



535 HOPE STREET
STAMFORD, CONNECTICUT

LOOKING EAST ON
TOMS ROAD



535 HOPE STREET
STAMFORD, CONNECTICUT

LOOKING NORTHEAST ON
HOPE STREET



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STAMFORD, CONNECTICUT

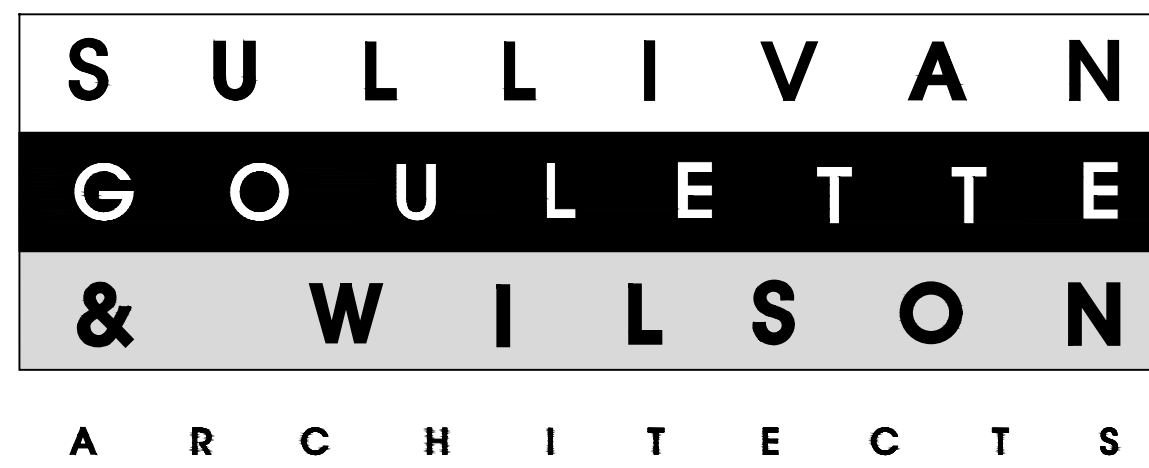
LOOKING SOUTHEAST ON
HOPE STREET

NEW FULLY SPRINKLERED, 3-STORY
CLIMATE CONTROLLED SELF-STORAGE
FACILITY (S-1) W/ ACCESSORY OFFICE (B)
TYPE II-A CONSTRUCTION
AT

535 HOPE STREET
STAMFORD, CONNECTICUT 06906



ARCHITECT:



ARCHITECT:
SULLIVAN GOULETTE WILSON, LTD.
444 N. MICHIGAN AVENUE - SUITE 1850
CHICAGO, IL 60611
TEL. (312) 988-7412
FAX. (312) 988-7409
www.sgwarch.com

CIVIL ENGINEER:
RVDI & DS&E, PE
SIX NEIL LANE
PO BOX 549
TEL: (203) 637-1779
FAX: (203) 637-1770

DEVELOPER:
SAFEGUARD SELF STORAGE
1522 OLD COUNTRY ROAD
PLAINVIEW, NEW YORK 11803
TEL: (631) 539-0200
FAX: (631) 539-0206
www.safeguarditf.com

LANDSCAPE ARCHITECT:
ENVIRONMENTAL LAND SOLUTIONS, LLC
8 KNIGHT STREET, SUITE 203
NORWALK, CT 06851
COMPANY ADDRESS
TEL: (203) 855-7879
FAX: (203) 855-7836

