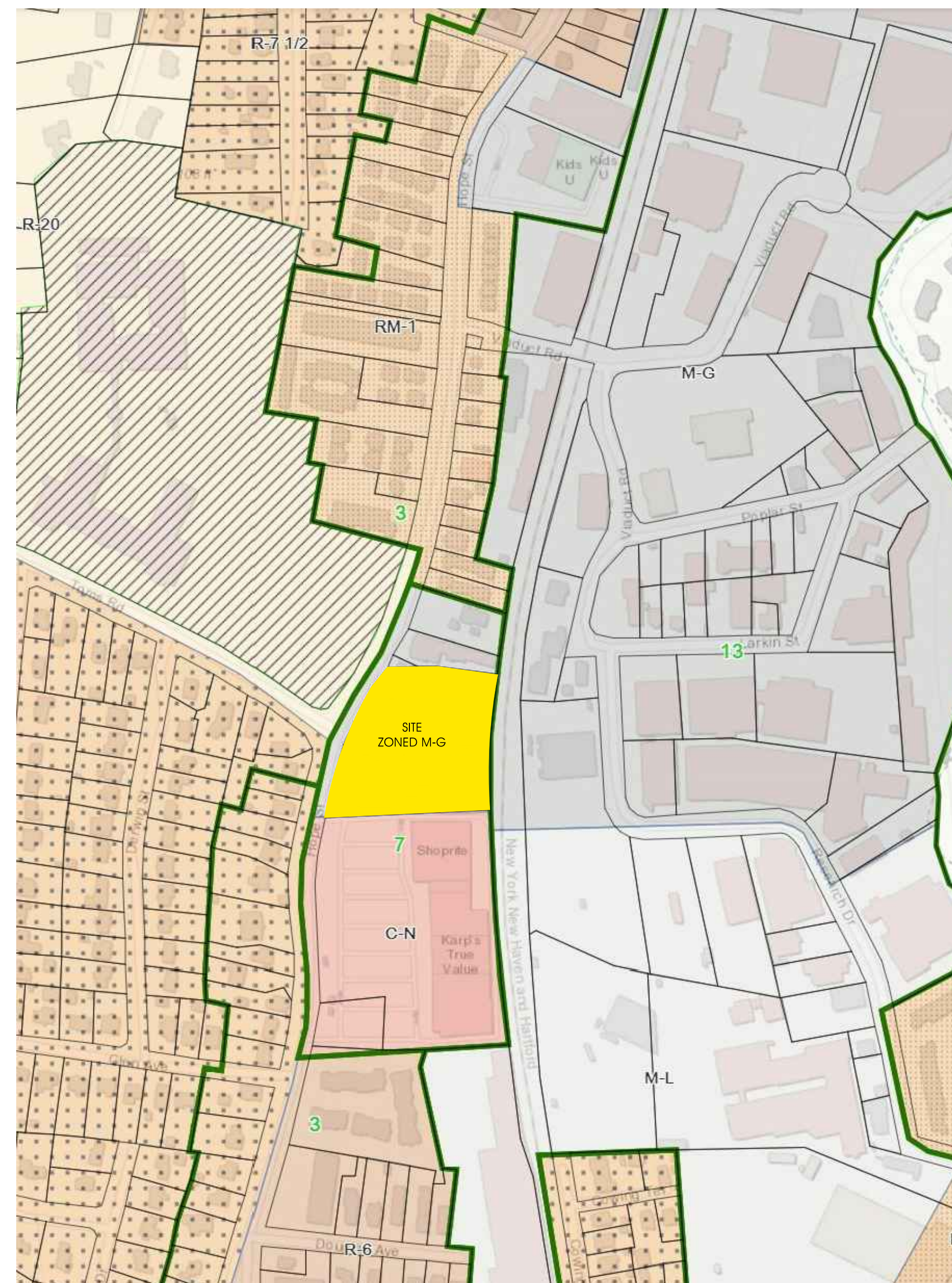
Zoning Data

535 Hope Street | Stamford, Connecticut 06906

6/18/2021

CITY OF STAMFORD ZONING ORDINANCE

BULK & DENSITY	EXISTING ZONING	VARIANCES	PROPOSED PROJECT
Lot Area [SF]	106,069		106,069
Zoning District	M-G General Industrial		M-G General Industrial
Use Group	186 - Storage Building		186 - Storage Building
Maximum Floor Area Ratio Above Grade [F.A.R.]	1.25		Actual Ratio [F.A.R.] 1.25
Maximum Area Allowed by F.A.R. Above Grade	132,586.3		Actual Area [F.A.R.] 132,399.0
Maximum Floor Area Ratio Below Grade [F.A.R.]	0.5		Actual Ratio [F.A.R.] 0.0
Maximum Area Allowed by F.A.R. Below Grade	53,034.5		Actual Area [F.A.R.] 0.0
Maximum Building Coverage [%]	80%		Actual Lot Coverage[%] 42%
Maximum Building Coverage [SF]	84,855.2		Actual Lot Coverage[Sf] 44,133.0
YARDS/HEIGHT			
Required Yards [ft]	Front - Street Line	25'-0"	Proposed 31'-3"
	Front - Street Center	35'-0"	Proposed 60'-10"
	Side [Minimum One Side]	0'-0"	Proposed 33'-3"
	Rear	15'-0"	Proposed 45'-1"
Maximum Building Height [ft]	50'-0"		Proposed 40'-0"
COMMERCIAL PARKING/LOADING			
Required Off Street Parking Spaces	Int. Storage - 1 per 5,000 SF		Int. Storage 117,593 / 5,000 = 24
	Ext. Storage - 1 per 2,000 SF Retail - 4 per 1,000 SF	Provided	Ext. Storage - 11,947 / 2,000 = 6 Retail - 799 / 1,000 x 4 = 4 Total Parking Spaces = 34 spaces
Required Accessible Parking Spaces	1 per 25 spaces	Provided	2.0
Required Off Street Loading	0-100,000 SF = 1 berth +100,000 = 2 berths	Provided	2.0
Required Bicycle Parking	TBD	Provided	4.0
LANDSCAPING			
Tree Requirements	Street	TBD	See LP.1
	Site	TBD	See LP.1
Signs	Location	Front Wall / Ground	Wall / Ground
	Quantity	1 Front / 1 Ground	2 / 1
	Size	1'-6" SF per each lineal foot of the building frontage / 50 SF & 10'-0" in length	235'-2" x 1'-6" = 352.5 SF Max Wall Sign - 276 SF Blade Sign - 76 SF Ground Sign - 40 SF
	Height	No Limit / 21'-0"	27'-0" / 6'-0"
Vehicular Use Area Landscaping	Yes		Yes
Trash Area Screening Required	Required		Screened
ADDITIONAL			
Architectural Standards	Yes		
Flood Zone / Criteria	Zone - X		
Easements	Yes - See Survey		



NO	DATE	ISSUE DESCRIPTION
2	06/18/2021	CITY OF STAMFORD ZONING REVISIONS
1	04/15/2021	CITY OF STAMFORD ZONING RESUBMITTAL

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GC BY: DRAWN BY: JW

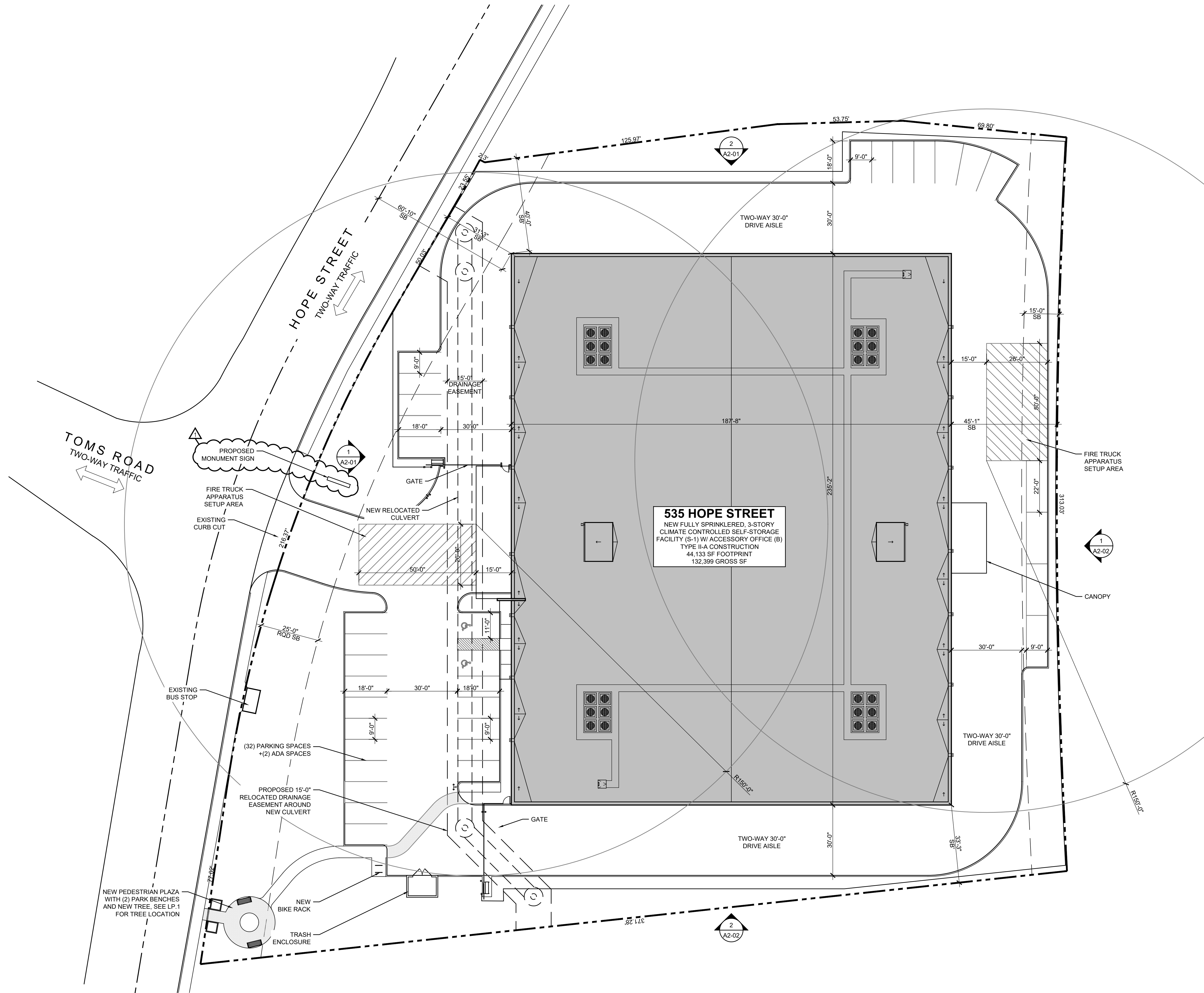
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STAMFORD, CONNECTICUT 06906

