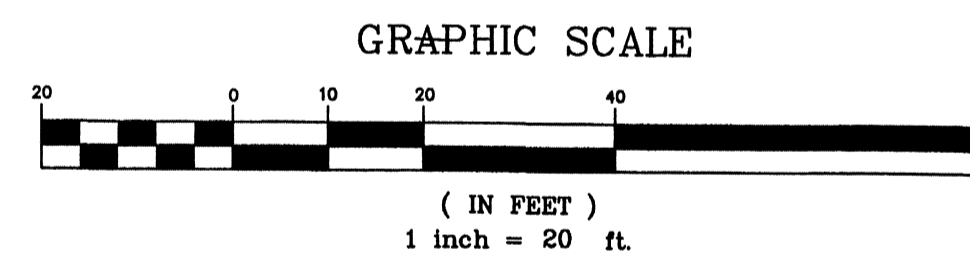


IMPROVEMENT LOCATION SURVEY - PROPOSED

PREPARED FOR

HERBERT F. GRETZ, et al

STAMFORD, CONNECTICUT



#003-22

NOTE:
REFER TO LOTS NO. 43, 44, & 45 MAP NO. 1,257 S.L.R.
TOTAL AREA = 36,250 Sq. Ft. 0.8322 ± ACRES

REFER TO COMM. PANEL NO. 09001C0517G EFFECTIVE 07/08/2013.
BASE FLOOD ELEVATION = 13.0 N.A.V.D. 88.
EX. DWELLING AND ELEVATED PATIOS COVERS 13.8% OF THE TOTAL LOT AREA.
EX. DWELLING, PROP. & EX. TERRACES, & PERGOLA MINUS POOL COVERS 18.4% OF THE TOTAL LOT AREA.

PARIMETER FEATURES SHOWN AS A COURTESY AND NOT INTENDED FOR ANY LITIGATION.
PROPERTY SUBJECT TO PRIVATE RESTRICTIONS OF RECORD, IF ANY.
SUBSTRUCTURES AND/OR THEIR ENCROACHMENTS, IF ANY, ARE NOT SHOWN.
SUBJECT TO ELECTRIC AND/OR TELEPHONE CO. EASEMENTS UNDERGROUND OR OVERHEAD.

NO ABSTRACT OF TITLE PROVIDED.
PROPERTY MAY BE SUBJECT TO ANY OR ALL NOTES APPEARING IN REFERENCED MAPS HEREON IF APPLICABLE.
NOT ALL PARIMETER FEATURES ARE SHOWN.
PROPOSED ITEMS & POOL SHOWN ARE TAKEN FROM "DEVELOPMENT PLAN" 1 OF 1 BY D'ANDREA SURVEYING & ENGINEERING PC, DATED 11/16/21.

F.B. 44 PG. 148 F.B. 85 PG. 2 F.B. 97 PG. 8

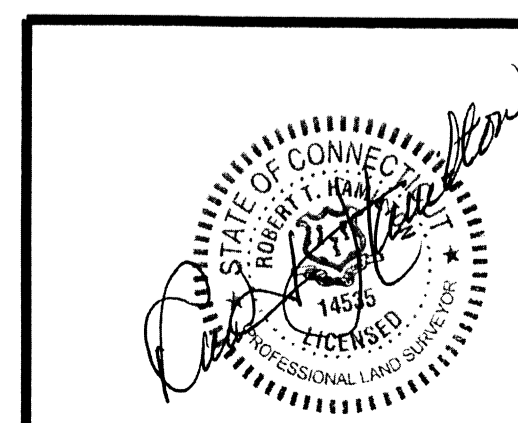
DRAWN BY:	E.P. Jr.	DATE:	09/10/2020
CHECKED BY:	R.T.H.	200931B.DWG POOL PROP.	DRAWING NO.: 200931.DWG
JOB NO.:	200931	SHEET	1 OF 1

REVISIONS / PRINTS

NO.	DATE	DESCRIPTION	BY
3	11/30/2021	PROP. POOL, PERGOLA, & TERRACES ADDED	V.O.
2	10/06/2021	REAR CONTOURS & SPOTS ADDED NOT PART OF REV. 3	V.O.
1	09/14/2020	APPROVAL PRINTS ISSUED	R.T.H.

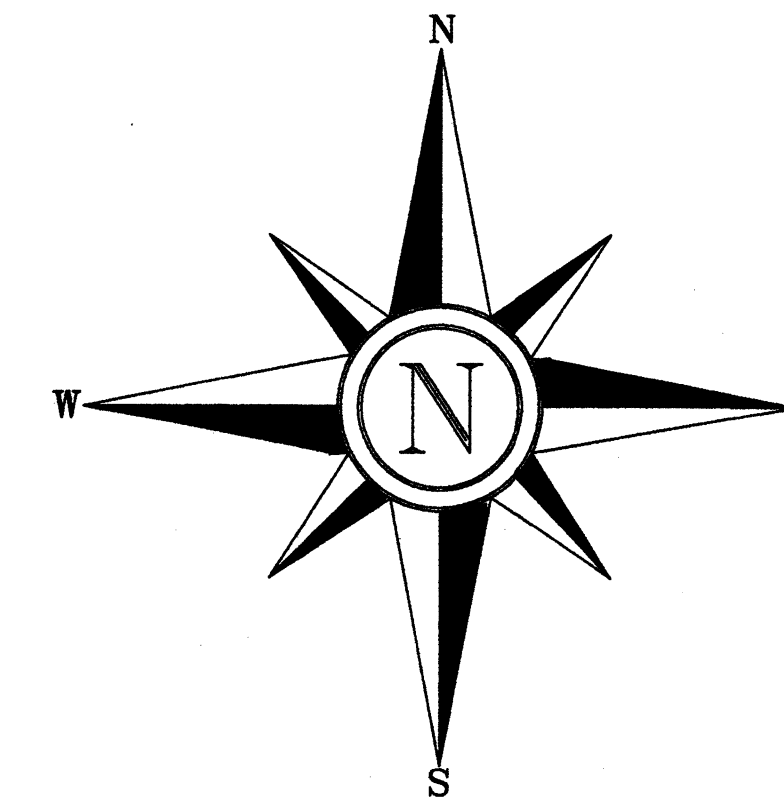
LEGEND

- - - 92.0 - - -	EX. CONTOUR
92.0	PROP. CONTOUR
x 92.0	EX. SPOT ELEV.
x 92.0	PROP. SPOT ELEV.



