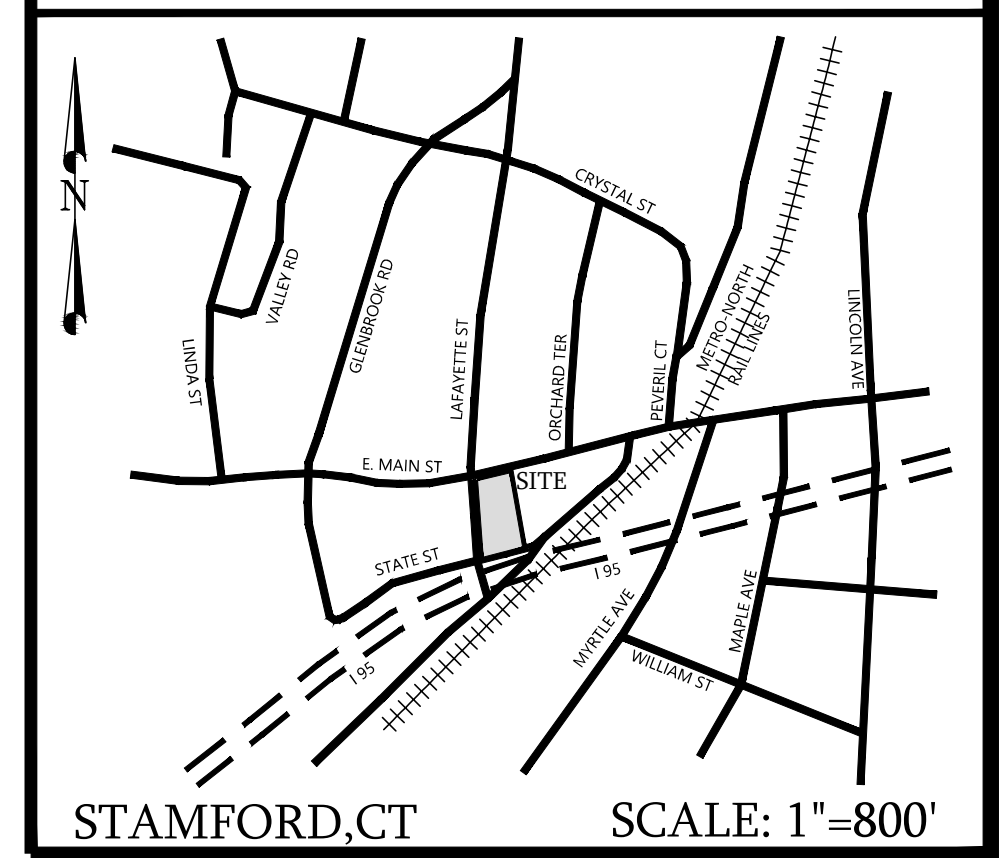


ORIENTATION



NOTES:

- This survey has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. as a Property and Topographic Survey the Boundary Determination Category of which is a Resurvey conforming to Horizontal Accuracy Class A-2 and the locations and elevations of which conform to Topographic Accuracy Class T-2. It is intended to depict property boundaries, locations and elevations of improvements and topographic features.
- Reference is made to Maps 56, 5762, 5781, 5931, 7196, 8515 & 7200 of the Stamford Land Records (S.L.R.).
- Reference is made to deeds of record:  
 27 Lafayette St: Parcel 3, Vol. 12082, Pg. 44 S.L.R.  
 29 Lafayette St: Parcel 1, Vol. 12082, Pg. 44 S.L.R.  
 821 E. Main St: Parcel 2, Vol. 12082, Pg. 44 S.L.R.  
 825 E. Main St: Parcel 4, Vol. 12082, Pg. 44 S.L.R.  
 827 E. Main St: Parcel 5, Vol. 12082, Pg. 44 S.L.R.  
 831 E. Main St: Vol. 8363, Pg. 46 S.L.R.  
 15-23 Lafayette St: Vol. 10364, Pg. 104 S.L.R.
- Reference is made to Connecticut State Highway Department Right of Way Map 135-42 sheet 9.
- Reference is made to instruments of record as labeled hereon.
- Total Lot area : 50,237 ± Sq. Ft. or 1.1532 ± Acres
- Elevations depicted hereon are based on the North American Vertical Datum of 1988 (NAVD-88).
- Bearings depicted hereon are based on Connecticut State Coordinate System - NAD'83.
- Subject parcel does not lie within a Special Flood Hazard Area as depicted on FEMA Flood Insurance Rate Map Community Panel No. 09001C0517G Map Effective July 8, 2013.
- Wetlands, if any, not depicted hereon
- Location, extent and sizes of underground utilities not guaranteed. Consult with the appropriate utility company or agency prior to designing improvements, commencing demolition or construction.

**PROPERTY & TOPOGRAPHIC SURVEY**  
 DEPICTING  
**821, 825, 827 & 831 EAST MAIN STREET**  
**15, 27 & 29 LAFAYETTE STREET**  
 STAMFORD, CT  
 PREPARED FOR  
**819 EAST MAIN STREET, LLC**

DATE: 12/14/2021  
 JOB NO. 173

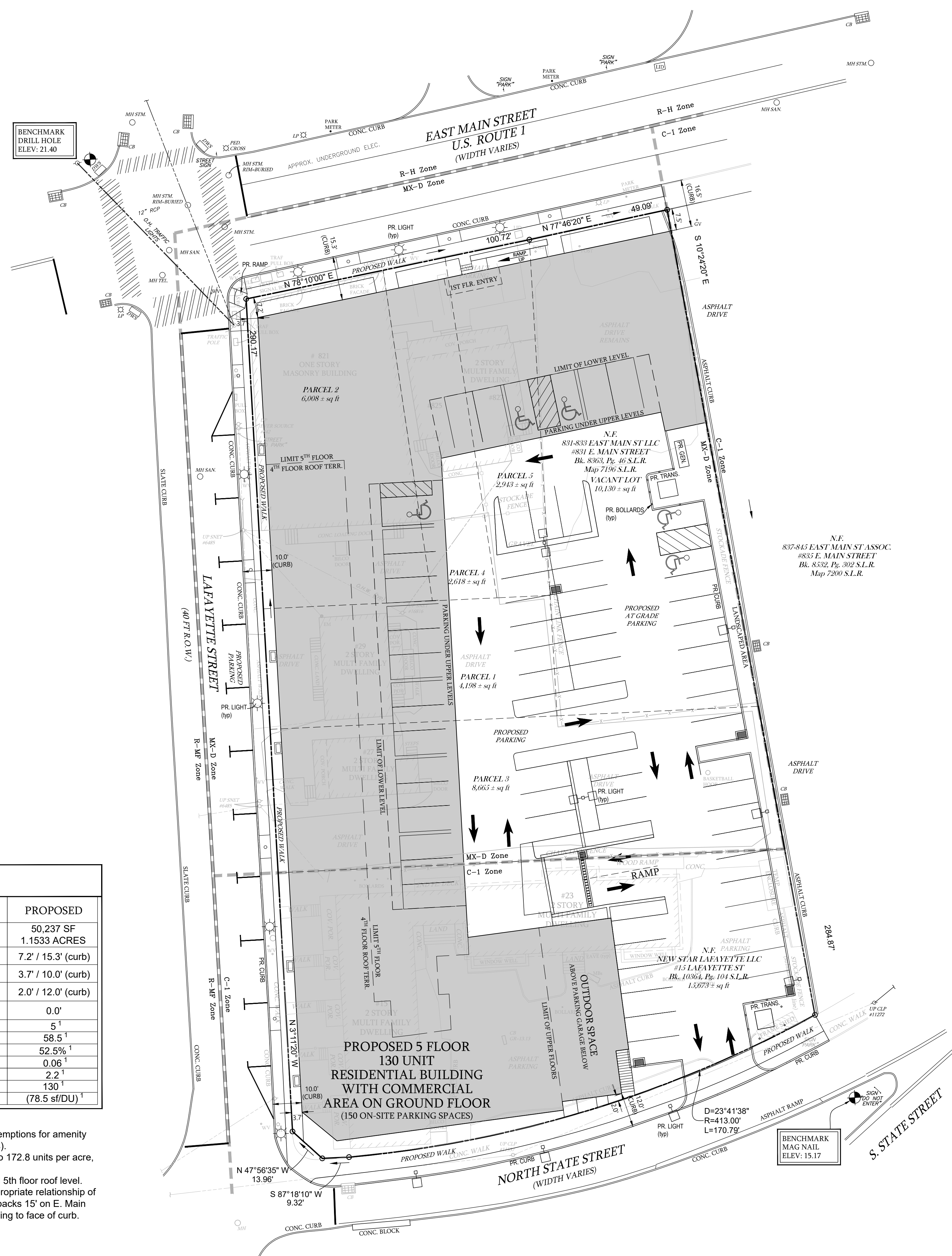
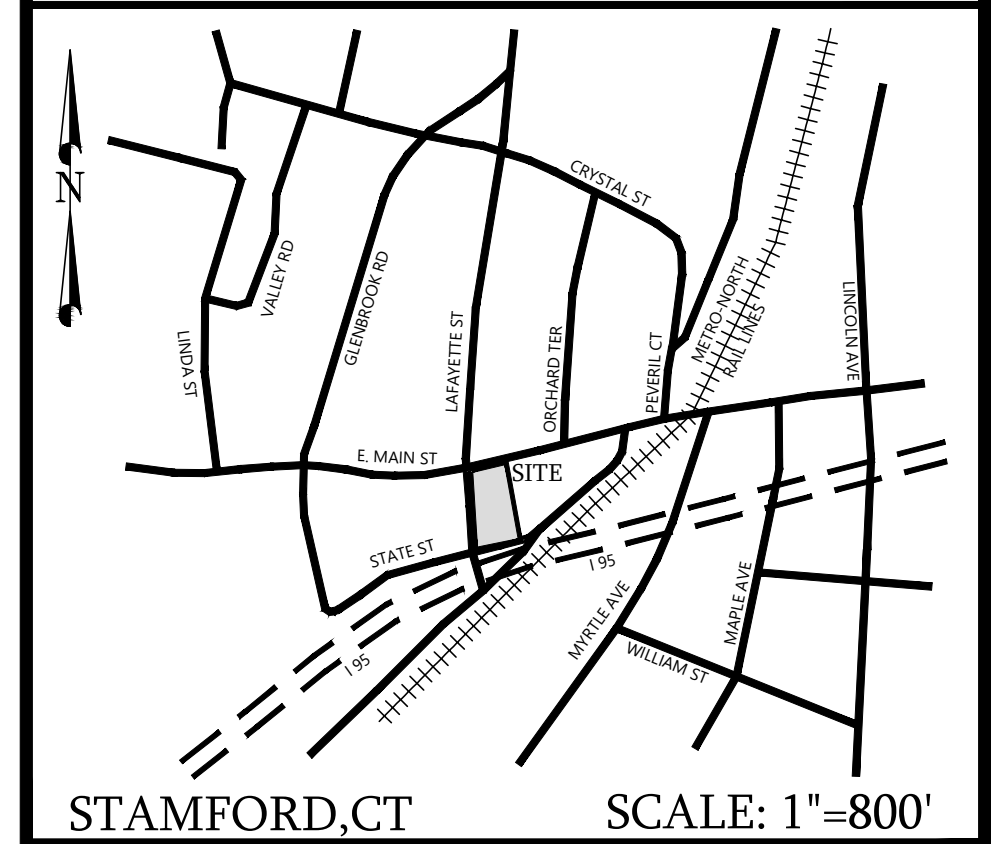


To my knowledge and belief this map is substantially correct as noted hereon  
  
 ANITA BERECKZY CT. LIC. NO. 70416  
 12/14/2021  
 DATE

**DIMARZO & BERECKZY**  
 LAND SURVEYING  
 FAIRFIELD, CT 06825  
 203.857.4110  
 PERMITTING

This document and copies thereof are valid only if they bear the signature and embossed seal of the designated licensed professional. Unauthorized alterations render any declaration hereon null & void.

**PTS**



**NOTES:**

- This survey has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. as a Zoning Location Survey the Boundary Determination Category of which is a Resurvey conforming to Horizontal Accuracy Class A-2 and Vertical Accuracy Class V-2. It is intended to be used for application for determination of zoning compliance and for building permit purposes.
- Reference is made to Maps 56, 5762, 5931, 7196, 7200 and 8515 of the Stamford Land Records (S.L.R.).
- Reference is made to deeds of record:  
27 Lafayette St: Parcel 3, Vol. 12082, Pg. 44 S.L.R.  
29 Lafayette St: Parcel 1, Vol. 12082, Pg. 44 S.L.R.  
821 E. Main St: Parcel 2, Vol. 12082, Pg. 44 S.L.R.  
825 E. Main St: Parcel 4, Vol. 12082, Pg. 44 S.L.R.  
827 E. Main St: Parcel 5, Vol. 12082, Pg. 44 S.L.R.  
831 E. Main St: Vol. 8363, Pg. 46 S.L.R.  
15-23 Lafayette St: Vol. 10364, Pg. 104 S.L.R.
- Reference is made to Connecticut State Highway Department Right of Way Map 135-42 sheet 9.
- Reference is made to instruments of record as labeled hereon.
- Total Lot area : 50,237 ± Sq. Ft. or 1.1532 ± Acres
- Elevations depicted hereon are based on the North American Vertical Datum of 1988 (NAVD-88).
- Bearings depicted hereon are based on Connecticut State Coordinate System - NAD'83.
- Subject parcel does not lie within a Special Flood Hazard Area as depicted on FEMA Flood Insurance Rate Map Community Panel No. 09001C0517G Map Effective July 8, 2013.
- Reference is made to an unrecorded map titled "Property & Topographic Survey depicting 821, 825, 827 & 831 East Main St, 15, 27 & 29 Lafayette St, Stamford, CT, prepared for 819 East Main Street, LLC" dated 12/14/2021, prepared by this office.
- Reference is made to Site Plans depicting 27 & 29 Lafayette St, 821, 825, 827 & 831 East Main St, Stamford, CT, prepared for 819 East Main Street, LLC" dated 2/03/2022, prepared by this office.
- Reference is made to Architectural plans titled "The Lafayette, 819 E. Main St, Stamford, CT" dated 1/22/2022 and prepared by Wellbuilt Co, DO H. CHUNG & PARTNERS.
- Location, extent and sizes of underground utilities not guaranteed. Consult with the appropriate utility company or agency prior to designing improvements, commencing demolition or construction.
- Property to be consolidated, currently consists of seven parcels.

**ZONING DATA: MX-D**

REGULATION	MIN / MAX	PROPOSED
MIN. LOT SIZE	20,000 SF	50,237 SF 1.1533 ACRES
MIN. FRONT YARD (E. MAIN) <sup>5</sup>	see note 5	7.2' / 15.3' (curb)
MIN. FRONT YARD (LAFAYETTE) <sup>5</sup>	see note 5	3.7' / 10.0' (curb)
MIN. FRONT YARD (N. STATE) <sup>5</sup>	see note 5	2.0' / 12.0' (curb)
MIN. SIDE YARD (EAST) <sup>5</sup>	see note 5	0.0'
STORIES	n/a	5 <sup>1</sup>
HEIGHT	90'	58.5' <sup>1</sup>
BUILDING COVERAGE	80%	52.5% <sup>1</sup>
COMMERCIAL FAR	0.30	0.06 <sup>1</sup>
TOTAL FAR <sup>2</sup>	2.5	2.2 <sup>1</sup>
DWELLING UNITS <sup>3</sup>	199	130 <sup>1</sup>
OPEN SPACE <sup>4</sup>	(75 sf/DU)	(78.5 sf/DU) <sup>1</sup>

- Provided by Do H. Chung & Partners.
- Pursuant to Section 9.C.5.b.2 and 9.C.4.c, (permitted exemptions for amenity space and onsite BMRs have not been deducted from FAR totals).
- Underlying Master Plan (Cat. 9 Urban Mixed Use) limits density to 172.8 units per acre, or 199 total units on the subject site.
- Includes landscaped/open space on top of sub-grade garage and 5th floor roof level.
- Pursuant to Section 9.C.4.h, the Zoning Board may approve "appropriate relationship of yard requirements and separation of structures..." Proposed setbacks 15' on E. Main St. and 10' on Lafayette St. and N. State St. measured from building to face of curb.

**ZONING LOCATION SURVEY**  
 DEPICTING  
**821, 825, 827 & 831 EAST MAIN STREET**  
**15, 27 & 29 LAFAYETTE STREET**  
 STAMFORD, CT  
 PREPARED FOR  
**819 EAST MAIN STREET, LLC**

DATE: 2/03/2022	0 20 40
JOB NO. 173	1" = 20'

To my knowledge and belief this map is substantially correct as noted hereon.

ANITA BERECZKY CT. LIC. NO. 70416  
 2/03/2022  
 DATE

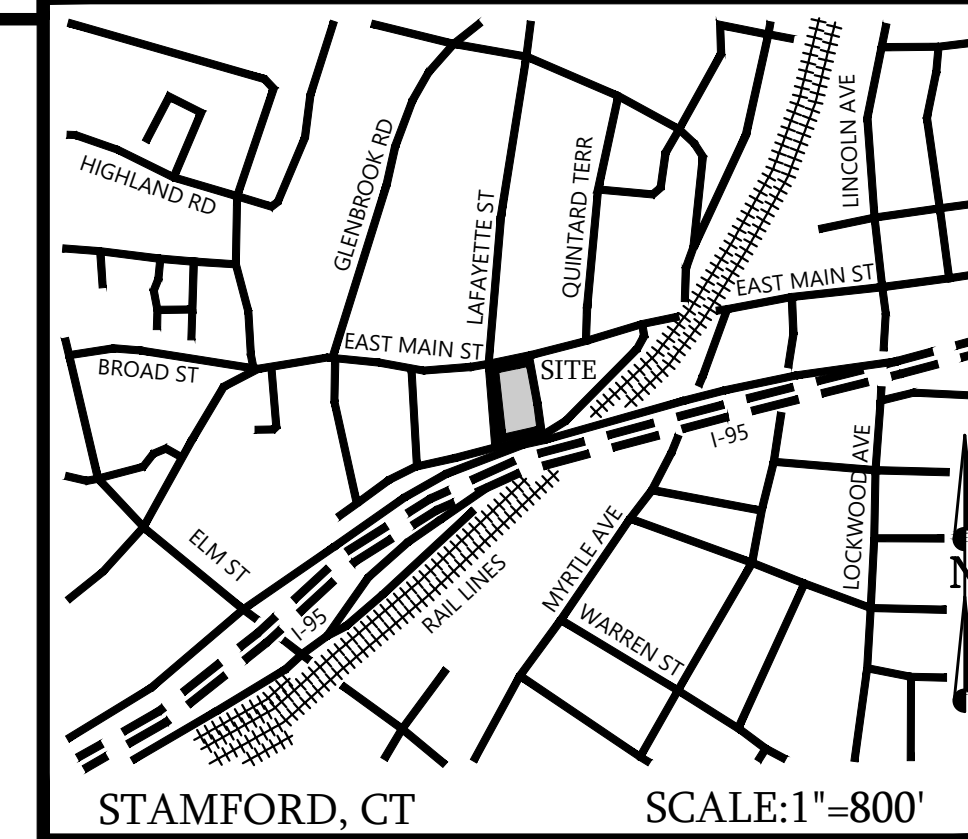
**DIMARZO & BERECZKY**  
 191 LLOYD DRIVE LAND SURVEYING  
 FAIRFIELD, CT 06825 CIVIL ENGINEERING  
 203.857.4110 PERMITTING

**ZLS**

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ZONES: MX-D, C-1  
LOT AREA: 50,237 SF

ORIENTATION



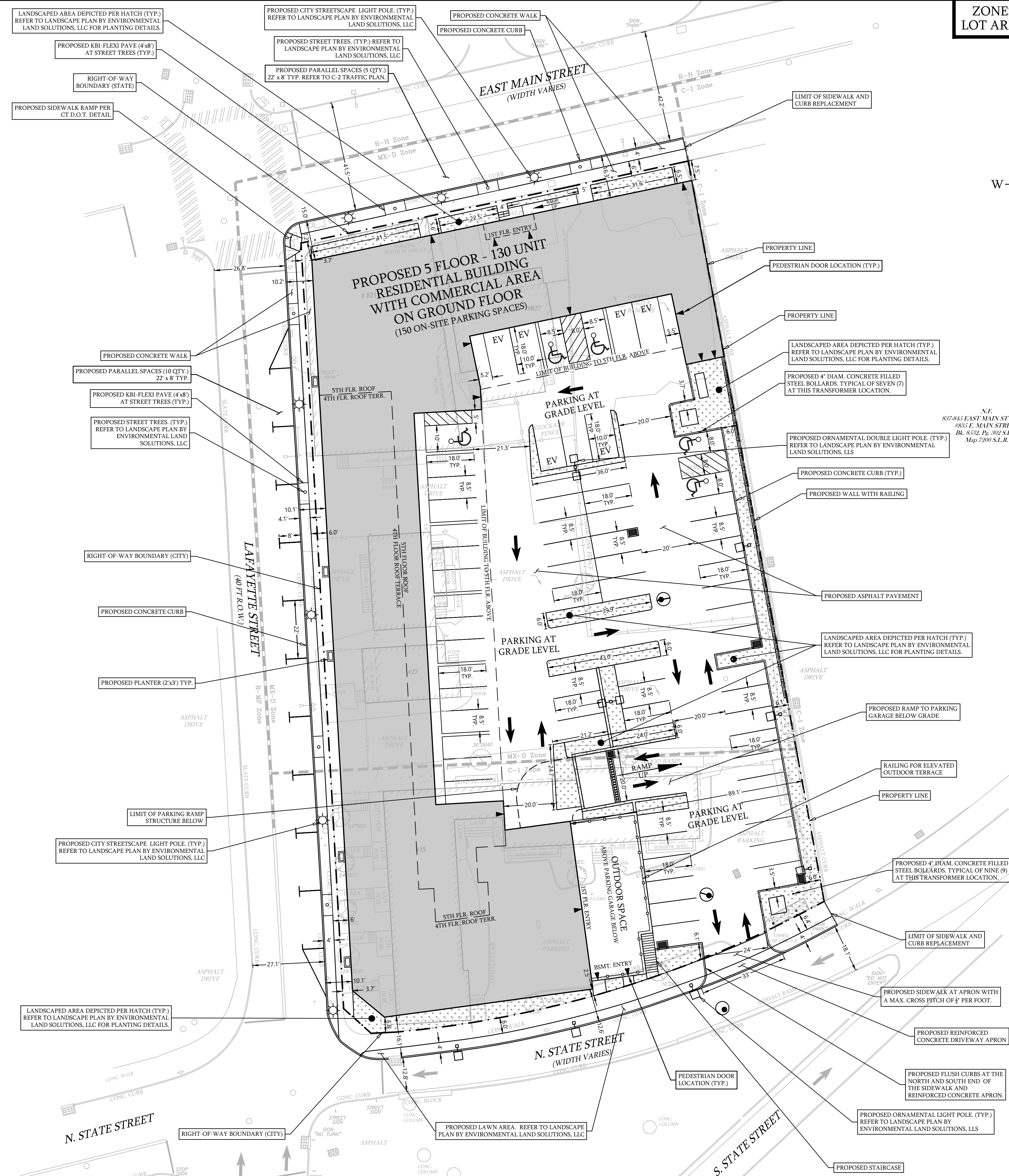
NOTES:

- THE INTENT OF THESE DRAWINGS IS FOR THE DEPICTION OF THE SITE GRADING, STORMWATER MANAGEMENT SYSTEM, SITE UTILITIES AND EROSION AND SEDIMENT CONTROL PLANS SHOWN HEREIN.
- REFER TO THE STORMWATER MANAGEMENT REPORT PREPARED BY OUR OFFICE DATED 2/03/2021.
- SURVEY DATA, BOUNDARY LINES, TOPOGRAPHY AND BUILDING LOCATIONS ARE FROM AN A-2 AND T-2 CERTIFIED SURVEY PREPARED BY THIS OFFICE TITLED "PROPERTY AND TOPOGRAPHIC SURVEY DEPICTING 821, 825, 827 & 831 EAST MAIN STREET, 15, 27, & 29 LAFAYETTE STREET, STAMFORD, CT PREPARED FOR 819 EAST MAIN STREET, LLC" DATED 12/14/2021. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD-88).
- AREA OF THE PARCEL = 50,237 ± SF OR 1.1532 ± ACRES.
- ALL CONSTRUCTION SHALL COMPLY WITH CITY OF STAMFORD REQUIREMENTS, THE STATE OF CONNECTICUT BASIC BUILDING CODE, THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, AND O.S.H.A. ALL PERMITS SHALL BE OBTAINED AND NECESSARY INSPECTIONS COMPLETED PRIOR TO BACKFILLING.
- INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM INFORMATION INCLUDING FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES.
- THE PROPERTY SHALL BE SERVED BY PUBLIC WATER AND SEWERS.
- CONTRACTOR SHALL SUPPLY COMPLETE SHOP DRAWINGS INCLUDING MANUFACTURER'S PRODUCT DATA SHEETS TO THE SITE ENGINEER, FOR ALL CONSTRUCTION MATERIAL USED IN CONJUNCTION WITH THESE DRAWINGS. CONTRACTOR SHALL ALLOW A 5 DAY REVIEW PERIOD, PRIOR TO FABRICATION AND INSTALLATION.
- PRIOR TO ANY EXCAVATION THE CONTRACTOR, LAND OWNER OR APPLICANT SHALL BE REQUIRED TO CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 FOR MARK-OUT OF UNDERGROUND UTILITIES.
- ALL MATERIALS REMOVED FROM THE PROJECT SITE SHALL BE DISPOSED OF IN CONFORMANCE WITH ALL JURISDICTIONAL AGENCIES.
- ANY MATERIAL, MAN-MADE OR NATURAL, WHICH IS IN ANY WAY DISTURBED AND/OR UTILIZED DURING WORK SHALL NOT BE DEPOSITED IN ANY WETLAND OR WATERCOURSE, EITHER ON OR OFF-SITE, UNLESS SPECIFICALLY AUTHORIZED BY A DOCUMENTED PERMIT.
- THE WORK SHALL BE DONE IN CONFORMANCE WITH THE CONTRACT DOCUMENTS/PLANS UNLESS CHANGES HAVE BEEN APPROVED IN WRITING BY THE DESIGN ENGINEER PRIOR TO THE WORK BEING DONE.
- A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, CONTRACTOR AND ENGINEER TO REVIEW THE SCOPE OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE PRE-CONSTRUCTION MEETING.