ZONING DATA

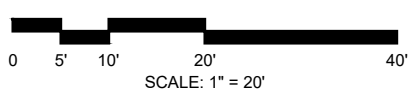


535 HOPE STREET
 NEW FULLY SPRINKLERED, 3-STORY
 CLIMATE CONTROLLED SELF-STORAGE
 FACILITY (S-1) W/ ACCESSORY OFFICE (B)
 TYPE II-A CONSTRUCTION
 44,133 SF FOOTPRINT
 132,399 GROSS SF

1 SITE PLAN
 SCALE: 1" = 20'-0"

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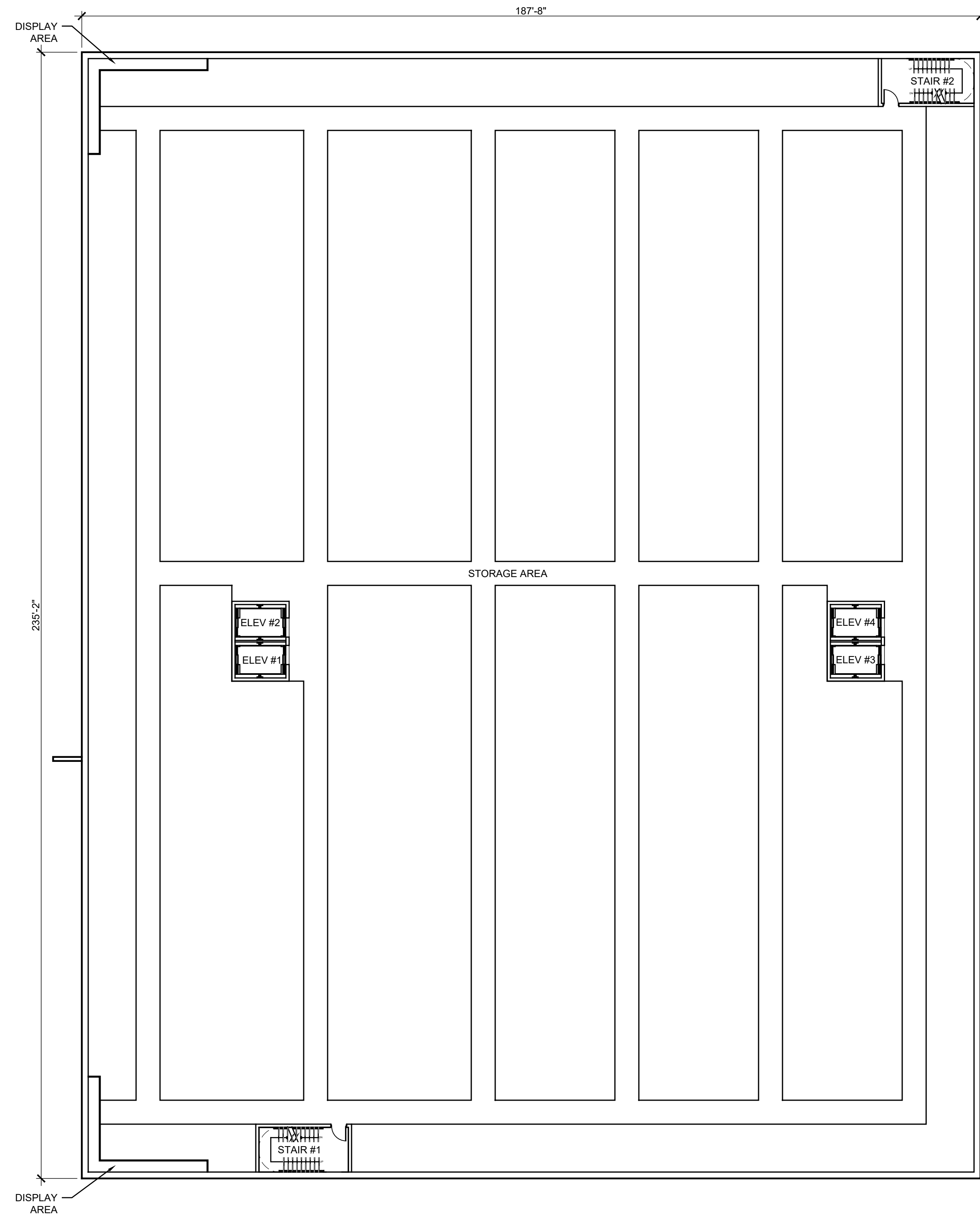
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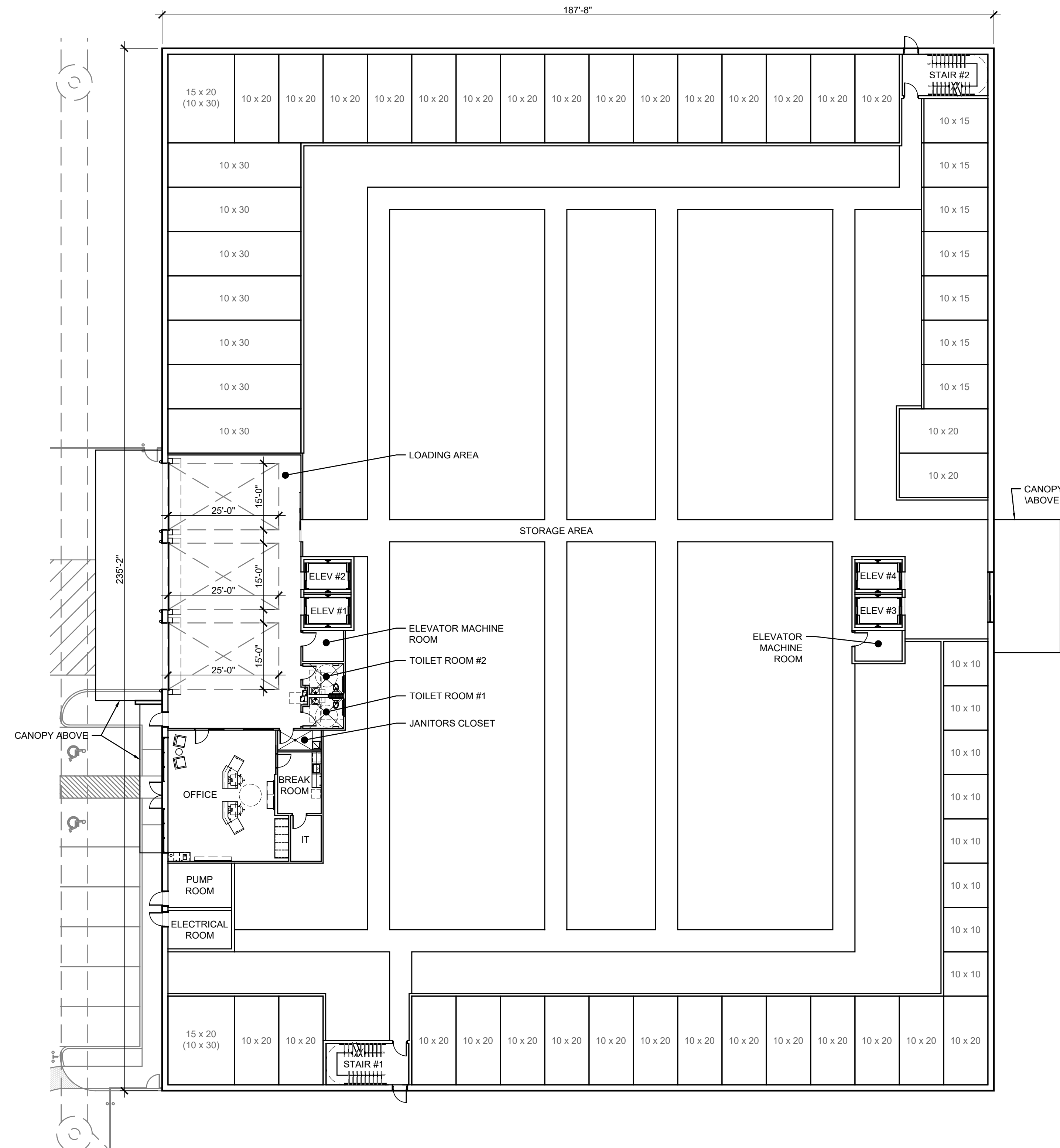
SITE PLAN



A0-01



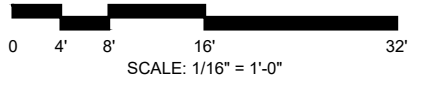
2 SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"



1 GROUND FLOOR PLAN
SCALE: 1/16" = 1'-0"

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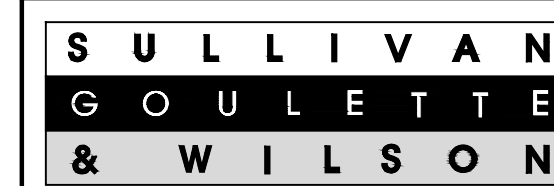
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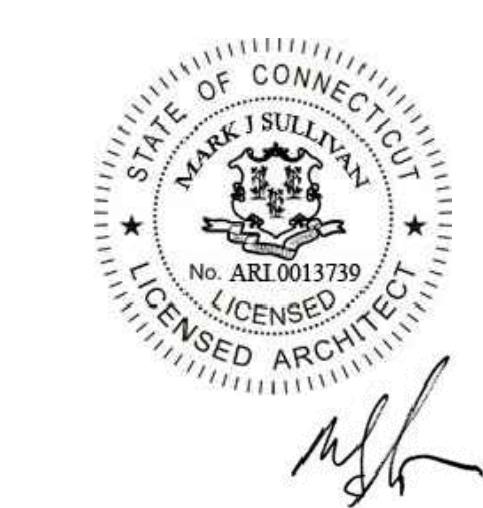
GROUND & SECOND FLOOR PLAN