SURVEY SPECIFICATIONS:
The type of survey performed hereon is a "IMPROVEMENT LOCATION SURVEY"
Boundary determination/opinion is based on "DEPENDENT RESURVEY"
To the best of my knowledge & belief this map is substantially correct as noted hereon, and this survey was prepared in accordance with the standards of a Class A-2 survey as defined in Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Surveys and Maps in the State of Connecticut."
Contours shown are Class "T-2"

ROBERT T. HAMILTON
PROFESSIONAL LAND SURVEYORS L L C
Stamford, Connecticut
Phone (203) 322-1975 Fax (203) 329-2155
Robert T. Hamilton



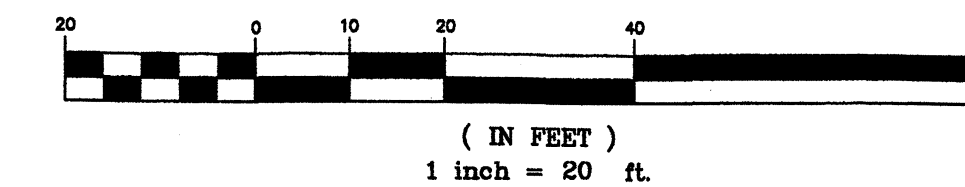
PARTIAL TOPOGRAPHIC SURVEY - EXISTING

PREPARED FOR

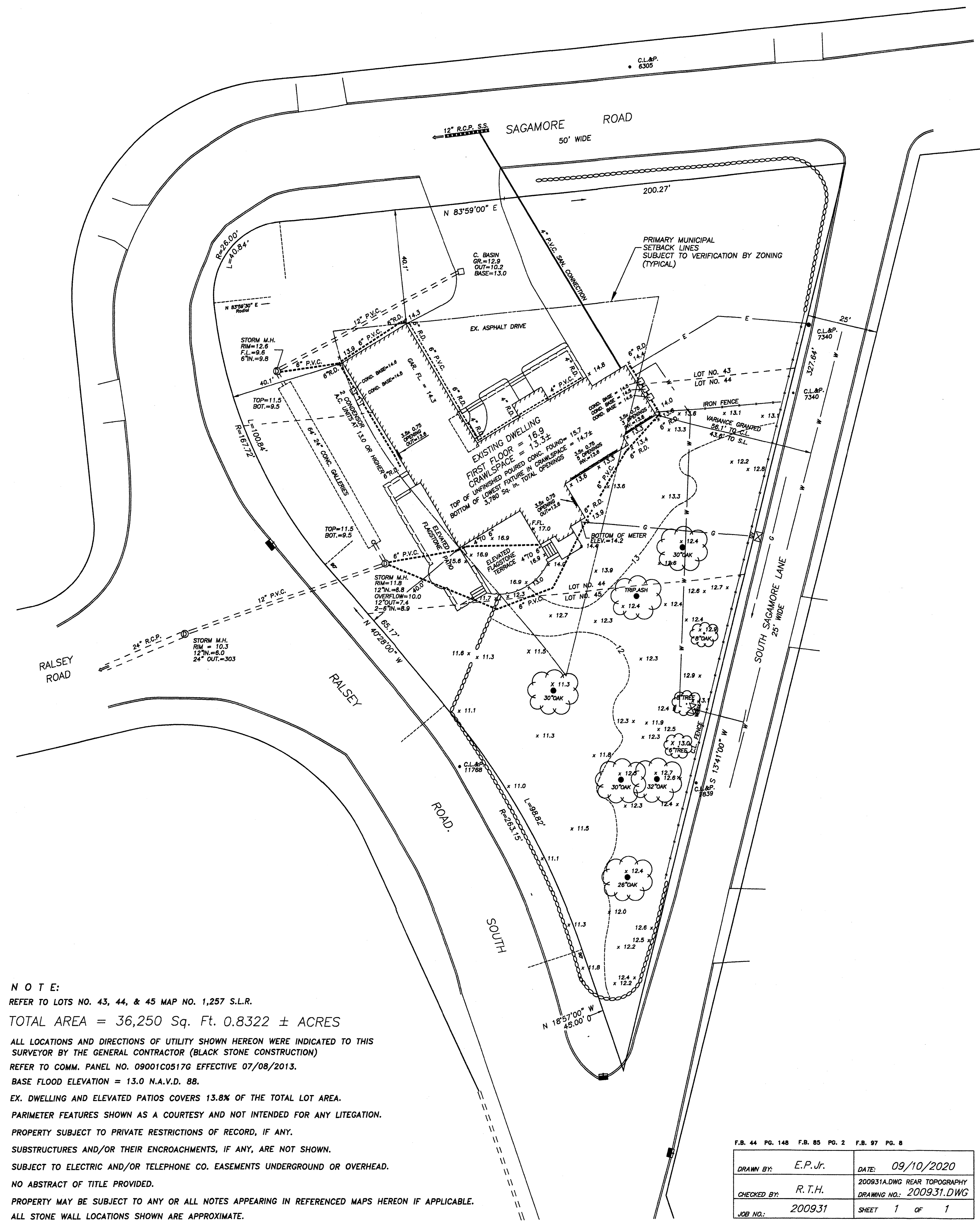
HERBERT F. GRETZ, et al

STAMFORD, CONNECTICUT

GRAPHIC SCALE



#003-22



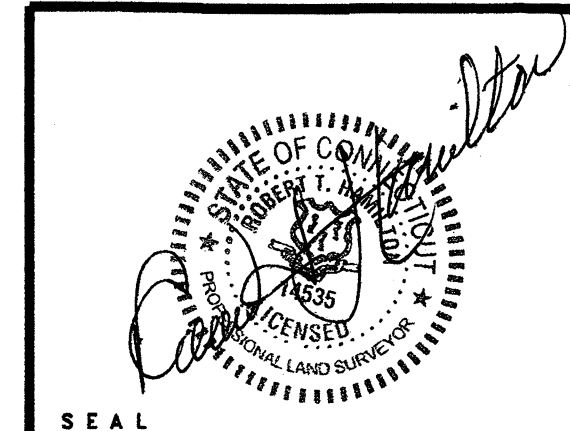
NOTE:
 REFER TO LOTS NO. 43, 44, & 45 MAP NO. 1,257 S.L.R.
 TOTAL AREA = 36,250 Sq. Ft. 0.8322 ± ACRES
 ALL LOCATIONS AND DIRECTIONS OF UTILITY SHOWN HEREON WERE INDICATED TO THIS SURVEYOR BY THE GENERAL CONTRACTOR (BLACK STONE CONSTRUCTION)
 REFER TO COMM. PANEL NO. 09001C0517G EFFECTIVE 07/08/2013.
 BASE FLOOD ELEVATION = 13.0 N.A.V.D. 88.
 EX. DWELLING AND ELEVATED PATIOS COVERS 13.8% OF THE TOTAL LOT AREA.
 PERIMETER FEATURES SHOWN AS A COURTESY AND NOT INTENDED FOR ANY LITIGATION.
 PROPERTY SUBJECT TO PRIVATE RESTRICTIONS OF RECORD, IF ANY.
 SUBSTRUCTURES AND/OR THEIR ENCROACHMENTS, IF ANY, ARE NOT SHOWN.