STANDARD CITY OF STAMFORD NOTES:

- A STREET OPENING PERMIT IS REQUIRED FOR ALL WORK WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY.
- ALL WORK WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY SHALL BE CONSTRUCTED TO CITY OF STAMFORD REQUIREMENTS, THE STATE OF CONNECTICUT BASIC BUILDING CODE AND THE CONNECTICUT GUIDELINES FOR SOIL AND EROSION AND SEDIMENT CONTROL.
- THE ENGINEERING BUREAU OF THE CITY OF STAMFORD SHALL BE NOTIFIED THREE (3) DAYS PRIOR TO ANY COMMENCEMENT OF CONSTRUCTION OR WORK WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY.
- TREES WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY TO BE REMOVED SHALL BE POSTED IN ACCORDANCE WITH THE TREE ORDINANCE.
- PRIOR TO ANY EXCAVATION THE CONTRACTOR AND/OR APPLICANT/OWNER, IN ACCORDANCE WITH PUBLIC ACT 77-350, SHALL BE REQUIRED TO CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 FOR MARK-OUT OF UNDERGROUND UTILITIES.
- ALL RETAINING WALLS THREE (3) FEET OR HIGHER MEASURED FROM FINISHED GRADE AT THE BOTTOM OF THE WALL TO FINISHED GRADE AT THE TOP OF THE WALL AND RETAINING WALLS SUPPORTING A SURCHARGE OR IMPOUNDING CLASS I, II OR III-A LIQUIDS ARE REQUIRED TO HAVE A BUILDING PERMIT. RETAINING WALLS SHALL BE DESIGNED AND INSPECTED DURING CONSTRUCTION BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, RETAINING WALLS SHALL BE CERTIFIED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT.
- CERTIFICATION WILL BE REQUIRED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT THAT WORK HAS BEEN COMPLETED IN COMPLIANCE WITH THE APPROVED DRAWINGS.
- A FINAL LOCATION SURVEY WILL BE REQUIRED BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF CONNECTICUT.
- CONNECTION TO A CITY-OWNED STORM SEWER SHALL REQUIRE THE "WAIVER COVERING STORM SEWER CONNECTION" TO BE FILED WITH THE CITY OF STAMFORD ENGINEERING BUREAU.
- GRANITE BLOCK OR OTHER DECORATIVE STONE OR BRICK, DEPRESSED CURB, DRIVEWAY APRON AND CURBING WITHIN CITY OF STAMFORD RIGHT-OF-WAY SHALL REQUIRE THE "WAIVER COVERING GRANITE BLOCK DEPRESSED CURB AND DRIVEWAY APRONS" TO BE FILED WITH THE CITY OF STAMFORD ENGINEERING BUREAU.
- SEDIMENT AND EROSION CONTROLS SHALL BE MAINTAINED AND REPAIRED AS NECESSARY THROUGHOUT CONSTRUCTION UNTIL THE SITE IS STABILIZED.
- TO OBTAIN A CERTIFICATE OF OCCUPANCY, SUBMITTAL MUST INCLUDE ALL ITEMS OUTLINED IN THE CHECKLIST FOR CERTIFICATE OF OCCUPANCY (APPENDIX D OF THE CITY OF STAMFORD DRAINAGE MANUAL).
- REFERENCE IS MADE TO DEMOLITION PERMITS D-22-1, D-22-2, D-22-3, D-22-4, AND D-22-5.

PARKING LEVEL	PARKING TOTALS			TOTAL
	REGULAR	HANDICAP ACCESSIBLE	E.V.	
	8.5' x 18'	10' x 18' STANDARD 8' x 18' VAN	10' x 18'	
BASEMENT GARAGE	66	8	8	82
1ST FLOOR / ON GRADE	57	5	6	68
TOTAL	123	13	14	150



**LEGEND**

PROPOSED CONTOUR: 100'

PROPOSED SPOT ELEVATION: 100.1

TC = TOP OF CURB ELEVATION: TC 100.8

BC = BOTTOM OF CURB ELEVATION: BC 100.3

TW = TOP OF WALL ELEVATION: TW 103.3

BW = BOTTOM OF WALL ELEVATION: BW 100.0

PROPOSED DOOR LOCATIONS: TP3A

TEST PIT, SOILS: TP3A

BOREHOLE INFILTRATION TEST, SOILS: BH#3

STORM SEWER, GRAVITY: [Symbol]

SANITARY SEWER, GRAVITY: [Symbol]

DOMESTIC WATER SERVICE: [Symbol]

ELECTRIC SERVICE CONDUITS: [Symbol]

COMM. SERVICE CONDUITS: [Symbol]

GAS SERVICE: [Symbol]

**DRAWING LIST**

DRAWING TITLE	NUMBER	ORIG. DATE
SITE PLAN	C-1	2/03/2022
UTILITY & GRADING PLAN	C-2	2/03/2022
TRAFFIC SIGNAGE & PAVEMENT PLAN	C-3	2/03/2022
EROSION & SEDIMENT CONTROL PLAN	C-4	2/03/2022
NOTES & DETAILS	C-5	2/03/2022
DETAILS - 1	C-6	2/03/2022
DETAILS - 2	C-7	2/03/2022
DETAILS - 3	C-8	2/03/2022
LOW IMPACT DEVELOPMENT PLAN	C-9	2/03/2022

**SITE PLAN**  
DEPICTING  
**821, 825, 827 & 831 EAST MAIN STREET**  
**15, 27 & 29 LAFAYETTE STREET**  
STAMFORD, CT  
PREPARED FOR  
**819 EAST MAIN STREET, LLC**

DATE: 2/03/2022  
JOB NO. 173

SCALE: 0 20 40  
1" = 20'

To my knowledge and belief this map is substantially correct as noted hereon.

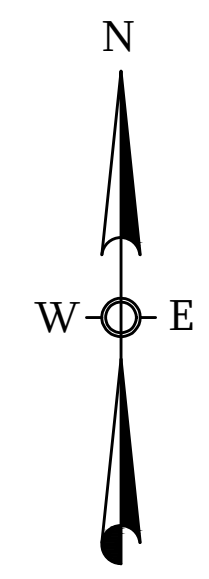
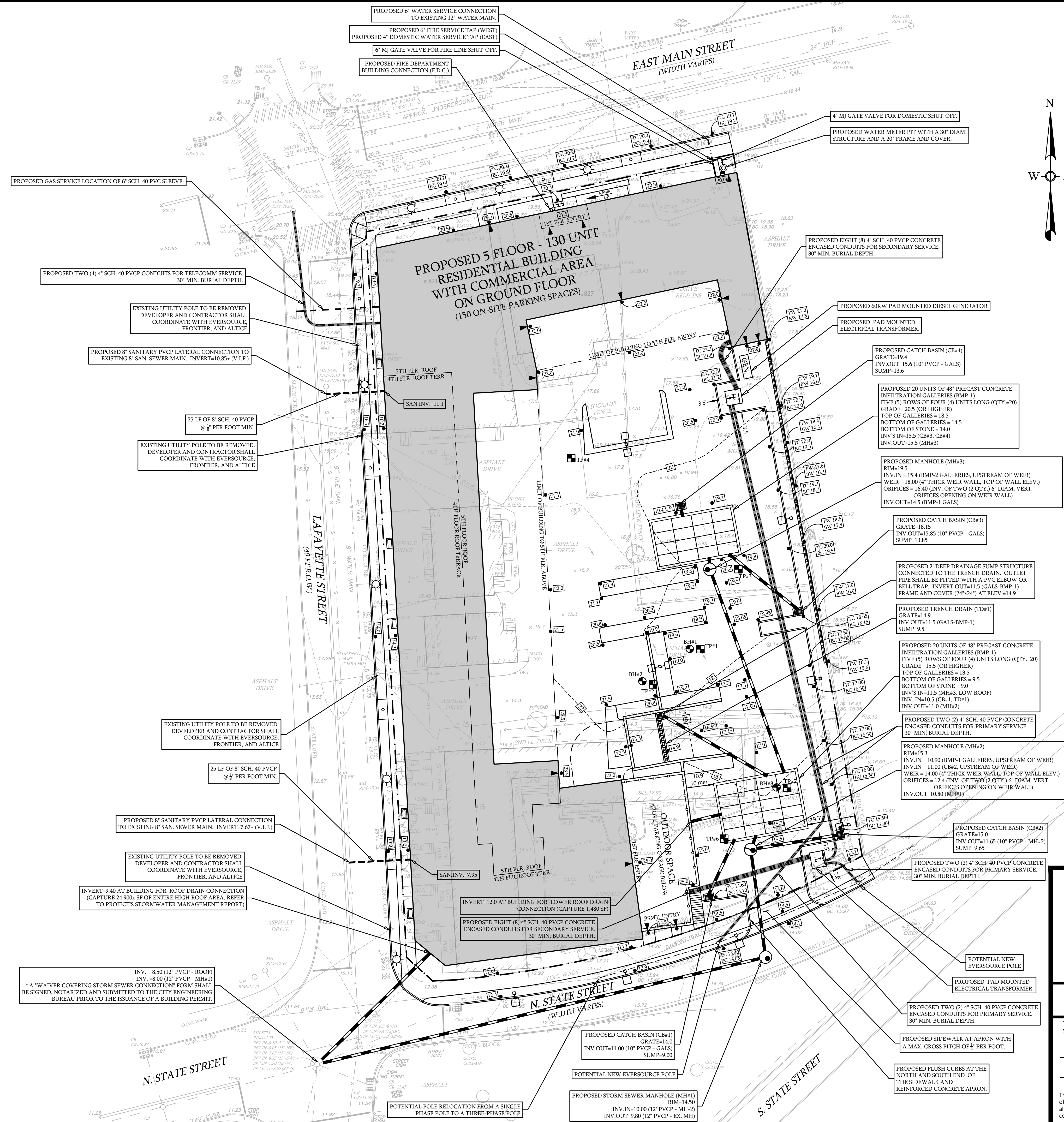
*Louis Dimarzo*  
LOUIS DIMARZO  
2/03/2022

**DIMARZO & BERECKLY**  
191 LLOYD DRIVE  
FAIRFIELD, CT 06425  
203.897.4110

LAND SURVEYING  
CIVIL ENGINEERING  
PERMITTING

This document is valid only if it is signed and sealed by the designated licensed professional engineer or architect. Any alteration or addition to this document without the signature and seal of the designated professional engineer or architect renders the contents null and void.

**C-1**



DOWNSTREAM	PIPE INFO.	UPSTREAM
EX.MH	60 LF OF 12" PVC @ 0.015 FFF	ROOF
EX.MH	180 LF OF 12" PVC @ 0.01 FFF	MH#1
MH#1	40 LF OF 12" PVC @ 0.02 FFF	MH#2
MH#2	4 LF OF 12" PVC @ 0.025 FFF	GALS (BMP-1)
MH#2	32 LF OF 10" PVC @ 0.02 FFF	CB#2
GALS (BMP-1)	85 LF OF 12" PVC @ 0.035 FFF	MH#3
GALS (BMP-1)	25 LF OF 10" PVC @ 0.02 FFF	CB#1
GALS (BMP-1)	13 LF OF 8" PVC @ 0.04 FFF	ROOF
GALS (BMP-1)	48 LF OF 10" PVC @ 0.02 FFF	TD#1
MH#3	3 LF OF 12" PVC @ 0.033 FFF	GALS (BMP-2)
GALS (BMP-2)	35 LF OF 10" PVC @ 0.01 FFF	CB#3
GALS (BMP-2)	3 LF OF 10" PVC @ 0.033 FFF	CB#4

LEGEND	
PROPOSED CONTOUR	--- 102 ---
PROPOSED SPOT ELEVATION	• 101.4
TC = TOP OF CURB ELEVATION	• TC 100.8
BC = BOTTOM OF CURB ELEVATION	• BC 100.3
TW = TOP OF WALL ELEVATION	• TW 103.3
BW = BOTTOM OF WALL ELEVATION	• BW 100.0
PROPOSED DOOR LOCATIONS	▶
TEST PIT, SOILS	TP#3A
BOREHOLE INFILTRATION TEST, SOILS	BH#4
STORM SEWER, GRAVITY	—
SANITARY SEWER, GRAVITY	—
DOMESTIC WATER SERVICE	—
ELECTRIC SERVICE CONDUITS	—
COMM. SERVICE CONDUITS	—
GAS SERVICE	—

**UTILITY & GRADING PLAN**  
 DEPICTING  
**821, 825, 827 & 831 EAST MAIN STREET**  
**15, 27 & 29 LAFAYETTE STREET**  
 STAMFORD, CT  
 PREPARED FOR  
**819 EAST MAIN STREET, LLC**

DATE: 2/03/2022      SCALE: 0      20      40  
 JOB NO. 173      1" = 20'

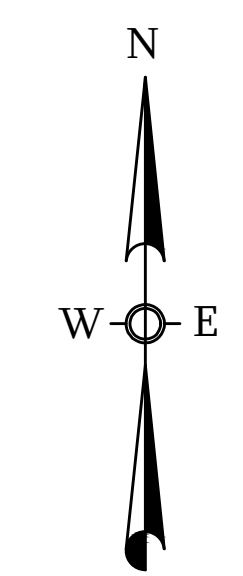
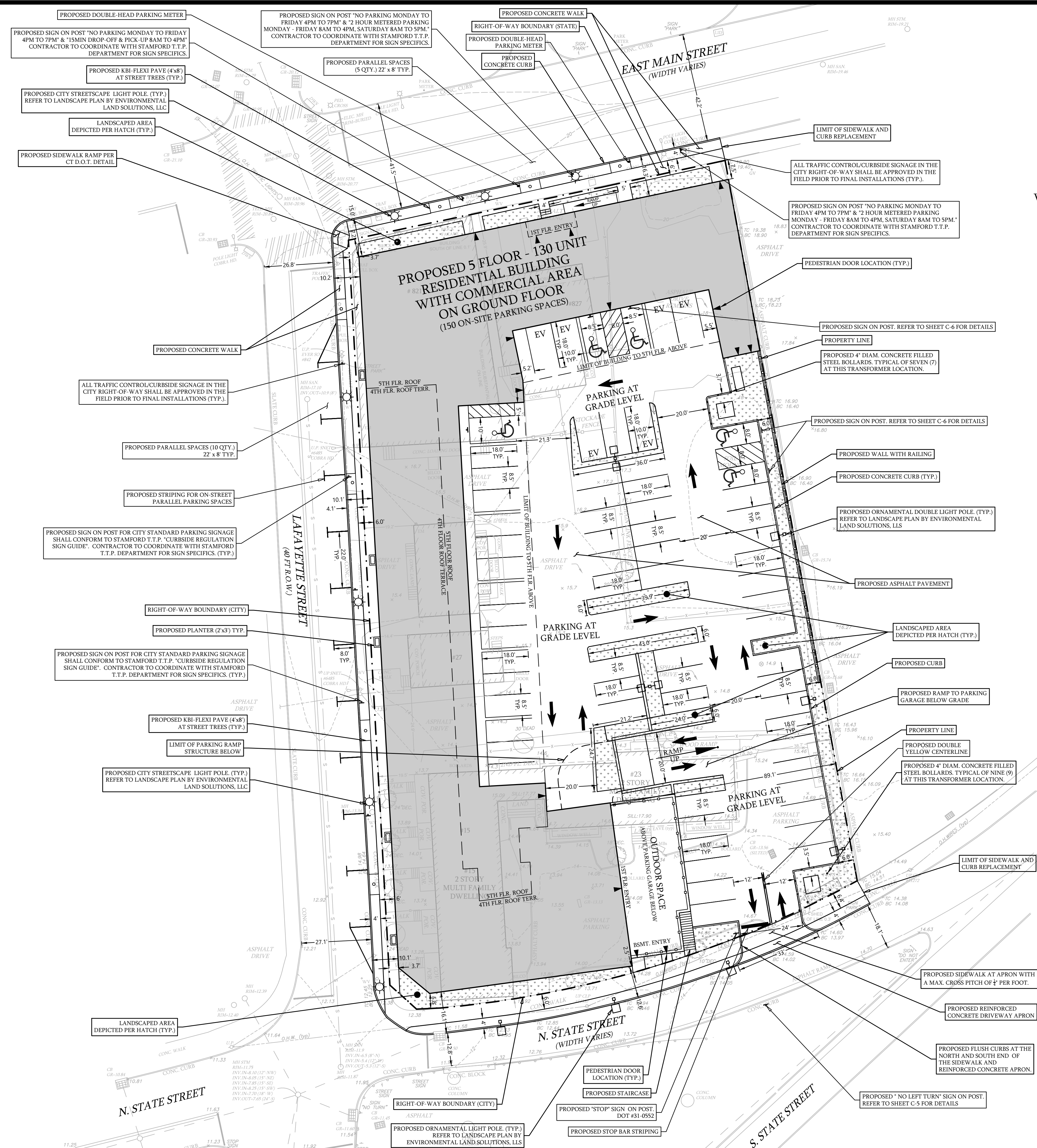
To my knowledge and belief this map is substantially correct as noted hereon

*Louis Dimarzo*  
 LOUIS DIMARZO  
 2/03/2022

**DIMARZO & BEREZKY**  
 LAND SURVEYING  
 CIVIL ENGINEERING  
 PERMITTING  
 191 LLOYD DRIVE  
 FAIRFIELD, CT 06425  
 203.897.4110

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**C-2**



LEGEND	
PROPOSED CONTOUR	--- 100 ---
PROPOSED SPOT ELEVATION	● 100.1
TC = TOP OF CURB ELEVATION	● TC 100.8
BC = BOTTOM OF CURB ELEVATION	● BC 100.3
TW = TOP OF WALL ELEVATION	● TW 103.3
BW = BOTTOM OF WALL ELEVATION	● BW 100.0
PROPOSED SIGN LOCATIONS	▲
TEST PIT, SOILS	TP#3A
BOREHOLE INFILTRATION TEST, SOILS	BH#3
STORM SEWER, GRAVITY	— — — — —
SANITARY SEWER, GRAVITY	— — — — —
DOMESTIC WATER SERVICE	— — — — —
ELECTRIC SERVICE CONDUITS	— — — — —
COMM. SERVICE CONDUITS	— — — — —
GAS SERVICE	— — — — —

**TRAFFIC SIGNAGE & PAVEMENT PLAN**  
 DEPICTING  
**821, 825, 827 & 831 EAST MAIN STREET**  
**15, 27 & 29 LAFAYETTE STREET**  
 STAMFORD, CT  
 PREPARED FOR  
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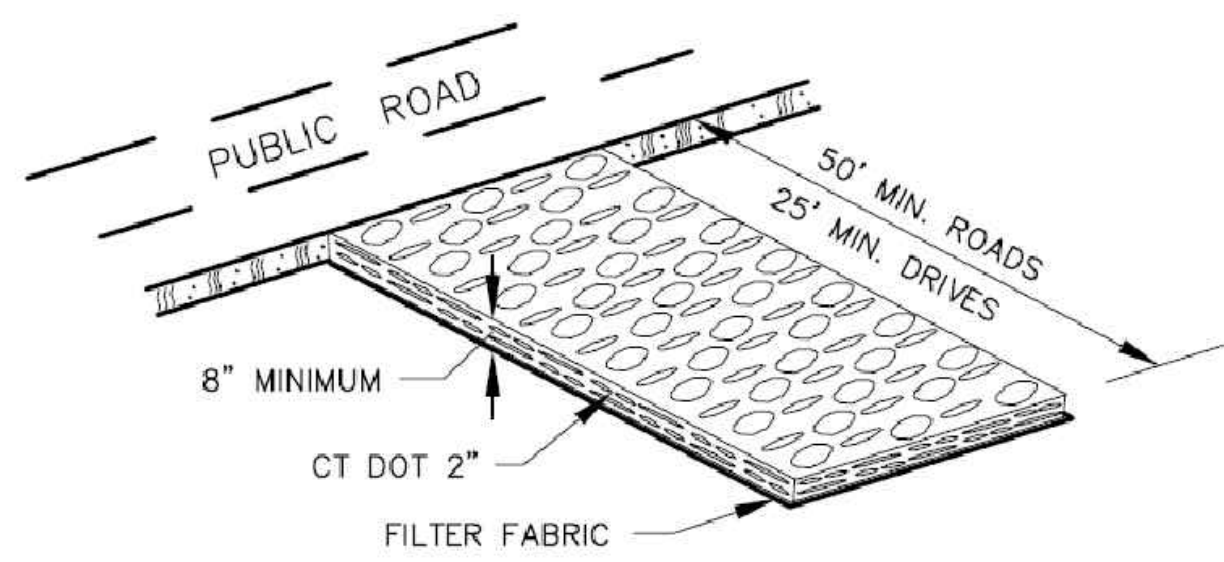
DATE: 2/03/2022  
 JOB NO. 173  
 SCALE: 0 20 40  
 1" = 20'

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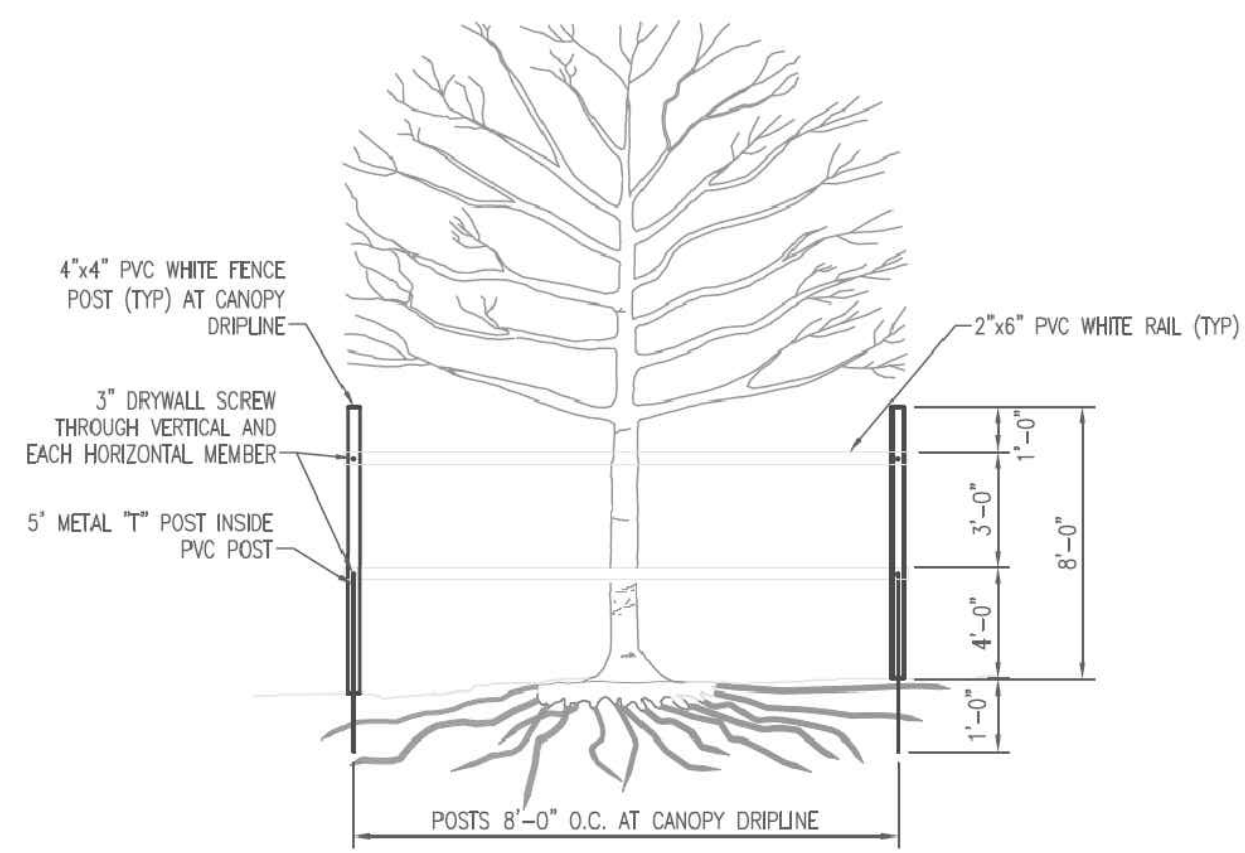
*Louis Dimarzo*  
 LOUIS DIMARZO  
 2/03/2022  
 DATE

**DIMARZO & BEREZKY**  
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 191 LLOYD DRIVE  
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 203.897.4110

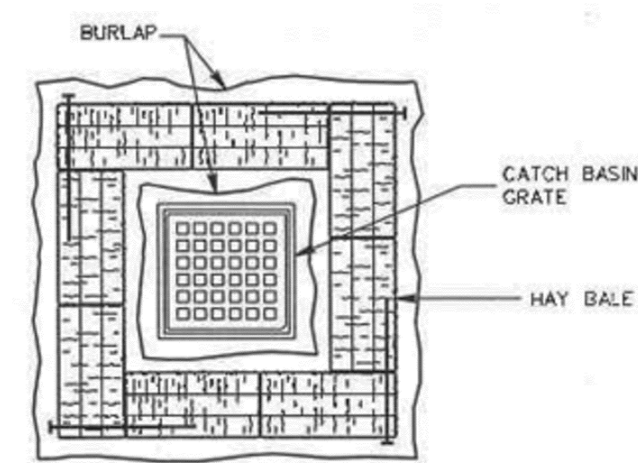
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**ANTI-TRACKING PAD  
CONSTRUCTION ACCESS DETAIL**  
N.T.S.



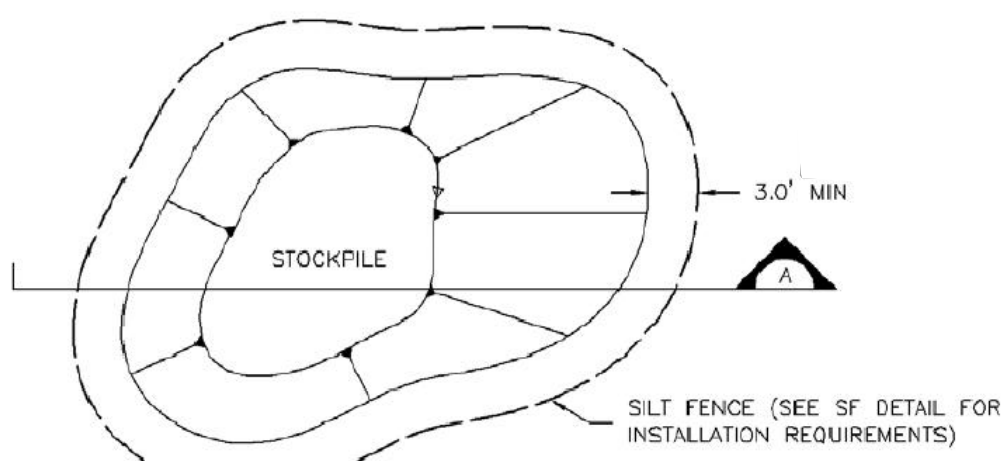
**TREE PROTECTION DETAIL**  
N.T.S.



