

GENERAL NOTES:

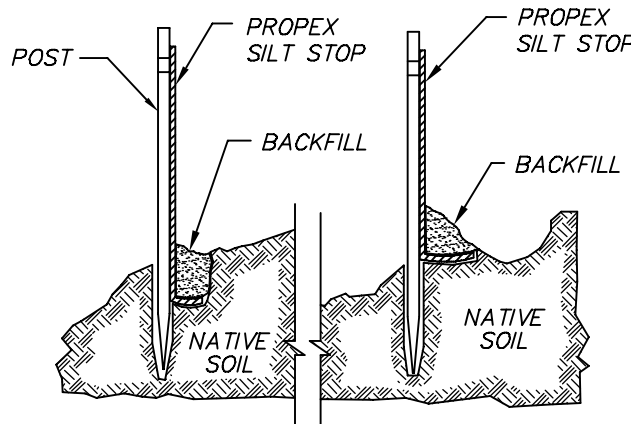
- Boundary information, existing features, and topography were taken from a survey entitled "Property Survey depicting 36 Ann Street in Stamford, Connecticut, prepared for Pacific House, Inc." dated March 22, 2021, as prepared by D'Andrea Surveying & Engineering, P.C.
- Property lies within Flood Hazard Zone "X" as depicted on Flood Insurance Rate Map (FIRM) No. 09001C03160, effective July 8, 2013, published by FEMA.
- Refer to Architectural Plans prepared by Elena Kalman Architect.
- Elevations shown are based on the North American Vertical Datum of 1988 (NAVD 88). The contractor shall coordinate the transfer of a control benchmark into the working area, after site preparation is complete, by a licensed surveyor.
- The information given on these plans in respect to the location of subsurface structures and utilities indicates only that the structures and utilities exist and no responsibility is assumed by the surveyor or engineer for the accuracy of the locations shown. Utility information is not guaranteed to be complete or accurate.
- In accordance with Connecticut Public Act 87-71 and Connecticut General Statutes Sections 16-345 through 16-359, the owner or the contractor shall be required to verify the depth and location of all utilities prior to commencing construction, and shall contact "Call Before You Dig, Inc." at 1-800-922-4455, 48 hours prior to commencing construction for mark out of underground utilities.
- This site is served by public sanitary sewer, water and gas. A sewer permit shall be obtained prior to the commencement of construction.
- The contractor shall obtain all appropriate permits prior to commencing construction.
- All construction shall comply with applicable sections of the State of Connecticut, Local, and International Building Codes, and those criteria shall take precedent over these plans.
- All utility relocations and installations shall be coordinated with each respective utility company prior to construction. Coordinate all utility installation and connection specifications with each respective utility company.
- Depicted locations of the proposed propane service, water service, and underground utilities; electric, telephone, and cable are approximate for approval purposes only. Final locations shall be coordinated between each respective utility company and the owner.
- The contractor shall excavate test pits where indicated hereon or wherever design conflicts may occur prior to the installation of any portion of either the proposed sanitary sewer or storm drainage systems. The contractor shall notify the project engineer of the test pit schedule. Design conflicts if any, shall be brought to the immediate attention of the project engineer.
- A Drainage Maintenance Agreement shall be provided to the City of Stamford prior to obtaining a final Certificate of Occupancy.
- All roof drains from the proposed building shall discharge over splash pads. Final locations and sizes of the roof drain collectors shall be coordinated between the contractor, the architect, and the project engineer.
- Pedestrian traffic note: Safe pedestrian travel shall be maintained along the Ann Street sidewalk frontage throughout construction. During periods of construction within the sidewalk area, appropriate signage, as approved by the City of Stamford, shall be installed to make pedestrian traffic aware of how they should be routed around the construction area.