A1-01

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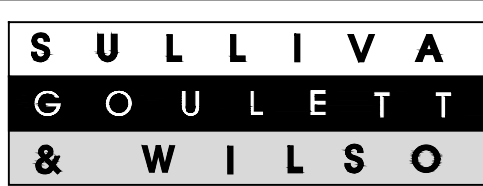
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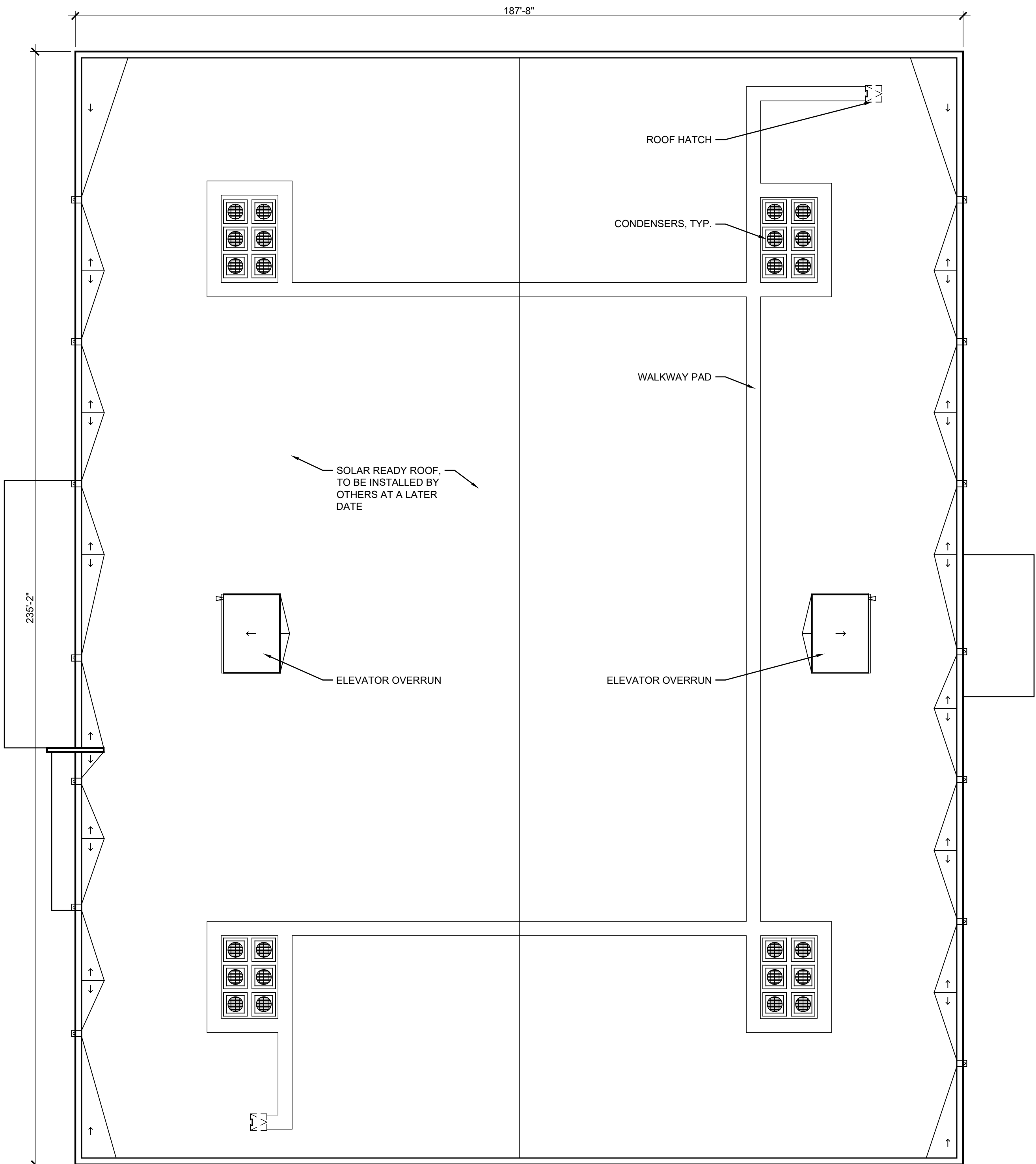
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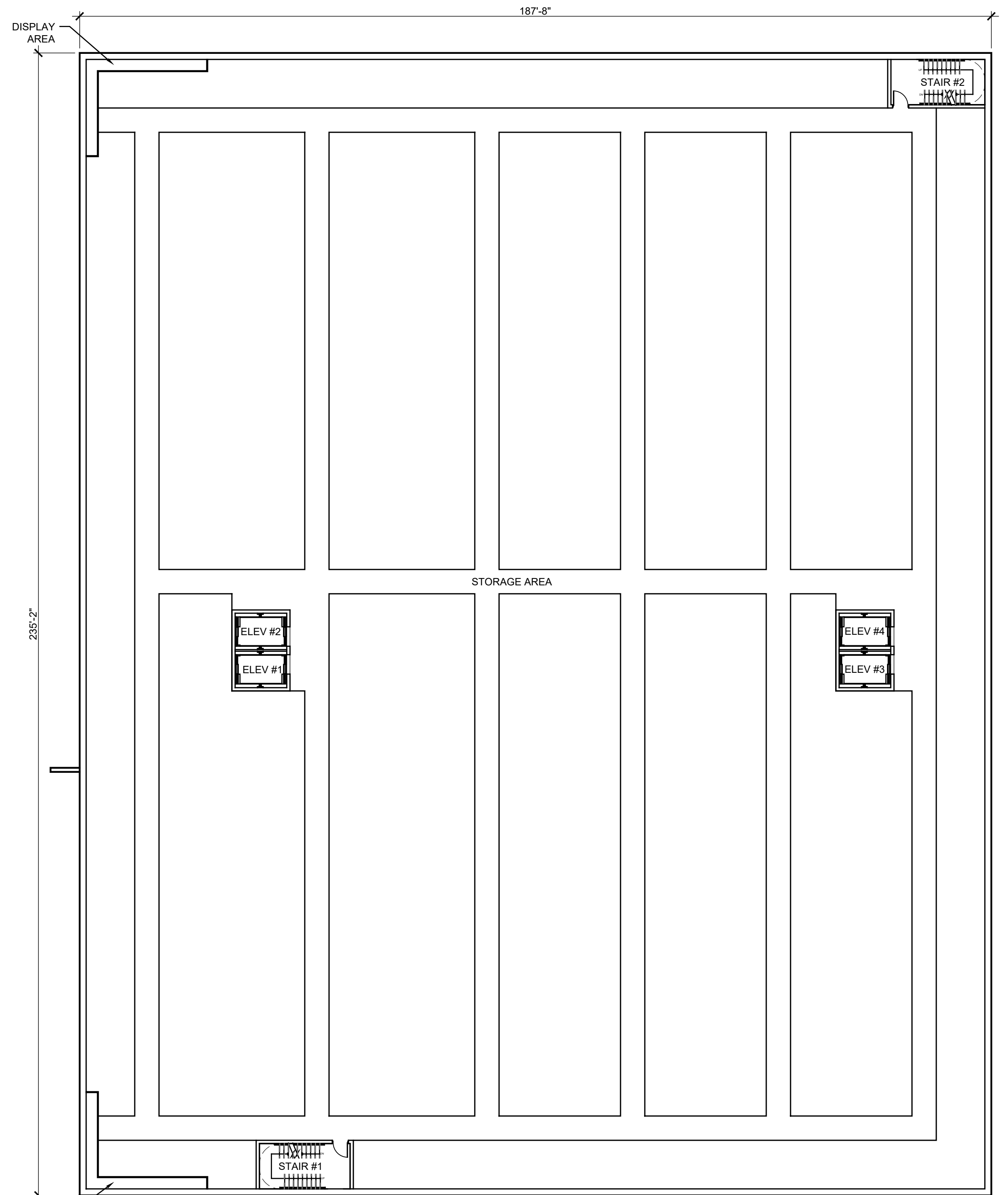
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THIRD FLOOR PLAN & ROOF PLAN



2 ROOF PLAN
SCALE: 1/16" = 1'-0"



1 THIRD FLOOR PLAN
SCALE: 1/16" = 1'-0"

SIGNAGE NOTE
 THE ALLOWED SIGNAGE SQUARE FOOTAGE IS BASED ON 1.5 SF PER EACH LINAL FOOT OF THE BUILDING FRONTAGE.

235'-2" x 1'-6" = 352.5 SF MAXIMUM ALLOWED

WALL SIGN = 276 SF
 BLADE SIGN = 38 SF PER SIDE = 76 SF
 TOTAL = 352 SF

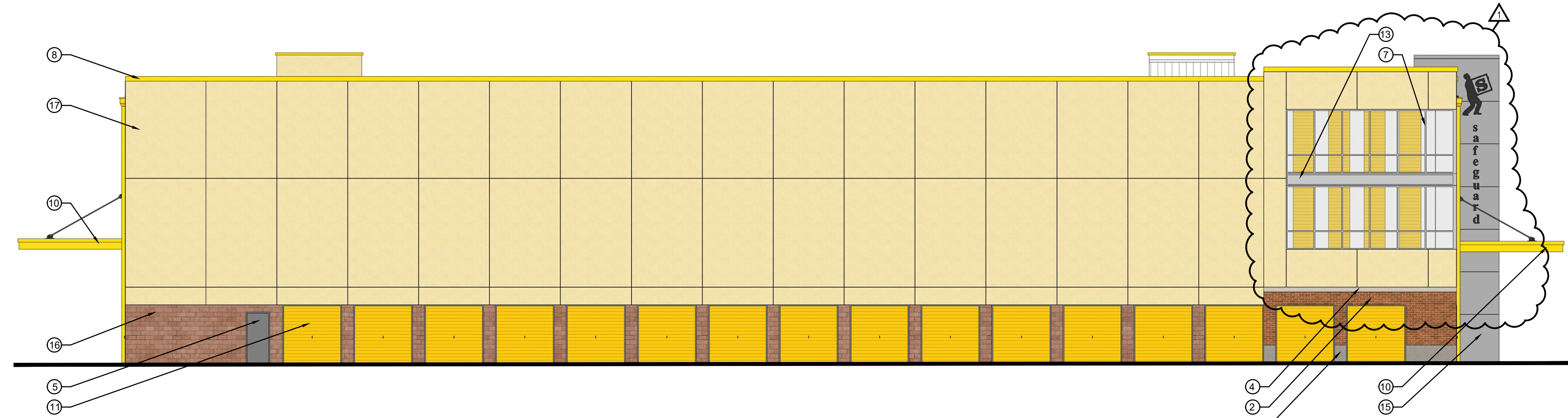
KEY NOTE MATERIAL LEGEND
 NOTE: KEYED NOTES BELOW APPLY TO MULTIPLE SHEETS AND MAY NOT BE APPLICABLE TO THIS SHEET