SURROUND STREET DRAINAGE STRUCTURE INLET WITH HAY BALES PRIOR TO CONSTRUCTION AND MAINTAIN UNTIL CONSTRUCTION IS COMPLETED. ACCUMULATED SEDIMENTS SHALL BE REMOVED ON A REGULAR SCHEDULE.

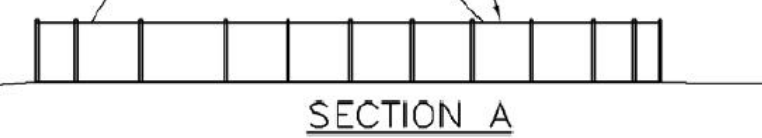
IN CERTAIN INSTANCES, HAY BALES MAY BE REMOVED ON THE UP-STREAM SIDE OF THE CATCH BASIN IN ORDER TO CAPTURE RUNOFF.

**HAY BALE INLET PROTECTION  
SEDIMENT FILTER**  
N.T.S.

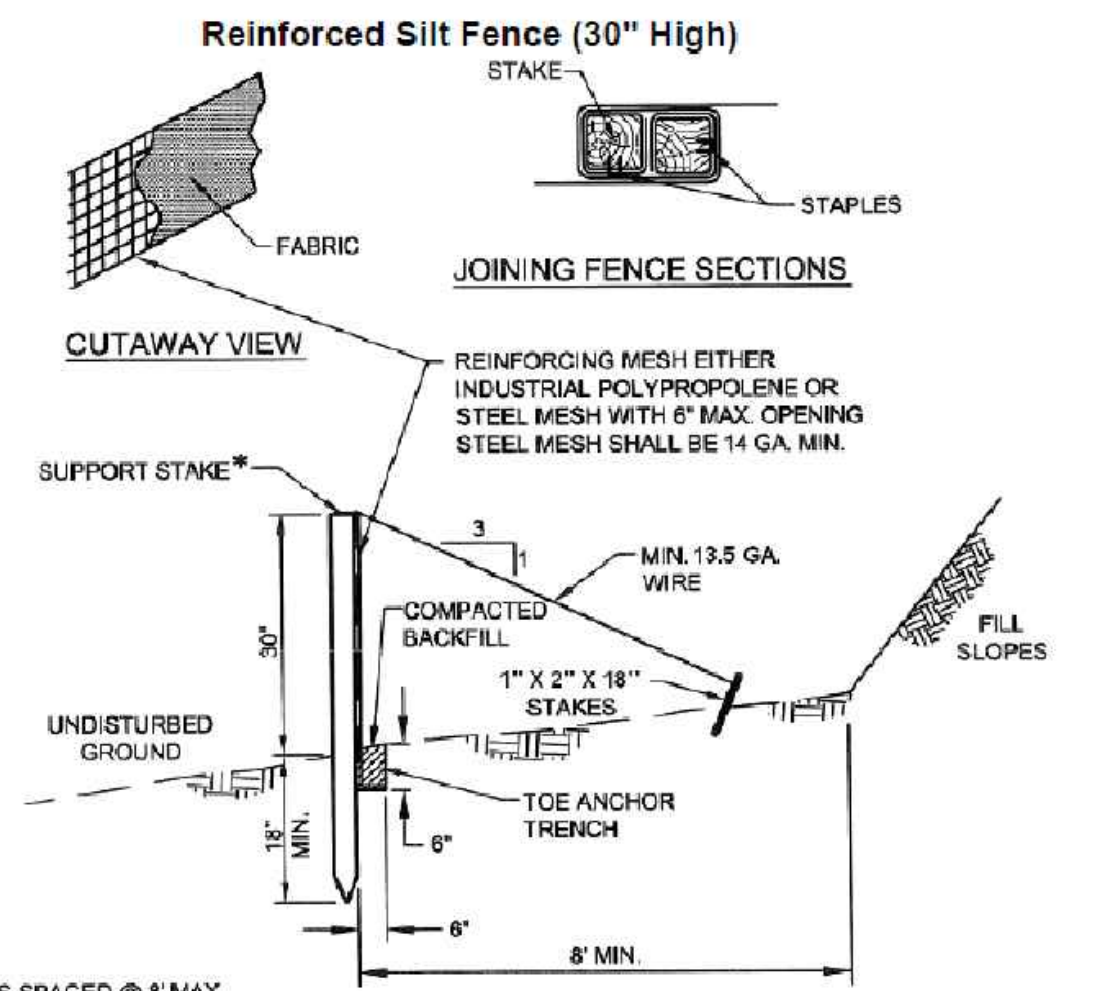
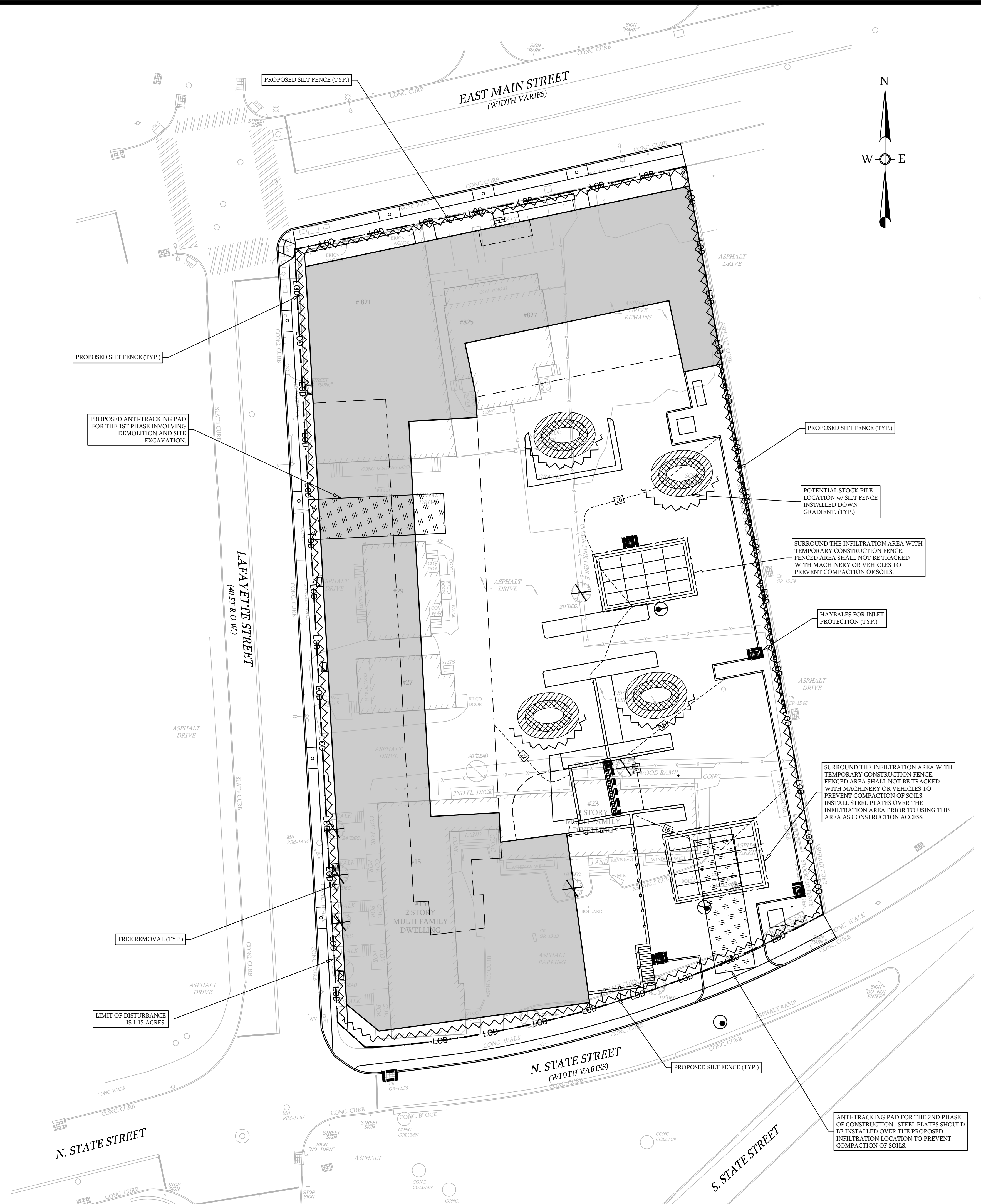


**STOCKPILE PROTECTION PLAN**

MAXIMUM 2' 1" SILT FENCE (SEE SF DETAIL FOR INSTALLATION REQUIREMENTS)



**STOCKPILE PROTECTION DETAIL**  
N.T.S.



\* STAKES SPACED @ 8' MAX. USE 2" X 2" X 18" (± 3/8") WOOD OR EQUIVALENT STEEL (U OR T) STAKES

**FABRIC & POST SILTATION BARRIER DETAIL**  
(SILT FENCE)  
N.T.S.

LEGEND	
SILT FENCE	
TEMP. CONSTRUCTION FENCE	
LIMIT OF DISTURBANCE	
HAYBALES (SEDIMENT FILTER)	
ANTI-TRACKING PAD	
TREE REMOVAL	
TREE PROTECTION	
STOCKPILE (TEMPORARY)	

**EROSION & SEDIMENT CONTROL PLAN**  
DEPICTING  
**821, 825, 827 & 831 EAST MAIN STREET**  
**15, 27 & 29 LAFAYETTE STREET**  
STAMFORD, CT  
PREPARED FOR  
**819 EAST MAIN STREET, LLC**

DATE: 2/03/2022  
JOB NO. 173

SCALE: 0 20 40  
1" = 20'

To my knowledge and belief this map is substantially correct as noted herein.

*Louis Dimarzo*  
LOUIS DIMARZO  
2/03/2022  
DATE

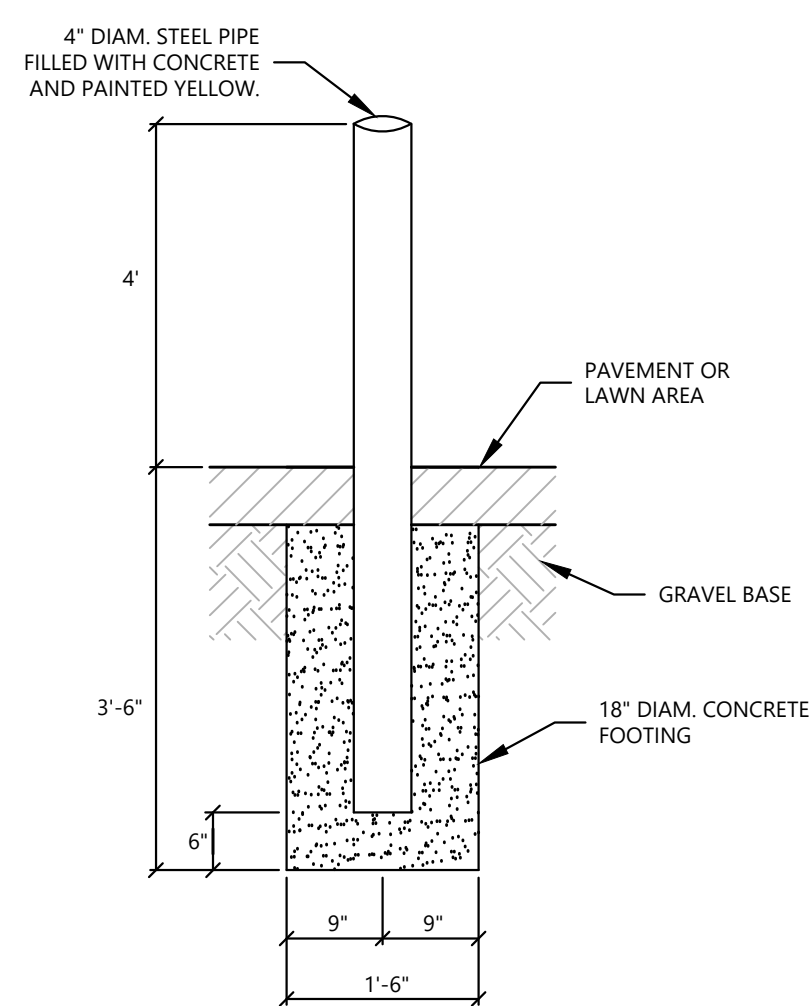
**DIMARZO & BEREZKY**  
191 LLOYD DRIVE  
FAIRFIELD, CT 06825  
203.897.4110

LAND SURVEYING  
CIVIL ENGINEERING  
PERMITTING

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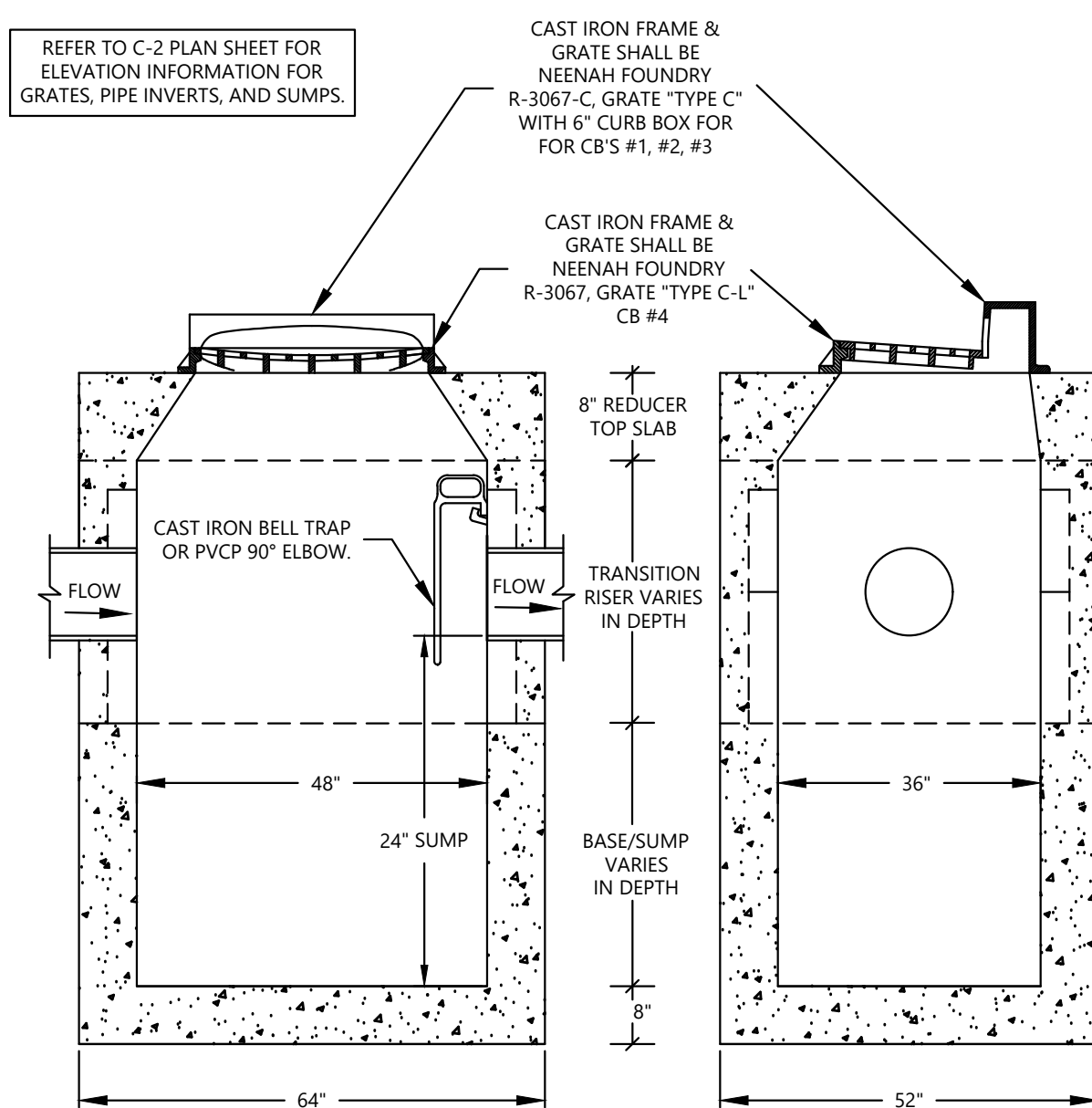
**C-4**





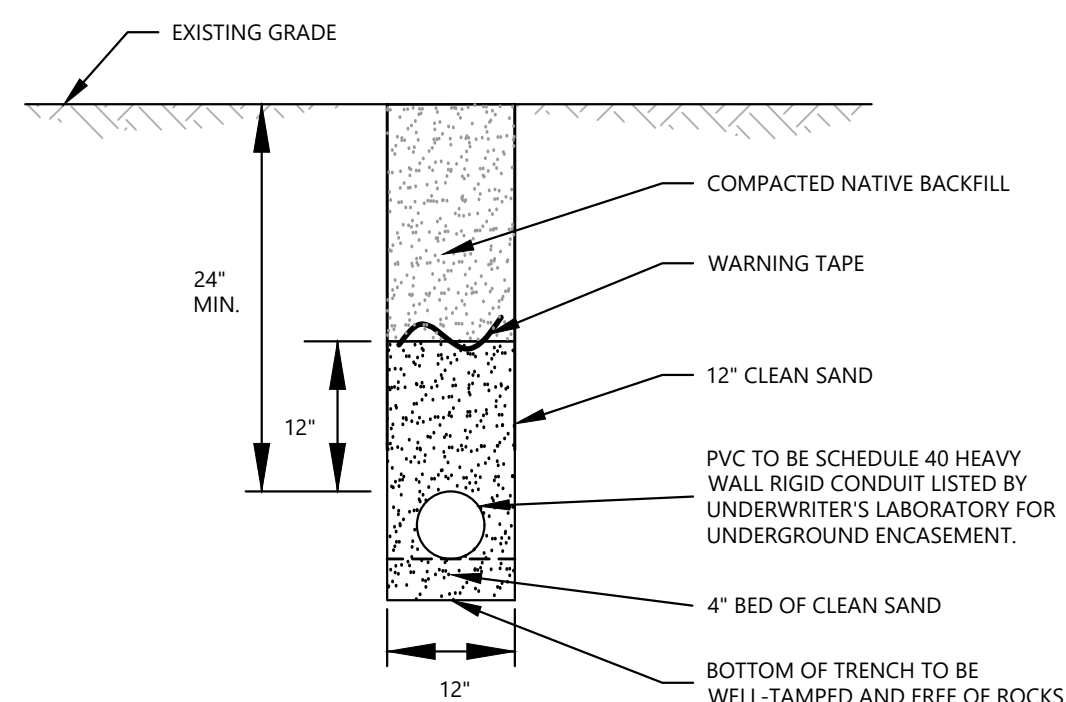
NOTES:  
1. CONCRETE TO BE MINIMUM OF 2,500 PSI STRENGTH.

**BOLLARD DETAIL**  
N.T.S.



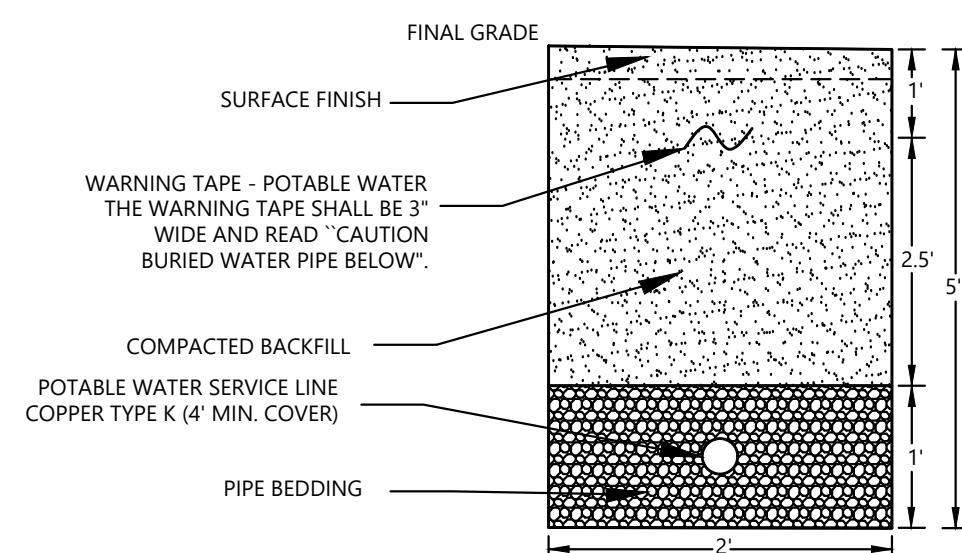
NOTES:  
1. CATCH BASIN BASE/SUMP STRUCTURE SHALL BE PLACED ON A 6" MIN. LAYER OF CRUSHED STONE. CRUSHED STONE SHALL BE PER CT D.O.T. FORM 818 TABLE M.01.02-2 GRADATION NO.4.  
2. ANY FILL MATERIAL PLACED UNDER THE CATCH BASIN STRUCTURE SHALL BE COMPACTED TO 95% OF THE MAX. DRY DENSITY AS DETERMINED BY ASTM D1557.  
3. DESIGN AND REINFORCEMENT OF PRECAST CONCRETE SHALL COMPLY WITH ASTM C 478.  
4. CATCH BASIN STRUCTURE SHALL COMPLY WITH AASHTO HS-20 LOADING.  
5. THIN WALL KNOCKOUT SPACE ALONG THE PRECAST WALL SHALL BE FILLED WITH BRICK AND MORTAR SO TO MAKE ALL WALL THICKNESS 8" MIN. EXCLUDING THE PIPE PENETRATION.  
6. ALL JOINTS AND PENETRATIONS SHALL BE MORTARED SMOOTH WITH THE FACE OF THE ADJACENT PRECAST CONCRETE SURFACE.  
7. REFER TO CONNECTICUT PRECAST CORP. CATCH BASIN PRODUCT 36"x48" STANDARD PRECAST CTDOT DROP INLET - 8" WALL, TYPE-C FOR PRODUCT SPECIFICATION.

**CATCH BASIN DETAIL**  
N.T.S.



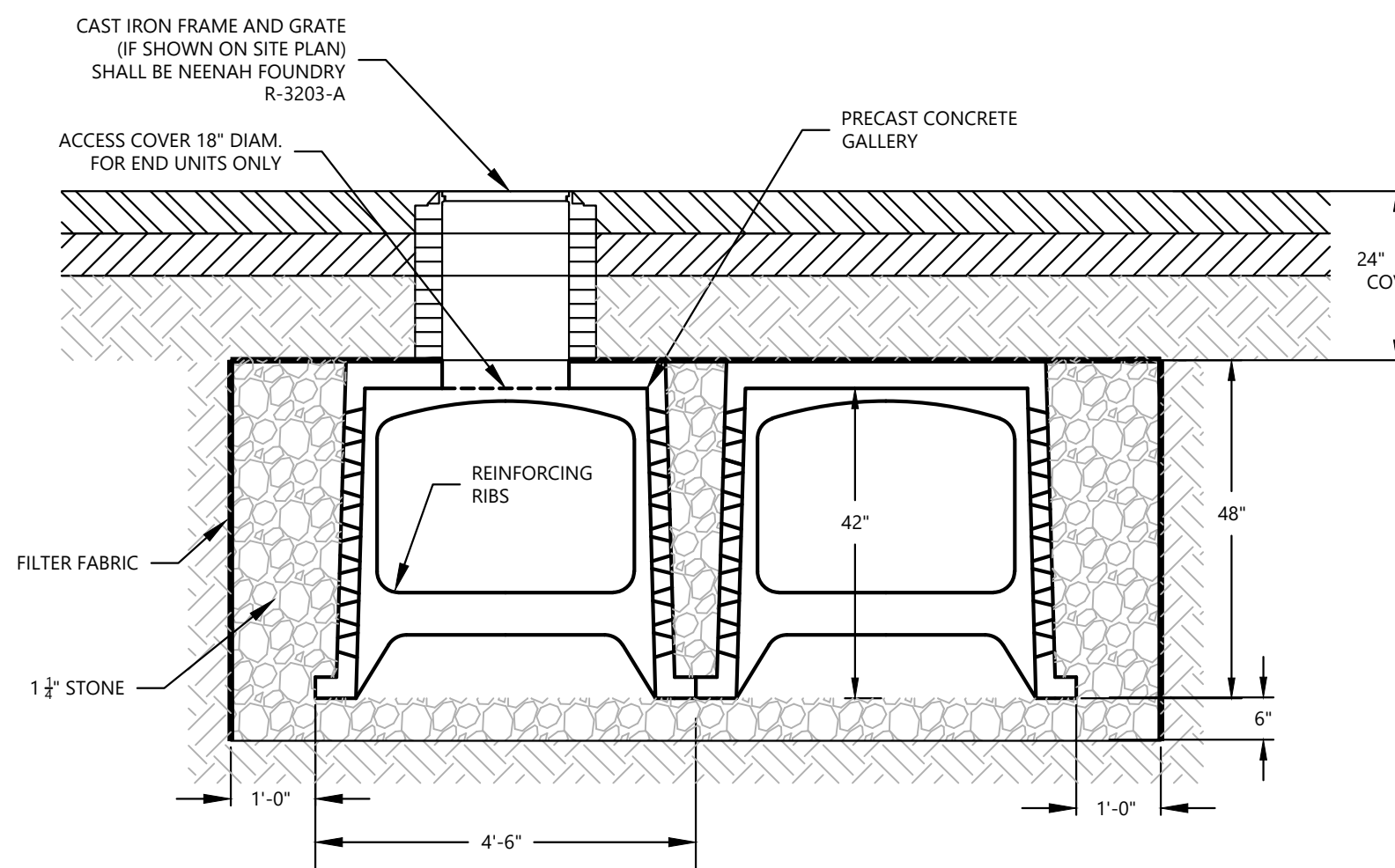
NOTES:  
1. IF 24" OF COVER CANNOT BE OBTAINED OVER THE CONDUIT, CONDUIT SHALL BE CONCRETE ENCASED.  
2. ALL BACKFILL MATERIAL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557.  
3. ALL WORK SHALL BE PERFORMED ACCORDING TO THE APPROPRIATE UTILITY COMPANY REQUIREMENTS.