 SUBJECT TO ELECTRIC AND/OR TELEPHONE CO. EASEMENTS UNDERGROUND OR OVERHEAD.
 NO ABSTRACT OF TITLE PROVIDED.
 PROPERTY MAY BE SUBJECT TO ANY OR ALL NOTES APPEARING IN REFERENCED MAPS HEREON IF APPLICABLE.
 ALL STONE WALL LOCATIONS SHOWN ARE APPROXIMATE.

F.B. 44 PG. 148 F.B. 85 PG. 2 F.B. 97 PG. 8

DRAWN BY:	E.P. Jr.	DATE:	09/10/2020
CHECKED BY:	R.T.H.	200931A.DWG REAR TOPOGRAPHY	DRAWING NO.: 200931.DWG
JOB NO.:	200931	SHEET	1 OF 1

REVISIONS / PRINTS			
NO.	DATE	DESCRIPTION	BY
2	10/08/2021	REAR CONTOURS & SPOTS ADDED	V.O.
1	08/14/2020	APPROVAL PRINTS ISSUED	R.T.H.

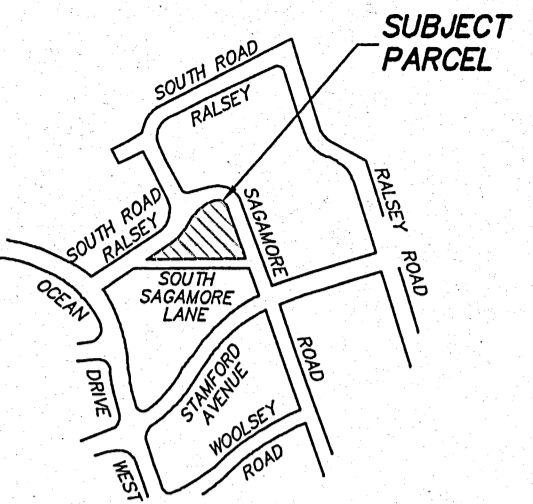
LEGEND	
- - - 92.0 - - -	EX. CONTOUR
92.0	PROP. CONTOUR
x 92.0	EX. SPOT ELEV.
x 92.0	PROP. SPOT ELEV.



SURVEY SPECIFICATIONS:
 The type of survey performed hereon is a "IMPROVEMENT LOCATION SURVEY"
 Boundary determination/opinion is based on "DEPENDENT RESURVEY"
 To the best of my knowledge & belief this map is substantially correct as noted hereon, and this survey was prepared in accordance with the standards of a Class A-2 survey as defined in Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Surveys and Maps in the State of Connecticut." Contours shown are Class "T-2" Utilities shown hereon are Class "D"

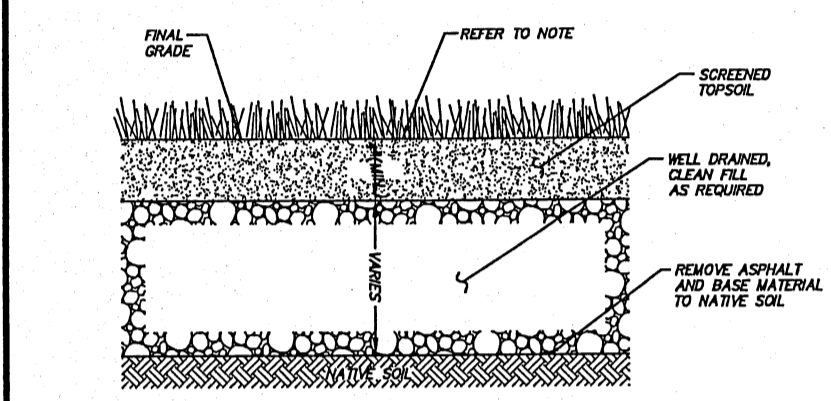
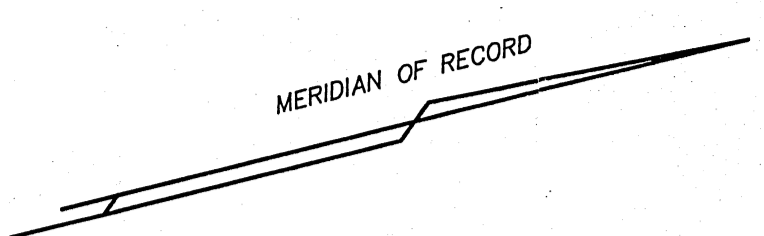
ROBERT T. HAMILTON
 PROFESSIONAL LAND SURVEYORS L L C
 Stamford, Connecticut
 Phone (203) 322-1975 Fax (203) 329-2155