SEDIMENTATION AND EROSION CONTROL NOTES:

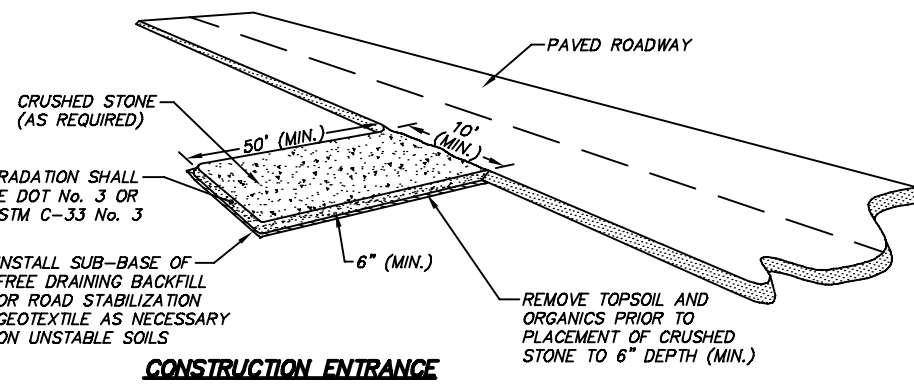
- Temporary soil and erosion control measures inclusive of filter barriers, water breaks, check dams, and anti-tracking areas shall remain in place for as long as necessary to permanently stabilize developed areas.
- Erosion and sediment control devices shall be installed in their proper sequence. No clearing or grading may be done in any area until the devices for that area, as shown on the plan, are in place and functional.
- Natural vegetation shall be maintained and protected to the greatest extent practical.
- All sediment and erosion control devices and provisions shall be maintained in operational condition by the contractor until final acceptance of the project.
- No changes of this soil erosion and sediment control plan may be made without approval of the project engineer.
- Land disturbance is to be kept to a minimum and reestablishment and/or stabilization of disturbed areas shall be scheduled as soon as practical.
- Erosion controls shall be monitored periodically to verify that they are maintained in effective working order. If, during construction, additional control measures are necessary, they shall be installed.
- Sediment or debris shall be removed from the drainage pipes and structures as it accumulates during construction. It shall be disposed of in a manner which is consistent with the intent of this plan.
- Sediment fencing shall be installed where required prior to commencing construction and shall remain in place for the duration of the project. Fencing shall be Propex Silt Stop (TM) as manufactured by Amoco or approved equal.
- The contractor may provide alternate means of sediment control, but he may not eliminate placement of protection in the areas indicated hereon.
- The contractor shall regrade, topsoil, and seed all disturbed areas immediately after construction has been completed.
- Copies of the Sedimentation and Erosion Control Plan are to be maintained at the site and provided to the project foreman and subcontractors prior to the start of work.
- Additional protection measures shall be implemented as site conditions warrant.
- An additional 10% of trap rack, hay bales, snowfencing, fabric fencing, and other control materials are to be stockpiled on site for use as necessary.
- Refer to Erosion and Sedimentation Control Handbook - Connecticut for additional details and specifications for sedimentation control.

CITY OF STAMFORD STANDARD NOTES:

- A Street Opening Permit is required for all work within the City of Stamford Right-of-Way.
- All work within the City of Stamford Right-of-Way shall be constructed to City of Stamford requirements, the State of Connecticut Basic Building Code, and the Connecticut Guidelines for Soil Erosion and Sedimentation Control.
- The Engineering Bureau of the City of Stamford shall be notified three days prior to the commencement of any construction within the City of Stamford Right-of-Way.
- Trees within the City of Stamford Right-of-Way to be removed shall be posted in accordance with the Tree Ordinance.
- Prior to any excavation the Contractor and/or Applicant/Owner, in accordance with Public Act 77-350, shall be required to contact "Call Before You Dig" at 1-800-922-4455 for mark out of underground utilities.
- All retaining walls three (3) feet or higher measured from finished grade at the bottom of the wall to finished grade at the top of the wall and retaining walls supporting a surcharge or impounding Class I, II or III-A liquids are required to have a Building Permit. Retaining walls shall be designed and inspected during construction by a Professional Engineer licensed in the State of Connecticut. Prior to the issuance of a Certificate of Occupancy, retaining walls shall be certified by a Professional Engineer licensed in the State of Connecticut.
- Certification will be required by a professional engineer licensed in the State of Connecticut that work has been completed in compliance with the approved drawings.
- A Final Improvement Location Survey will be required by a professional land surveyor licensed in the State of Connecticut.
- Connection to a city-owned storm sewer shall require the Waiver Covering Storm Sewer Connection to be filed with the City of Stamford Engineering Bureau.
- Granite block or other decorative stone or brick, depressed curb, driveway apron, and curbing within the City of Stamford Right-of-Way shall require a Waiver Covering Granite Block Depressed Curb and Driveway Aprons to be filed with the City of Stamford Engineering Bureau.
- Sediment and erosion controls shall be maintained and repaired as necessary throughout construction until the site is stabilized.
- To obtain a Certificate of Occupancy, submittal must include all items outlined in the Checklist for Certificate of Occupancy (Appendix D of the City of Stamford Drainage Manual).
- Reference EPB Permit #, Zoning Permit #, Zoning Board of Appeals #, Subdivision #, if applicable.