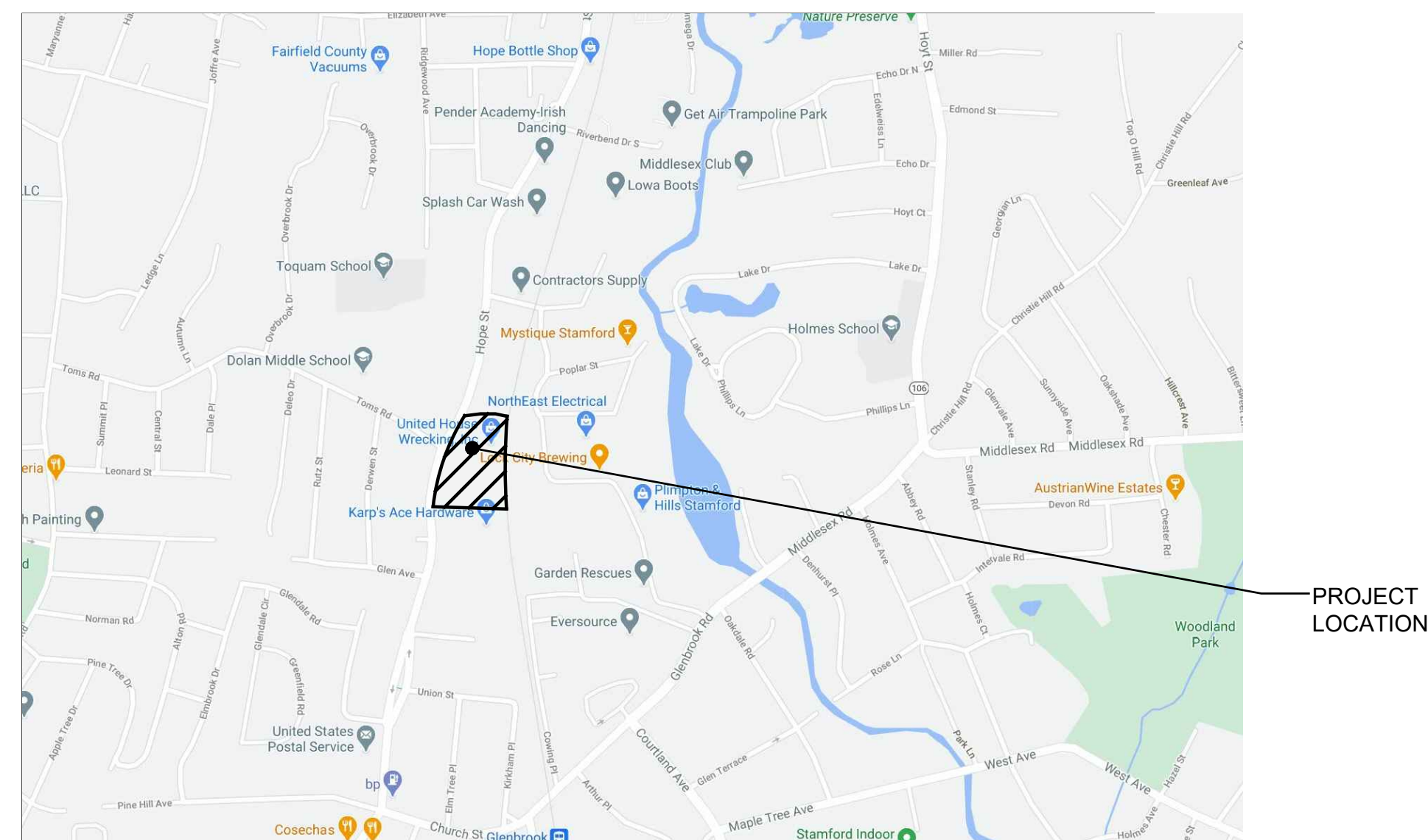
ABBREVIATIONS

ALT	ALTERNATE	ELECT	ELECTRICAL	MULL	MULLION
AC	AIR CONDITIONING	EL	ELEVATION	NIC	NOT IN CONTRACT
AF	ABOVE FINISHED FLOOR	EJ	EXPANSION JOINT	NTS	NOT TO SCALE
AL	ALUMINUM	EP	EPOXY PAINT	OC	ON CENTER
ARF	ABOVE RAISED FLOOR	EQ	EQUAL	OFCl	OWNER FURNISHED, CONTRACTOR TO INSTALL
AT	ACOUSTIC TILE	EXIST	EXISTING	OPP	OPOSITE
BD	BOARD	EXP	EXPOSED	PNT	PAINT
BLD	BUILDING	EXT	EXTERIOR	PR	PAIR
BLKG	BLOCKING	EWC	ELECTRIC WATER COOLER	PLAM	PLASTIC LAMINATE
BO	BOTTOM OF	FEC	FIRE EXTINGUISHER CABINET	PL	PLATE
BR	BRUSHED	FHC	FIRE HOSE CABINET	QT	QUARRY TILE
BRG	BEARING	FN	FINISH	RAD	RADIUS
CA	CLEAR ANODIZED	FD	FLOOR DRAIN	R	RISER
CAB	CABINET	FLR	FLOOR	RH	RIGHT HAND
CPT	CARPET	FOM	FACE OF MASONRY TO FACE OF MASONRY	REQD	REQUIRED
CL	CENTERLINE	FTG	FOOTING	RO	ROUGH OPENING
CLG	CEILING	GA	GAUGE	SB	SANDBLAST
CJ	CONTROL JOINT	GALV	GALVANIZED	SC	SOLID CORE
CMU	CONC. MASONRY UNIT	GB	GYPSPUM BOARD	SCHD	SCHEDULE
CONC	CONCRETE	GL	GLASS	SM	SHEET METAL
CONT	CONTINUOUS	HDWD	HARDWOOD	SMT	SHEET
CI	CAST IRON	HDWR	HARDWARE	SIM	SIMILAR
CO	CLEAN OUT	HM	HOLLOW METAL	SS	STAINLESS STEEL
CW	COLD WATER	HR	HOUR	STD	STANDARD
CP	CEMENT PLASTER	HT	HEIGHT	THK	THICK
CT	CERAMIC TILE	HW	HOT WATER	TRANS	TRANSPARENT
DF	DRINKING FOUNTAIN	INT	INTERIOR	T	TREAD
DIA	DIAMETER	INSUL	INSULATION	TO	TOP OF
DIM	DIMENSION	JT	JOINT	T & G	TONGUE AND GROOVE
DN	DOWN	LC	LIGHTWEIGHT CONC.	TYP	TYPICAL
DS	DOWNSPOUT	LAM	LAMINATED	UNO	UNLESS NOTED OTHERWISE
DET	DETAIL	LAV	LAVATORY	VCT	VINYL COMPOSITION TILE
DW	DRY WALL	LH	LEFT HAND	VIF	VERIFY IN FIELD
DWG	DRAWING	MFR	MANUFACTURER	WD	WOOD
EA	EACH	MO	MASONRY OPENING	WP	WALL PHONE
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	MWK	MILLWORK	WWF	WELDED WIRE FABRIC
		MTL	METAL		

LEGEND

	ROOM NAME/NUMBER TAG		RCP ELEVATION TAG		GLASS (ELEV.)
	FLOOR ELEVATION TAG/ MARK		SMOKE DETECTOR		GLASS (SECT.)
	DRAWING REVISION TAG		CARBON MONOXIDE DETECTOR		MORTAR, GROUT, THINSET OR CEMENT
	NOTE TAG		NEW PARTITION - SEE PLANS FOR TYPE		GYPSPUM BOARD
	DOOR TAG (See A5-# series dwgs)		EXISTING CONSTRUCTION TO BE REMOVED		METAL LATH & PLASTER
	WINDOW TAG (See A5-# series dwgs)		EXISTING N.I.C.		PLYWOOD
	WALL TYPE (See A4-# series dwgs)		STEEL		QUARRY TILE OR CERAMIC TILE
	DETAIL #		ACOUSTIC TILE		RIGID INSULATION
	DWG #		ALUMINUM		STEEL
	ELEVATION #		BATT. INSUL. OR SOUND ATTN. BLANKET		TERRAZZO
	INTERIOR ELEVATION TAG		BRICK (PLAN & SECTION)		WOOD STYLE
	EXTERIOR ELEVATION TAG		BRICK (ELEV.)		WOOD-ROUGH OR FRAMING
	SECTION #		CONCRETE		2 x 2 LAY-IN ACOUSTICAL TILE CEILING
	SECTION TAG		CONCRETE MASONRY UNIT (C.M.U.)		GYP. BD. CLG./SOFFT
	EXISTING DOOR TO REMAIN		EXISTING DOOR TO REMAIN		

LOCATION MAP



DRAWING INDEX

DWG#	DESCRIPTION	CITY OF STAMFORD SUBMITTAL ISSUED: 04/15/2021	CITY OF STAMFORD RESUBMITTAL ISSUED: 06/18/2021	STAMFORD ZONING REVISIONS ISSUED: 07/19/2021
GENERAL				
G0-00	TITLE SHEET & DRAWING INDEX	•	•	•
G0-01	ZONING DATA	•	•	•
CIVIL				
C-0	COVER SHEET	•	•	•
C-01	TOPOGRAPHIC SURVEY - "EXISTING CONDITIONS"	•	•	•
C-1	DEMOLITION PLAN	•	•	•
C-2	SITE GRADING & LAYOUT PLAN	•	•	•
C-3	STORM DRAINAGE & UTILITY PLAN	•	•	•
C-4	SEDIMENTATION & EROSION CONTROL PLAN	•	•	•
C-5	NOTES & DETAILS	•	•	•
C-6	DETAILS	•	•	•
C1-1	LOW-IMPACT DEVELOPMENT PLAN	•	•	•
LANDSCAPE				
LP-1	LANDSCAPE PLAN	•	•	•
ARCHITECTURAL				
A0-01	ARCHITECTURAL SITE PLAN	•	•	•
A1-01	FIRST & SECOND FLOOR PLAN	•	•	•
A1-02	THIRD FLOOR & ROOF PLAN	•	•	•
A2-01	WEST & NORTH BUILDING ELEVATIONS	•	•	•
A2-02	EAST & SOUTH BUILDING ELEVATIONS	•	•	•
A2-03	BUILDING PERSPECTIVES	•	•	•

NOT FOR CONSTRUCTION

07/19/21 - ISSUED FOR REVIEW

THE DRAWINGS COMPLY WITH THE FOLLOWING
STAMFORD CONNECTICUT MUNICIPAL CODES:
2018 Connecticut State Building Code
2015 International Mechanical Code
2015 International Plumbing Code
2017 National Electric Code
2015 International Plumbing Code
2015 International Energy Conservation Code
2009 ICC Accessibility Code



2	06/18/2021	CITY OF STAMFORD ZONING REVISIONS
1	04/15/2021	CITY OF STAMFORD ZONING SUBMITTAL

NO DATE ISSUE DESCRIPTION

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535 HOPE STREET

STAMFORD, CONNECTICUT 06906

TITLE SHEET & DRAWING INDEX





Building Data

4/8/2021

	ESTIMATED EFFICIENCY	F.A.R. [SF]	GROSS AREA [SF]
Level 1			
Office [SF]		799.0	799.0
Loading [SF]		1,960.0	1,960.0
Storage Area [SF]		39,572.0	39,572.0
Core [SF]		869.0	869.0
Building Use [SF]		933.0	933.0
Floor Total	72%	44,133.0	44,133.0
Level 2-3			
Storage Area [SF]		43,264.0	43,264.0
Core [SF]		869.0	869.0
Per Floor Total	78.4%	44,133.0	44,133.0
Level 2-3 Totals	78.4%	88,266.0	88,266.0
Scheme Totals	76.2%	132,399.00	132,399.00

Notes:



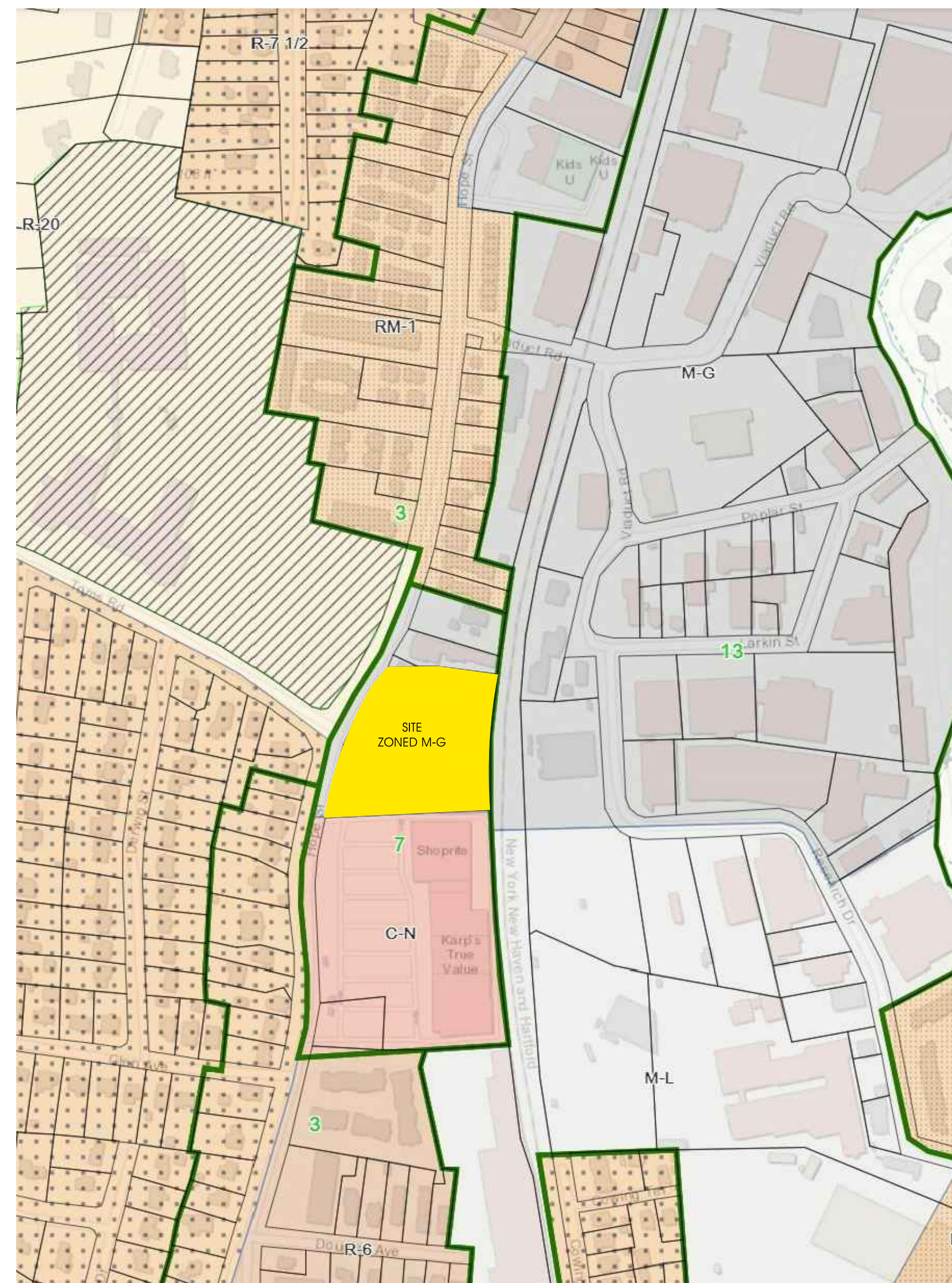
Zoning Data

535 Hope Street | Stamford, Connecticut 06906

6/18/2021

CITY OF STAMFORD ZONING ORDINANCE

BULK & DENSITY	EXISTING ZONING	VARIANCES	PROPOSED PROJECT
Lot Area [SF]	106,069		106,069
Zoning District	M-G General Industrial		M-G General Industrial
Use Group	186 - Storage Building		186 - Storage Building
Maximum Floor Area Ratio Above Grade [F.A.R.]	1.25		Actual Ratio [F.A.R.] 1.25
Maximum Area Allowed by F.A.R. Above Grade	132,586.3		Actual Area [F.A.R.] 132,399.0
Maximum Floor Area Ratio Below Grade [F.A.R.]	0.5		Actual Ratio [F.A.R.] 0.0
Maximum Area Allowed by F.A.R. Below Grade	53,034.5		Actual Area [F.A.R.] 0.0
Maximum Building Coverage [%]	80%		Actual Lot Coverage[%] 42%
Maximum Building Coverage [SF]	84,855.2		Actual Lot Coverage[Sf] 44,133.0
YARDS/HEIGHT			
Required Yards [ft]	Front - Street Line	25'-0"	Proposed 31'-3"
	Front - Street Center	35'-0"	Proposed 60'-10"
	Side [Minimum One Side]	0'-0"	Proposed 33'-3"
	Rear	15'-0"	Proposed 45'-1"
Maximum Building Height [ft]	50'-0"		Proposed 40'-0"
COMMERCIAL PARKING/LOADING			
Required Off Street Parking Spaces	Int. Storage - 1 per 5,000 SF		Int. Storage 117,593 / 5,000 = 24
	Ext. Storage - 1 per 2,000 SF Retail - 4 per 1,000 SF	Provided	Ext. Storage - 11,947 / 2,000 = 6 Retail - 799 / 1,000 x 4 = 4 Total Parking Spaces = 34 spaces
Required Accessible Parking Spaces	1 per 25 spaces	Provided	2.0
Required Off Street Loading	0-100,000 SF = 1 berth +100,000 = 2 berths	Provided	2.0
Required Bicycle Parking	TBD	Provided	4.0
LANDSCAPING			
Tree Requirements	Street	TBD	See LP.1
	Site	TBD	See LP.1
Signs	Location	Front Wall / Ground	Wall / Ground
	Quantity	1 Front / 1 Ground	2 / 1
	Size	1'-6" SF per each lineal foot of the building frontage / 50 SF & 10'-0" in length	235'-2" x 1'-6" = 352.5 SF Max Wall Sign - 276 SF Blade Sign - 76 SF Ground Sign - 40 SF
	Height	No Limit / 21'-0"	27'-0" / 6'-0"
Vehicular Use Area Landscaping	Yes		Yes
Trash Area Screening Required	Required		Screened
ADDITIONAL			
Architectural Standards	Yes		
Flood Zone / Criteria	Zone - X		
Easements	Yes - See Survey		



NO	DATE	ISSUE DESCRIPTION
2	06/18/2021	CITY OF STAMFORD ZONING REVISIONS
1	04/15/2021	CITY OF STAMFORD ZONING RESUBMITTAL

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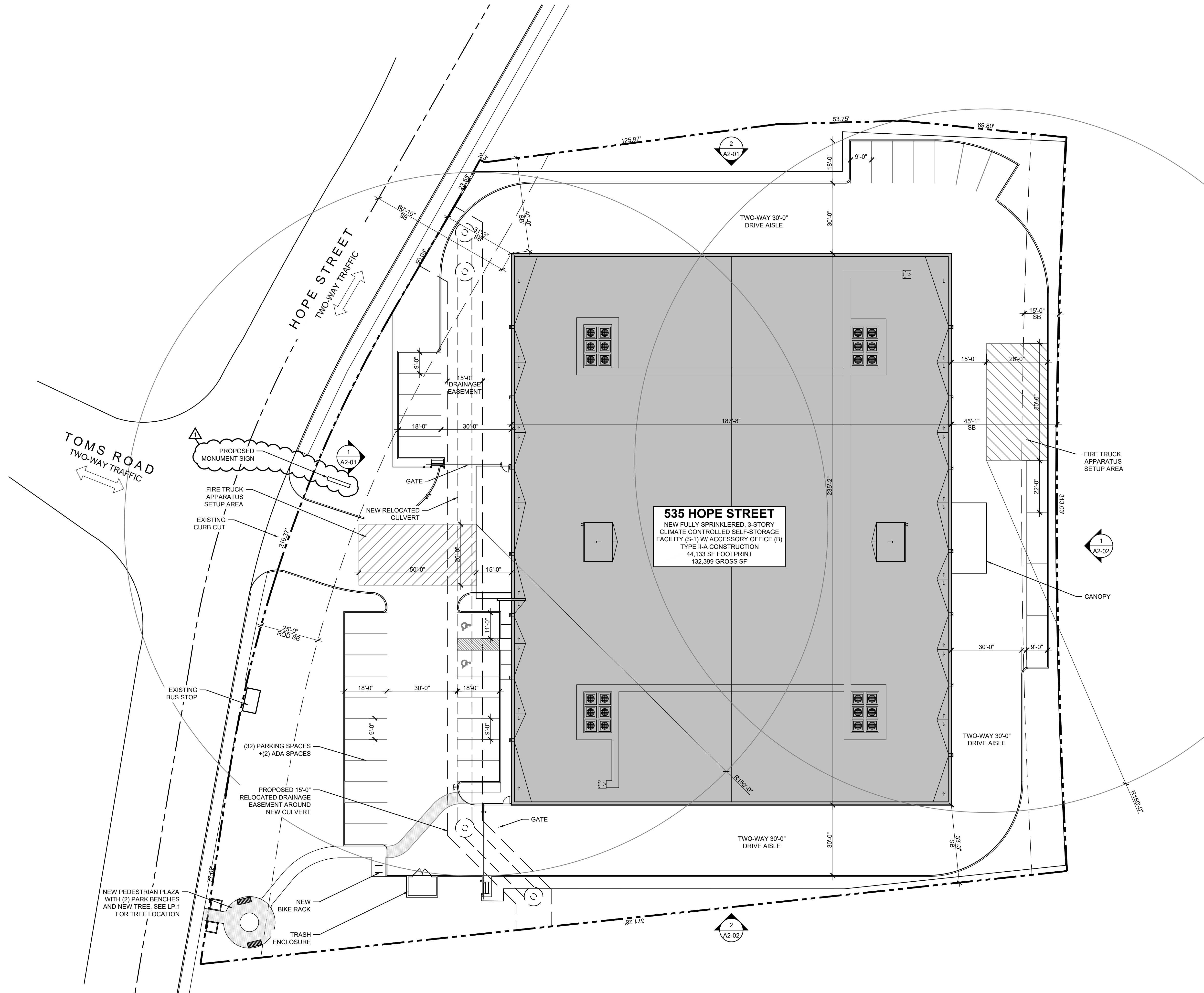
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ZONING DATA