Robert T. Hamilton



LOCATION MAP - 1" = 400'±

- GENERAL NOTES:**
- REFER TO A SURVEY ENTITLED "PARTIAL TOPOGRAPHIC SURVEY - EXISTING PREPARED FOR HERBERT F. GRETZ, ET AL" STAMFORD, CONNECTICUT PREPARED BY ROBERT T. HAMILTON PROFESSIONAL LAND SURVEYORS LLC DATED OCTOBER 6, 2021.
 - CONTOURS AND ELEVATIONS DEPICTED HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 - REFER TO POOL PLANS TO BE PROVIDED BY OTHERS.
 - In accordance with Connecticut Public Act 87-71 and Connecticut General Statutes (CGS) Sections 16-345 through 16-359, the contractor shall verify the depth and location of all utilities prior to commencing construction, and shall contact "Call Before You Dig, Inc." at 1.800.922.4455, 48 hours prior to commencing construction.
 - The location of subsurface utilities as depicted hereon indicate only that the structures exist, and no responsibility is assumed by the engineer or surveyor for the accuracy of the locations shown.
 - The property lies in FEMA Flood Zone AE(13)' as depicted on FIRM Panel 09001C0517G, having an effective date of July 6, 2013.
 - Minimum Elevation Standard (MES) equals 1'-0" above the AE(13) controlling Base Flood Elevation (BFE) or 14.0 feet NAVD88.
 - The design of the improvements shall be designed by a licensed professional in conformance with applicable building codes and the Flood Prone Area Regulations of the Stamford Zoning Regulations.
 - Contractor shall coordinate with the project engineer for a test pit to verify the invert of the existing roof drain. Engineer shall record pipe invert elevation and adjust pipe slopes accordingly.



LAWN RESTORATION DETAIL

NOTES:

- Land disturbance shall be kept to a minimum. All disturbed areas shall be planted in where permanent plantings are called for as soon as practicable. Seed and mulch disturbed areas with grass seed where permanent plantings are not called for, as soon as practicable. Prepare seeded (1/4" thick minimum) with topsoil. Seed, rake, roll, water and mulch areas according to mixes below. Water as often as necessary (up to 3 times per day) to establish cover. Mulch seeded areas at 1 to 2 tons/acre with soil top. Maintain mulch and watering until grass is 3" high with 60% cover. Reseed or overseed if necessary.

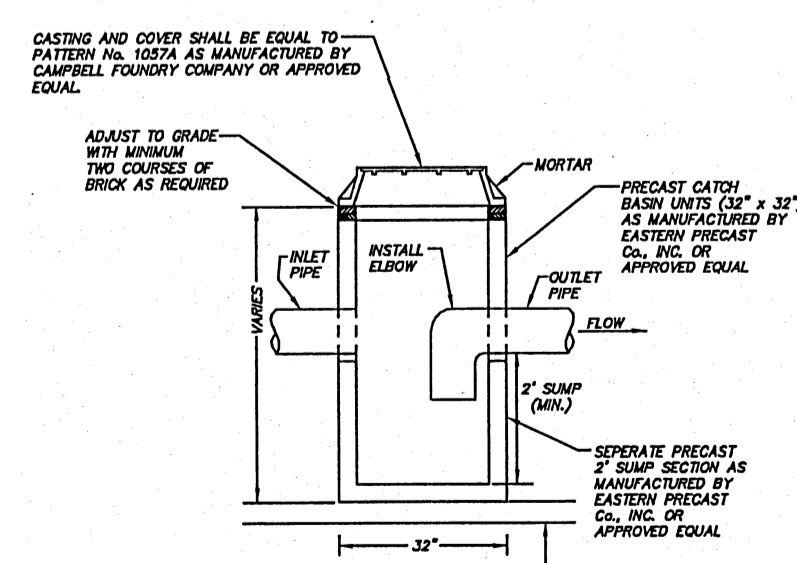
Temporary Seed Mix:
Perennial ryegrass 40 lbs/oc.

Permanent Lawns:
Kentucky Bluegrass 20 lbs/oc.
Creeping red fescue 20 lbs/oc.
Perennial ryegrass 5 lbs/oc.
(1 lb/1000 sf)

Optimum Seeding Dates:
April 15 through June 15
August 15 through October 1 45 lbs/oc.
(1 lb/1000 sf)