**CONDUIT TRENCH (SAND BEDDING)**  
N.T.S.



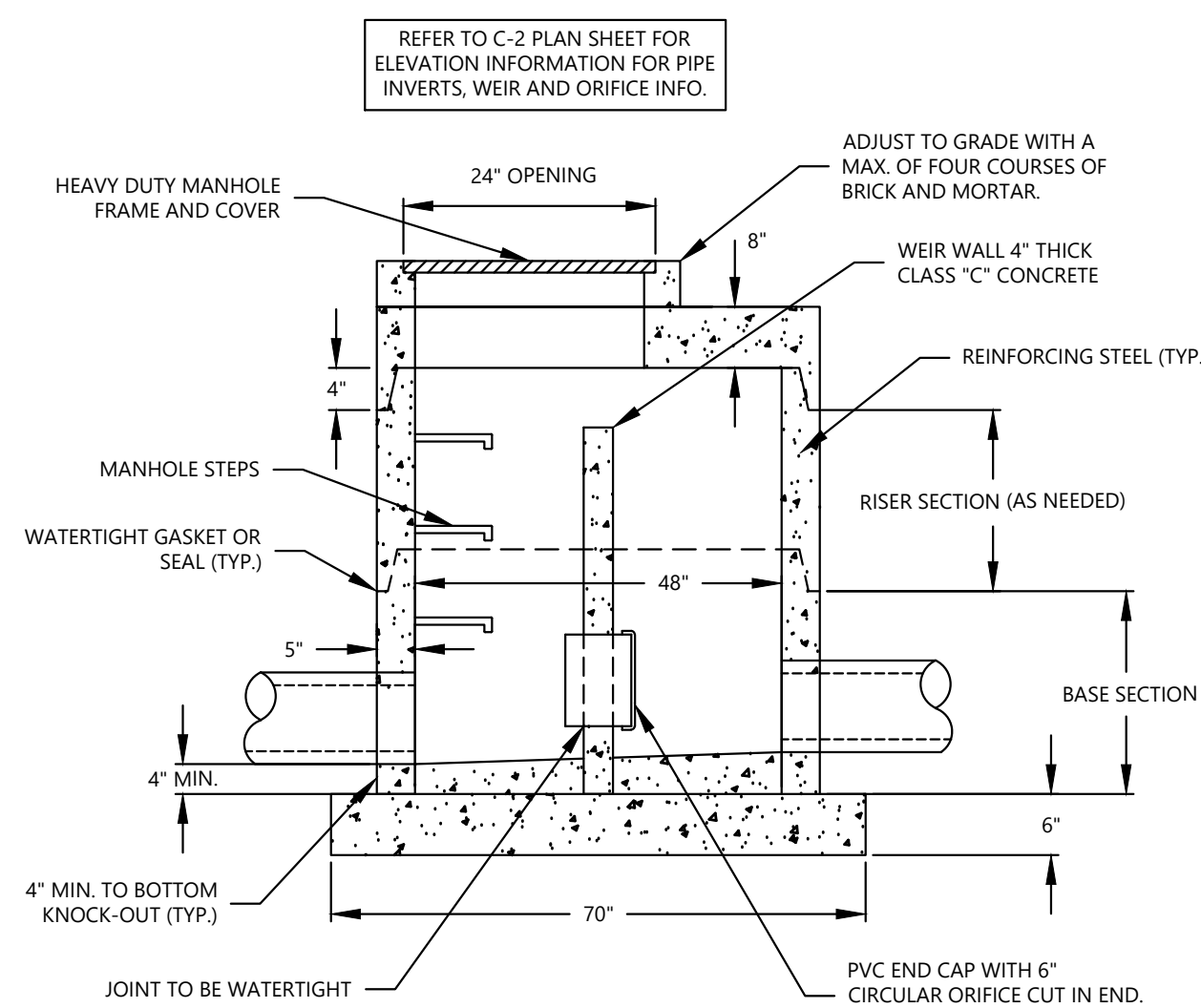
NOTES:  
BEDDING MATERIAL AS PER CONN. D.O.T. FORM 818, ARTICLE M 08.03. BEDDING MATERIAL SHALL BE SAND OR SANDY SOIL, ALL OF WHICH PASSES A 3/8 INCH SIEVE AND NOT MORE THAN 10% PASSES A No. 200 SIEVE. IF GROUND WATER IS ENCOUNTERED, CONTACT THE DESIGN ENGINEER.  
POTABLE WATER PIPES SHALL BE LAID AT LEAST 10' HORIZONTALLY FROM ANY EXISTING OR PROPOSED SANITARY PIPE.  
POTABLE WATER PIPES CROSSING SANITARY PIPES SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18" BETWEEN THE OUTSIDE OF THE WATER PIPE AND THE OUTSIDE OF THE SANITARY PIPE. THIS SEPARATION SHALL BE THE CASE WHEN THE WATER PIPE IS EITHER ABOVE OR BELOW THE SEWER WITH PREFERENCE TO THE WATER PIPE LOCATED ABOVE THE SEWER. AT CROSSINGS, ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE SANITARY PIPE AS POSSIBLE.  
ALL BURIED PIPE USED FOR POTABLE WATER DISTRIBUTION SHALL BE PRESSURE TESTED UNDER THE SUPERVISION OF THE ENGINEER IN ACCORDANCE WITH AWWA C600 AT 75 PSI.  
ALL NEW CLEANED OR REPAIRED POTABLE WATER PIPES AND EQUIPMENT SHALL BE DISINFECTED UNDER THE SUPERVISION OF THE ENGINEER IN ACCORDANCE WITH AWWA STANDARD C651-92, EXCEPT SECTION 5.1 (THE TABLE METHOD).  
THE POTABLE WATER SUPPLY WELL SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA C654-87 AFTER INSTALLATION AND PRIOR TO PLACING INTO SERVICE. PRIOR TO PLACING INTO SERVICE, A WATER SAMPLE SHALL BE COLLECTED TO DOCUMENT THE ABSENCE OF COLIFORM BACTERIA.

**WATER SERVICE DETAIL**  
N.T.S.



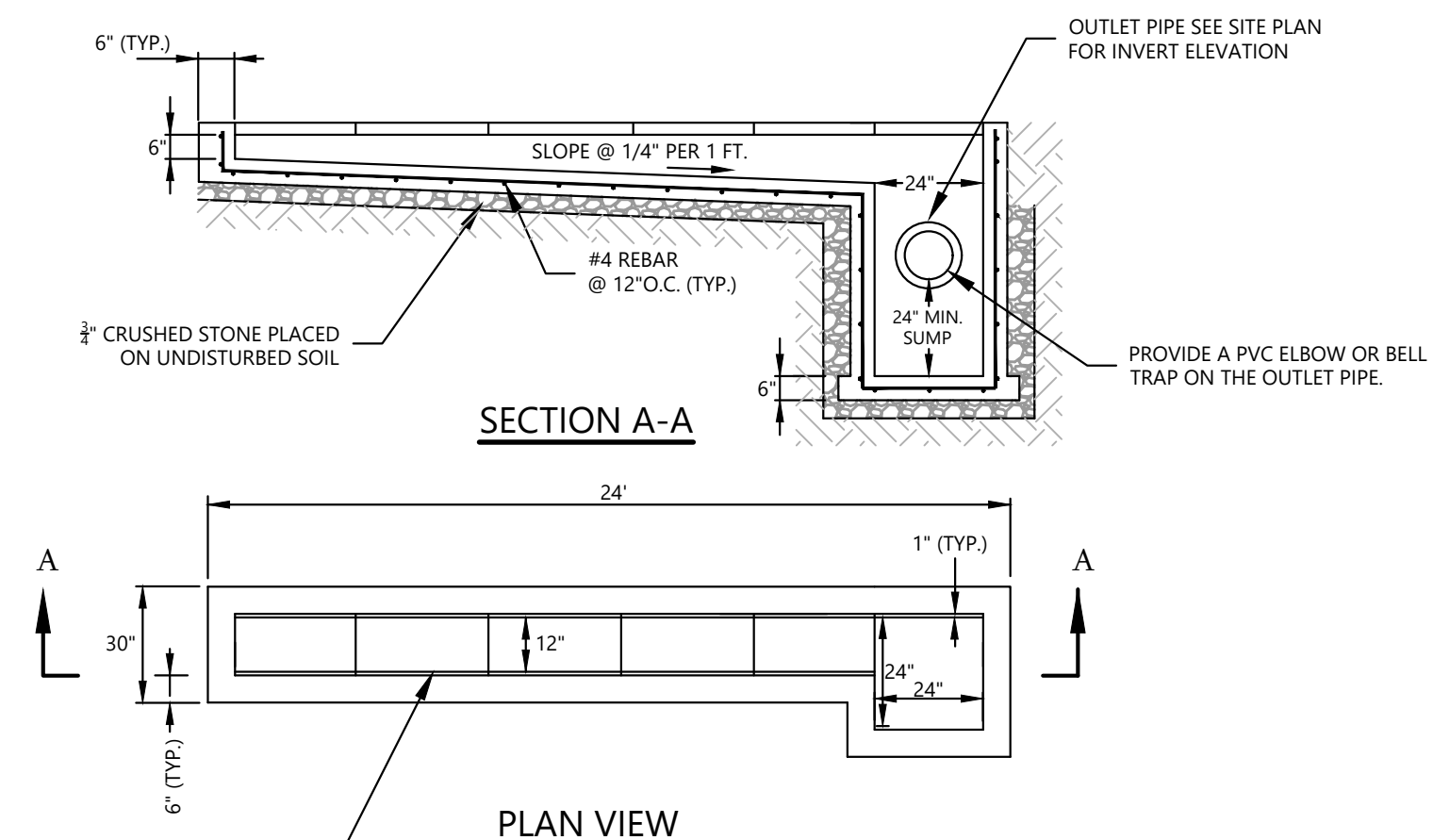
NOTES:  
1. ALL GALLERIES TO HANDLE H-20 LOADINGS AND SHALL COMPLY WITH THE DETAIL. INTERIOR SECTIONS TO HAVE NO END WALLS. END SECTIONS TO HAVE ONE END WALL. END UNITS TO BE INSTALLED AT ENDS OF ALL GALLERY RUNS.  
2. ALL GALLERY SECTIONS TO HAVE HOLES BROKEN TO ALLOW FLOW PRIOR TO PLACEMENT.  
3. THERE SHALL BE A 6" LAYER OF 1 1/4" CRUSHED STONE BELOW ALL GALLERIES.  
4. THE ROWS OF GALLERIES SHALL BE PLACED SUCH THAT BASES ARE TOUCHING. SPACE BETWEEN GALLERY ROWS SHALL BE FILLED WITH 1 1/4" CRUSHED STONE.  
5. THERE SHALL BE A MINIMUM OF 1" OF 1 1/4" CRUSHED STONE ON THE SIDES OF THE OUTER GALLERIES.  
6. A 6" BY 5" BY 4" CONCRETE SLAB (1-2-3 CONCRETE) SHALL BE INSTALLED AT ANY PIPE ENTRANCE TO THE GALLERIES TO PREVENT EROSION.  
7. RAISE FRAME AND GRATE TO GRADE USING SOLID CONCRETE BLOCK AND MORTAR.  
8. REMOVE ANY TOPSOIL PRIOR TO INSTALLATION OF GALLERY.  
9. CONTACT THE DESIGN ENGINEER THREE DAYS PRIOR TO EXCAVATION FOR THE GALLERIES. DURING THE EXCAVATION, THE DESIGN ENGINEER MAY REVISE THE ELEVATIONS OF THE GALLERIES IF FIELD CONDITIONS DICTATE.  
10. CRUSHED STONE SHALL BE PER CT D.O.T. FORM 818 TABLE M.01.02-2 GRADATION NO.4.

**48" PRECAST CONCRETE GALLERY DETAIL**  
(4'W x 8'L)  
N.T.S.



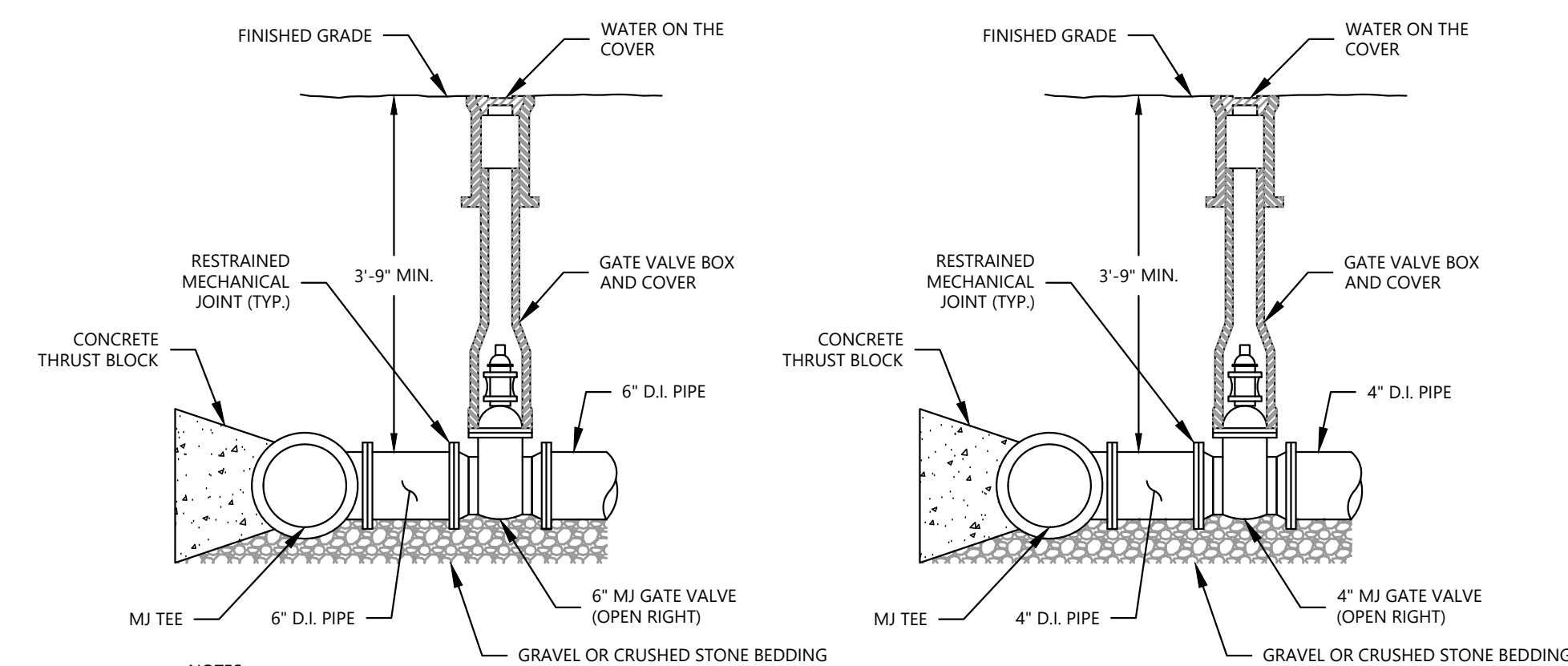
NOTES:  
1. OVERALL MANHOLE SPECIFICATIONS SHALL MEET OR EXCEED THE CITY OF STAMFORD STANDARD MANHOLE DETAIL ON THE CITY "STORM DRAINAGE DETAILS" SHEET SD-1.  
2. MANHOLE BASE SLAB OR BASE SECTION SHALL BE PLACED ON A 6" MIN. LAYER OF CRUSHED STONE. CRUSHED STONE SHALL BE PER CT D.O.T. FORM 818 TABLE M.01.02-2 GRADATION NO.4. ANY FILL MATERIAL PLACED UNDER THE MANHOLE STRUCTURE SHALL BE COMPACTED TO 95% OF THE MAX. DRY DENSITY AS DETERMINED BY ASTM D1557.  
3. DESIGN AND REINFORCEMENT OF PRECAST CONCRETE SHALL COMPLY WITH ASTM C 478.  
4. MANHOLE SHALL COMPLY WITH AASHTO HS-20 LOADING.  
5. MANHOLE STEPS SHALL COMPLY WITH ASTM A-615 GRADE 60 (STEEL) OR ASTM D-4104 (POLY).  
6. ALL JOINTS AND PENETRATIONS SHALL BE MORTARED SMOOTH WITH THE FACE OF THE ADJACENT PRECAST CONCRETE SURFACE.

**MANHOLE WITH OVERFLOW WEIR DETAIL**  
(MH#2 & MH#3)  
48" DIAMETER w/ TOP SLAB  
N.T.S.



TRENCH GRATE AND FRAME TO BE NEENAH FOUNDRY HEAVY DUTY TRENCH PATTERN #R-4990-DX GRATE TYPE "A" OR APPROVED EQUIVALENT. FRAMES TO BE TYPE "X" OR AS RECOMMENDED BY THE MANUFACTURER.

**TRENCH DRAIN (TD#1)**  
N.T.S.



NOTES:  
1. DUCTILE IRON (D.I.) PIPE FOR WATER SERVICE SHALL BE A.W.W.A. C151, WITH CEMENT MORTAR LINING COMPLYING WITH A.W.W.A. C104. D.I. PIPE SHALL BE DOUBLE CEMENT LINED INSIDE.  
2. GATE VALVES SHALL BE OF DOUBLE DISC, PARALLEL SEAT TYPE WITH CAST IRON BODY BRONZE STEM AND RINGS DESIGNED FOR 175 P.S.I. WORKING PRESSURE. ALL GATE VALVES SHALL BE TESTED HYDRAULICALLY TO 300 P.S.I. GATE VALVES SHALL MEET THAT LATEST A.W.W.A. C500.  
3. VALVE BOXES: FURNISH VALVE BOXES 5-INCHES IN DIAMETER, 1/2" THICK, WITH CAST IRON BASES AND COVERS. PROVIDE MUELLER H-10360, TWO-PIECE, SCREW TYPE WITH BASE, TOP SECTION AND COVER AS REQUIRED, OR AN APPROVED EQUAL.  
4. WATER SERVICE PIPING TESTS, DISINFECTION TESTING AND ACCEPTANCE AS PER AQUARIUM WATER COMPANY SPECIFICATIONS.

**MJ 6" GATE VALVE INSTALLATION**  
N.T.S.

**MJ 4" GATE VALVE INSTALLATION**  
N.T.S.

**DETAILS - 1**

DEPICTING  
**821, 825, 827 & 831 EAST MAIN STREET**  
**15, 27 & 29 LAFAYETTE STREET**  
**STAMFORD, CT**  
PREPARED FOR  
**819 EAST MAIN STREET, LLC**