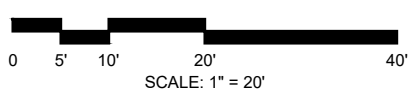


535 HOPE STREET
 NEW FULLY SPRINKLERED, 3-STORY
 CLIMATE CONTROLLED SELF-STORAGE
 FACILITY (S-1) W/ ACCESSORY OFFICE (B)
 TYPE II-A CONSTRUCTION
 44,133 SF FOOTPRINT
 132,399 GROSS SF

1 SITE PLAN
 SCALE: 1" = 20'-0"

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1	04/15/2021	CITY OF STAMFORD ZONING SUBMITTAL
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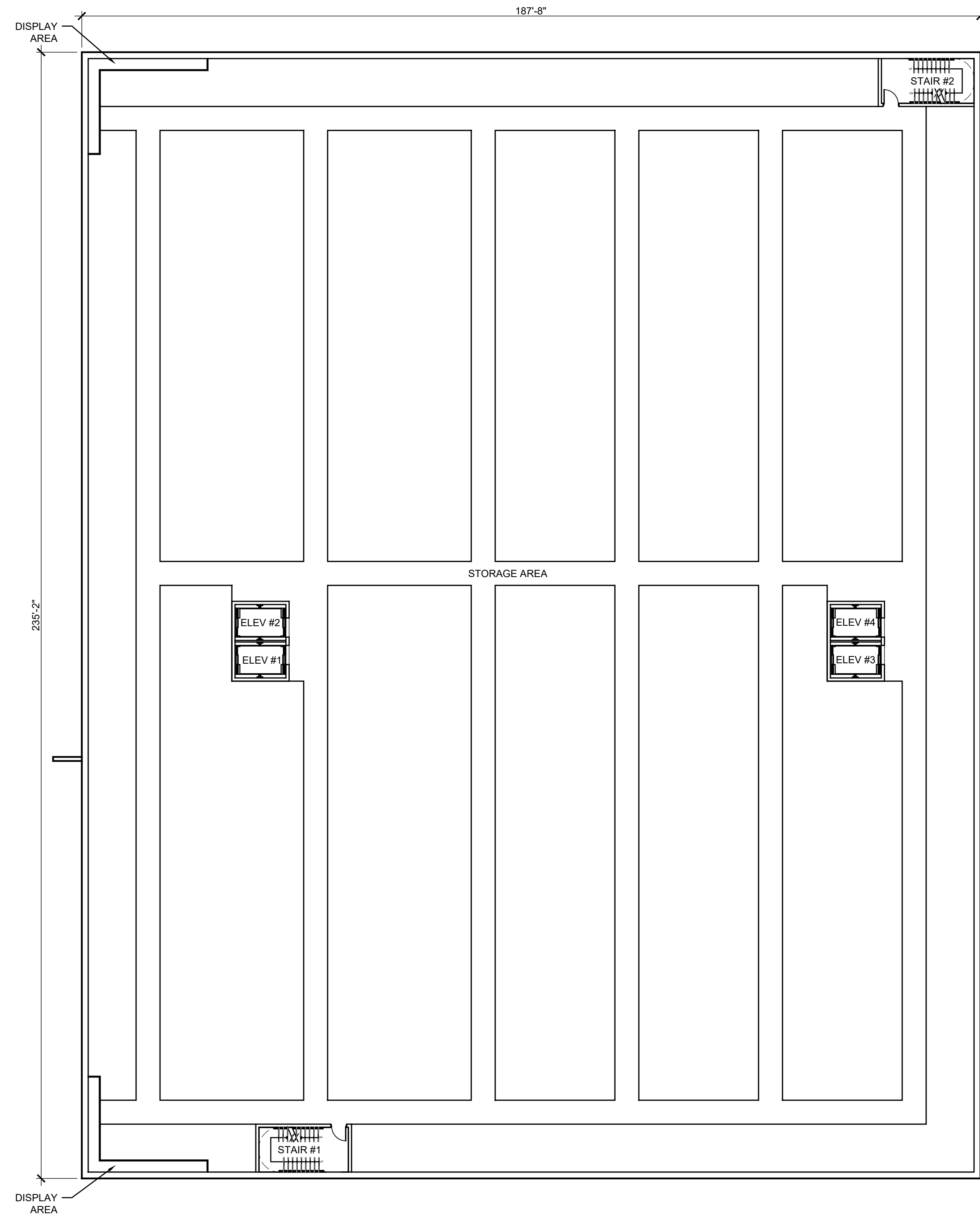
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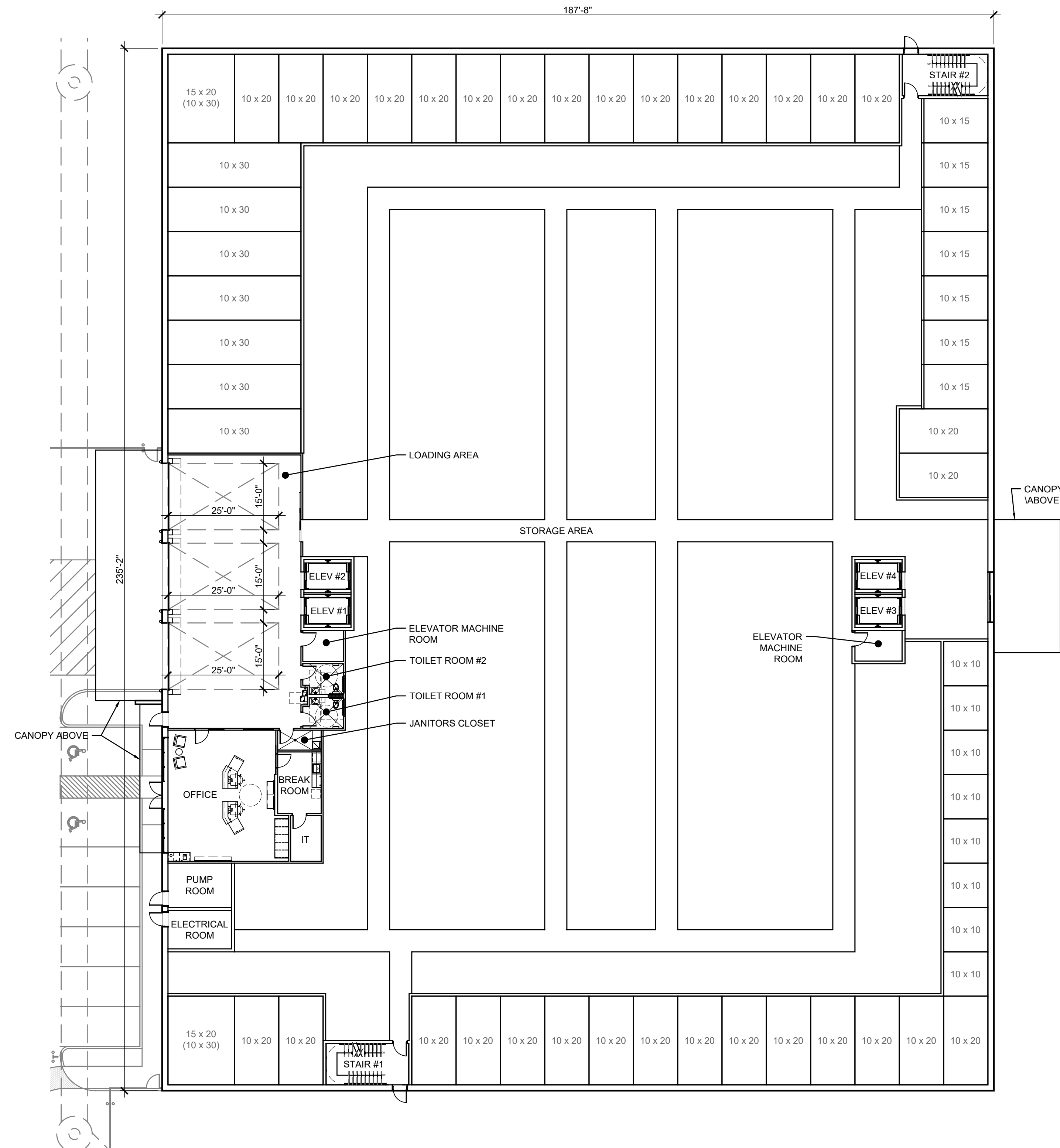
SITE PLAN