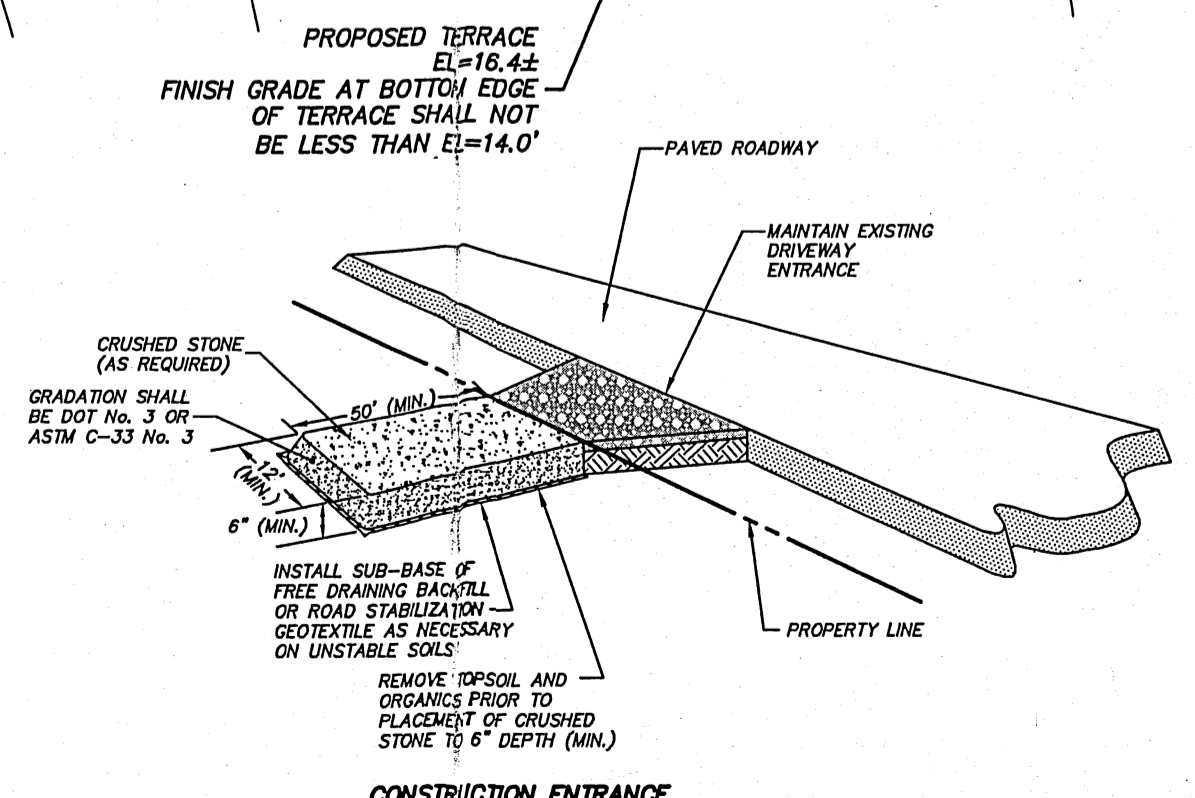
- TREE LEGEND:**
- B - BIRCH
 - M - MAPLE
 - O - OAK
 - P - PINE
 - W - WILLOW
 - MU - MULTI
 - TW - TWIN

- LEGEND:**
- EXISTING CONTOUR
 - EXISTING SPOT ELEVATION
 - PROPOSED CONTOUR
 - PROPOSED SPOT ELEVATION
 - TREE TO REMAIN
 - TREE TO BE REMOVED
 - CONIFEROUS TREE
 - PROPERTY LINE
 - WATER SERVICE
 - GAS SERVICE
 - ELEC, TELE, & CABLE SERVICES
 - SDMH - STORM DRAIN MANHOLE
 - SSMH - SANITARY SEWER MANHOLE
 - TW - TOP OF WALL
 - BW - BOTTOM OF WALL
 - CB - CATCH BASIN
 - C.O. - CLEAN OUT
 - J.B. - JUNCTION BOX
 - Y.D. - YARD DRAIN
 - A.O.B.E. - AS ORDERED BY ENGINEER
 - V.I.F. - VERIFY IN FIELD

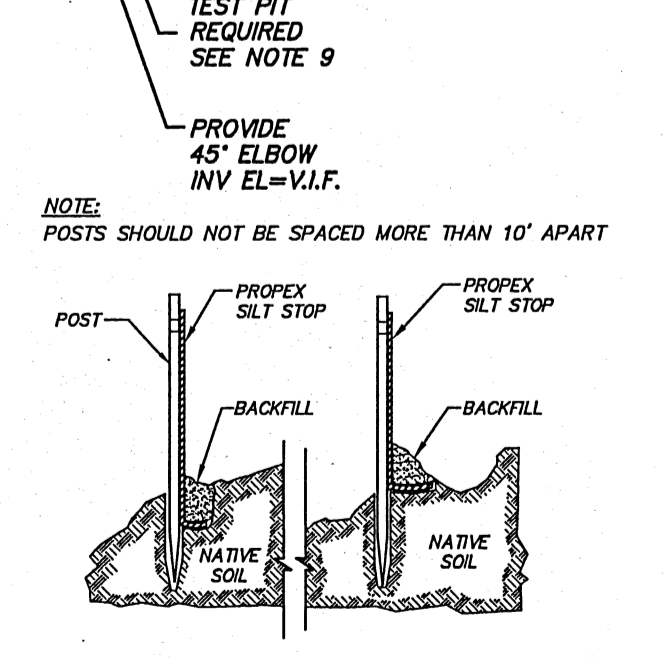


JUNCTION BOX DETAIL

SUMP NOTE:
JUNCTION BOX SHALL HAVE A MINIMUM SUMP OF 2 FEET AS MEASURED FROM THE LOWEST PIPE INVERT ELEVATION TO THE INTERIOR BOTTOM OF THE STRUCTURE.
CONTRACTOR SHALL PURCHASE AND INSTALL A SEPARATE SUMP SECTION. NO OUTLET OR INLET PIPES SHALL PENETRATE THE BOTTOM SUMP SECTION.