DATE: 2/03/2022  
JOB NO. 173

SCALE: AS NOTED

To my knowledge and belief this map is substantially correct as noted hereon

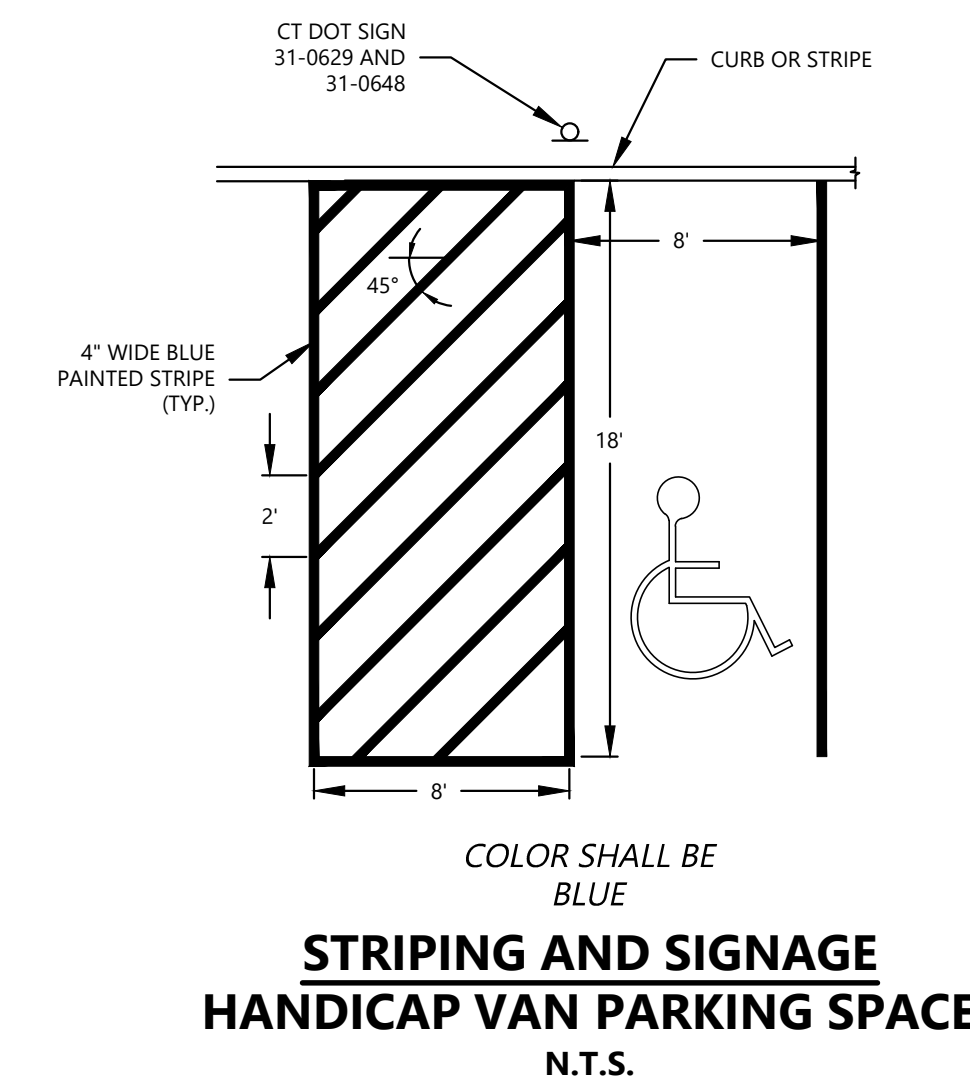
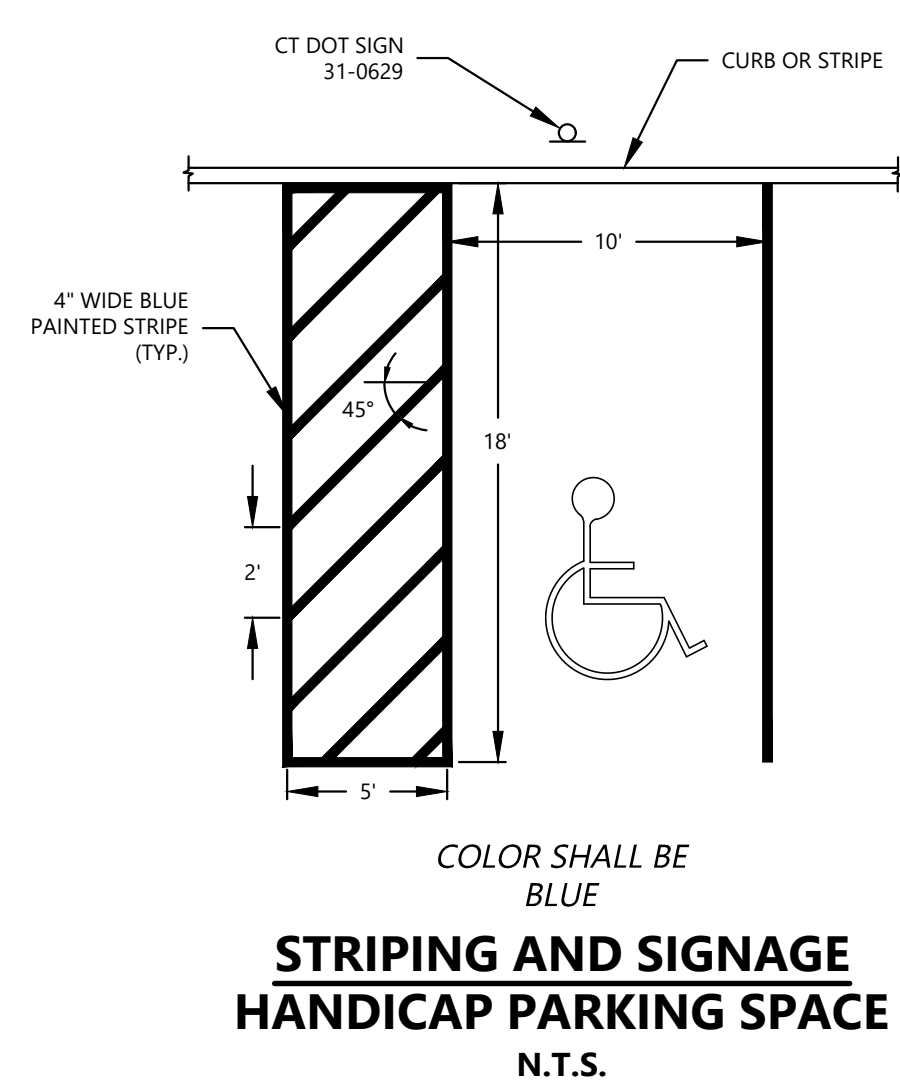
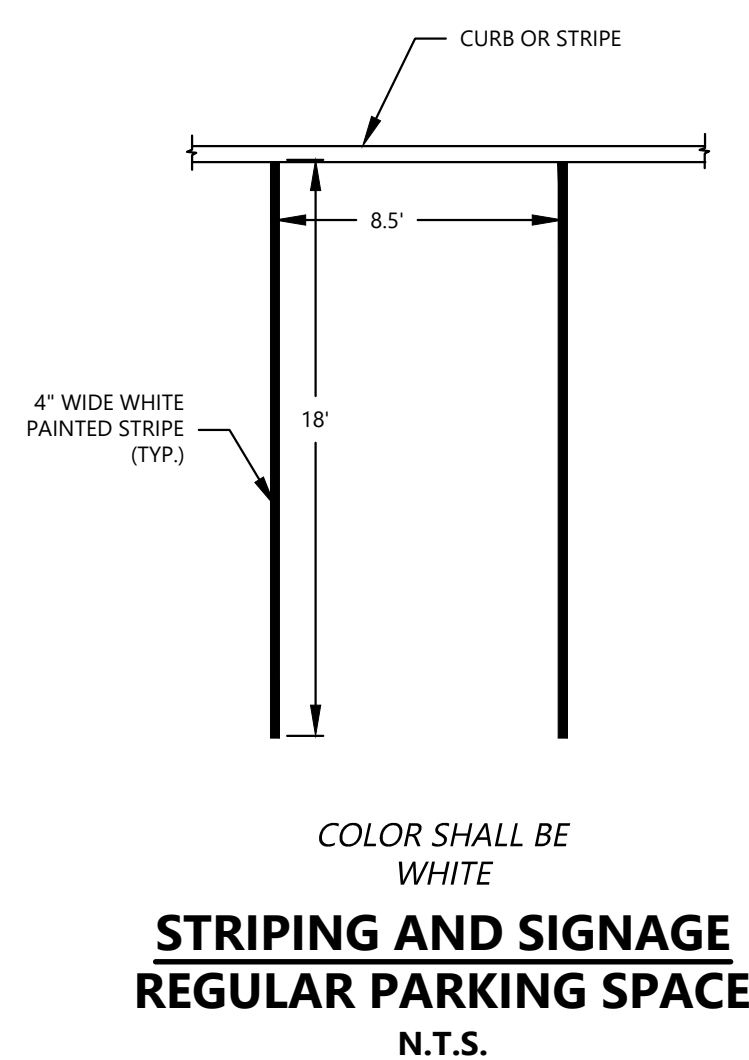
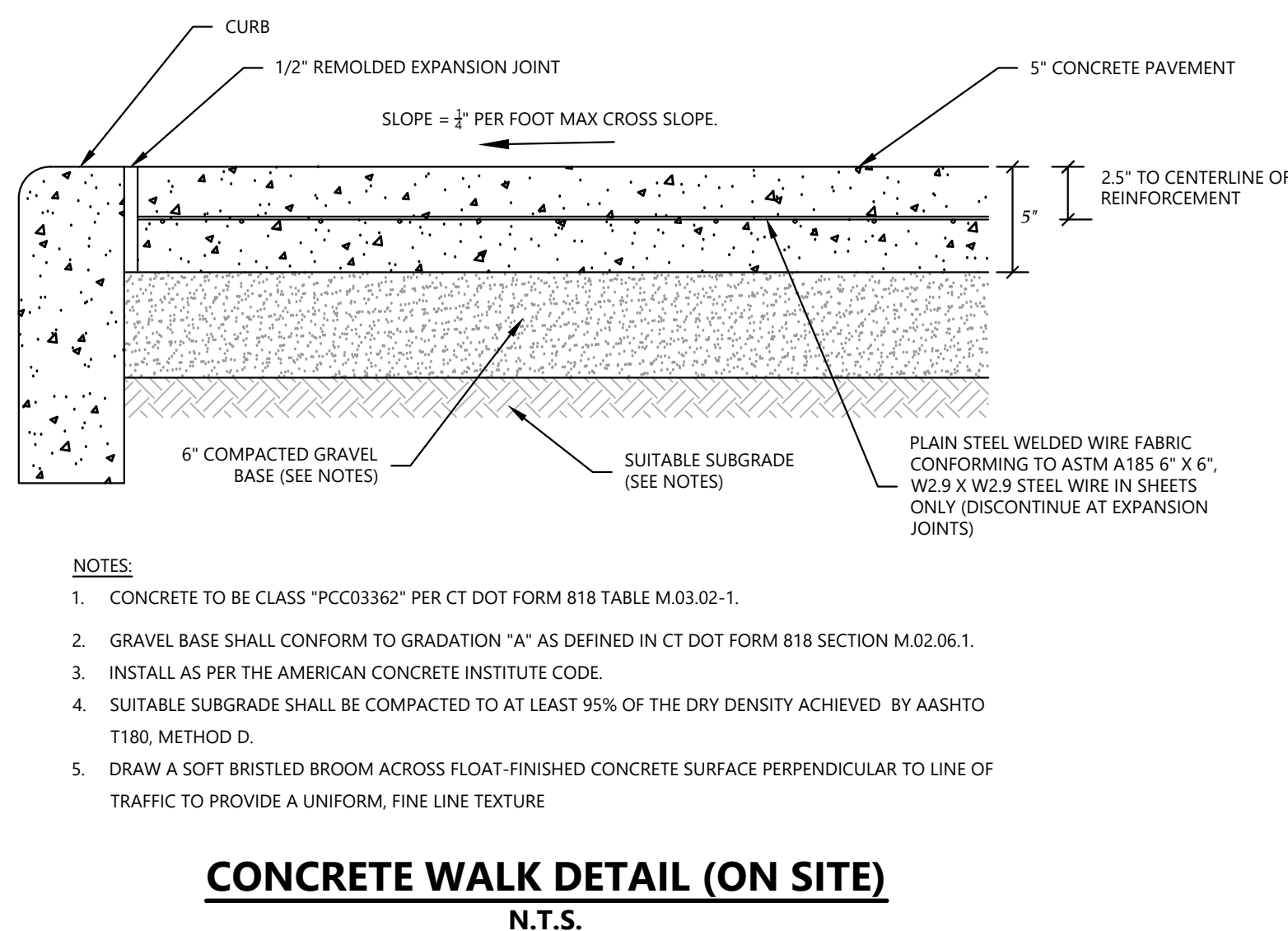
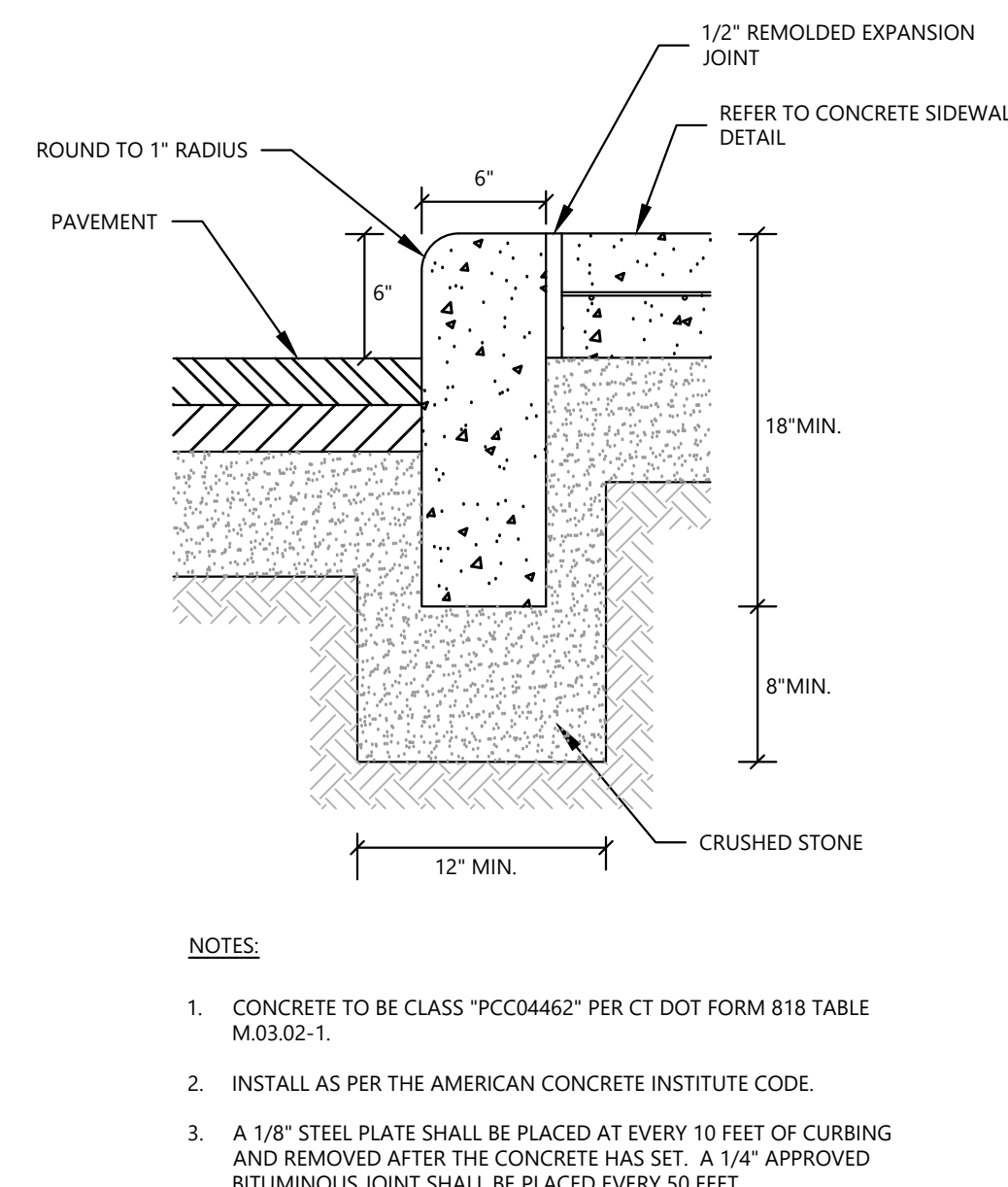
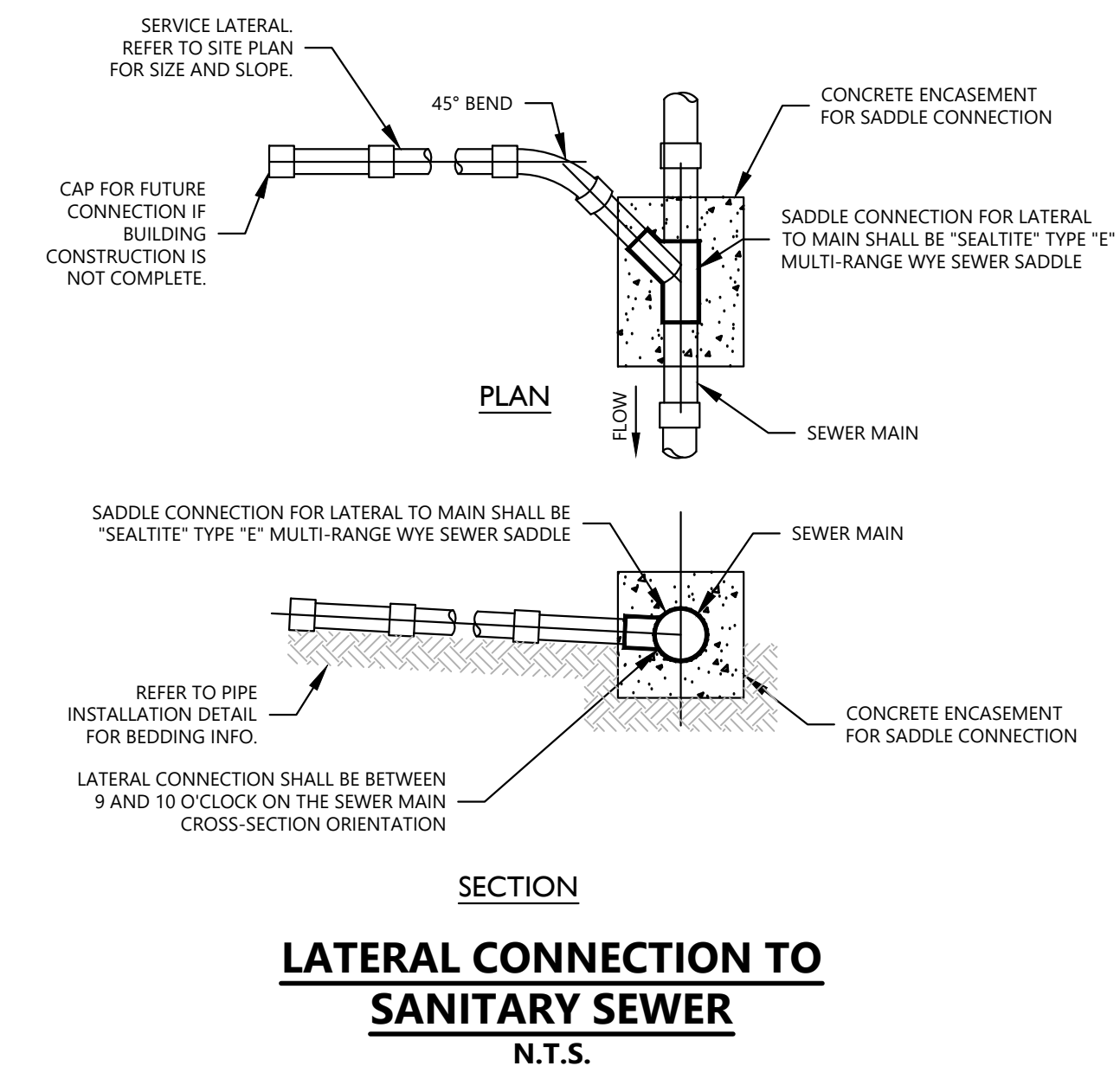
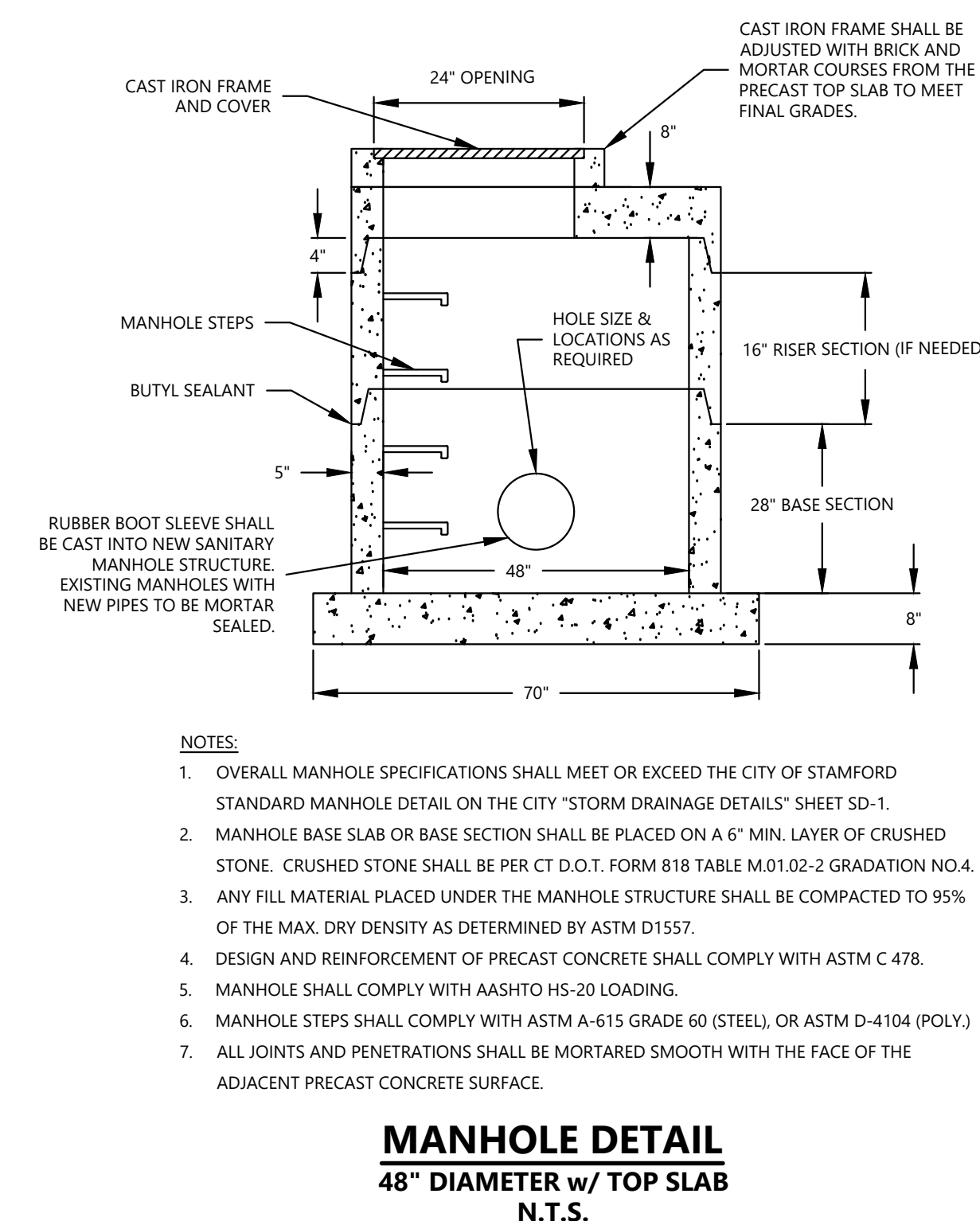
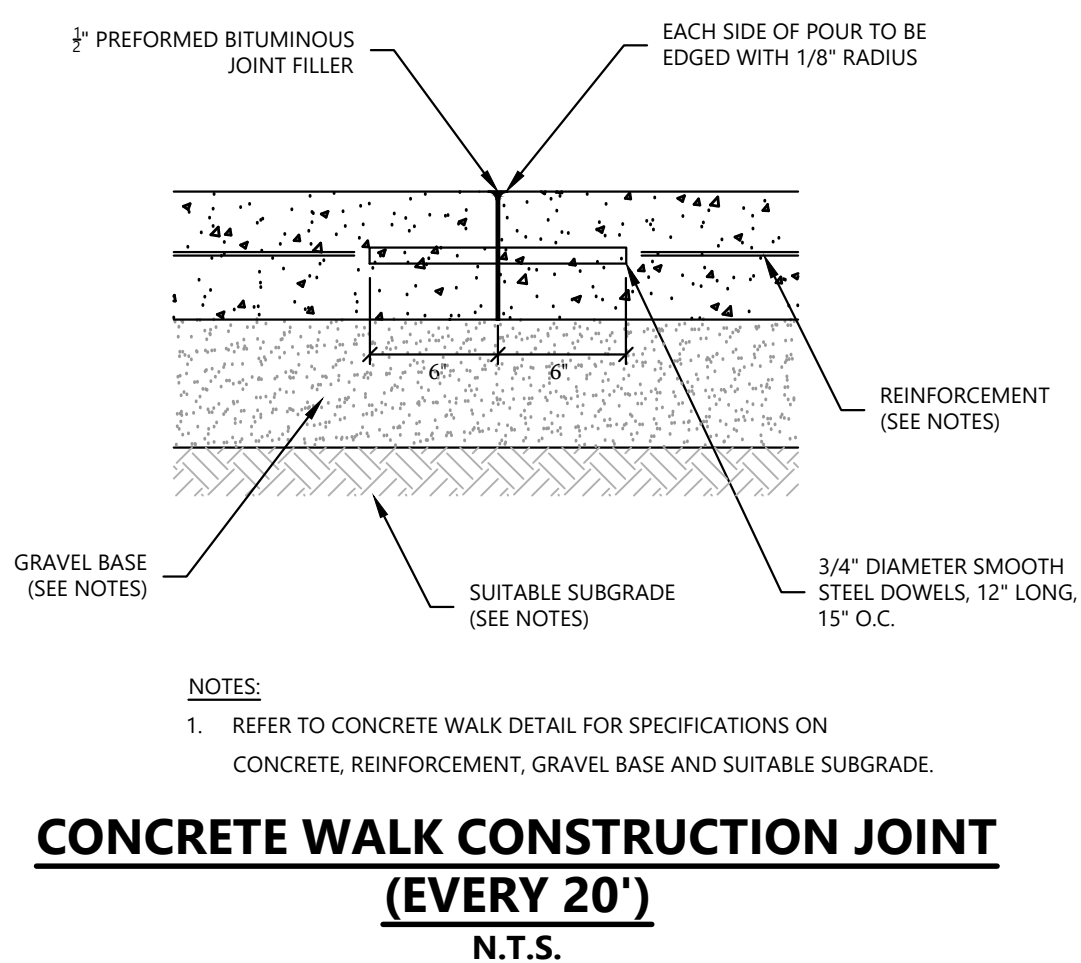
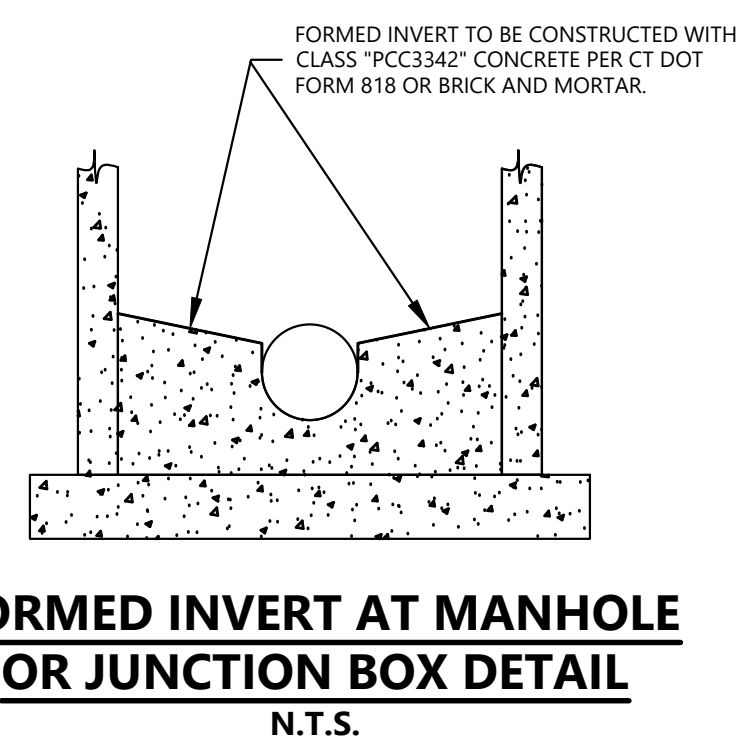
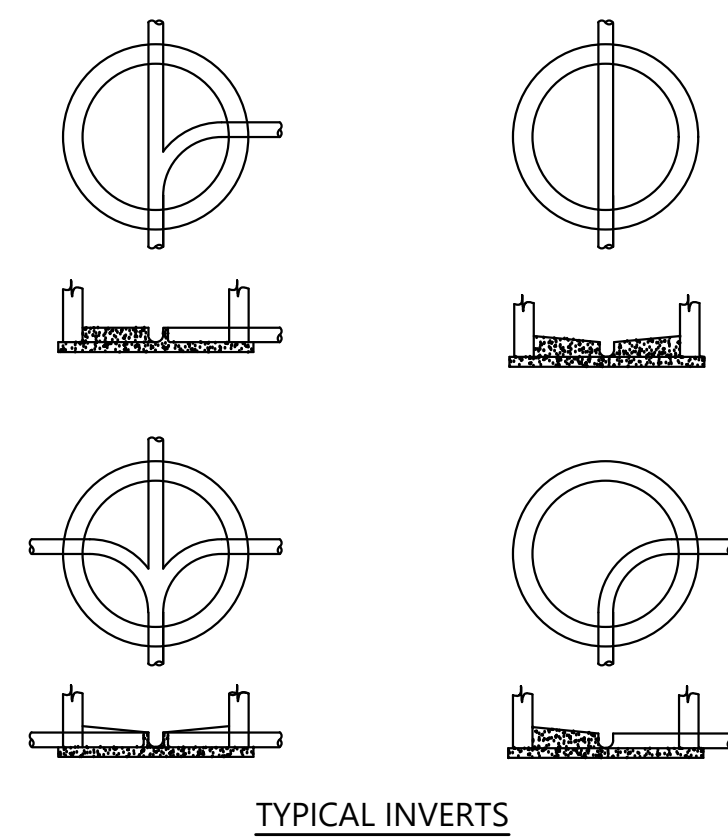
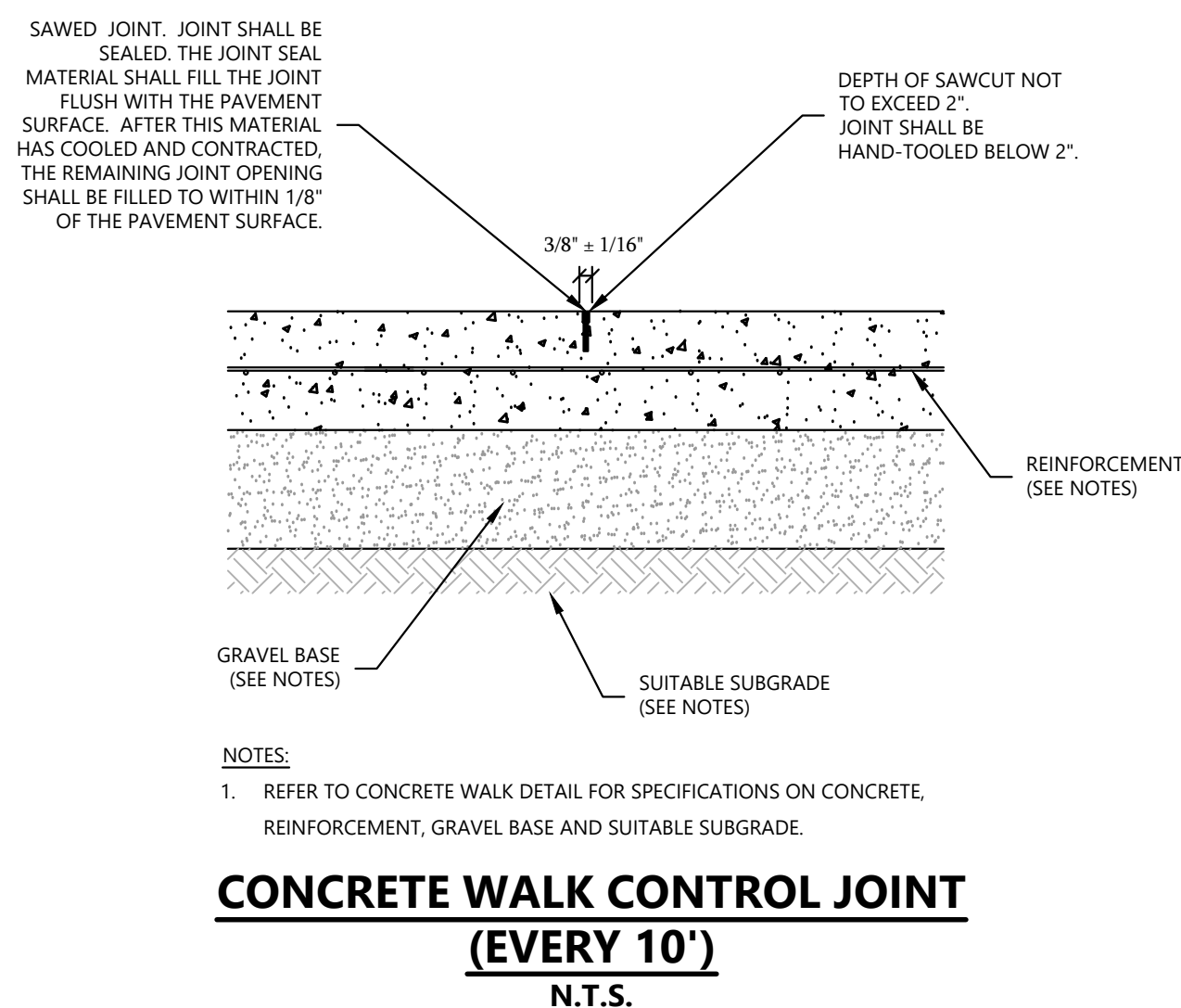
*Louis Dimarzo*  
LOUIS DIMARZO  
2/03/2022  
DATE

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C-6





**DETAILS - 2**  
DEPICTING  
**821, 825, 827 & 831 EAST MAIN STREET**  
**15, 27 & 29 LAFAYETTE STREET**  
STAMFORD, CT  
PREPARED FOR  
**819 EAST MAIN STREET, LLC**

DATE: 2/03/2022  
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SCALE: AS NOTED