A0-01



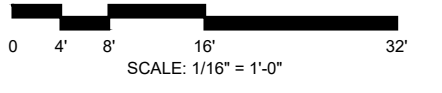
2 SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"



1 GROUND FLOOR PLAN
SCALE: 1/16" = 1'-0"

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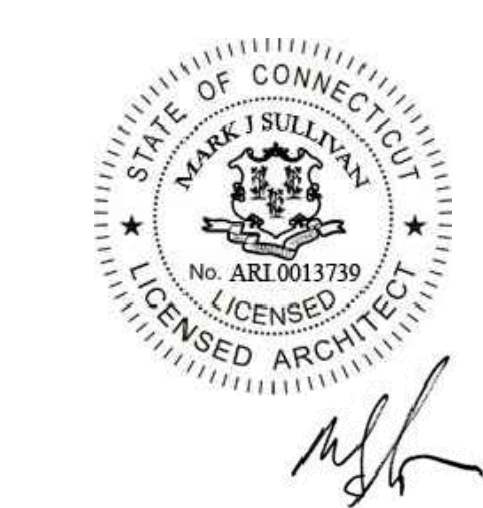
GROUND & SECOND
FLOOR PLAN



A1-01

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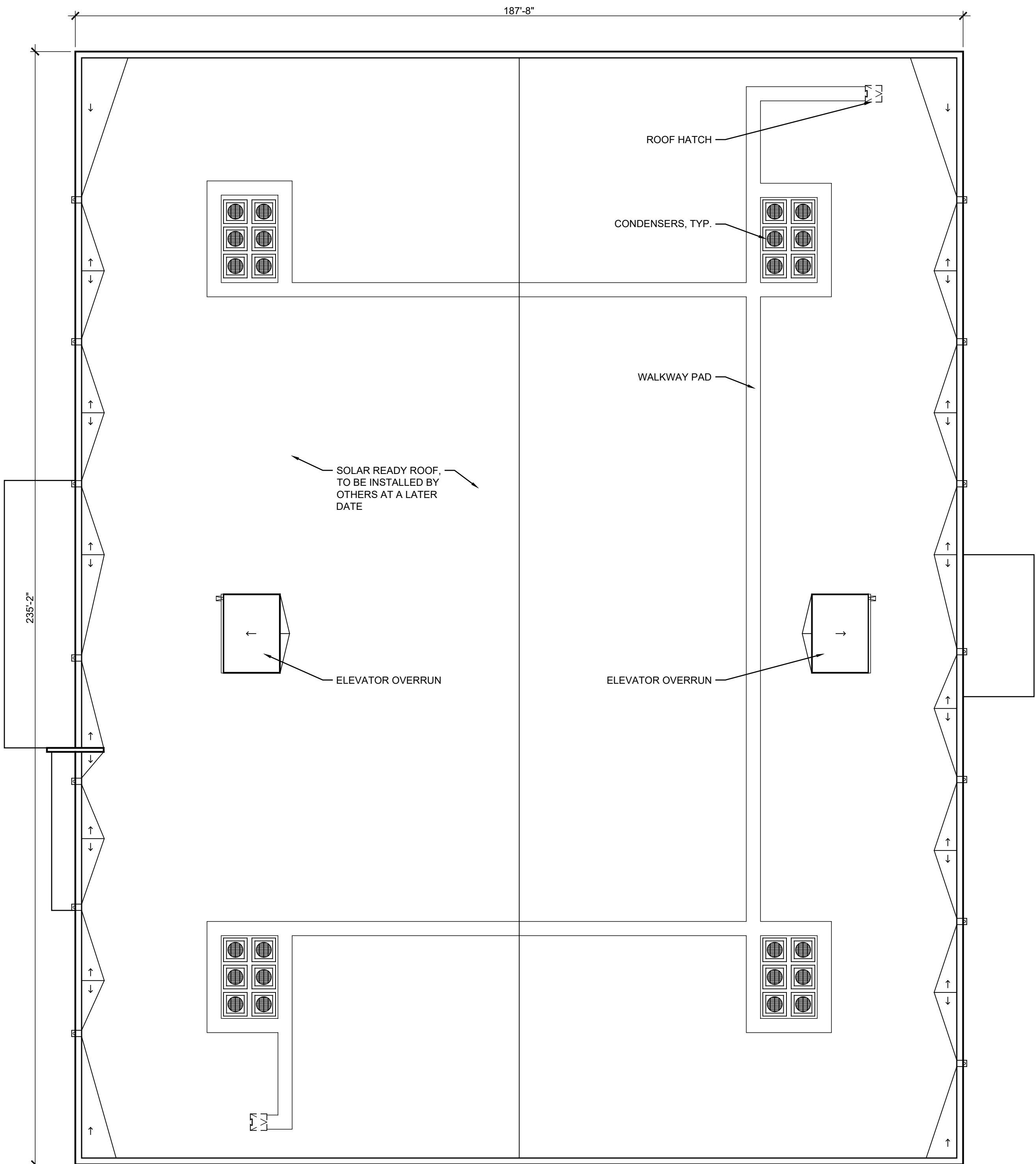
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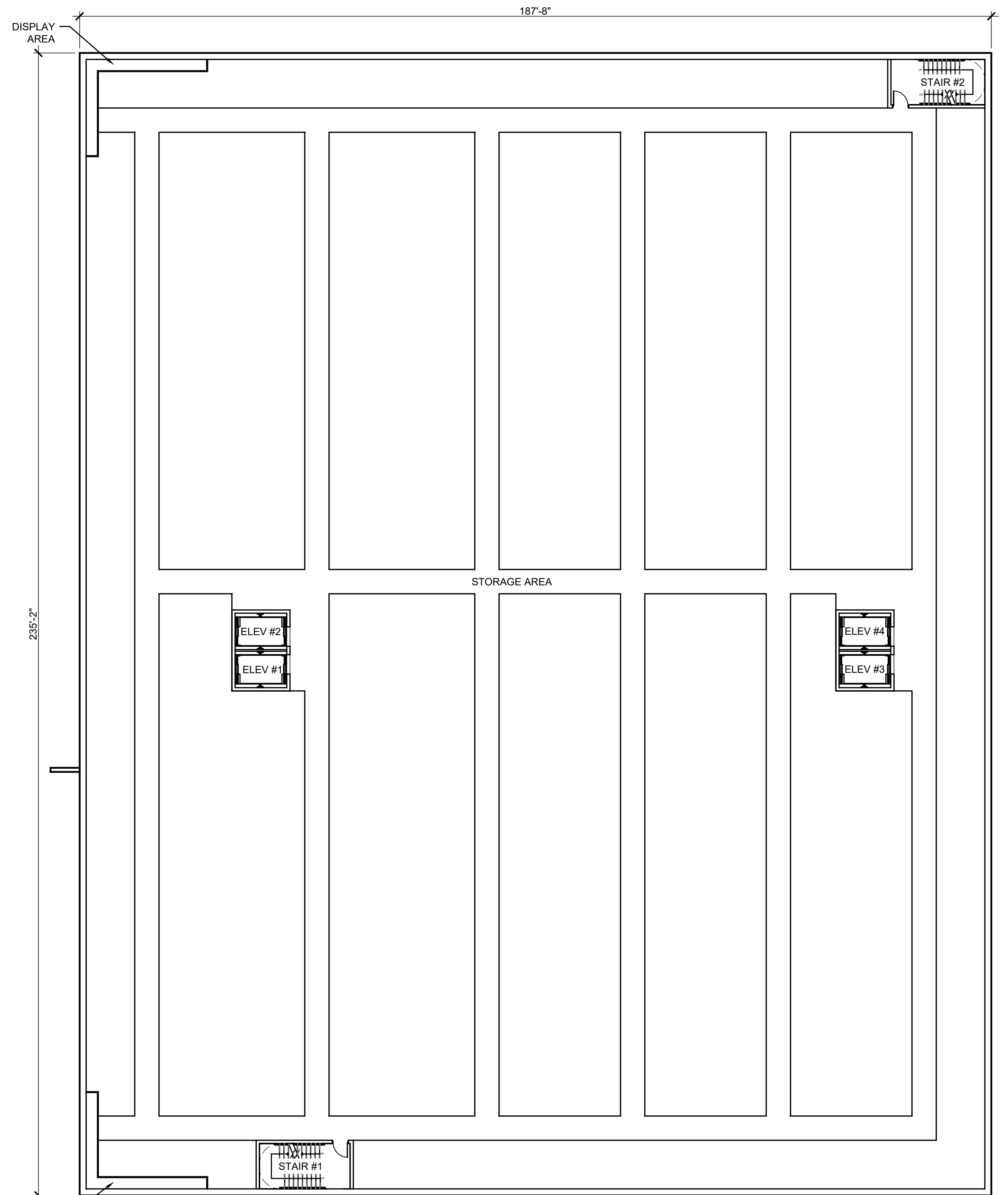
THIRD FLOOR PLAN & ROOF PLAN