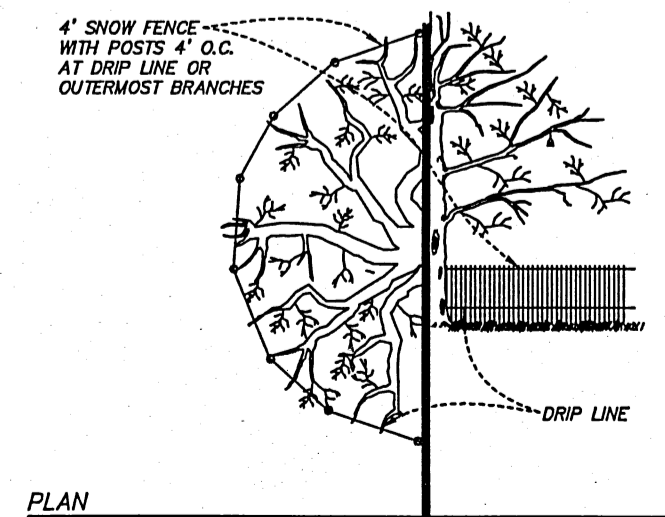


ANTI-TRACKING PAD DETAIL

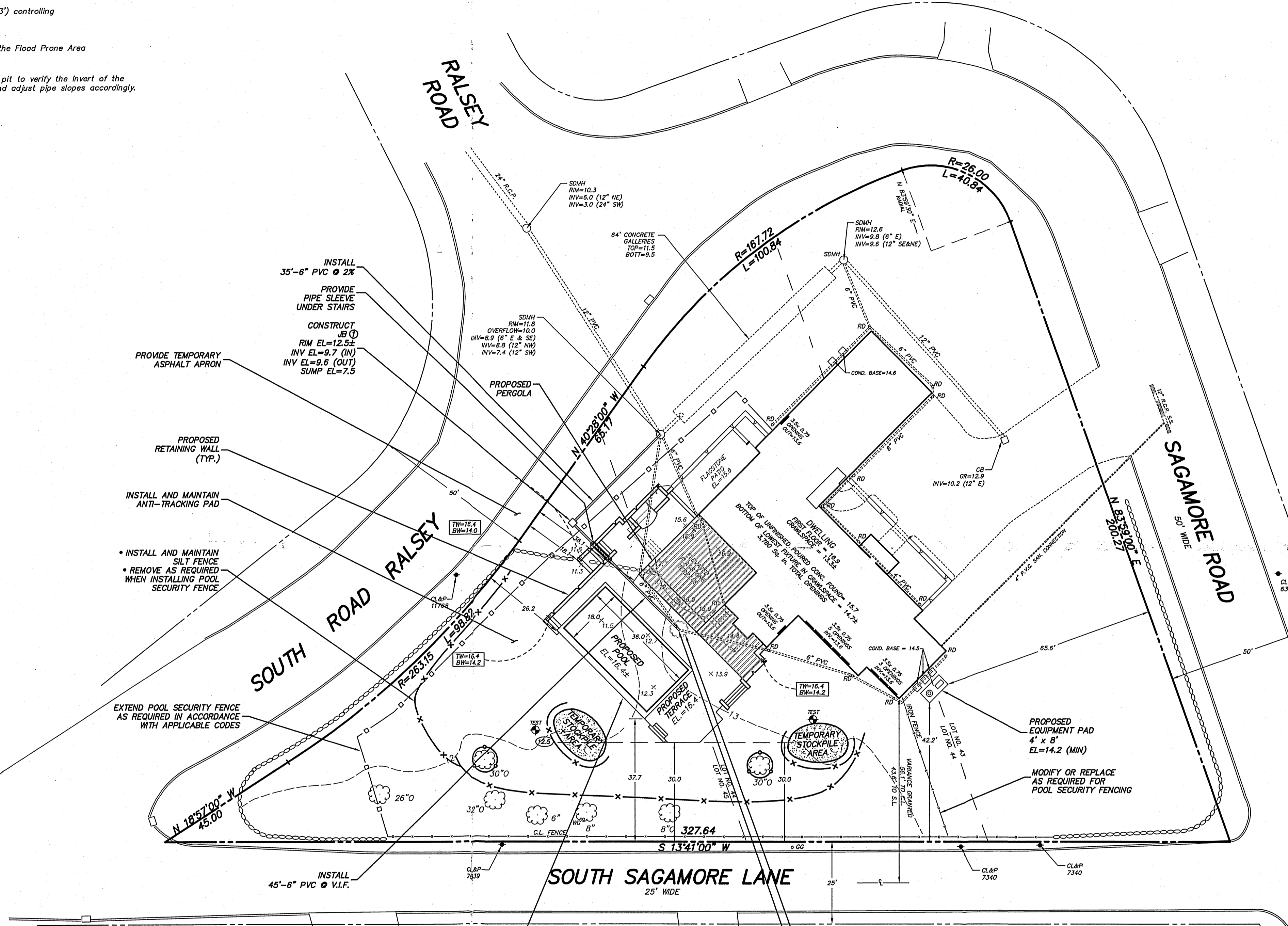


INSTALLATION DETAIL SEDIMENT CONTROL FABRIC

CONTOUR INTERVAL = ONE FOOT
1 INCH = 20 FEET
SCALE
20 0 20
IN FEET



TREE PROTECTION



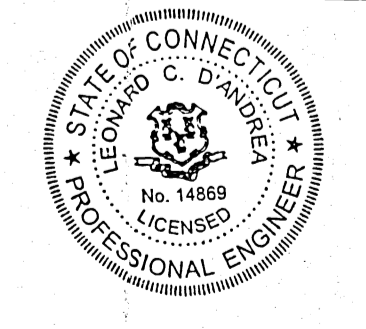
SEDIMENTATION AND EROSION CONTROL NOTES:

- Temporary soil and erosion control measures, inclusive of filter barriers, water breaks, check dams, and anti-tracking areas, shall remain in place for as long as necessary to permanently stabilize developed areas.
- Erosion and sediment control devices shall be installed in their proper sequence. No clearing or grading may be done in any area until the erosion control devices for that area, as shown on the plan, are in place and functional.
- Natural vegetation shall be maintained and protected where practical.
- No changes of this soil erosion and sediment control plan may be made without prior approval of the supervising engineer.
- Land disturbance is to be kept to a minimum. Re-establishment and/or stabilization of disturbed areas shall be scheduled as soon as practical.
- Erosion controls shall be monitored periodically to verify that they are maintained in effective working order. If, during construction, additional control measures are necessary, they shall be installed by that contractor.
- Sediment or debris shall be removed from the drainage pipes and structures as it accumulates during construction. It shall be disposed of in a manner which is consistent with the intent of this plan.
- The contractor may provide alternate means of sediment control, but he may not eliminate placement of protection in the areas indicated hereon.
- Sediment fencing shall be installed where required prior to commencing construction. Fencing shall be Propex Silt Stop (TM) as manufactured by Amoco, or engineer approved equivalent.
- The contractor shall re-grade, topsoil, and seed all disturbed areas immediately after construction has been completed.
- All designated trees shall be protected during the construction period, except those designated to be removed. Tree protection shall be in accordance with generally accepted standards. (Refer to the Connecticut Guidelines for Soil Erosion and Sediment Control (2002) for details and specifications).
- Additional protection measures shall be implemented should site conditions warrant them.
- Refer to Connecticut Guidelines for Soil Erosion and Sediment Control (2002) for additional details and specifications.

STANDARD CITY OF STAMFORD NOTES:

- A Street Opening Permit is required for all work within the City of Stamford Right-of-Way.
- All work within the City of Stamford Right-of-Way shall be constructed to City of Stamford requirements, the State of Connecticut Basic Building Code and the Connecticut Guidelines for Soil Erosion and Sedimentation Control.
- The Engineering Bureau of the City of Stamford shall be notified three days prior to any commencement of construction or work within the City of Stamford Right-of-Way.
- Trees within the City of Stamford Right-of-Way to be removed shall be posted in accordance with the Tree Ordinance.
- Prior to any excavation the Contractor and/or Applicant/Owner, in accordance with Public Act 77-350, shall be required to contact "Call Before You Dig" at 1-800-922-4455 for mark out of underground utilities.
- All retaining walls three (3) feet or higher measured from finished grade at the bottom of the wall to finished grade at the top of the wall and retaining walls supporting a surcharge or impounding Class I, II or III-A liquids are required to have a Building Permit. Retaining walls shall be designed and inspected during construction by a Professional Engineer licensed in the State of Connecticut. Prior to the issuance of a Certificate of Occupancy, retaining walls shall be certified by a Professional Engineer licensed in the State of Connecticut.
- Certification will be required by a professional engineer licensed in the State of Connecticut that work has been completed in compliance with the approved drawings.
- A Final Improvement Location Survey will be required by a professional land surveyor licensed in the State of Connecticut.
- Connection to a city-owned storm sewer shall require the Waiver Covering Storm Sewer Connection to be filed with the City of Stamford Engineering Bureau.
- Granite block or other decorative stone or brick, depressed curb, driveway apron and curbing within the City of Stamford Right-of-Way shall require the Waiver Covering Granite Block Depressed Curb and Driveway Aprons to be filed with the City of Stamford Engineering Bureau.
- Sediment and erosion controls shall be maintained and repaired as necessary throughout construction until the site is stabilized.
- To obtain a Certificate of Occupancy, submittal must include all items outlined in the Checklist for Certificate of Occupancy (Appendix D of the City of Stamford Drainage Manual).

#003-22



D'ANDREA SURVEYING & ENGINEERING, PC
LAND PLANNERS
ENGINEERS
P.O. BOX 549
RIVERSIDE, CT 06878
SURVEYORS
6 NEIL LANE
TEL. 837-1779

REV.	DATE	DESCRIPTION
1	12-15-21	ZBA SUBMISSION
0	11-16-21	PROPOSED POOL AND PATIO
LEONARD C. D'ANDREA	12-15-21	ENGINEER

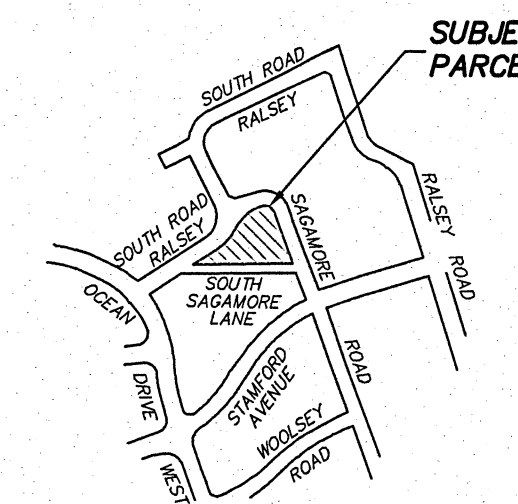
ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

PROJECT	SINGLE-FAMILY DWELLING ZBA APPLICATION
PREPARED FOR	HERBERT F. GRETZ ET AL
LOCATION	45 SAGAMORE ROAD STAMFORD, CONNECTICUT
1 OF 1	SITE PLAN