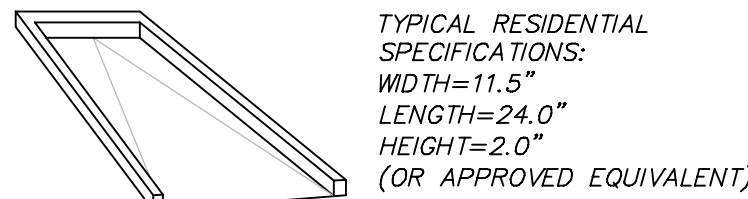


INSTALLATION DETAIL
SEDIMENT CONTROL FABRIC

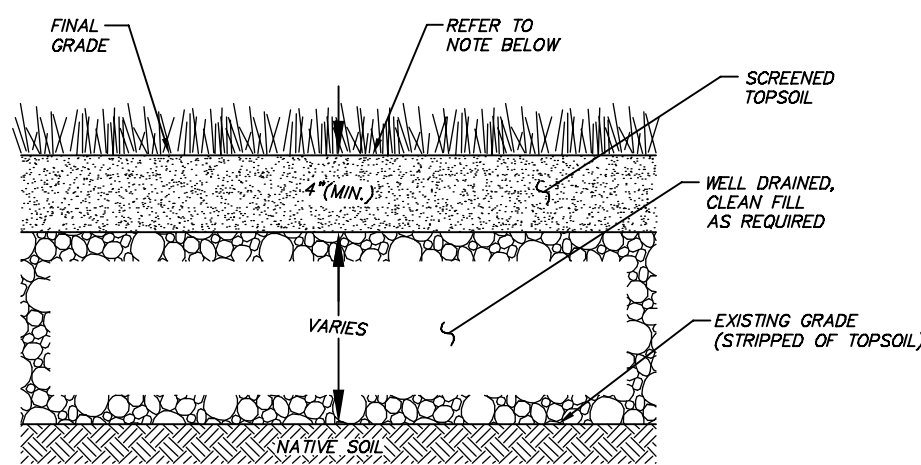


ANTI-TRACKING PAD DETAIL

NOTE:
POSTS SHOULD NOT BE SPACED MORE THAN 10' APART



RESIDENTIAL SPLASH BLOCK DETAIL



LAWN RESTORATION DETAIL

NOTE:

1. Land disturbance shall be kept to a minimum. All disturbed areas shall be planted in where permanent plantings are called for as soon as practicable. Seed and mulch disturbed areas with grass seed where permanent plantings are not called for, as soon as practicable. Prepare seedbed (4\"/>

Temporary Seed Mix:
Perennial ryegrass 40 lbs/ac.

Permanent Lawns:
Kentucky Bluegrass 20 lbs/ac.
Creeping red fescue 20 lbs/ac.
Perennial ryegrass 5 lbs/ac.
(1 lb/1000 sf.)

Optimum Seeding Dates:
April 15 through June 15
August 15 through October 1 45 lbs/ac.
(1 lb/1000 sf.)