A1-02



2 ROOF PLAN
 SCALE: 1/16" = 1'-0"



1 THIRD FLOOR PLAN
 SCALE: 1/16" = 1'-0"

SIGNAGE NOTE
 THE ALLOWED SIGNAGE SQUARE FOOTAGE IS BASED ON 1.5 SF PER EACH LINAL FOOT OF THE BUILDING FRONTAGE.

235'-2" x 1'-6" = 352.5 SF MAXIMUM ALLOWED

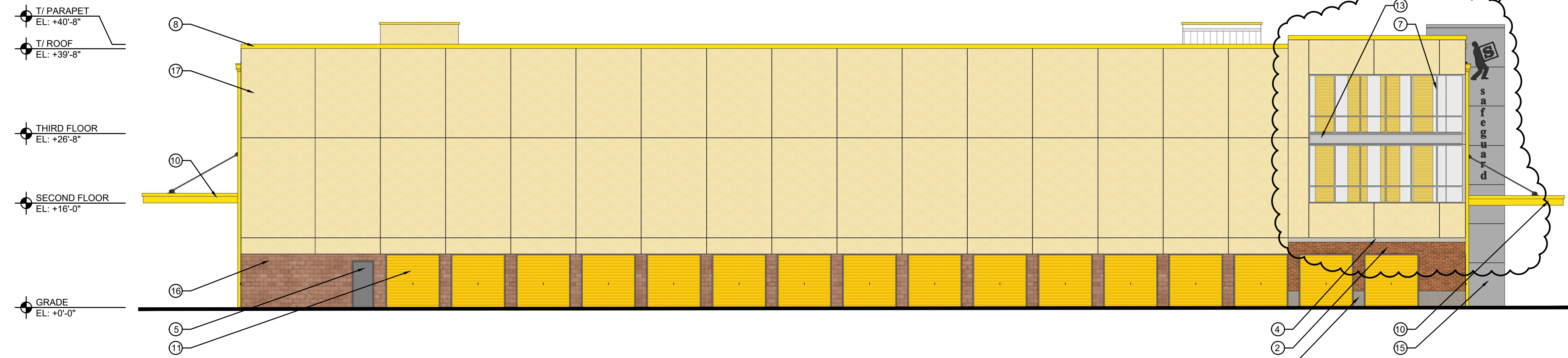
WALL SIGN = 276 SF
 BLADE SIGN = 38 SF PER SIDE = 76 SF
 TOTAL = 352 SF

KEY NOTE MATERIAL LEGEND
 NOTE: KEYED NOTES BELOW APPLY TO MULTIPLE SHEETS AND MAY NOT BE APPLICABLE TO THIS SHEET

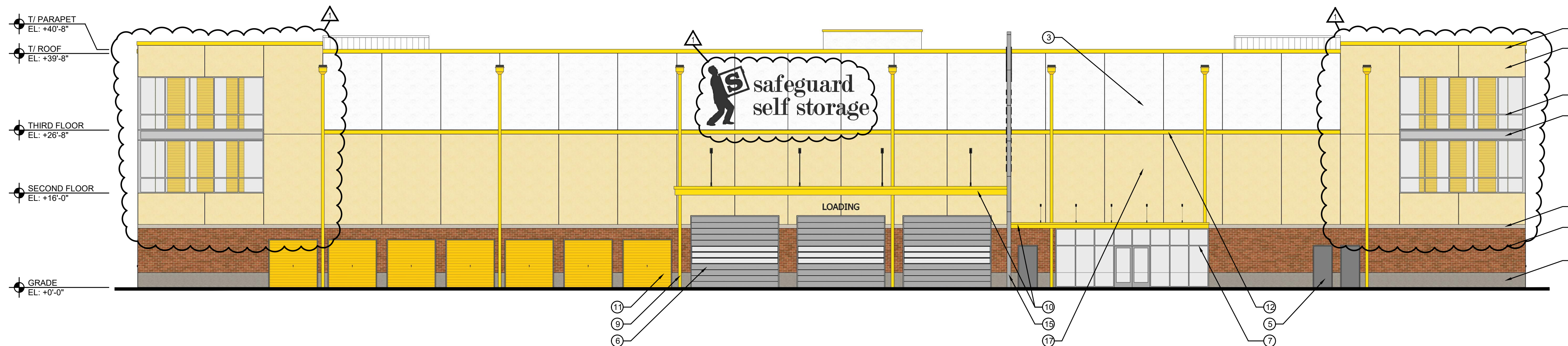
- ① RENAISSANCE STONE BASE
- ② UTILITY BRICK - COLOR: GLEN GERY WALNUT VELOUR
- ③ EFIS - 310 ESSENCE FINE SAND - COLOR TO MATCH SHERWIN WILLIAMS 'EXTRA WHITE', SW 7006
- ④ RENAISSANCE STONE BAND
- ⑤ METAL DOOR AND FRAME - COLOR TO MATCH SHERWIN WILLIAMS 'GULL WING GRAY', #2314-50
- ⑥ HIGH SPEED OVERHEAD DOOR - COLOR: CLEAR ANODIZED FINISH
- ⑦ STOREFRONT WINDOW SYSTEM - COLOR: CLEAR ANODIZED FINISH
- ⑧ PRE-FINISHED ALUMINUM COPING - COLOR TO MATCH SHERWIN WILLIAMS 'CONFIDENT YELLOW', SW 6911
- ⑨ PRE-FINISHED ALUMINUM DOWNSPOUTS - COLOR TO MATCH SHERWIN WILLIAMS 'CONFIDENT YELLOW', SW 6911
- ⑩ PAINTED METAL CANOPY - COLOR TO MATCH SHERWIN WILLIAMS 'CONFIDENT YELLOW', SW 6911
- ⑪ ROLL UP DOORS - COLOR TO MATCH SHERWIN WILLIAMS 'CONFIDENT YELLOW', SW 6911
- ⑫ METAL TRIM - COLOR TO MATCH SHERWIN WILLIAMS 'CONFIDENT YELLOW', SW 6911
- ⑬ BRAKE METAL SPANDREL - COLOR TO MATCH STOREFRONT
- ⑭ STANLEY SLIDING DOOR - COLOR: CLEAR ANODIZED FINISH
- ⑮ SMOOTH METAL PANEL BLADE SIGN - COLOR SILVER METALLIC
- ⑯ SMOOTH FACED PAINTED CMU - COLOR TO MATCH GLEN-GERY WALNUT VELOUR
- ⑰ EFIS - 310 ESSENCE FINE SAND - COLOR TO MATCH SHERWIN WILLIAMS 'LANTERN LIGHT', SW 6687