- ① RENAISSANCE STONE BASE
- ② UTILITY BRICK - COLOR: GLEN GERY WALNUT VELOUR
- ③ EFIS - 310 ESSENCE FINE SAND - COLOR TO MATCH SHERWIN WILLIAMS 'EXTRA WHITE', SW 7006
- ④ RENAISSANCE STONE BAND
- ⑤ METAL DOOR AND FRAME - COLOR TO MATCH SHERWIN WILLIAMS 'GULL WING GRAY', #2314-50
- ⑥ HIGH SPEED OVERHEAD DOOR - COLOR: CLEAR ANODIZED FINISH
- ⑦ STOREFRONT WINDOW SYSTEM - COLOR: CLEAR ANODIZED FINISH
- ⑧ PRE-FINISHED ALUMINUM COPING - COLOR TO MATCH SHERWIN WILLIAMS 'CONFIDENT YELLOW', SW 6911
- ⑨ PRE-FINISHED ALUMINUM DOWNSPOUTS - COLOR TO MATCH SHERWIN WILLIAMS 'CONFIDENT YELLOW', SW 6911
- ⑩ PAINTED METAL CANOPY - COLOR TO MATCH SHERWIN WILLIAMS 'CONFIDENT YELLOW', SW 6911
- ⑪ ROLL UP DOORS - COLOR TO MATCH SHERWIN WILLIAMS 'CONFIDENT YELLOW', SW 6911
- ⑫ METAL TRIM - COLOR TO MATCH SHERWIN WILLIAMS 'CONFIDENT YELLOW', SW 6911
- ⑬ BRAKE METAL SPANDREL - COLOR TO MATCH STOREFRONT
- ⑭ STANLEY SLIDING DOOR - COLOR: CLEAR ANODIZED FINISH
- ⑮ SMOOTH METAL PANEL BLADE SIGN - COLOR SILVER METALLIC
- ⑯ SMOOTH FACED PAINTED CMU - COLOR TO MATCH GLEN-GERY WALNUT VELOUR
- ⑰ EFIS - 310 ESSENCE FINE SAND - COLOR TO MATCH SHERWIN WILLIAMS 'LANTERN LIGHT', SW 6687

COLOR LEGEND

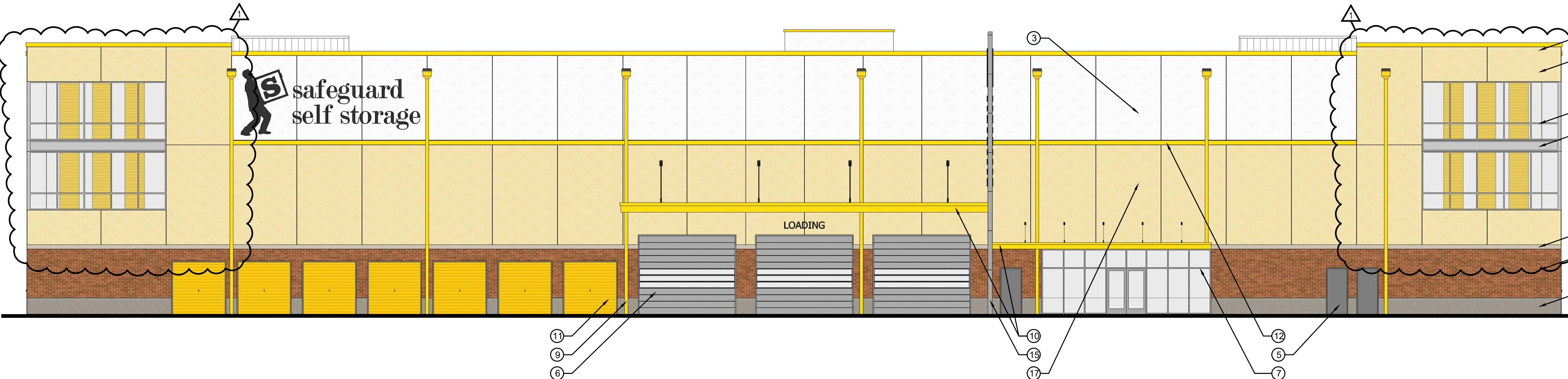
- EXTRA WHITE SHERWIN WILLIAMS SW 7006
- UTILITY BRICK GLEN-GERY WALNUT VELOUR
- GULL WING GRAY BENJAMIN MOORE 2314-50
- CLEAR ANODIZED FINISH
- CONFIDENT YELLOW SHERWIN WILLIAMS SW 6911
- SMOOTH FACED PAINTED CMU PAINT TO MATCH GLEN-GERY WALNUT VELOUR
- LANTERN LIGHT SHERWIN WILLIAMS SW 6687

- T/ PARAPET EL: +40'-8"
- T/ ROOF EL: +40'-0"
- THIRD FLOOR EL: +27'-8"
- SECOND FLOOR EL: +17'-0"
- GRADE EL: +0'-0"



2 NORTH ELEVATION
 SCALE: 3/32" = 1'-0"

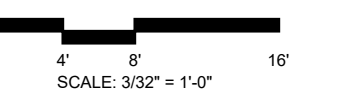
- T/ PARAPET EL: +40'-8"
- T/ ROOF EL: +40'-0"
- THIRD FLOOR EL: +27'-8"
- SECOND FLOOR EL: +17'-0"
- GRADE EL: +0'-0"



1 WEST ELEVATION
 SCALE: 3/32" = 1'-0"

NOT FOR CONSTRUCTION

07/19/21 - ISSUED FOR REVIEW



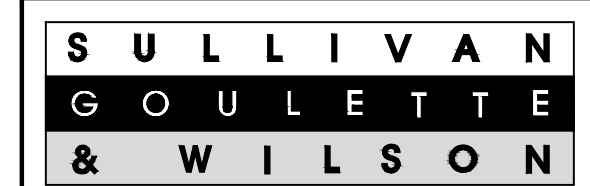
NO	DATE	ISSUE DESCRIPTION
1	04/15/2021	CITY OF STAMFORD ZONING SUBMITTAL
2	06/18/2021	CITY OF STAMFORD ZONING RESUBMITTAL
2	06/18/2021	CITY OF STAMFORD ZONING REVISIONS
1	07/19/2021	CITY OF STAMFORD ZONING REVISIONS

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CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS.

PRINCIPAL: MS P.M.: CM
 QC BY: DRAWN BY: JW



ARCHITECTS
 444 N MICHIGAN AVE
 SUITE 1850
 CHICAGO, IL 60611
 Ph 312.988.7412
 Fx 312.988.7409
 www.sgwarech.com

PROFESSIONAL DESIGN FIRM
 License Number: 184-001505
 Expiration Date: April 30, 2021

535 HOPE STREET

STAMFORD, CONNECTICUT 06906

WEST & NORTH ELEVATIONS

SIGNAGE NOTE
 THE ALLOWED SIGNAGE SQUARE FOOTAGE IS BASED ON 1.5 SF PER EACH LINAL FOOT OF THE BUILDING FRONTAGE.

235'-2" x 1'-6" = 352.5 SF MAXIMUM ALLOWED

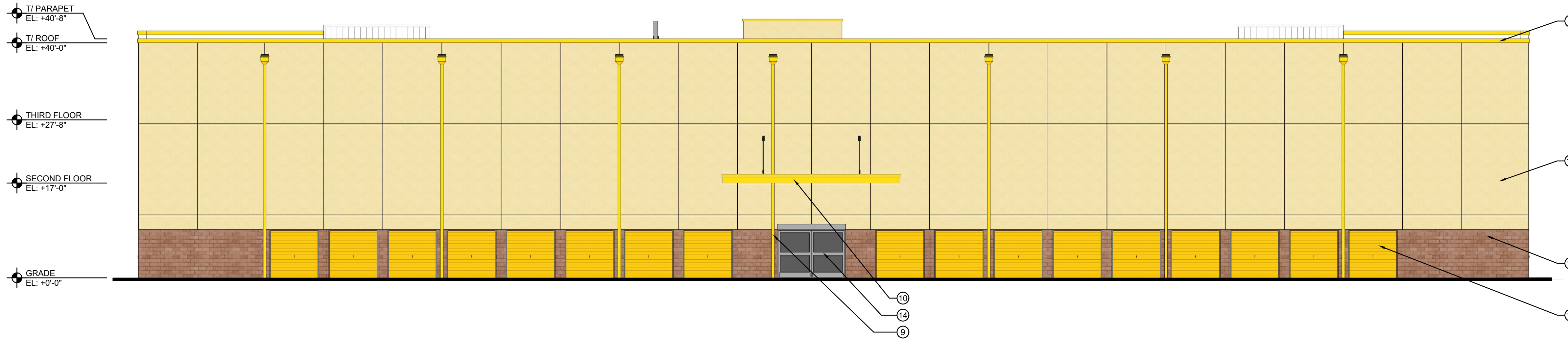
WALL SIGN = 276 SF
 BLADE SIGN = 38 SF PER SIDE = 76 SF
 TOTAL = 352 SF