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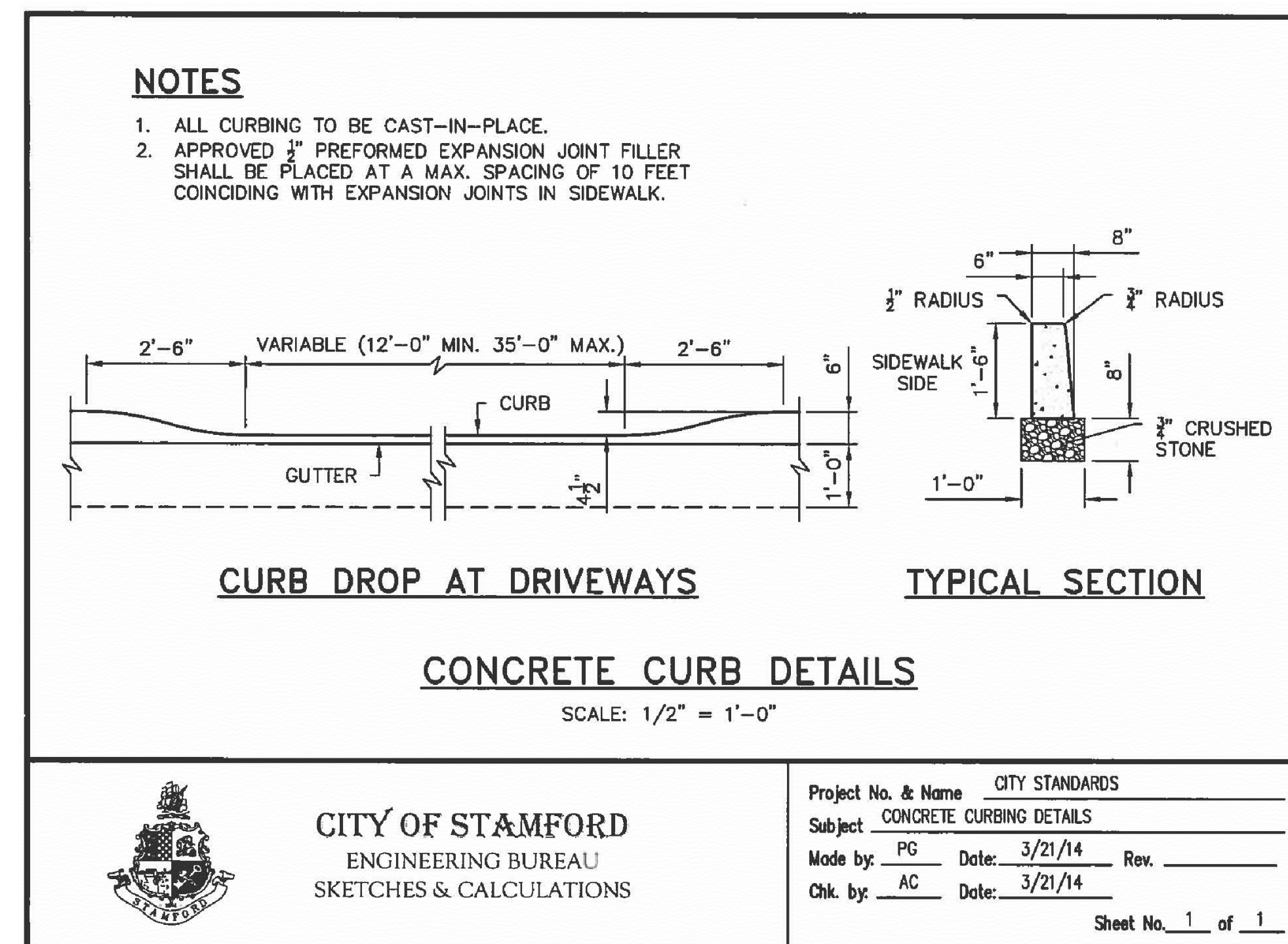
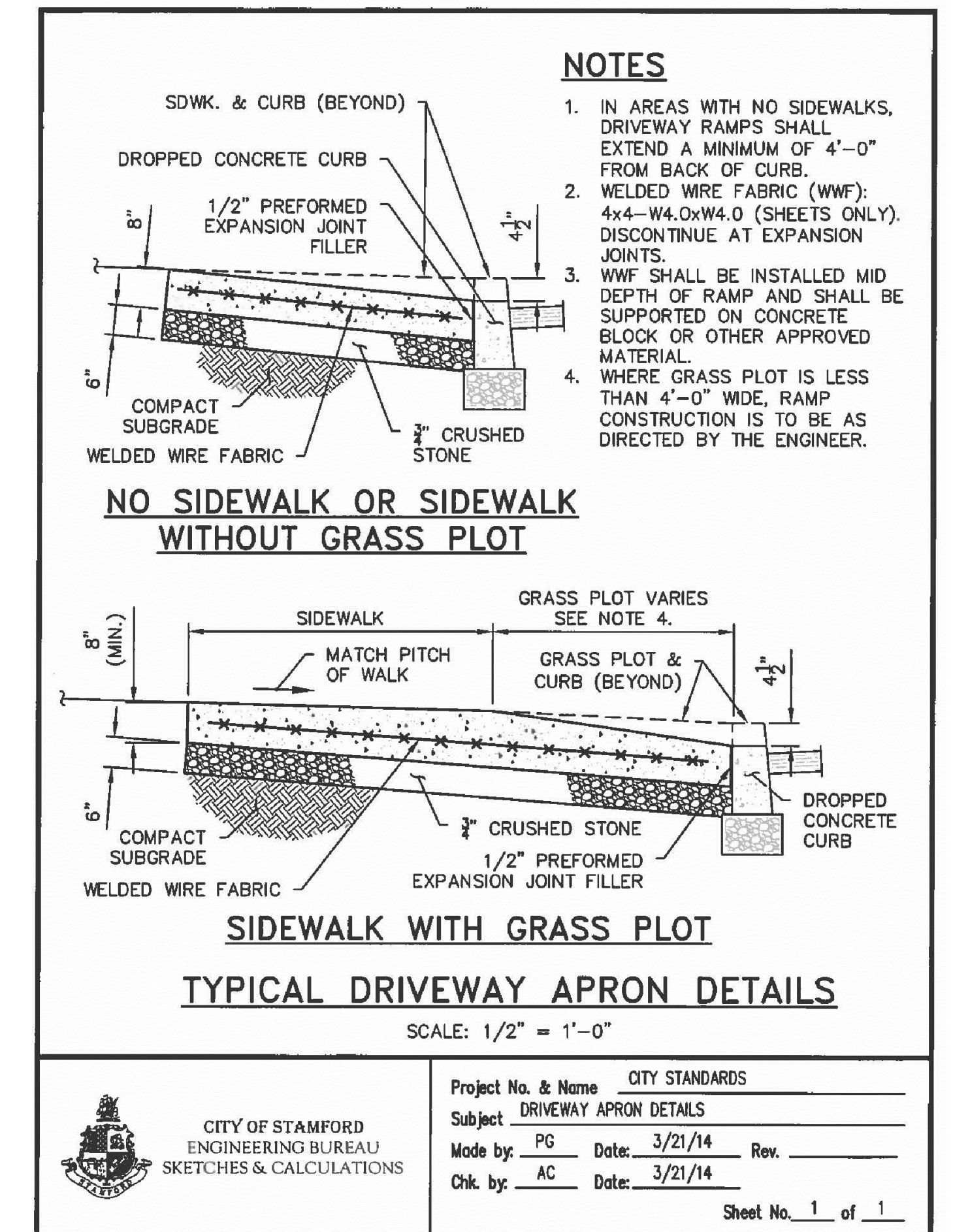
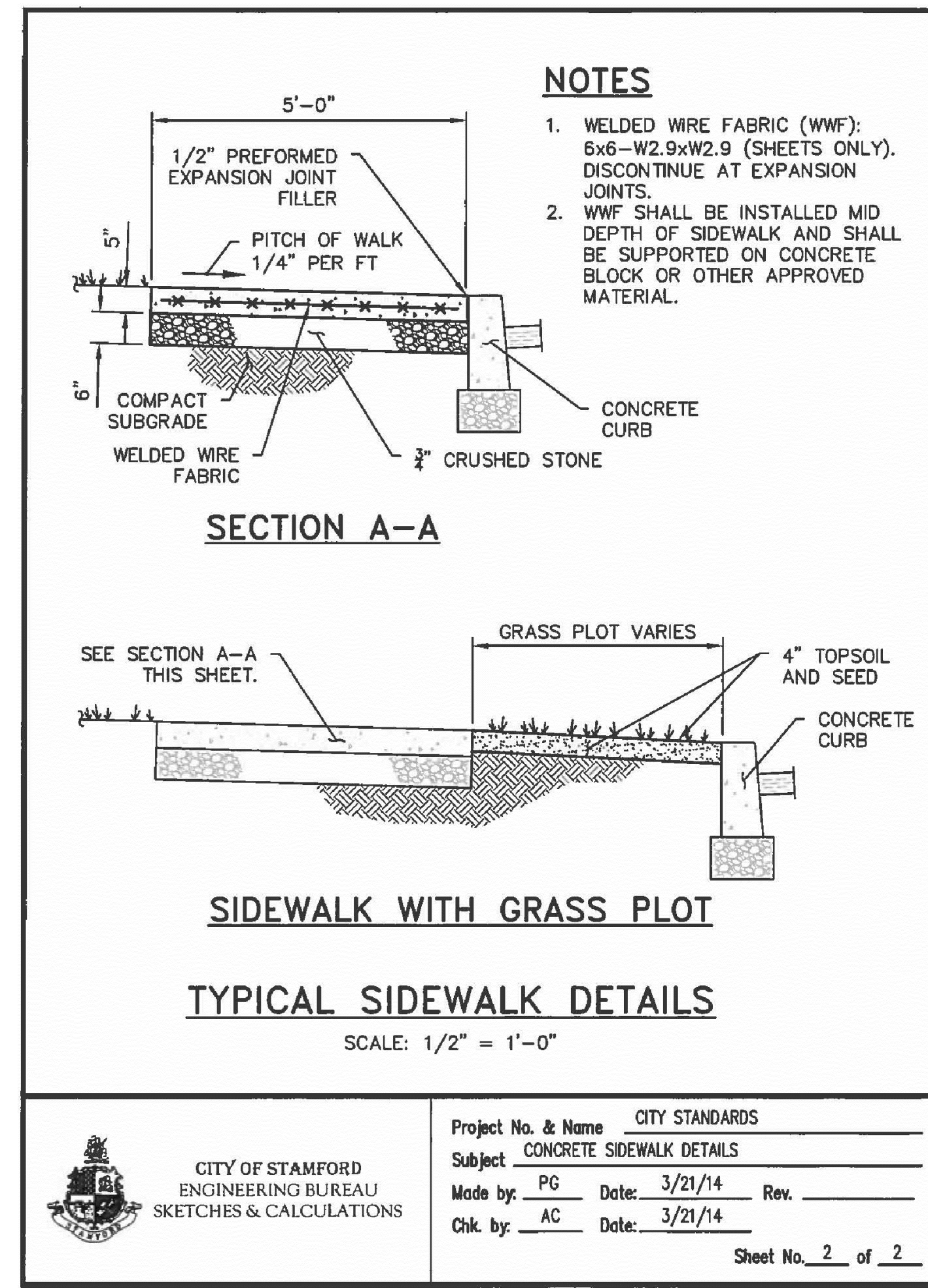
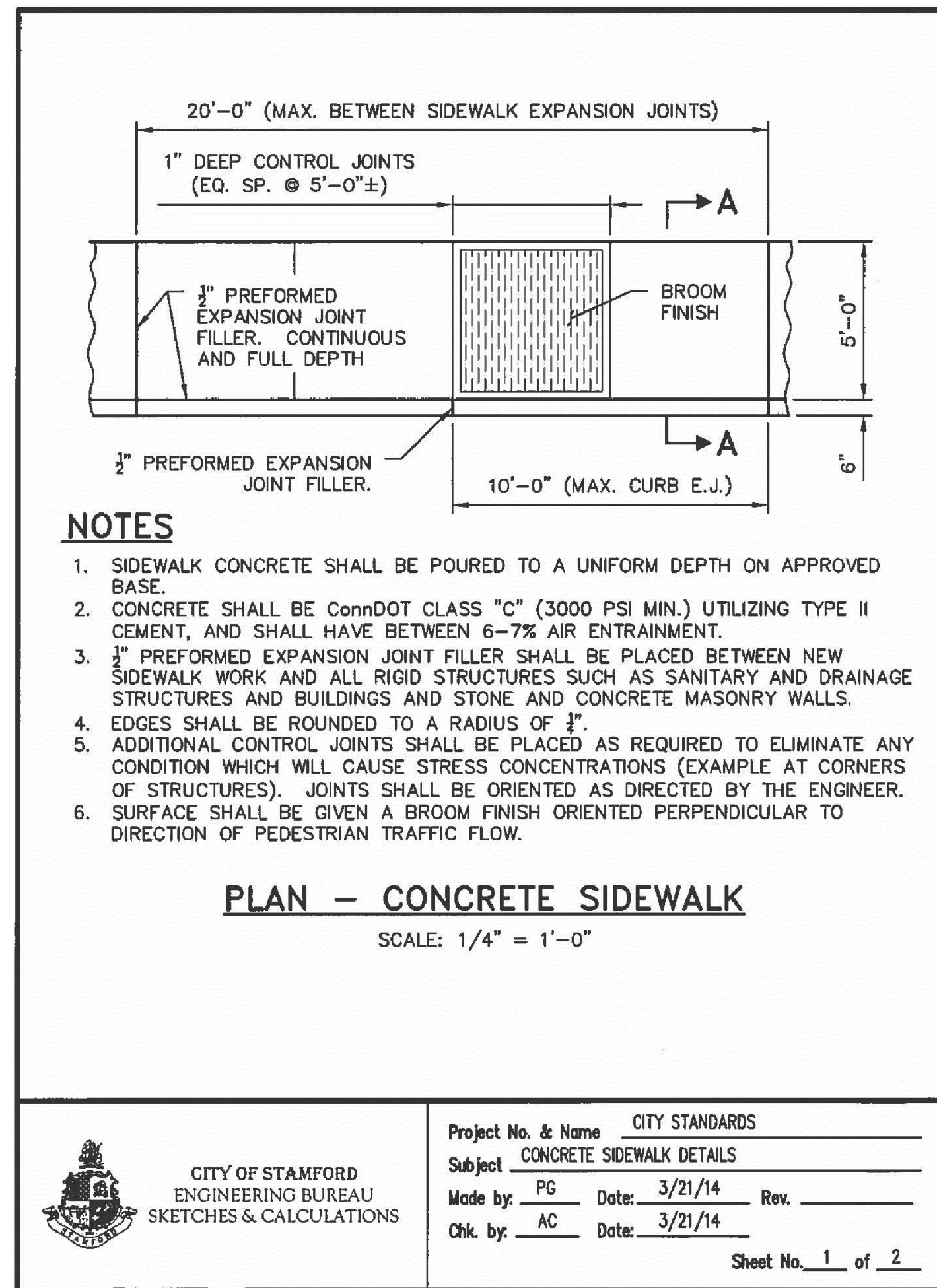
*Louis Dimarzo*  
LOUIS DIMARZO  
2/03/2022  
DATE

**DIMARZO & BEREZKY**  
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**C-7**



**DETAILS - 3**  
DEPICTING  
**821, 825, 827 & 831 EAST MAIN STREET  
15, 27 & 29 LAFAYETTE STREET  
STAMFORD, CT  
PREPARED FOR  
819 EAST MAIN STREET, LLC**

DATE: 2/03/2022  
JOB NO. 173

SCALE: AS NOTED

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*Louis Dimarzo*  
LOUIS DIMARZO  
2/03/2022  
DATE

**DIMARZO & BEREZKY**  
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**C-8**

**MAINTENANCE PLAN & SCHEDULE OF STORMWATER SYSTEM:**

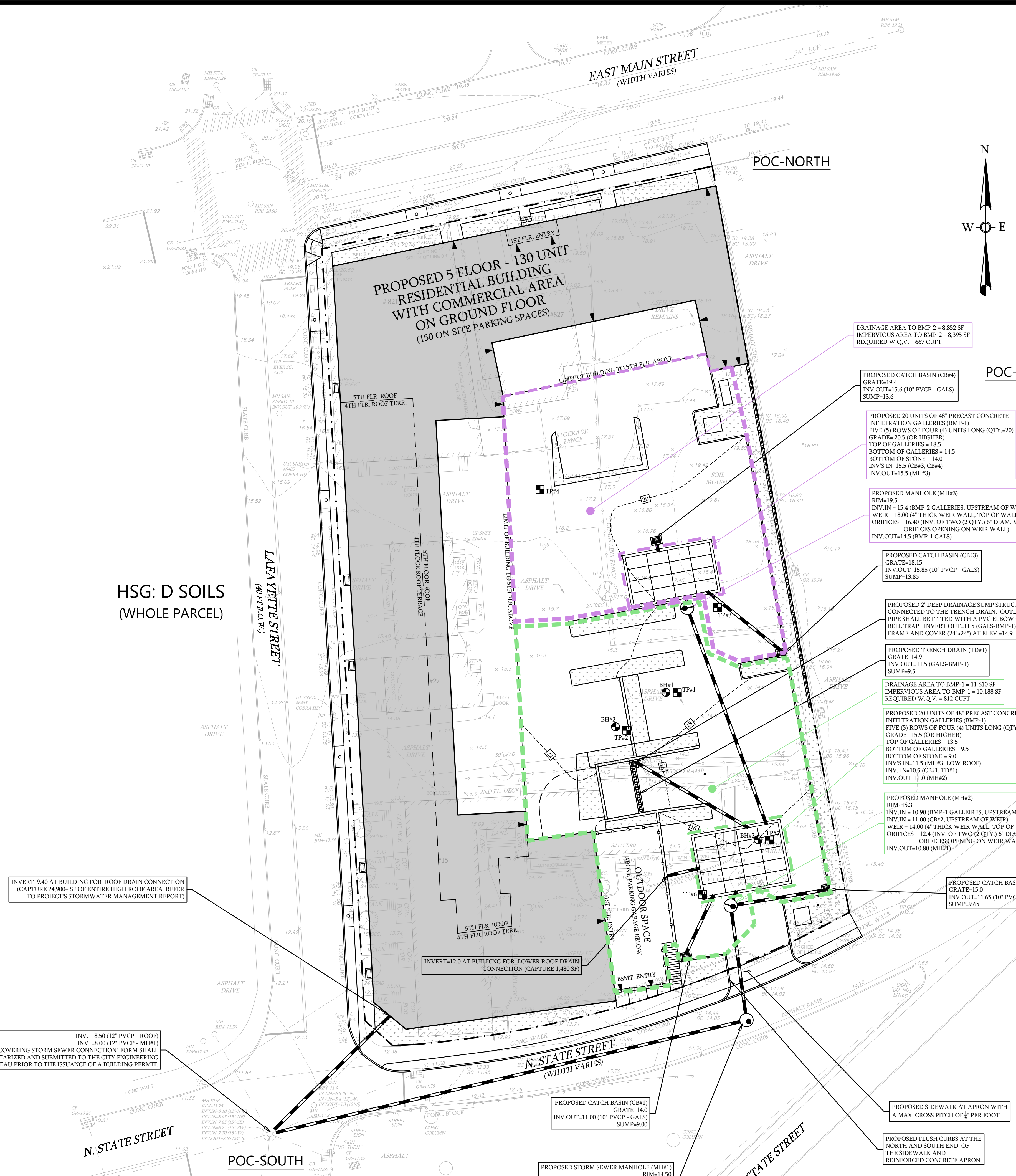
- THE PURPOSE OF THE MAINTENANCE PLAN AND SCHEDULE IS TO ENSURE THE STORMWATER COMPONENTS INSTALLED ARE MAINTAINED IN OPERATIONAL CONDITION THROUGHOUT THE LIFE OF THE DEVELOPMENT.
- STORMWATER COMPONENTS SHOULD BE CHECKED ON A PERIODIC BASIS AND KEPT IN FULL WORKING ORDER. ULTIMATELY, THE REQUIRED FREQUENCY OF INSPECTION AND SERVICE WILL VARY DEPENDING ON STORM FREQUENCY, POLLUTANT LOADING, AND DEBRIS BUILD-UP. STORMWATER COMPONENTS SHOULD BE INSPECTED AND SERVICED TWICE PER YEAR. FIRST BEFORE WINTER BEGINS AND AGAIN DURING SPRING CLEANUP.
- THE INSPECTIONS MUST BE COMPLETED BY AN INDIVIDUAL EXPERIENCED IN THE CONSTRUCTION AND MAINTENANCE OF STORMWATER MANAGEMENT SYSTEMS.
- ALL DEBRIS AND SEDIMENT REMOVED FROM THE STORMWATER COMPONENTS SHALL BE DISPOSED OF LEGALLY. THERE SHALL BE NO DUMPING OF SILT OR DEBRIS INTO OR IN PROXIMITY TO ANY INLAND OR TIDAL WETLANDS.
- THE OWNERS(S) SHALL MAINTAIN ALL RECORDS (LOGS, INVOICES, REPORTS, DATA, ETC.).
- SERVICE PROCEDURES:
  - CATCH BASINS & DRAINAGE INLETS:
    - CATCH BASINS AND DRAINAGE INLETS SHALL BE COMPLETELY CLEANED OF ACCUMULATED DEBRIS AND SEDIMENTS AT THE COMPLETION OF CONSTRUCTION.
    - FOR THE FIRST YEAR, CATCH BASINS AND DRAINAGE INLETS SHALL BE INSPECTED ON A QUARTERLY BASIS.
    - ANY ACCUMULATED DEBRIS WITHIN THE CATCH BASINS/INLETS SHALL BE REMOVED AND ANY REPAIRS AS REQUIRED.
    - FROM THE SECOND YEAR ONWARD, VISUAL INSPECTIONS SHALL OCCUR TWICE PER YEAR, ONCE IN THE SPRING AND ONCE IN THE FALL, AFTER FALL CLEANUP OF LEAVES HAS OCCURRED.
    - ACCUMULATED DEBRIS WITHIN THE CATCH BASINS/INLETS SHALL BE REMOVED AND REPAIRS MADE AS REQUIRED.
    - ACCUMULATED SEDIMENTS SHALL BE REMOVED AT WHICH TIME THEY ARE WITHIN 12 INCHES OF THE INVERT OF THE OUTLET PIPE.
    - ANY ADDITIONAL MAINTENANCE REQUIRED PER THE MANUFACTURER'S SPECIFICATIONS SHALL ALSO BE COMPLETED.
  - STORM DRAINAGE PIPING AND MANHOLES/JUNCTION BOXES:
    - ALL STORM DRAINAGE PIPING SHALL BE COMPLETELY FLUSHED OF DEBRIS AND ACCUMULATED SEDIMENT AT THE COMPLETION OF CONSTRUCTION.
    - MANHOLES/JUNCTION BOXES SHALL BE INSPECTED AND REPAIRED ON AN ANNUAL BASIS.
    - UNLESS SYSTEM PERFORMANCE INDICATES DEGRADATION OF PIPING, COMPREHENSIVE VIDEO INSPECTION OF STORM DRAINAGE PIPING SHALL OCCUR EVERY TEN YEARS.
    - ANY ADDITIONAL MAINTENANCE REQUIRED PER THE MANUFACTURER'S SPECIFICATIONS SHALL ALSO BE COMPLETED.
  - STORMWATER CONTROL STRUCTURES:
    - ALL CONTROL STRUCTURES (ORIFICE, WEIR, ETC.) SHALL BE COMPLETELY CLEANED OF ACCUMULATED DEBRIS AND SEDIMENTS AT THE COMPLETION OF CONSTRUCTION. ANY REPAIRS SHALL BE PERFORMED.
    - FOR THE FIRST YEAR, CONTROL STRUCTURES (ORIFICE, WEIR, ETC.) SHALL BE INSPECTED ON A QUARTERLY BASIS.
    - ANY ACCUMULATED DEBRIS SHALL BE REMOVED AND ANY REPAIRS MADE TO THE CONTROL STRUCTURES (ORIFICE, WEIR, ETC.) AS REQUIRED.
    - FROM THE SECOND YEAR ONWARD, VISUAL INSPECTIONS SHALL OCCUR TWICE PER YEAR, ONCE IN THE SPRING AND ONCE IN THE FALL, AFTER FALL CLEANUP OF LEAVES HAS OCCURRED.
    - ACCUMULATED DEBRIS SHALL BE REMOVED AND REPAIRS MADE AS REQUIRED.
    - ANY ADDITIONAL MAINTENANCE REQUIRED PER THE MANUFACTURER'S SPECIFICATIONS SHALL ALSO BE COMPLETED.
  - INFILTRATION SYSTEMS:
    - ALL INFILTRATORS SHALL BE COMPLETELY CLEANED OF ACCUMULATED DEBRIS AND SEDIMENTS UPON THE COMPLETION OF CONSTRUCTION.
    - FOR THE FIRST YEAR, THE INFILTRATORS SHALL BE INSPECTED ON A QUARTERLY BASIS.
    - ANY ACCUMULATED DEBRIS WITHIN THE INFILTRATORS SHALL BE REMOVED AND ANY REPAIRS MADE TO THE UNITS AS REQUIRED.
    - FROM THE SECOND YEAR ONWARD, VISUAL INSPECTION SHALL OCCUR TWICE PER YEAR, ONCE IN THE SPRING AND ONCE IN THE FALL, AFTER FALL CLEANUP OF LEAVES HAS OCCURRED.
    - ACCUMULATED DEBRIS WITHIN THE UNITS SHALL BE REMOVED AND REPAIRS MADE AS REQUIRED.
    - ANY ADDITIONAL MAINTENANCE REQUIRED PER THE MANUFACTURER'S SPECIFICATIONS SHALL ALSO BE COMPLETED.
  - ROOF GUTTERS:
    - REMOVE ACCUMULATED DEBRIS AND INSPECT FOR DAMAGE. ANY DAMAGE SHOULD BE REPAIRED AS REQUIRED.