NOTE:
THE STREET AND PROJECT FRONTAGE AREA SHALL BE SWEEPED CLEAN AT THE END OF EACH DAY AS REQUIRED. IN PARTICULAR, THE CONSTRUCTION ENTRANCE SHALL BE KEPT FREE OF DUST AND SEDIMENT.

BENCHMARK
\"U\"-CUT/CURB
ELEV= 43.78
DATUM: NAVD 88

EXTEND CAPPED SANITARY SEWER LATERAL INTO DWELLING. DEPTH=24\"/>

CONNECT NEW UTILITIES TO EXISTING UTILITY POLE. (COORDINATE WITH EACH UTILITY COMPANY)

INSTALL OVERHEAD WIRE UTILITY SERVICES (COORDINATE WITH EACH UTILITY COMPANY)

DEPTH, LOCATION AND ELEVATION OF EXISTING SANITARY SEWER LATERAL CONNECTION TO BE VERIFIED IN THE FIELD

SSMH
RM EL.=42.7
INV. EL.=28.1 (8\"/>

SSMH
RM EL.=42.7
INV. EL.=28.1 (8\"/>

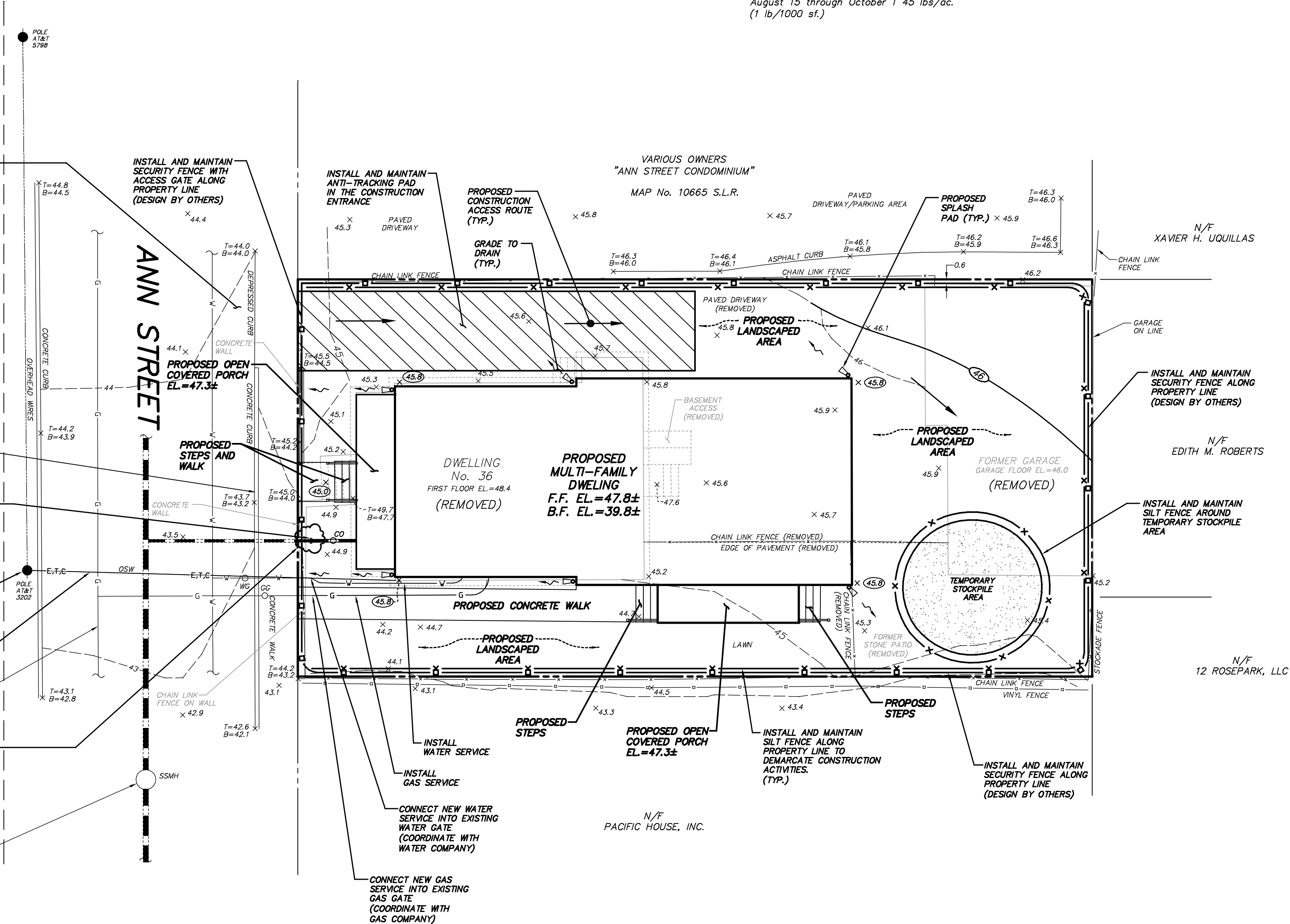
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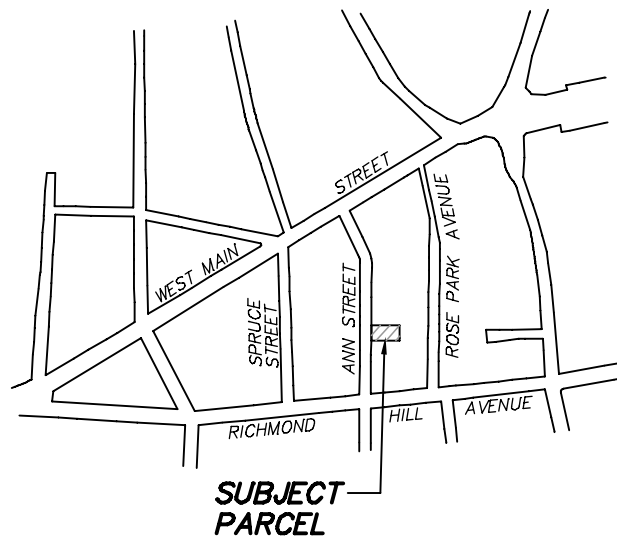
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INV. EL.=28.1 (8\"/>