KEY NOTE MATERIAL LEGEND
 NOTE: KEYED NOTES BELOW APPLY TO MULTIPLE SHEETS AND MAY NOT BE APPLICABLE TO THIS SHEET

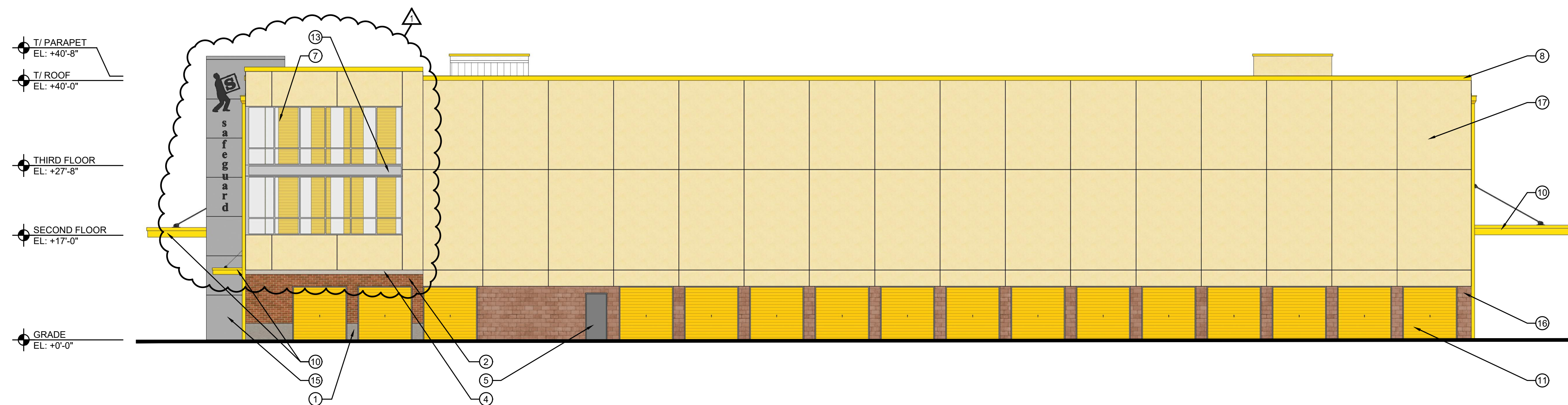
- ① RENAISSANCE STONE BASE
- ② UTILITY BRICK - COLOR: GLEN GERY WALNUT VELOUR
- ③ EFIS - 310 ESSENCE FINE SAND - COLOR TO MATCH SHERWIN WILLIAMS 'EXTRA WHITE', SW 7006
- ④ RENAISSANCE STONE BAND
- ⑤ METAL DOOR AND FRAME - COLOR TO MATCH BENJAMIN MOORE 'GULL WING GRAY', #2314-50
- ⑥ HIGH SPEED OVERHEAD DOOR - COLOR: CLEAR ANODIZED FINISH
- ⑦ STOREFRONT WINDOW SYSTEM - COLOR: CLEAR ANODIZED FINISH
- ⑧ PRE-FINISHED ALUMINUM COPING - COLOR TO MATCH SHERWIN WILLIAMS 'CONFIDENT YELLOW', SW 6911
- ⑨ PRE-FINISHED ALUMINUM DOWNSPOUTS - COLOR TO MATCH SHERWIN WILLIAMS 'CONFIDENT YELLOW', SW 6911
- ⑩ PAINTED METAL CANOPY - COLOR TO MATCH SHERWIN WILLIAMS 'CONFIDENT YELLOW', SW 6911
- ⑪ ROLL UP DOORS - COLOR TO MATCH SHERWIN WILLIAMS 'CONFIDENT YELLOW', SW 6911
- ⑫ METAL TRIM - COLOR TO MATCH SHERWIN WILLIAMS 'CONFIDENT YELLOW', SW 6911
- ⑬ BRAKE METAL SPANDREL - COLOR TO MATCH STOREFRONT
- ⑭ STANLEY SLIDING DOOR - COLOR: CLEAR ANODIZED FINISH
- ⑮ SMOOTH METAL PANEL BLADE SIGN - COLOR SILVER METALLIC
- ⑯ SMOOTH FACED PAINTED CMU - COLOR TO MATCH GLEN-GERY WALNUT VELOUR
- ⑰ EFIS - 310 ESSENCE FINE SAND - COLOR TO MATCH SHERWIN WILLIAMS 'LANTERN LIGHT', SW 6687

COLOR LEGEND

- EXTRA WHITE SHERWIN WILLIAMS SW 7006
- UTILITY BRICK GLEN-GERY WALNUT VELOUR
- GULL WING GRAY BENJAMIN MOORE 2314-50
- CLEAR ANODIZED FINISH
- CONFIDENT YELLOW SHERWIN WILLIAMS SW 6911
- SMOOTH FACED PAINTED CMU PAINT TO MATCH GLEN-GERY WALNUT VELOUR
- LANTERN LIGHT SHERWIN WILLIAMS SW 6687



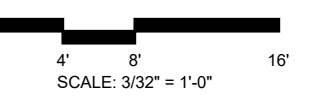
2 EAST ELEVATION
 SCALE: 3/32" = 1'-0"



1 SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"

NOT FOR CONSTRUCTION

07/19/21 - ISSUED FOR REVIEW



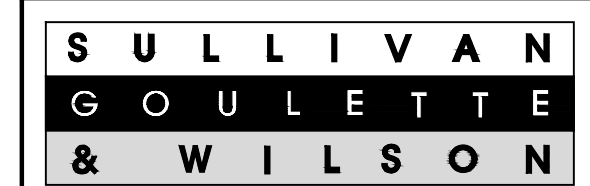
NO	DATE	ISSUE DESCRIPTION
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CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS.

PRINCIPAL: MS P.M.: CM
 QC BY: DRAWN BY: JW



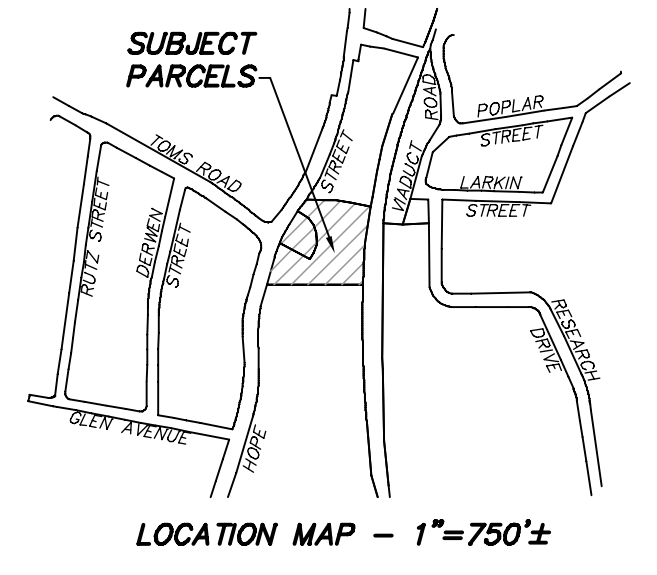
444 N MICHIGAN AVE
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535 HOPE STREET