DOWNSTREAM	PIPE INFO.	UPSTREAM
EX.MH	60 LF OF 12" PVC @ 0.015 FPF	ROOF
EX. MH	180 LF OF 12" PVC @ 0.01 FPF	MH#1
MH#1	40 LF OF 12" PVC @ 0.02 FPF	MH#2
MH#2	4 LF OF 12" PVC @ 0.025 FPF	GALS (BMP-1)
MH#2	32 LF OF 10" PVC @ 0.02 FPF	CB#2
GALS (BMP-1)	85 LF OF 12" PVC @ 0.035 FPF	MH#3
GALS (BMP-1)	25 LF OF 10" PVC @ 0.02 FPF	CB#1
GALS (BMP-1)	13 LF OF 8" PVC @ 0.04 FPF	ROOF
GALS (BMP-1)	48 LF OF 10" PVC @ 0.02 FPF	TD#1
MH#3	3 LF OF 12" PVC @ 0.033 FPF	GALS (BMP-2)
GALS (BMP-2)	35 LF OF 10" PVC @ 0.01 FPF	CB#3
GALS (BMP-2)	3 LF OF 10" PVC @ 0.033 FPF	CB#4

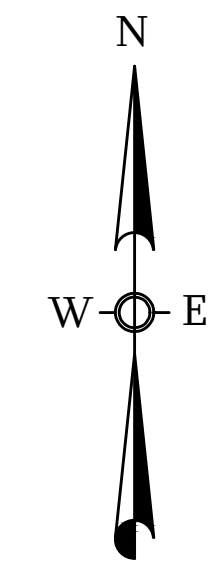
INV. = 8.50 (12" PVC - ROOF)  
INV. = 8.00 (12" PVC - MH#1)  
\* A "WAIVER COVERING STORM SEWER CONNECTION" FORM SHALL BE SIGNED, NOTARIZED AND SUBMITTED TO THE CITY ENGINEERING BUREAU PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

INVERT=9.40 AT BUILDING FOR ROOF DRAIN CONNECTION (CAPTURE 24,900 SF OF ENTIRE HIGH ROOF AREA. REFER TO PROJECT'S STORMWATER MANAGEMENT REPORT)

INVERT=12.0 AT BUILDING FOR LOWER ROOF DRAIN CONNECTION (CAPTURE 1,480 SF)



	SOUTH P.O.C.	EAST P.O.C.	NORTH P.O.C.
TOTAL AREA (SF)	48,211	1,251	775
DISTURBANCE AREA (SF)	48,211	1,251	775
IMPERVIOUS AREA, PRE-DEVELOPMENT (SF)	38,631	-	749
IMPERVIOUS AREA, POST-DEVELOPMENT (SF)	45,260	-	213
W.Q.V. REQUIRED (CF)	3,620	-	-
W.Q.V. PROVIDED (CF)	3,625	-	-



LEGEND	
PROPOSED CONTOUR	--- 102 ---
TEST PIT, SOILS	TP#3
BOREHOLE INFILTRATION TEST, SOILS	BH#3
STORM SEWER, GRAVITY	---

- NOTES:**
- THE INTENT OF THESE DRAWINGS IS FOR THE DEPICTION OF SITE GRADING, STORMWATER MANAGEMENT SYSTEM, SITE UTILITIES AND EROSION AND SEDIMENT CONTROL PLANS SHOWN HEREIN.
  - REFER TO "STANDARD CITY OF STAMFORD NOTES" ON SHEET C-1.
  - 819 EAST MAIN STREET, LLC OF 2 ARMONK ST, GREENWICH, CT 06803 IS THE APPLICANT FOR MUNICIPAL PERMITS FOR THIS PROJECT.
  - REFER TO THE STORMWATER MANAGEMENT REPORT PREPARED BY OUR OFFICE DATED 2/03/2022.
  - SURVEY DATA, BOUNDARY LINES, TOPOGRAPHY AND BUILDING LOCATIONS ARE FROM AN A-2 AND T-2 CERTIFIED SURVEY PREPARED BY THIS OFFICE TITLED "PROPERTY AND TOPOGRAPHIC SURVEY DEPICTING 821,825, 827, & 831 EAST MAIN STREET, 15, 27, & 29 LAFAYETTE STREET, STAMFORD, CT PREPARED FOR 819 EAST MAIN STREET, LLC" DATED 12/14/2021. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD-88).
  - TEST PIT DATA IS LOCATED ON DRAWING SHEET C-5.
  - STEEP SLOPES (25% AND GREATER) FOR A MINIMUM DISTANCE OF 50 LF DO NOT EXIST ON THE PARCEL.

**LOW IMPACT DEVELOPMENT PLAN**  
 DEPICTING  
**821, 825, 827 & 831 EAST MAIN STREET**  
**15, 27 & 29 LAFAYETTE STREET**  
 STAMFORD, CT  
 PREPARED FOR  
**819 EAST MAIN STREET, LLC**

DATE: 2/03/2022  
 JOB NO. 173

SCALE: 0 20 40  
 1" = 20'

To my knowledge and belief this map is substantially correct as noted hereon

*Louis Dimarzo*  
 LOUIS DIMARZO  
 2/03/2022

**DIMARZO & BERECKZY**  
 191 LLOYD DRIVE  
 FAIRFIELD, CT 06825  
 203.897.4110

LAND SURVEYING  
 CIVIL ENGINEERING  
 PERMITTING

This document is valid only if it is signed and sealed by the designated licensed professional engineer or architect. Any alteration or addition to this document without the signature and seal of the designated professional engineer or architect renders it null and void.

**C-9**

# THE LAFAYETTE

819 E. MAIN ST. STAMFORD, CT 06902

## PROJECT OWNER

WELLBUILT COMPANY  
2 ARMONK STREET  
GREENWICH, CT 06830  
(866)846-4874

## PROJECT TEAM

### ARCHITECT

DO H. CHUNG and PARTNERS  
ARCHITECTS PLANNERS  
105 BEDFORD ST, STAMFORD, CONNECTICUT 06901  
T. 203.357.0089 F. 203-353-0336

### CIVIL ENGINEERS:

DIMARZO & BERECZKY  
10 HIGH CIRCLE LANE  
FAIRFIELD, CT 06825  
(203) 857-4110

### LANDSCAPE ARCHITECT:

ENVIRONMENTAL LAND  
SOLUTIONS, LLC  
8 KNIGHT STREET  
#203  
NORWALK, CT 06851  
(203)855-7879

### SURVEYOR:

DIMARZO & BERECZKY  
10 HIGH CIRCLE LANE  
FAIRFIELD, CT 06825  
(203) 857-4110

### MECHANICAL ENGINEERS:

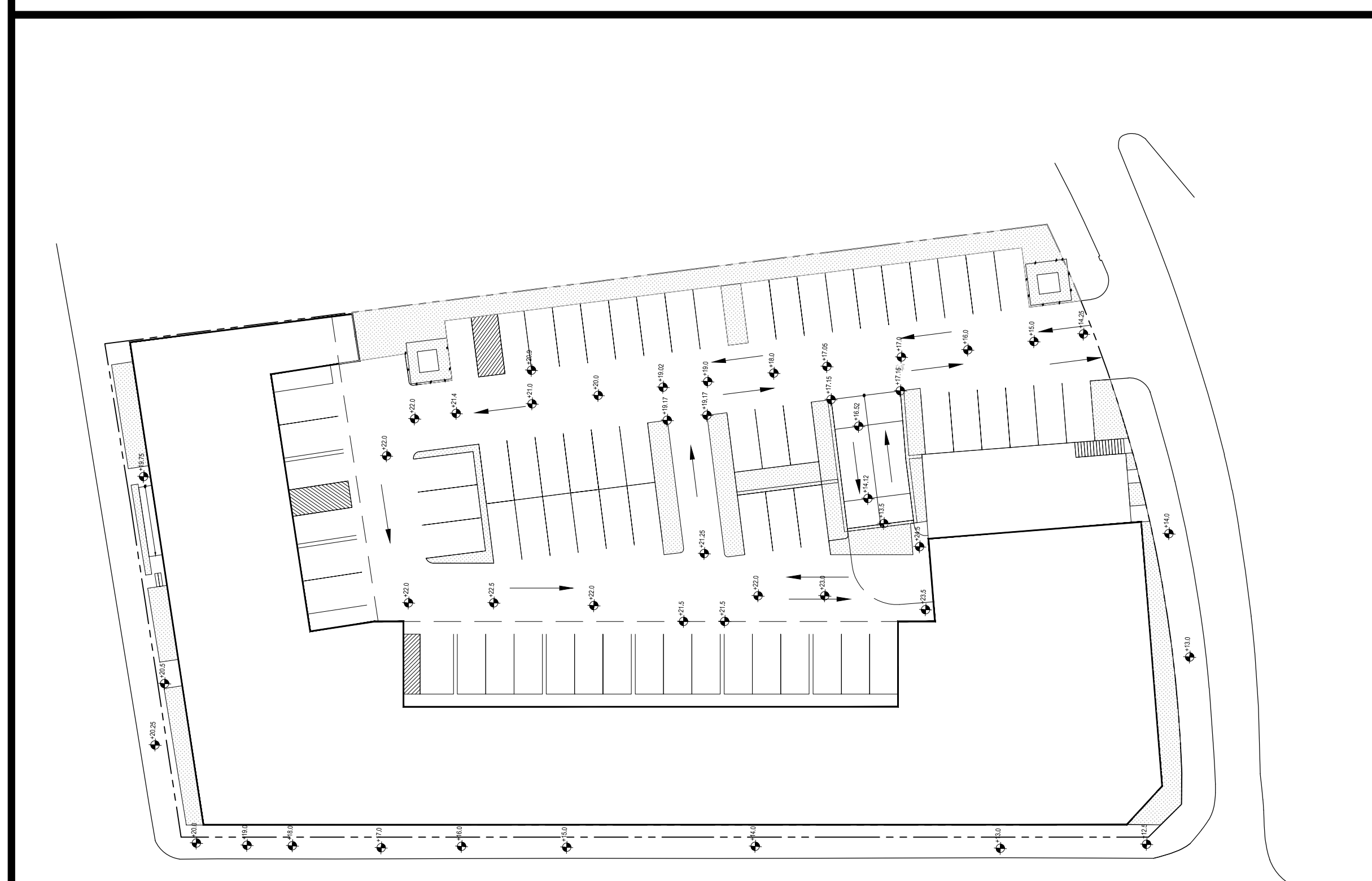
STANTEC  
30 OAK ST.  
FOURTH FLOOR  
STAMFORD, CT 06905  
(203)352-1717

### STRUCTURAL ENGINEER:

CONSULTING STRUCTURAL  
ENGINEERS  
4 LANDMARK SQUARE, SUITE 170  
STAMFORD, CT. 06901  
(203)327-0408



WEST ELEVATION (FROM LAFAYETTE ST.)



KEY PLAN 

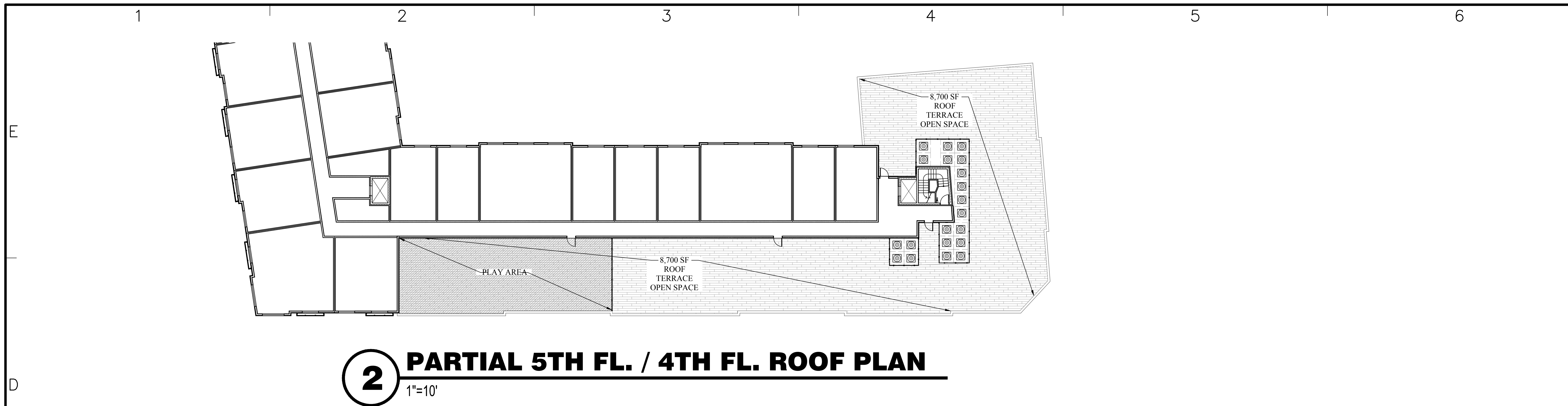
## DRAWING LIST

### ARCHITECTURAL

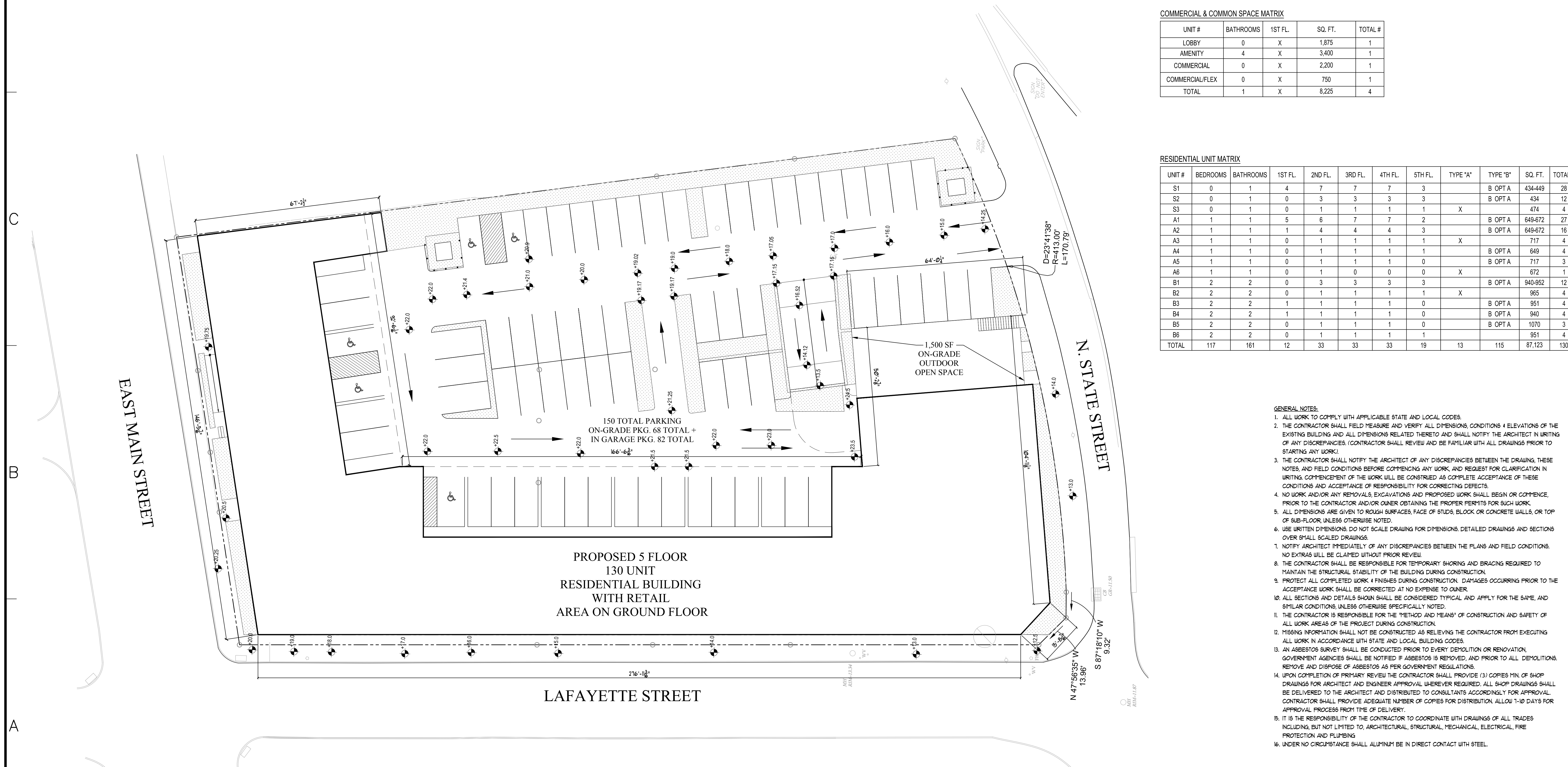
Sheet #	Title	Scale	Date	Author	Checker	Revised
1	CS - 1 COVER SHEET					
2	A-101 BASEMENT PLAN					
3	A-102 1ST FLOOR PLAN					
4	A-103 2ND FLOOR PLAN					
5	A-104 3RD FLOOR PLAN					
6	A-105 4TH FLOOR PLAN					
7	A-106 5TH FLOOR PLAN					
8	A-107 ROOF PLAN					
9	A-201 TYP. BLDG. ELEVATIONS					
10	A-202 TYP. BLDG. ELEVATIONS					
11	A-203 TYP. BLDG. ELEVATIONS					
12	A-301 TYP. SECTIONS					
13	A-302 TYP. SECTIONS					

ZONING ADDENDUM  
1-24-2022

CS - 1



**2 PARTIAL 5TH FL. / 4TH FL. ROOF PLAN**  
1"=10'



**1 OVERALL SITE & GRADING PLAN**  
1"=10'

COMMERCIAL & COMMON SPACE MATRIX

UNIT #	BATHROOMS	1ST FL.	SQ. FT.	TOTAL #
LOBBY	0	X	1,875	1
AMENITY	4	X	3,400	1
COMMERCIAL	0	X	2,200	1
COMMERCIAL/FLEX	0	X	750	1
TOTAL	1	X	8,225	4

RESIDENTIAL UNIT MATRIX

UNIT #	BEDROOMS	BATHROOMS	1ST FL.	2ND FL.	3RD FL.	4TH FL.	5TH FL.	TYPE "A"	TYPE "B"	SQ. FT.	TOTAL #
S1	0	1	4	7	7	7	3		B OPT A	434-449	28
S2	0	1	0	3	3	3	3		B OPT A	434	12
S3	0	1	0	1	1	1	1	X		474	4
A1	1	1	5	6	7	7	2		B OPT A	649-672	27
A2	1	1	1	4	4	4	3		B OPT A	649-672	16
A3	1	1	0	1	1	1	1	X		717	4
A4	1	1	0	1	1	1	1		B OPT A	649	4
A5	1	1	0	1	1	1	0		B OPT A	717	3
A6	1	1	0	1	0	0	0	X		672	1
B1	2	2	0	3	3	3	3		B OPT A	940-952	12
B2	2	2	0	1	1	1	1	X		965	4
B3	2	2	1	1	1	1	0		B OPT A	951	4
B4	2	2	1	1	1	1	0		B OPT A	940	4
B5	2	2	0	1	1	1	0		B OPT A	1070	3
B6	2	2	0	1	1	1	1			951	4
TOTAL	117	161	12	33	33	33	19	13	115	87,123	130

- GENERAL NOTES:
- ALL WORK TO COMPLY WITH APPLICABLE STATE AND LOCAL CODES.
  - THE CONTRACTOR SHALL FIELD MEASURE AND VERIFY ALL DIMENSIONS, CONDITIONS & ELEVATIONS OF THE EXISTING BUILDING AND ALL DIMENSIONS RELATED THERETO AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES. (CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH ALL DRAWINGS PRIOR TO STARTING ANY WORK.)
  - THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS, THESE NOTES, AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK, AND REQUEST FOR CLARIFICATION IN WRITING. COMMENCEMENT OF THE WORK WILL BE CONSIDERED AS COMPLETE ACCEPTANCE OF THESE CONDITIONS AND ACCEPTANCE OF RESPONSIBILITY FOR CORRECTING DEFECTS.
  - NO WORK AND/OR ANY REMOVALS, EXCAVATIONS AND PROPOSED WORK SHALL BEGIN OR COMMENCE, PRIOR TO THE CONTRACTOR AND/OR OWNER OBTAINING THE PROPER PERMITS FOR SUCH WORK.
  - ALL DIMENSIONS ARE GIVEN TO ROUGH SURFACES, FACE OF STUDS, BLOCK OR CONCRETE WALLS, OR TOP OF SUB-FLOOR, UNLESS OTHERWISE NOTED.
  - USE WRITTEN DIMENSIONS, DO NOT SCALE DRAWINGS FOR DIMENSIONS. DETAILED DRAWINGS AND SECTIONS OVER SMALL SCALED DRAWINGS.
  - NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS. NO EXTRAS WILL BE CLAIMED WITHOUT PRIOR REVIEW.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY SHORING AND BRACING REQUIRED TO MAINTAIN THE STRUCTURAL STABILITY OF THE BUILDING DURING CONSTRUCTION.
  - PROTECT ALL COMPLETED WORK, FINISHES DURING CONSTRUCTION. DAMAGES OCCURRING PRIOR TO THE ACCEPTANCE WORK SHALL BE CORRECTED AT NO EXPENSE TO OWNER.
  - ALL SECTIONS AND DETAILS SHOWN SHALL BE CONSIDERED TYPICAL AND APPLY FOR THE SAME, AND SIMILAR CONDITIONS, UNLESS OTHERWISE SPECIFICALLY NOTED.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE "METHOD AND MEANS" OF CONSTRUCTION AND SAFETY OF ALL WORK AREAS OF THE PROJECT DURING CONSTRUCTION.
  - MISSING INFORMATION SHALL NOT BE CONSTRUCTED AS RELIEVING THE CONTRACTOR FROM EXECUTING ALL WORK IN ACCORDANCE WITH STATE AND LOCAL BUILDING CODES.
  - AN ASBESTOS SURVEY SHALL BE CONDUCTED PRIOR TO EVERY DEMOLITION OR RENOVATION. GOVERNMENT AGENCIES SHALL BE NOTIFIED IF ASBESTOS IS REMOVED, AND PRIOR TO ALL DEMOLITIONS, REMOVE AND DISPOSE OF ASBESTOS AS PER GOVERNMENT REGULATIONS.
  - UPON COMPLETION OF PRIMARY REVIEW THE CONTRACTOR SHALL PROVIDE (3) COPIES MIN. OF SHOP DRAWINGS FOR ARCHITECT AND ENGINEER APPROVAL WHEREVER REQUIRED. ALL SHOP DRAWINGS SHALL BE DELIVERED TO THE ARCHITECT AND DISTRIBUTED TO CONSULTANTS ACCORDINGLY FOR APPROVAL. CONTRACTOR SHALL PROVIDE ADEQUATE NUMBER OF COPIES FOR DISTRIBUTION. ALLOW 1-10 DAYS FOR APPROVAL PROCESS FROM TIME OF DELIVERY.
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH DRAWINGS OF ALL TRADES INCLUDING, BUT NOT LIMITED TO, ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, FIRE PROTECTION AND PLUMBING.
  - UNDER NO CIRCUMSTANCE SHALL ALUMINUM BE IN DIRECT CONTACT WITH STEEL.

ARCHITECT  
DO H. CHUNG and PARTNERS  
ARCHITECTS PLANNERS  
105 BEDFORD ST., STAMFORD, CONNECTICUT 06901  
T. 203.357.0089 F. 203.353.0336

CONSULTANTS  
**CIVIL ENGINEERS:**  
DIMARZO & BERECZKY  
10 HIGH CIRCLE LANE  
FAIRFIELD, CT 06825  
(203)857-4110

**LANDSCAPE ARCHITECT:**  
ENVIRONMENTAL LAND SOLUTIONS, LLC  
8 KNIGHT STREET #203  
NORWALK, CT 06851  
(203)855-7879

**SURVEYOR:**  
DIMARZO & BERECZKY  
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(203)857-4110

**MECHANICAL ENGINEERS:**  
STANTEC  
30 OAK ST.  
FOURTH FLOOR  
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(203)352-1717

**STRUCTURAL ENGINEER:**  
CONSULTING STRUCTURAL ENGINEERS  
4 LANDMARK SQUARE, SUITE 170  
STAMFORD, CT. 06901  
(203)327-0408

OWNER  
WELLBUILT COMPANY  
2 ARMONK STREET  
GREENWICH, CT 06830  
(866)846-4874

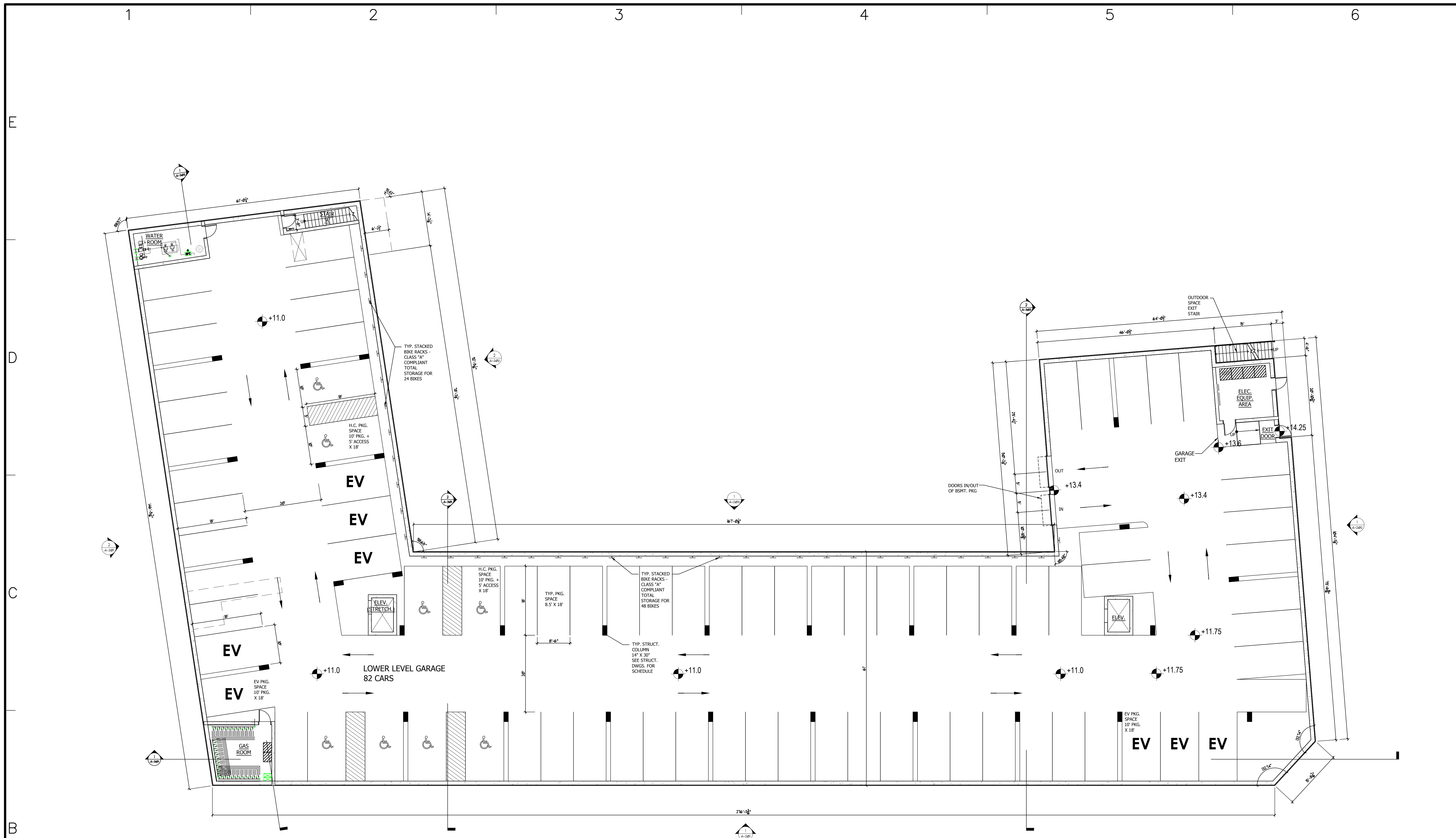
PROJECT  
**THE LAFAYETTE**  
819 E. MAIN ST. STAMFORD, CT 06902