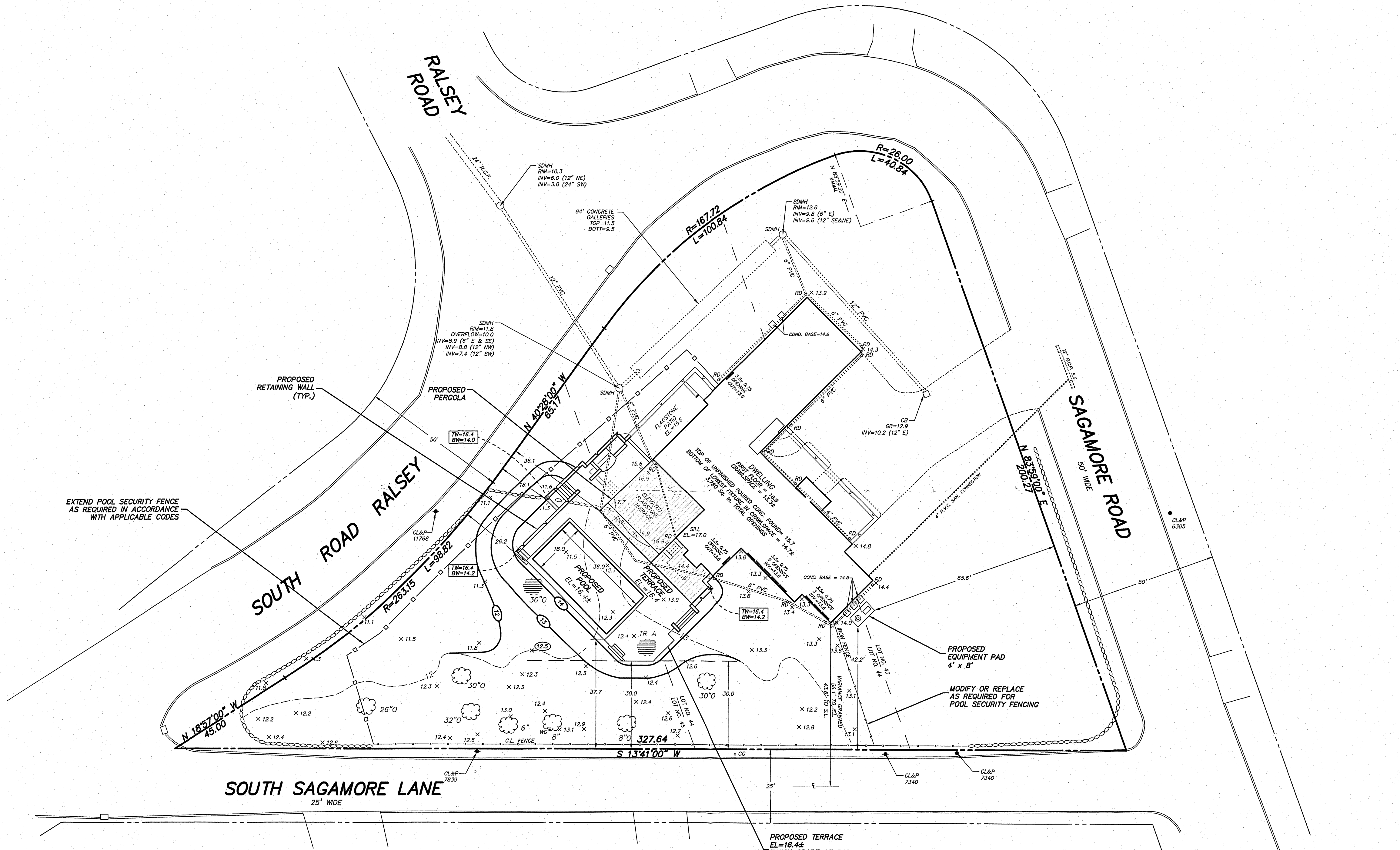
NOTES:

1. REFER TO A SURVEY ENTITLED "PARTIAL TOPOGRAPHIC SURVEY - EXISTING PREPARED FOR HERBERT F. GRETZ, ET AL" STAMFORD, CONNECTICUT PREPARED BY ROBERT T. HAMILTON PROFESSIONAL LAND SURVEYORS LLC DATED OCTOBER 6, 2021.
2. CONTOURS AND ELEVATIONS DEPICTED HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
3. REFER TO POOL PLANS TO BE PROVIDED BY OTHERS.

BLOCK No. 155
 "R-10" ZONING DISTRICT
 AREA=36,250 S.F. 0.8322± ACRES



LOCATION MAP - 1"= 400'±



LEGEND:

- 30- - - - - EXISTING CONTOUR
- x 25.3 - - - - - EXISTING SPOT ELEVATION
- (7B) - - - - - PROPOSED CONTOUR
- x (25.3) - - - - - PROPOSED SPOT ELEVATION
- (T) - - - - - TREE TO REMAIN
- (X) - - - - - TREE TO BE REMOVED
- (C) - - - - - CONIFEROUS TREE
- - - - - PROPERTY LINE
- - - - - WATER SERVICE
- - - - - GAS SERVICE
- - - - - ELEC. TELE. & CABLE SERVICES
- SDMH - - - - - STORM DRAIN MANHOLE
- SSMH - - - - - SANITARY SEWER MANHOLE
- TW - - - - - TOP OF WALL
- BW - - - - - BOTTOM OF WALL
- CB - - - - - CATCH BASIN
- C.O. - - - - - CLEAN OUT
- J.B. - - - - - JUNCTION BOX
- Y.D. - - - - - YARD DRAIN
- A.O.B.E. - - - - - AS ORDERED BY ENGINEER
- V.I.F. - - - - - VERIFY IN FIELD

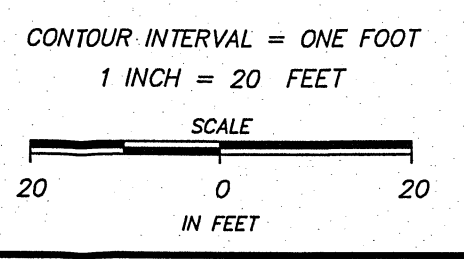
#003-22

D'ANDREA SURVEYING & ENGINEERING, PC
 LAND PLANNERS
 ENGINEERS
 SURVEYORS

P.O. BOX 549
 RIVERSIDE, CT 06878

6 NEIL LANE
 TEL. 637-1779

PROJECT	SINGLE-FAMILY DWELLING
PREPARED FOR	HERBERT F. GRETZ ET AL
LOCATION	45 SAGAMORE ROAD STAMFORD, CONNECTICUT
DATE	11-16-21
DESCRIPTION	PROPOSED POOL AND PATIO
ENGINEER	LEONARD C. D'ANDREA, CT PE No. 14869
SCALE	11-16-21
1 OF 1	DEVELOPMENT PLAN



21-P-02-REVISED (EM)