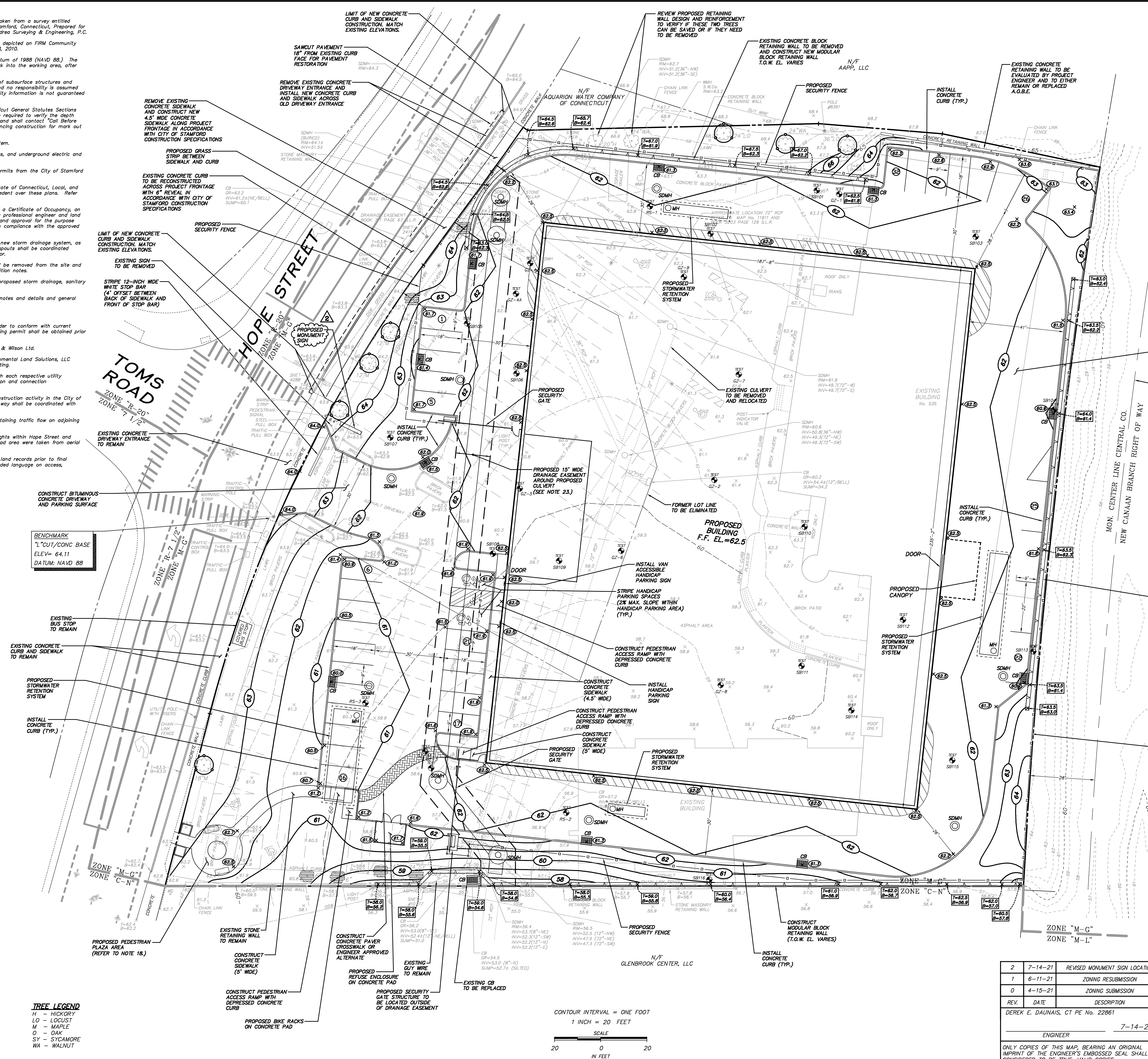
STAMFORD, CONNECTICUT 06906

EAST & SOUTH ELEVATIONS



- GENERAL NOTES:**
- Boundary information, existing features, and topography were taken from a survey entitled "Topographic Survey Depicting 535 and 523 Hope Street in Stamford, Connecticut, Prepared for Hope Street, LLC" dated March 31, 2021, as prepared by D'Andrea Surveying & Engineering, P.C.
 - The subject parcel does not lie within a Flood Hazard Zone as depicted on FIRM Community Panel 0901C0509F, published by FEMA, effective date June 18, 2010.
 - Elevations shown are based on the North American Vertical Datum of 1988 (NAVD 88.) The contractor shall coordinate the transfer of a control benchmark into the working area, after site preparation is complete, by a licensed surveyor.
 - The information given on this plan in respect to the location of subsurface structures and utilities indicates only that the structures and utilities exist and no responsibility is assumed by the engineer for the accuracy of the locations shown. Utility information is not guaranteed complete or accurate.
 - In accordance with Connecticut Public Act 87-71 and Connecticut General Statutes Sections 16-345 through 16-356, the owner or the contractor shall be required to verify the depth and location of all utilities prior to commencing construction, and shall contact "Call Before You Dig, Inc." at 1-800-922-4455, 48 hours prior to commencing construction for mark out of underground utilities.
 - This site is served by the City of Stamford sanitary sewer system.
 - This site is served by the Aquarion Water Company, natural gas, and underground electric and telecom services.
 - The contractor shall be responsible for securing all required permits from the City of Stamford for completion of the project.
 - All construction shall comply with applicable sections of the State of Connecticut, Local, and International Building Codes, and those criteria shall take precedent over these plans. Refer to Sheets 5 and 6 of 6 for construction notes and details.
 - Upon completion of construction and prior to the issuance of a Certificate of Occupancy, an "As-Built" map and certification letter shall be prepared by a professional engineer and land surveyor and submitted to the Engineering Bureau for review and approval for the purpose of confirming that construction was completed substantially in compliance with the approved plans as amended from time to time.
 - Roof drains from the proposed building shall be tied into the new storm drainage system, as depicted on the plan. Final locations of the roof drain downspouts shall be coordinated between the architect, the project engineer, and the contractor.
 - All existing buildings, driveways, and miscellaneous debris shall be removed from the site and disposed of legally. Refer to Sheet 2 of 6 for general demolition notes.
 - Refer to Sheet 3 of 6 for a depiction and description of all proposed storm drainage, sanitary sewer, and utility installations and connections.
 - Refer to Sheet 4 of 6 for sedimentation and erosion control notes and details and general construction staging notes.
 - Refer to Sheet 5 of 6 for City of Stamford Standard Notes.
 - The proposed building shall be designed by an architect in order to conform with current applicable zoning setback criteria and regulations, and a building permit shall be obtained prior to commencing construction.
 - Refer to Architectural Plans as prepared by Sullivan, Goulette & Wilson Ltd.
 - Refer to Landscape Architectural Plans as prepared by Environmental Land Solutions, LLC for final design of proposed landscaping and exterior site lighting.
 - All utility relocations and installations shall be coordinated with each respective utility company prior to construction. Coordinate all utility installation and connection specifications with each respective utility company.
 - A "Street Opening Permit" must be obtained prior to any construction activity in the City of Stamford right-of-way. All construction within the right-of-way shall be coordinated with the City of Stamford Engineering Bureau.
 - The Contractor shall be responsible for coordinating and maintaining traffic flow on adjoining roadways throughout the project.
 - Depicted locations of lane markings, crosswalks, and traffic lights within Hope Street and edge of road and sidewalks along the opposite side of the road area were taken from aerial photography and are for informational purposes only.
 - Easement map and document shall be filed on the Stamford land records prior to final Certificate of Occupancy. The easement document shall include language on access, maintenance, and repair.

- LEGEND**
- 30' --- EXISTING CONTOUR
 - 30' --- EXISTING OFF-SITE CONTOUR (TAKEN FROM CITY GIS)
 - x 30.0 EXISTING SPOT ELEVATION
 - x 30.0 EXISTING TOP/BOTTOM SPOT ELEVATION
 - x 30.0 PROPOSED CONTOUR
 - x 30.0 PROPOSED SPOT ELEVATION
 - x 30.0 PROPOSED TOP/BOTTOM SPOT ELEVATION
 - DECIDUOUS TREE
 - TREE TO BE REMOVED
 - TREE PROTECTION
 - SIGN
 - UTILITY POLE
 - GAS GATE
 - WATER GATE
 - LIGHT POST
 - TRAFFIC SIGNAL
 - CLEANOUT
 - OVERHEAD SERVICE WIRES
 - CB CATCH BASIN
 - DS ROOF LEADER DOWNSPOUT
 - SDMH STORM DRAIN MANHOLE
 - WMH WATER MANHOLE
 - PVC POLYVINYL CHLORIDE
 - RCP REINFORCED CONCRETE PIPE AS ORDERED BY ENGINEER
 - V.I.F. VERIFY IN FIELD
 - T.O.W. TOP OF WALL
 - G --- UNDERGROUND UTILITY SERVICE: E-ELECTRIC, G-GAS, T-TELECOM, W-WATER
 - PROPERTY LINE
 - TEST BORING
 - PROPOSED PARKING SPACE
- TREE LEGEND**
- H - HICKORY
 - LO - LOCUST
 - M - MAPLE
 - O - OAK
 - SY - SYCAMORE
 - WA - WALNUT

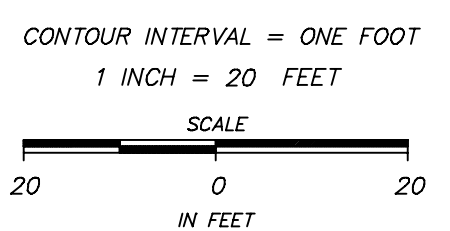


D'ANDREA SURVEYING & ENGINEERING, P.C.
LAND PLANNERS
ENGINEERS
SURVEYORS
P.O. BOX 549
RIVERSIDE, CT 06878
6 NEIL LANE
TEL. 637-1779

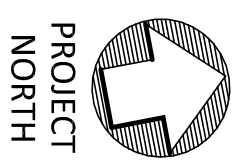
PROJECT	COMMERCIAL DEVELOPMENT
PREPARED FOR	HOPE STREET, LLC
LOCATION	535 & 523 HOPE STREET STAMFORD, CONNECTICUT
	SITE GRADING AND LAYOUT PLAN

REV.	DATE	DESCRIPTION
2	7-14-21	REVISED MONUMENT SIGN LOCATION
1	6-11-21	ZONING RESUBMISSION
0	4-15-21	ZONING SUBMISSION
REV.	DATE	DESCRIPTION
	DEREK E. DAUNAS, CT PE No. 22861	
	7-14-21	ENGINEER

ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.



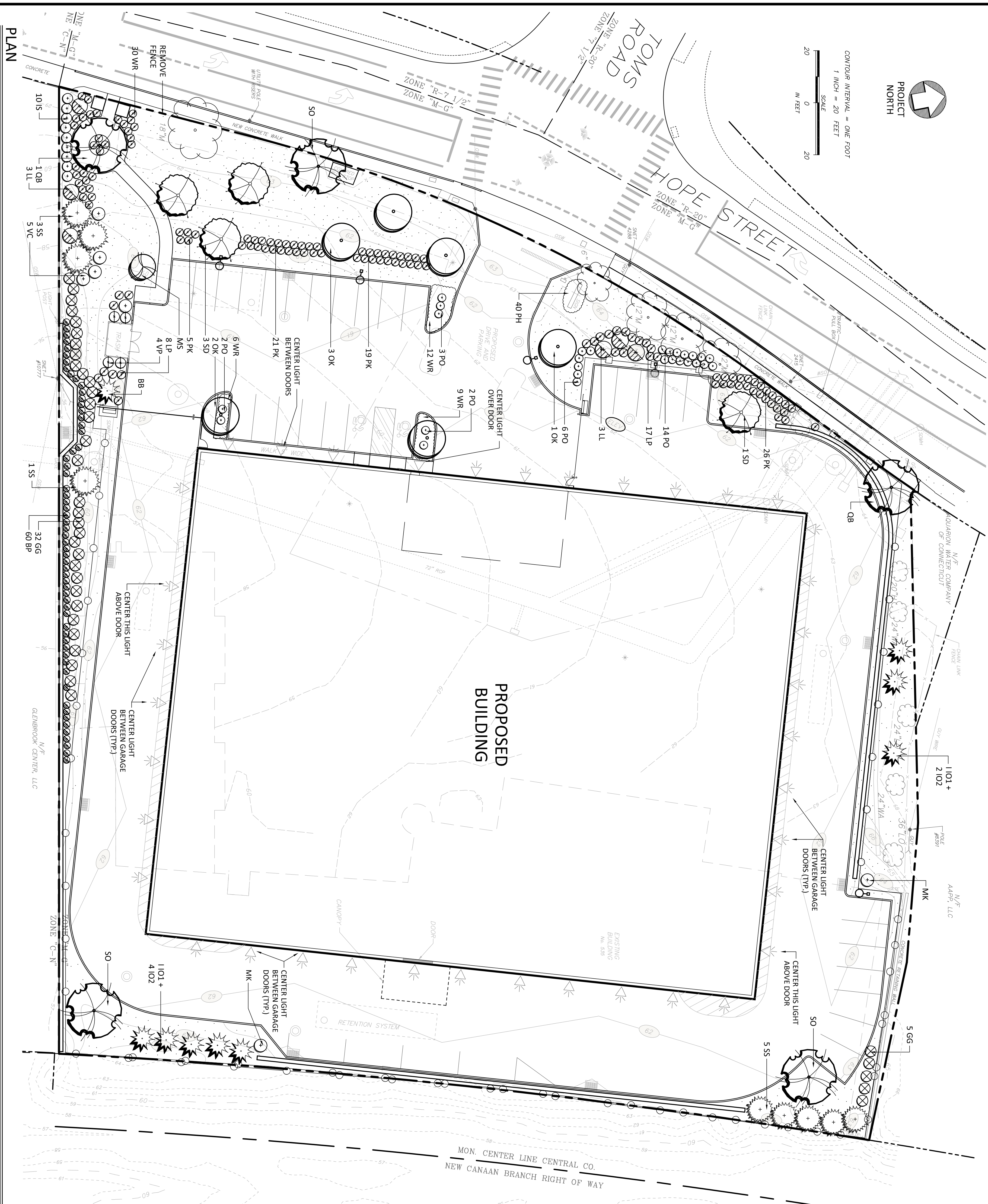
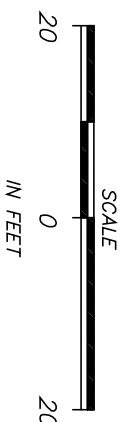
DATE PLOTTED: 2024-08-26 10:22 AM (02)



PROJECT NORTH

COURTSHIP INTERVAL = ONE FOOT

1 INCH = 20 FEET



SCALE: 1"=20'

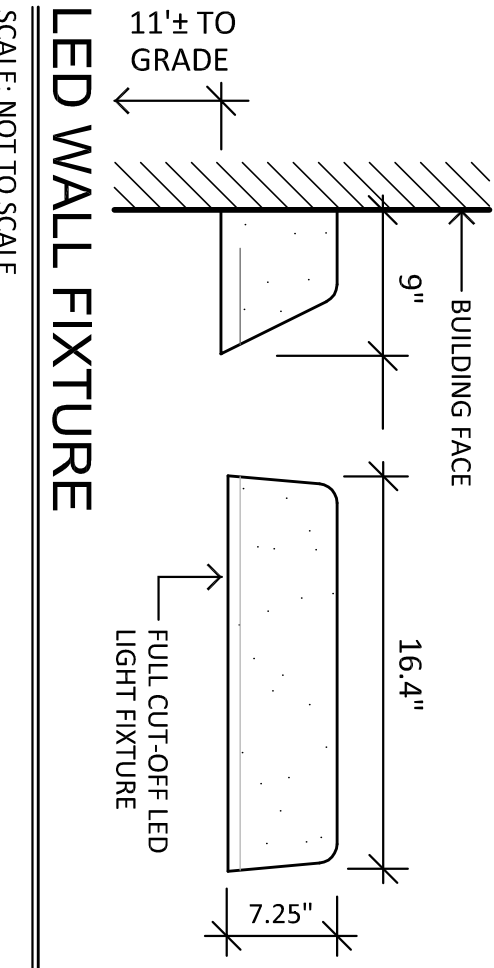
GENERAL NOTES:

- 1. EXISTING AND PROPOSED SITE INFORMATION TAKEN FROM A DIGITAL AUTOCAD SITE PLAN SUPPLIED BY ROCCO V. D'AMOREA, INC.
2. EXACT LOCATION OF PROPOSED PLANTINGS AND SPECIES TYPES MAY VARY FROM THIS PLAN BASED ON SITE PLAN REVISIONS AND/OR ACTUAL FIELD CONDITIONS.
3. PLANT SPECIES SUBSTITUTIONS MAY BE MADE WITH THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT PRIOR TO PLANTING. SUBSTITUTED PLANTS SHALL BE AT AN EQUAL OR GREATER SIZE AS NOTED USING A SIMILAR TYPE PLANT.
4. PLANTING METHODS SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.