BLOCK No. 9
AREA = 5,000 S.F.
\"R-MF\" ZONING DISTRICT



LOCATION MAP - 1\"/>

SYMBOL LEGEND

- 30 --- EXISTING CONTOUR
- x 30.0 EXISTING SPOT ELEVATION
- x 30.0 EXISTING TOP/BOTTOM SPOT ELEVATION
- 22 --- PROPOSED CONTOUR
- x 30.0 PROPOSED SPOT ELEVATION
- 22 --- SIGN
- o UTILITY POLE
- o W WATER GATE
- --- PROPERTY LINE
- G --- UNDERGROUND UTILITY SERVICE: C=CABLE, E=ELECTRIC, G=GAS, W=WATER, T=TELEPHONE
- CB CATCH BASIN
- OSW OVERHEAD SERVICE WIRE
- SSMH STORM DRAIN MANHOLE
- SSMH SANITARY SEWER MANHOLE
- CPP CORRUGATED PLASTIC PIPE
- PVC POLYVINYL CHLORIDE
- RCPC REINFORCED CONCRETE PIPE
- o o SECURITY FENCE
- x x SILT FENCE

D'ANDREA SURVEYING & ENGINEERING, P.C.
• LAND PLANNERS
• ENGINEERS
P.O. BOX 549
RIVERSIDE, CT 06878
TEL. 637-1779

PROJECT
RESIDENTIAL DEVELOPMENT

PREPARED FOR
PACIFIC HOUSE, INC.

LOCATION
36 ANN STREET
STAMFORD, CONNECTICUT

1 OF 1
DEVELOPMENT PLAN

0	3-22-21	INITIAL SUBMISSION
REV.	DATE	DESCRIPTION
		LEONARD C. D'ANDREA, CT PE No. 14869
	3-22-21	DATE
ONLY COPIES OF THIS PLAN BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL ARE TRUE, VALID COPIES.		