COLOR LEGEND

- EXTRA WHITE SHERWIN WILLIAMS SW 7006
- UTILITY BRICK GLEN-GERY WALNUT VELOUR
- GULL WING GRAY BENJAMIN MOORE 2314-50
- CLEAR ANODIZED FINISH
- CONFIDENT YELLOW SHERWIN WILLIAMS SW 6911
- SMOOTH FACED PAINTED CMU PAINT TO MATCH GLEN-GERY WALNUT VELOUR
- LANTERN LIGHT SHERWIN WILLIAMS SW 6687



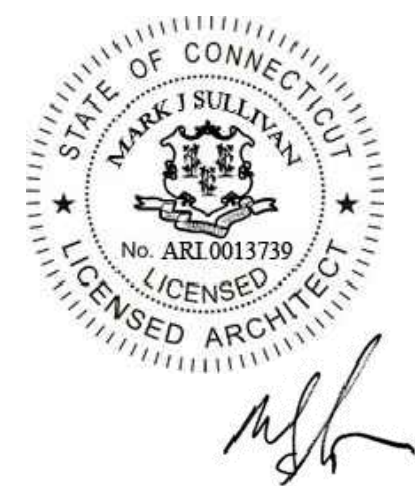
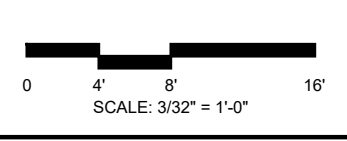
2 NORTH ELEVATION
 SCALE: 3/32" = 1'-0"



1 WEST ELEVATION
 SCALE: 3/32" = 1'-0"

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2	06/18/2021	CITY OF STAMFORD ZONING REVISIONS
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PRINCIPAL: MS P.M.: CM
 QC BY: DRAWN BY: JW

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PROFESSIONAL DESIGN FIRM
 License Number: 184-001505
 Expiration Date: April 30, 2021

**535
 HOPE
 STREET**

STAMFORD, CONNECTICUT 06906

WEST & NORTH ELEVATIONS

SIGNAGE NOTE
 THE ALLOWED SIGNAGE SQUARE FOOTAGE IS BASED ON 1.5 SF PER EACH LINAL FOOT OF THE BUILDING FRONTAGE.

235'-2" x 1'-6" = 352.5 SF MAXIMUM ALLOWED

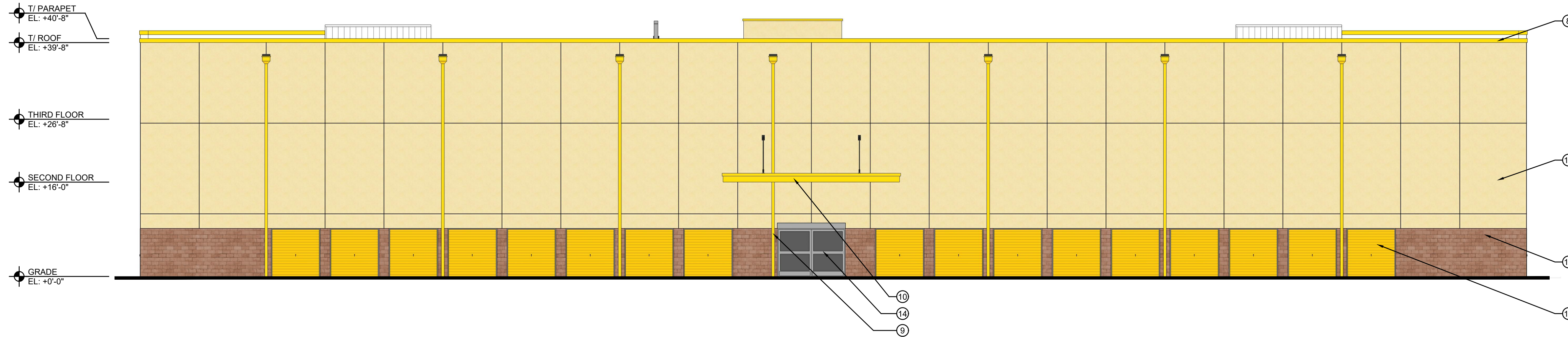
WALL SIGN = 276 SF
 BLADE SIGN = 38 SF PER SIDE = 76 SF
 TOTAL = 352 SF

KEY NOTE MATERIAL LEGEND
 NOTE: KEYED NOTES BELOW APPLY TO MULTIPLE SHEETS AND MAY NOT BE APPLICABLE TO THIS SHEET

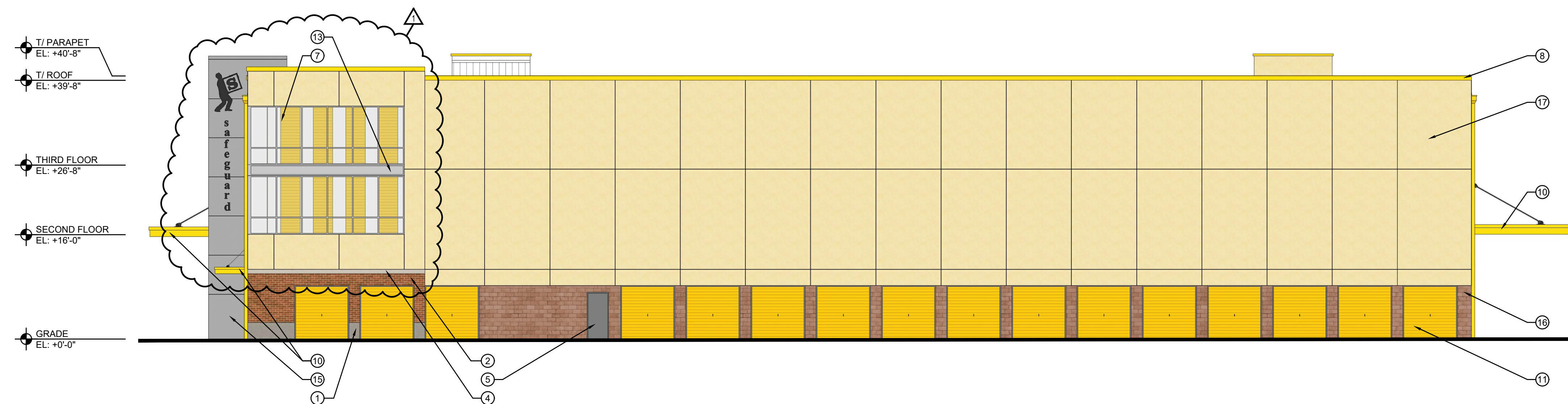
- ① RENAISSANCE STONE BASE
- ② UTILITY BRICK - COLOR: GLEN GERY WALNUT VELOUR
- ③ EFIS - 310 ESSENCE FINE SAND - COLOR TO MATCH SHERWIN WILLIAMS 'EXTRA WHITE', SW 7006
- ④ RENAISSANCE STONE BAND
- ⑤ METAL DOOR AND FRAME - COLOR TO MATCH BENJAMIN MOORE 'GULL WING GRAY', #2314-50
- ⑥ HIGH SPEED OVERHEAD DOOR - COLOR: CLEAR ANODIZED FINISH
- ⑦ STOREFRONT WINDOW SYSTEM - COLOR: CLEAR ANODIZED FINISH
- ⑧ PRE-FINISHED ALUMINUM COPING - COLOR TO MATCH SHERWIN WILLIAMS 'CONFIDENT YELLOW', SW 6911
- ⑨ PRE-FINISHED ALUMINUM DOWNSPOUTS - COLOR TO MATCH SHERWIN WILLIAMS 'CONFIDENT YELLOW', SW 6911
- ⑩ PAINTED METAL CANOPY - COLOR TO MATCH SHERWIN WILLIAMS 'CONFIDENT YELLOW', SW 6911
- ⑪ ROLL UP DOORS - COLOR TO MATCH SHERWIN WILLIAMS 'CONFIDENT YELLOW', SW 6911
- ⑫ METAL TRIM - COLOR TO MATCH SHERWIN WILLIAMS 'CONFIDENT YELLOW', SW 6911
- ⑬ BRAKE METAL SPANDREL - COLOR TO MATCH STOREFRONT
- ⑭ STANLEY SLIDING DOOR - COLOR: CLEAR ANODIZED FINISH
- ⑮ SMOOTH METAL PANEL BLADE SIGN - COLOR SILVER METALLIC
- ⑯ SMOOTH FACED PAINTED CMU - COLOR TO MATCH GLEN-GERY WALNUT VELOUR
- ⑰ EFIS - 310 ESSENCE FINE SAND - COLOR TO MATCH SHERWIN WILLIAMS 'LANTERN LIGHT', SW 6687