LANDSCAPE LIGHTING NOTES:

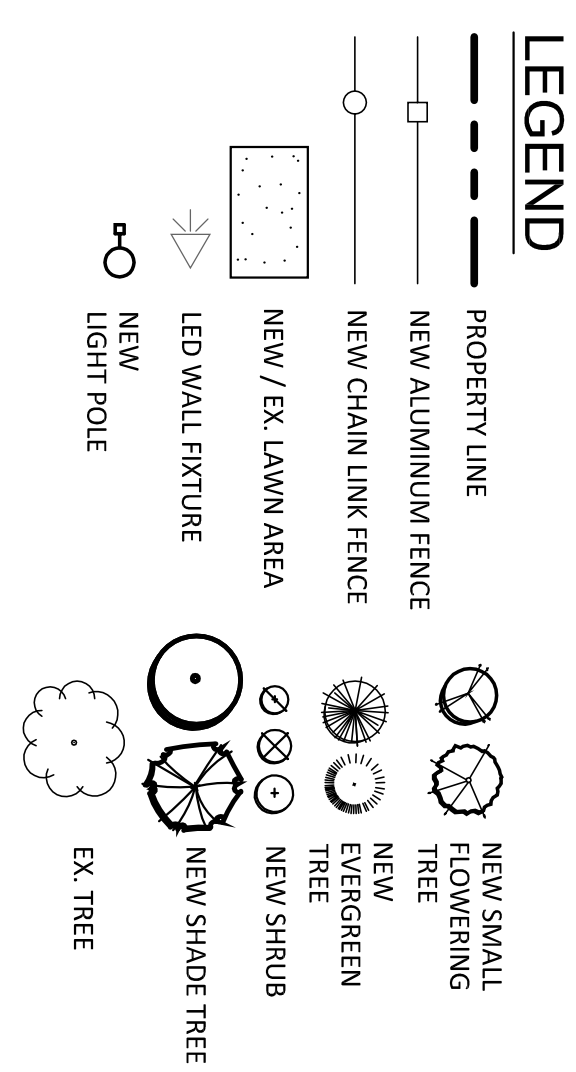
- 1. LIGHTING INFORMATION AND LIGHTING PLANS PREPARED BY ENVIRONMENTAL LAND SOLUTIONS, LLC ARE DESIGNED FOR GENERAL LANDSCAPE ASPECTS. FOR MORE DETAILED LIGHTING INFORMATION, SHOWN ON THIS PLAN SHALL NOT BE USED FOR SECURITY OR SAFETY PURPOSES.
2. LOCATION AND TYPE OF LIGHT FIXTURES ARE TYPICAL AND MAY VARY BASED ON ACTUAL FIELD CONDITIONS, SITE AND ARCHITECTURAL PLAN REVISIONS, USE OF EXISTING LIGHTING (IF ANY), NEW BUILDING MOUNTED LIGHTING, AESTHETICS, AND CONSULTATIONS WITH LIGHTING CONSULTANT AND/OR MANUFACTURER.
3. THIS PLAN ASSUMES THAT THE BUILDING WILL HAVE WALL MOUNTED FIXTURES (BY OTHERS) TO LIGHT THE FACADE AND ADJACENT LANDSCAPE AREAS (INCLUDING WALKS AND DOORS).

SCALE: NOT TO SCALE

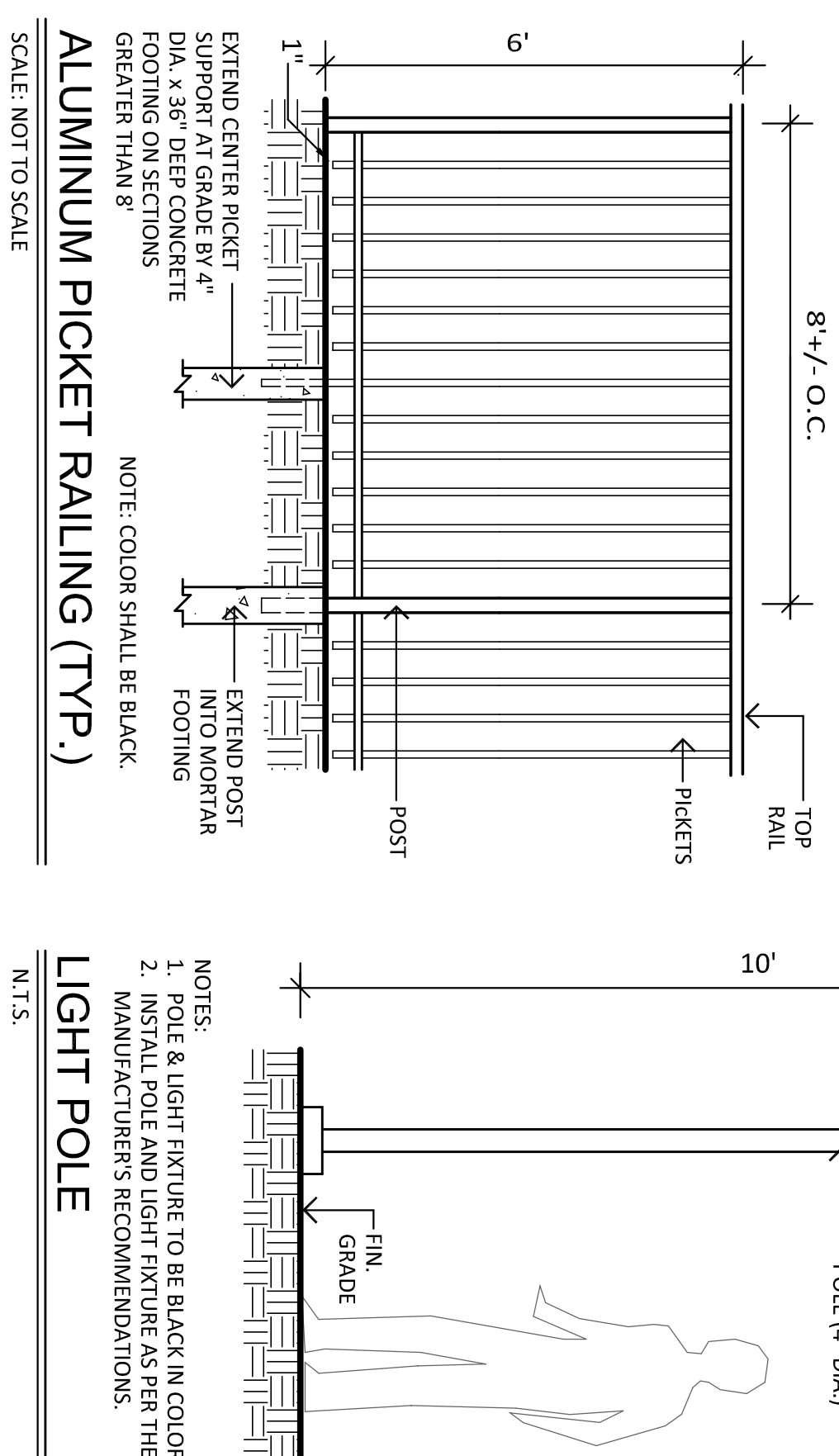


LED WALL FIXTURE

- NOTE:
1. LIGHT FIXTURE (GARROCO LED WALL SCENE 1011) BY PHILIPS, MANUFACTURER'S RECOMMENDATIONS. LED COLOR SHALL BE 4000K.
2. BUILDING COLOR.
3. ALIGN FIXTURE LOCATIONS WITH BUILDING ARCHITECTURE.



LEGEND

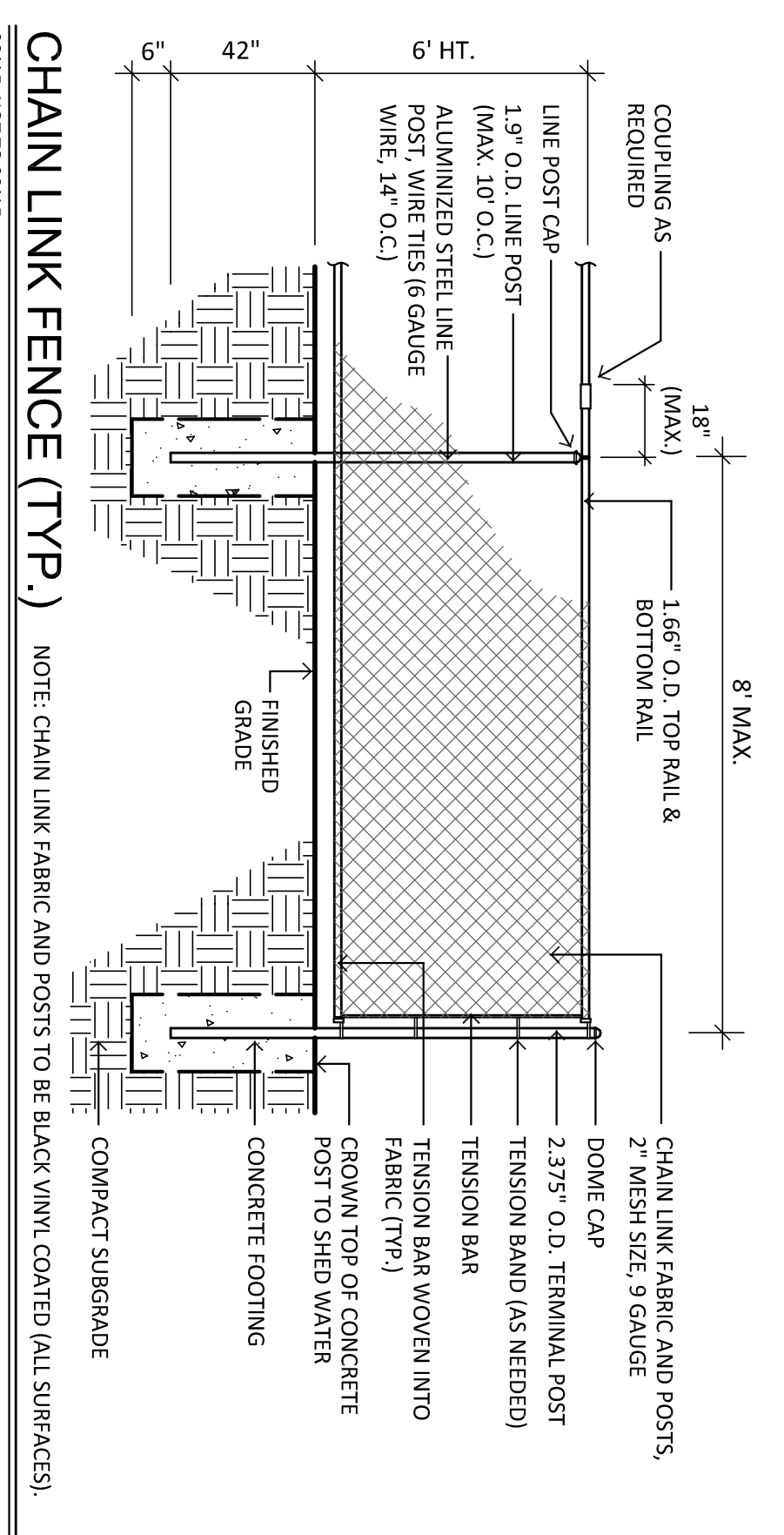


ALUMINUM PICKET RAILING (TYP.)

SCALE: NOT TO SCALE

LIGHT POLE

N.T.S.



CHAIN LINK FENCE (TYP.)

NOTE: CHAIN LINK FABRIC AND POSTS TO BE BLACK VINYL COATED (ALL SURFACES).

SCALE: NOT TO SCALE

PLANT LIST

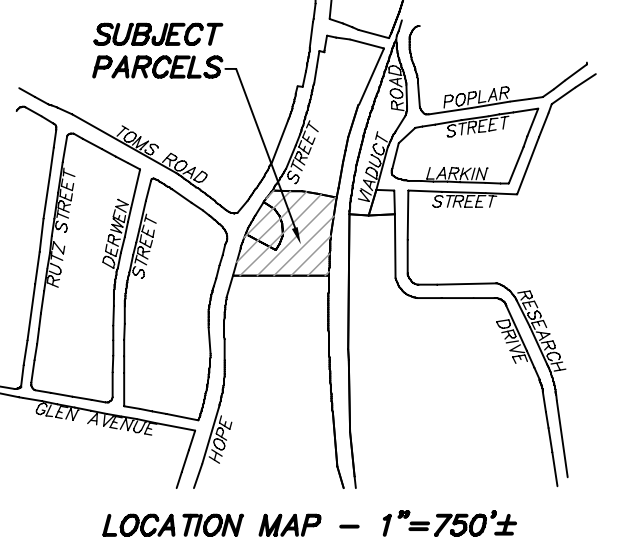
Table with 4 columns: QTY, KEY, BOTANICAL NAME, COMMON NAME, SIZE, ROOT, and REMARKS. It lists various plant species like Quercus bicolor, Magnolia grandiflora, and others with their respective quantities and notes.

Table with 2 columns: REVISIONS and DRAWING TITLE. It shows revision numbers and dates, and the drawing title 'LANDSCAPE PLAN'.

Table with 2 columns: PER ZONING COMMENTS and PER REV. SITE PLAN. It lists zoning-related comments and revision details.

Table with 2 columns: ADD 5 LIGHT POLES and PER REV. SITE PLAN. It lists the addition of light poles and revision details.

Project information including logos for Environmental Land Solutions, LLC and EIS Architecture, project name 'HOPE STREET, LLC', address '523-535 HOPE STREET STAMFORD, CONNECTICUT', and drawing number 'LP.1'.



- LEGEND**
- SIGN
 - UTILITY POLE
 - LIGHT POST
 - ⊙ PROPOSED PARKING SPACE

PROPOSED PARKING SUMMARY
 REGULAR PARKING SPACES = 32
 HANDICAP PARKING SPACES = 2
 TOTAL PARKING SPACES = 34

EXISTING BUILDING COVERAGE
 LOT AREA = 2.435 ACRES
 BUILDING = 36,667 S.F.
 TOTAL = 36,667 S.F.
 PERCENT COVERAGE = 34.5%

PROPOSED BUILDING COVERAGE
 LOT AREA = 2.435 ACRES
 PROPOSED BUILDING = 44,133 S.F.
 TOTAL = 44,133 S.F.
 PERCENT COVERAGE = 41.6%

REFER TO A CERTAIN MAP TO BE FILED IN THE STAMFORD LAND RECORDS ENTITLED "ZONING LOCATION DEPICTING CONSOLIDATION OF PROPERTIES AT 535 AND 523 HOPE STREET IN STAMFORD, CONNECTICUT PREPARED FOR HOPE STREET, LLC" AS PREPARED BY D'ANDREA SURVEYING & ENGINEERING, P.C. AND DATED APRIL 15, 2021.

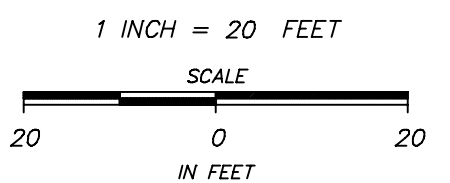
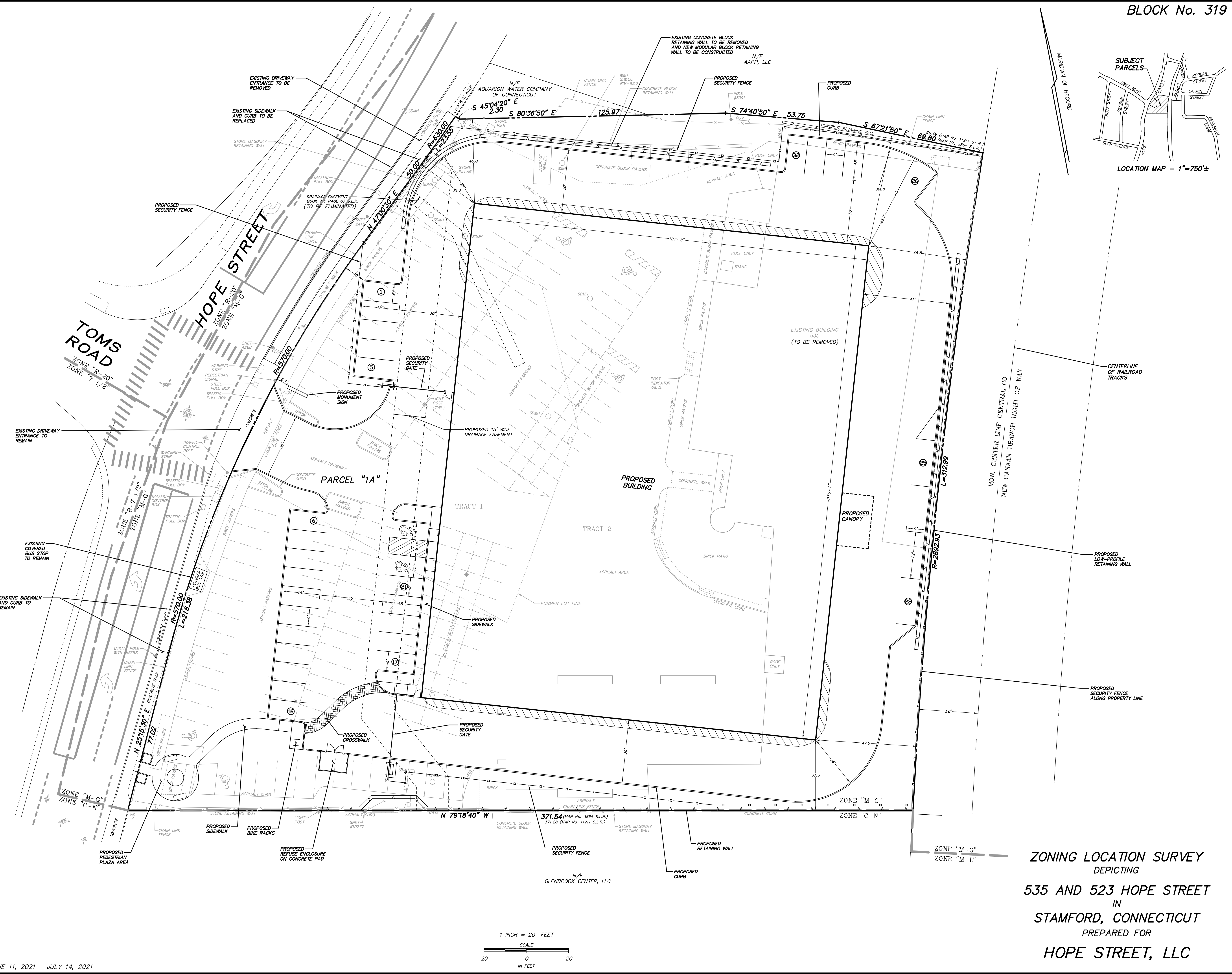
THIS MAP IS A ZONING LOCATION SURVEY. BOUNDARY INFORMATION IS BASED ON A RESURVEY CONDUCTED IN ACCORDANCE WITH HORIZONTAL ACCURACY CLASS "A-2" AS DEFINED IN THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH SEC. 20-300b-20.

NEW MONUMENTATION HAS NOT BEEN SET IN THE COURSE OF MAKING THIS SURVEY.

ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

AREA = 2.435 ACES
 REFER TO MAPS 2864, 11911 S.L.R.
 LAND LIES IN "M-G" ZONING DISTRICT
 TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
D'ANDREA SURVEYING & ENGINEERING, P.C.

EDWIN W. RHODES, III CT LS No. 70436
 RIVERSIDE, CONNECTICUT
 APRIL 15, 2021 JUNE 11, 2021 JULY 14, 2021



ZONING LOCATION SURVEY
 DEPICTING
 535 AND 523 HOPE STREET
 IN
 STAMFORD, CONNECTICUT
 PREPARED FOR
 HOPE STREET, LLC