COLOR LEGEND

- EXTRA WHITE SHERWIN WILLIAMS SW 7006
- UTILITY BRICK GLEN-GERY WALNUT VELOUR
- GULL WING GRAY BENJAMIN MOORE 2314-50
- CLEAR ANODIZED FINISH
- CONFIDENT YELLOW SHERWIN WILLIAMS SW 6911
- SMOOTH FACED PAINTED CMU PAINT TO MATCH GLEN-GERY WALNUT VELOUR
- LANTERN LIGHT SHERWIN WILLIAMS SW 6687



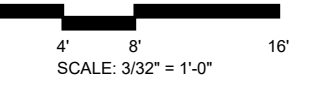
2 EAST ELEVATION
 SCALE: 3/32" = 1'-0"



1 SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"

NOT FOR CONSTRUCTION

07/19/21 - ISSUED FOR REVIEW



NO	DATE	ISSUE DESCRIPTION
2	06/18/2021	CITY OF STAMFORD ZONING RESUBMITTAL
1	04/15/2021	CITY OF STAMFORD ZONING SUBMITTAL

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**535
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EAST & SOUTH
 ELEVATIONS



3
**LOOKING EAST
 ON TOMS ROAD**
 SCALE: N.T.S.



2
**LOOKING SOUTHEAST
 ON HOPE STREET**
 SCALE: N.T.S.



1
**LOOKING NORTHEAST
 ON HOPE STREET**
 SCALE: N.T.S.

NOT FOR CONSTRUCTION

07/19/21 - ISSUED FOR REVIEW

<table border="1"> <thead> <tr> <th>NO</th> <th>DATE</th> <th>ISSUE DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>2</td> <td>06/18/2021</td> <td>CITY OF STAMFORD ZONING REVISIONS</td> </tr> <tr> <td>1</td> <td>04/15/2021</td> <td>CITY OF STAMFORD ZONING SUBMITTAL</td> </tr> </tbody> </table>	NO	DATE	ISSUE DESCRIPTION	2	06/18/2021	CITY OF STAMFORD ZONING REVISIONS	1	04/15/2021	CITY OF STAMFORD ZONING SUBMITTAL	<p> <small>COPYRIGHT 2021: SULLIVAN GOULETTE & WILSON, LTD. EXPRESSLY RESERVES COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF SULLIVAN GOULETTE & WILSON, LTD.</small> <small>THESE DRAWINGS MAY HAVE BEEN REPRODUCED AT A SIZE DIFFERENTLY THAN ORIGINALLY DRAWN. OWNER AND ARCHITECT ASSUME NO RESPONSIBILITY FOR USE OF INCORRECT SCALE.</small> <small>CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS.</small> </p>	
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<p>PERSPECTIVES</p>											
		<p>A2-03</p>									

M E M O R A N D U M

TO: City of Stamford Zoning Board
c/o David Stein, Chairman

FROM: Nicholas W. Vitti, Jr.

DATE: July 20, 2021

RE: Appl. 221-19 Lodato Properties LLC & Hope Street Storage LLC -
Supplemental/Revised Materials

At the July 13th public hearing on the above-referenced application, Chairman Stein stated that the public hearing for application **221-17** has been closed, however the record will be left open to receive the following: *Revised landscaping plan containing more trees along Hope Street and the entrance (view from Toms Road), planting along the retaining wall, a new location for the signage and a rendering showing the full length of the building on Hope Street...*

Pursuant to the Zoning Board's direction, the applicant submits this memorandum explaining the supplemental and revised materials it has filed.

New Location for Signage:

Mr. Roger Quick recommended that the signage depicted on the applicant's original plans be relocated to the north of the entrance for better vehicular visibility and sight lines. The applicant is in full agreement with this recommendation and has relocated the sign. Accordingly, the applicant has filed the following revised plans depicting the relocated signage:

- Zoning Location Survey depicting 535 and 523 Hope Street, prepared by D'Andrea Surveying & Engineering, P.C. with a revised date of July 14, 2021;
- Site Grading and Layout Plan, prepared by D'Andrea Surveying & Engineering, P.C. with a revised date of July 14, 2021; and
- Site Plan, Sheet A0-01, prepared by Sullivan Goulette & Wilson Architects with a revised date of July 19, 2021.

Landscaping:

Ms. Rosanne McManus and other members of the Board recommended that the landscaping plan be amended with more shade trees along the Hope Street frontage and Mr. William Morris suggested landscaping along the southerly retaining wall. Here too, the applicant is in agreement with the Board's recommendation and has filed the following revised plans:

- Landscape Plan, Sheet LP1, prepared by Environmental Land Solutions, LLC with a revised date of July 15, 2021; and
- Photographic Rendering, Sheet A2-03, prepared by Sullivan Goulette & Wilson Architects with a revised date of July 19, 2021.

As depicted on the landscaping plan, in addition to what was already proposed, the applicant has added a large shade tree (oak) south of the entrance along Hope Street, shifted the six (6) surrounding flowering trees to create balance, added shrubs along the parking lot for more screening along with adding and shifting plantings to the south side of the property entrance. Sixty (60) creeping junipers have been added as well along the south side retaining wall.

It is important to note that in addition to the large shade trees that are being proposed, there are four (4) existing, mature shade trees that the applicant proposes to keep along the frontage. An 18" inch Norway Maple that is approximately 30' feet high, located south of the entrance along Hope Street, will be kept and utilized for the development along with three (3) maples to the north of the entrance, measuring 6" inch, 12" inch and 12" inch in diameter, also with an approximate height of 30' feet. The keeping of the existing large shade trees may not have properly been conveyed at the public hearing; and the combination of existing trees and significant new plantings will provide screening of the new building and beautify the dilapidated present conditions of the site. Please see the revised rendering depicting the above-described landscaping at the time of planting along with photographs depicting the existing trees that the applicant is proposing to keep.

Color:

With regards to Chairman, David Stein's comment at the public hearing on the color of the proposed building, the applicant has also revised its plans as well. The Safeguard signature color, i.e. Confident Yellow, which was present at the corners of the front and side elevation façades has been changed. Confident yellow is now proposed for the trim and accent pieces of the building to complement the brick accent pieces.

The applicant's architectural plans have been updated and filed with the Board.

Conclusion:

The applicant has taken the Zoning Board's comments at the public hearing and revised its plans accordingly. Overall, the proposed development will clean-up the area adding an attractive new structure, that is fully screened, and that contains a pedestrian plaza with correspondening public amenities. Additionally, the application's approval adds a thriving new company into the Stamford business community in that of Safeguard Self Storage who will supply help to supply the storage needs for the surrounding community and local businesses. For all of the reasons cited in the application materials, the applicant respectfully requests the Zoning Board's approval of its special permit and site and architectural applications.