DATE	BY	DESCRIPTION
1/15/2021	DOH	ZONING ADDENDUM
1/15/2021	DOH	REV. SET

PROJECT NO: ----  
CAD DWG FILE: A-001 OVERALL SITE & GRADING PLAN.DWG  
DRAWN BY: --  
CHK'D BY: --  
COPYRIGHT: --

SHEET TITLE  
**OVERALL SITE & GRADING PLAN, OPEN SPACE AREAS**

A - 001  
SHEET OF



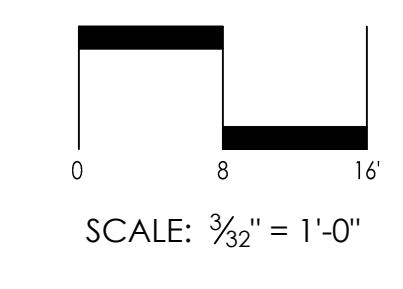
**RESIDENTIAL UNIT PROGRAM**

FLOOR	STUDIO	1 BR	2 BR	TOTAL
1ST FLOOR	4	6	2	12
2ND FLOOR	11	14	8	33
3RD FLOOR	11	14	8	33
4TH FLOOR	11	14	8	33
5TH FLOOR	7	7	5	19
<b>TOTAL</b>	<b>44</b>	<b>55</b>	<b>31</b>	<b>130</b>

**PARKING TOTALS**

PARKING LEVEL	REGULAR	HANDICAP	EV	TOTAL
	8.5'X18'	10'X18' OR 8'X18' (VAN)	10'X18'	
BSMT. GARAGE	66	8	8	82
1ST FLOOR / ON GRADE	57	5	6	68
<b>TOTAL</b>	<b>123</b>	<b>13</b>	<b>14</b>	<b>150</b>

**1 BASEMENT PLAN**  
SCALE: 3/32" = 1'-0"



ARCHITECT  
**DO H. CHUNG and PARTNERS**  
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105 BEDFORD ST., STAMFORD, CONNECTICUT 06901  
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CONSULTANTS  
**CIVIL ENGINEERS:**  
DIMARZO & BERECZKY  
10 HIGH CIRCLE LANE  
FAIRFIELD, CT 06825  
(203)857-4110

**LANDSCAPE ARCHITECT:**  
ENVIRONMENTAL LAND SOLUTIONS, LLC  
8 KNIGHT STREET #203  
NORWALK, CT 06851  
(203)855-7879

**SURVEYOR:**  
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FAIRFIELD, CT 06825  
(203)857-4110

**MECHANICAL ENGINEERS:**  
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30 OAK ST. FOURTH FLOOR  
STAMFORD, CT 06905  
(203)352-1717

**STRUCTURAL ENGINEER:**  
CONSULTING STRUCTURAL ENGINEERS  
4 LANDMARK SQUARE, SUITE 170  
STAMFORD, CT. 06901  
(203)327-0408

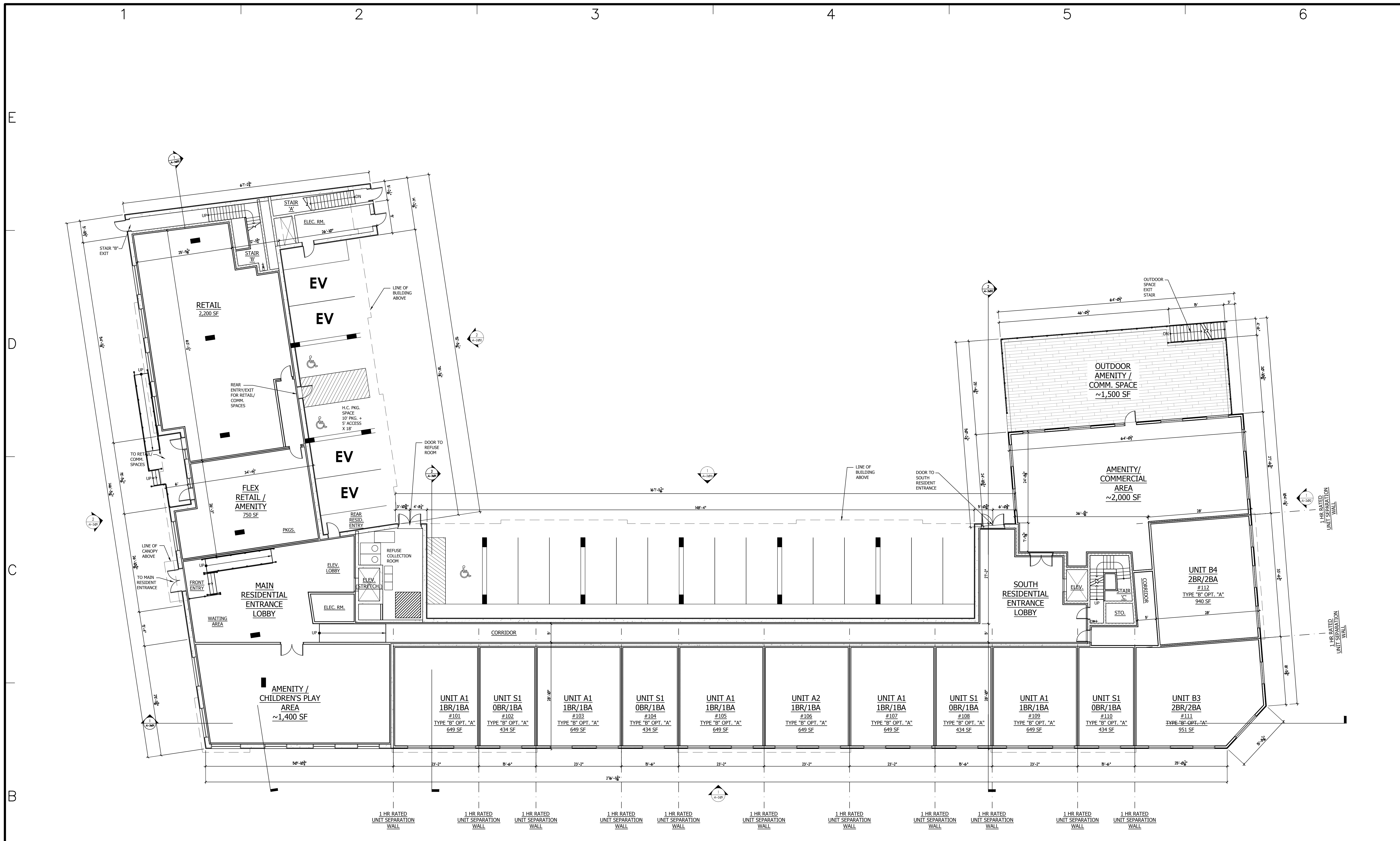
OWNER  
**WELLBUILT COMPANY**  
2 ARMONK STREET  
GREENWICH, CT 06830  
(866)846-4874

PROJECT  
**THE LAFAYETTE**  
819 E. MAIN ST. STAMFORD, CT 06902

MARK	DATE	DESCRIPTION

PROJECT NO: ---  
CAD DWG FILE: A-101.DWG  
DRAWN BY: ---  
CHK'D BY: ---  
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SHEET TITLE  
**BASEMENT PLAN**



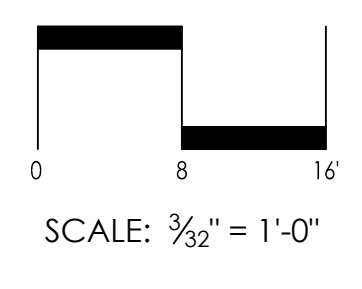
**RESIDENTIAL UNIT PROGRAM**

FLOOR	STUDIO	1 BR	2 BR	TOTAL
1ST FLOOR	4	6	2	12
2ND FLOOR	11	14	8	33
3RD FLOOR	11	14	8	33
4TH FLOOR	11	14	8	33
5TH FLOOR	7	7	5	19
<b>TOTAL</b>	<b>44</b>	<b>55</b>	<b>31</b>	<b>130</b>

**PARKING TOTALS**

PARKING LEVEL	REGULAR	HANDICAP	EV	TOTAL
	8.5'X18'	10'X18' OR 8'X18' (VAN)	10'X18'	
BSMT. GARAGE	66	8	8	82
1ST FLOOR / ON GRADE	57	5	6	68
<b>TOTAL</b>	<b>123</b>	<b>13</b>	<b>14</b>	<b>150</b>

**1 FIRST FLOOR PLAN**  
SCALE: 3/32" = 1'-0"



ARCHITECT  
**DO H. CHUNG and PARTNERS**  
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 T. 203.357.0089 F. 203.353.0336

CONSULTANTS  
**CIVIL ENGINEERS:**  
**DIMARZO & BEREZKY**  
 10 HIGH CIRCLE LANE  
 FAIRFIELD, CT 06825  
 (203)857-4110

**LANDSCAPE ARCHITECT:**  
**ENVIRONMENTAL LAND SOLUTIONS, LLC**  
 8 KNIGHT STREET  
 #203  
 NORWALK, CT 06851  
 (203)855-7879

**SURVEYOR:**  
**DIMARZO & BEREZKY**  
 10 HIGH CIRCLE LANE  
 FAIRFIELD, CT 06825  
 (203)857-4110

**MECHANICAL ENGINEERS:**  
**STANTEC**  
 30 OAK ST.  
 FOURTH FLOOR  
 STAMFORD, CT 06905  
 (203)352-1717

**STRUCTURAL ENGINEER:**  
**CONSULTING STRUCTURAL ENGINEERS**  
 4 LANDMARK SQUARE, SUITE 170  
 STAMFORD, CT. 06901  
 (203)327-0408

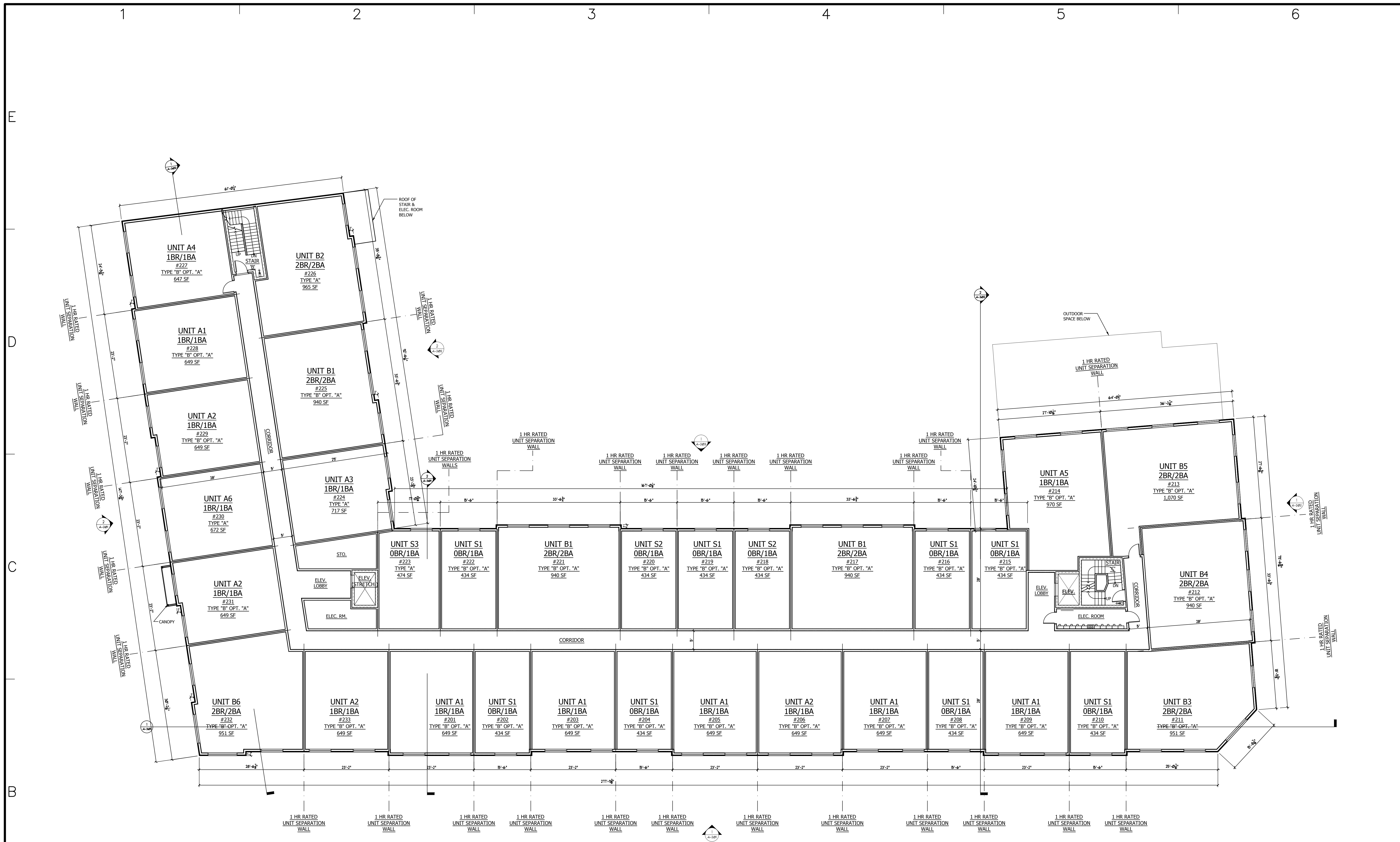
OWNER  
**WELLBUILT COMPANY**  
 2 ARMONK STREET  
 GREENWICH, CT 06830  
 (866)846-4874

PROJECT  
**THE LAFAYETTE**  
 819 E. MAIN ST. STAMFORD,  
 CT 06902

DATE	DESCRIPTION
1/18/2022	ZONING ADDENDUM
4/10/2021	ZONING SUBMITTAL

PROJECT NO: ----  
 CAD DWG FILE: A-101.DWG  
 DRAWN BY: -  
 CHK'D BY: -  
 COPYRIGHT:

SHEET TITLE  
**FIRST FLOOR PLAN**



**RESIDENTIAL UNIT PROGRAM**

FLOOR	STUDIO	1 BR	2 BR	TOTAL
1ST FLOOR	4	6	2	12
2ND FLOOR	11	14	8	33
3RD FLOOR	11	14	8	33
4TH FLOOR	11	14	8	33
5TH FLOOR	7	7	5	19
<b>TOTAL</b>	<b>44</b>	<b>55</b>	<b>31</b>	<b>130</b>

**PARKING TOTALS**

PARKING LEVEL	REGULAR	HANDICAP	EV	TOTAL
	8.5'x18'	10'x18' OR 8'x18' (VAN)	10'x18'	
BSMT. GARAGE	66	8	8	82
1ST FLOOR / ON GRADE	57	5	6	68
<b>TOTAL</b>	<b>123</b>	<b>13</b>	<b>14</b>	<b>150</b>

**1 SECOND FLOOR PLAN**  
SCALE: 3/32" = 1'-0"

SCALE: 3/32" = 1'-0"

ARCHITECT  
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 105 BEDFORD ST., STAMFORD, CONNECTICUT 06901  
 T. 203.357.0089 F. 203.353.0336

CONSULTANTS  
**CIVIL ENGINEERS:**  
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 (203)857-4110

**LANDSCAPE ARCHITECT:**  
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 #203  
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 (203)352-1717

**STRUCTURAL ENGINEER:**  
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PROJECT  
**THE LAFAYETTE**  
 819 E. MAIN ST. STAMFORD, CT 06902

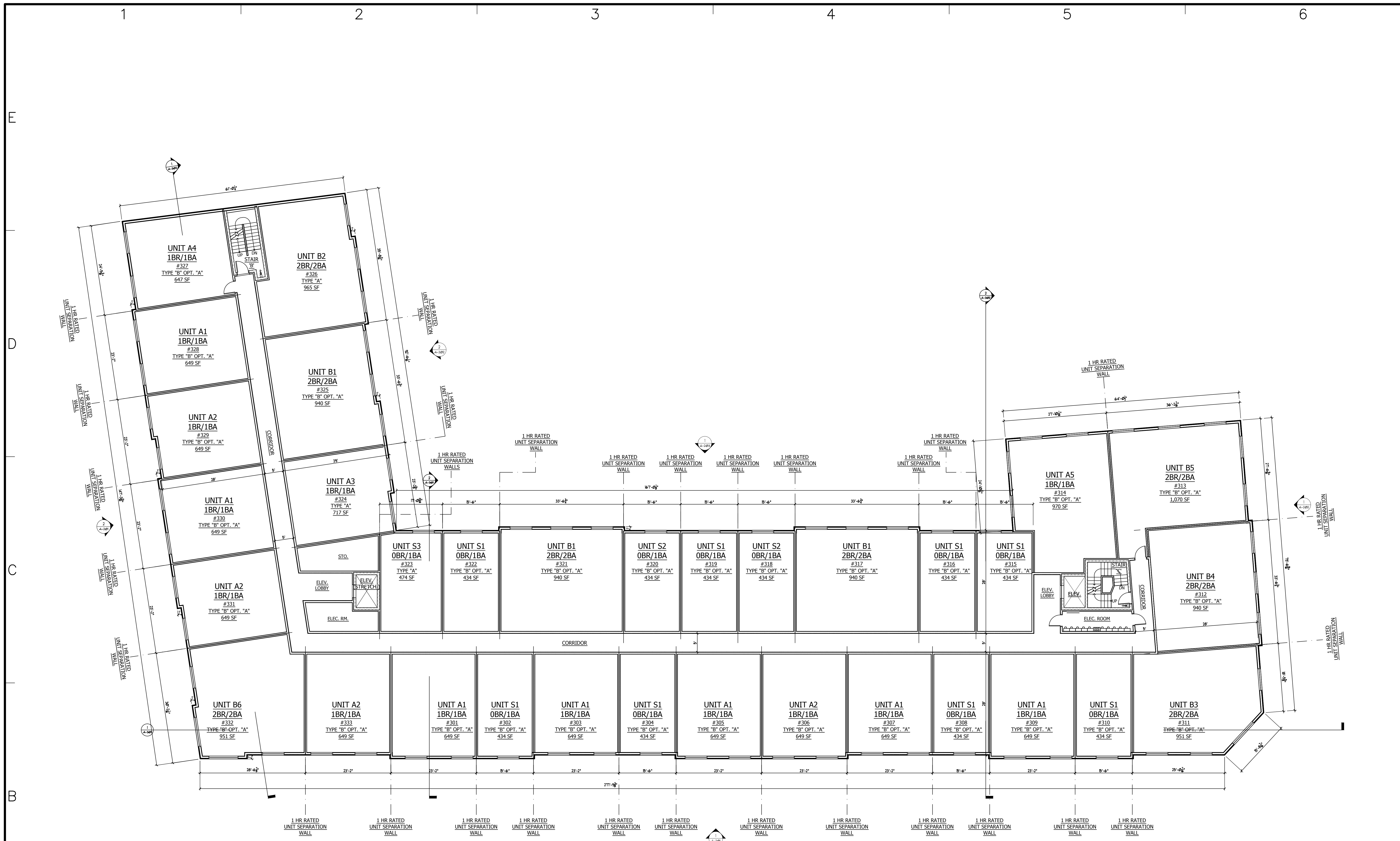
ZONING ADDENDUM  
 4/26/2001 ZONING SUBMITTAL  
 MARK DATE DESCRIPTION

PROJECT NO: ---  
 CAD DWG FILE: A-101.DWG  
 DRAWN BY: ---  
 CHK'D BY: ---  
 COPYRIGHT:

SHEET TITLE  
**SECOND FLOOR PLAN**

A-103  
 SHEET OF





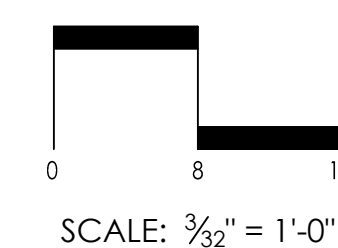
**RESIDENTIAL UNIT PROGRAM**

FLOOR	STUDIO	1 BR	2 BR	TOTAL
1ST FLOOR	4	6	2	12
2ND FLOOR	11	14	8	33
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TOTAL	44	55	31	130

**PARKING TOTALS**

PARKING LEVEL	REGULAR	HANDICAP	EV	TOTAL
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1ST FLOOR / ON GRADE	57	5	6	68
TOTAL	123	13	14	150

**1 THIRD FLOOR PLAN**  
SCALE: 3/32" = 1'-0"



ARCHITECT  
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CONSULTANTS  
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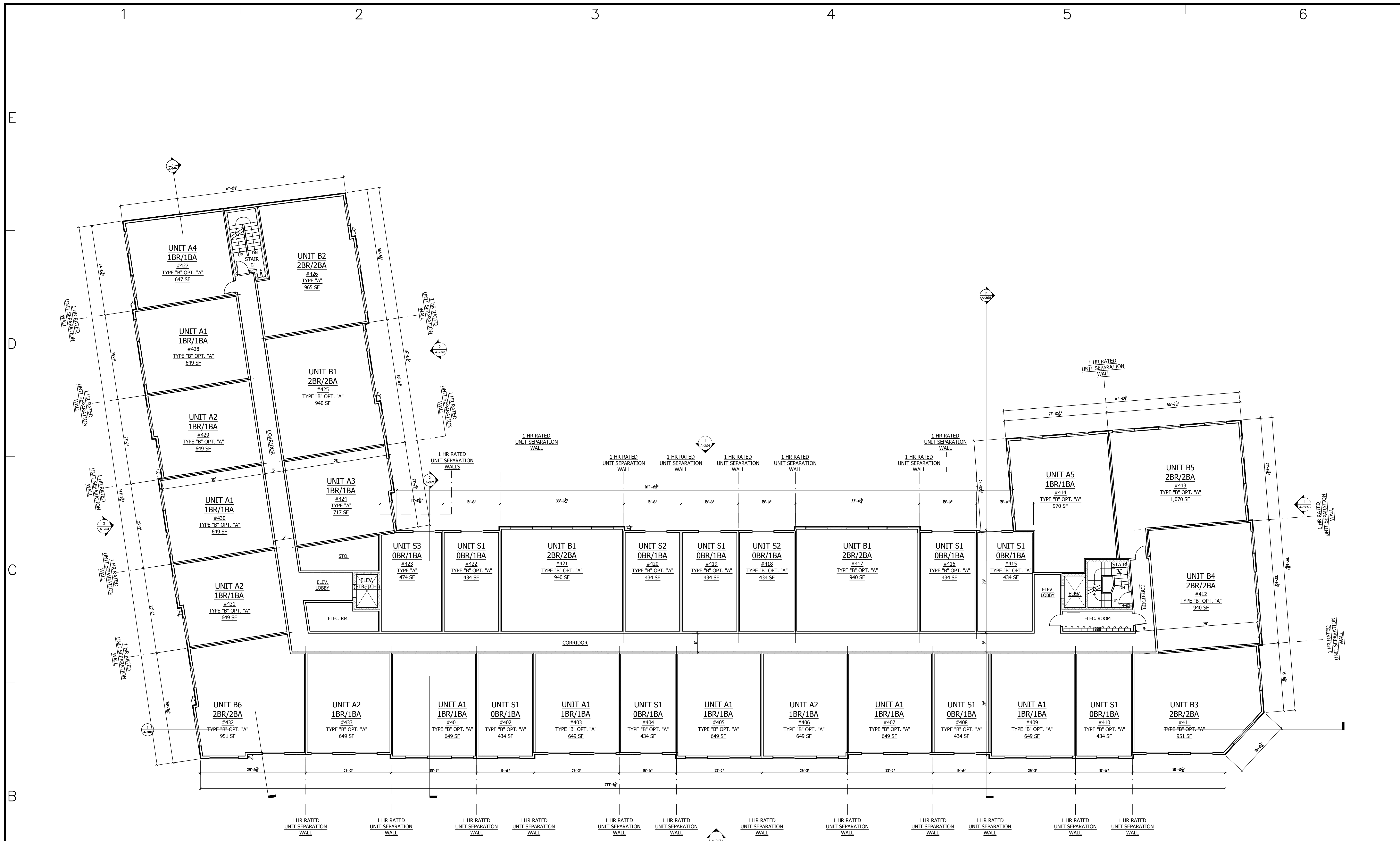
PROJECT  
**THE LAFAYETTE**  
 819 E. MAIN ST. STAMFORD, CT 06902

DATE	REVISION	DESCRIPTION
1/18/2012	1	ZONING ADDENDUM
4/16/2011	1	ZONING SUBMITTAL

PROJECT NO: ----  
 CAD DWG FILE: A-101.DWG  
 DRAWN BY: --  
 CHK'D BY: --  
 COPYRIGHT: --

SHEET TITLE  
**THIRD FLOOR PLAN**

A - 104  
 SHEET OF



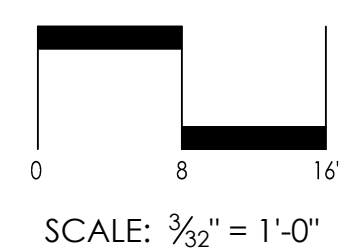
**RESIDENTIAL UNIT PROGRAM**

FLOOR	STUDIO	1 BR	2 BR	TOTAL
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PARKING LEVEL	REGULAR	HANDICAP	EV	TOTAL
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**1 FOURTH FLOOR PLAN**  
SCALE: 3/32" = 1'-0"



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CONSULTANTS  
**CIVIL ENGINEERS:**  
**DIMARZO & BERECZKY**  
 10 HIGH CIRCLE LANE  
 FAIRFIELD, CT 06825  
 (203)857-4110

**LANDSCAPE ARCHITECT:**  
**ENVIRONMENTAL LAND SOLUTIONS, LLC**  
 8 KNIGHT STREET  
 #203  
 NORWALK, CT 06851  
 (203)855-7879

**SURVEYOR:**  
**DIMARZO & BERECZKY**  
 10 HIGH CIRCLE LANE  
 FAIRFIELD, CT 06825  
 (203)857-4110

**MECHANICAL ENGINEERS:**  
**STANTEC**  
 30 OAK ST.  
 FOURTH FLOOR  
 STAMFORD, CT 06905  
 (203)352-1717

**STRUCTURAL ENGINEER:**  
**CONSULTING STRUCTURAL ENGINEERS**  
 4 LANDMARK SQUARE, SUITE 170  
 STAMFORD, CT. 06901  
 (203)327-0408

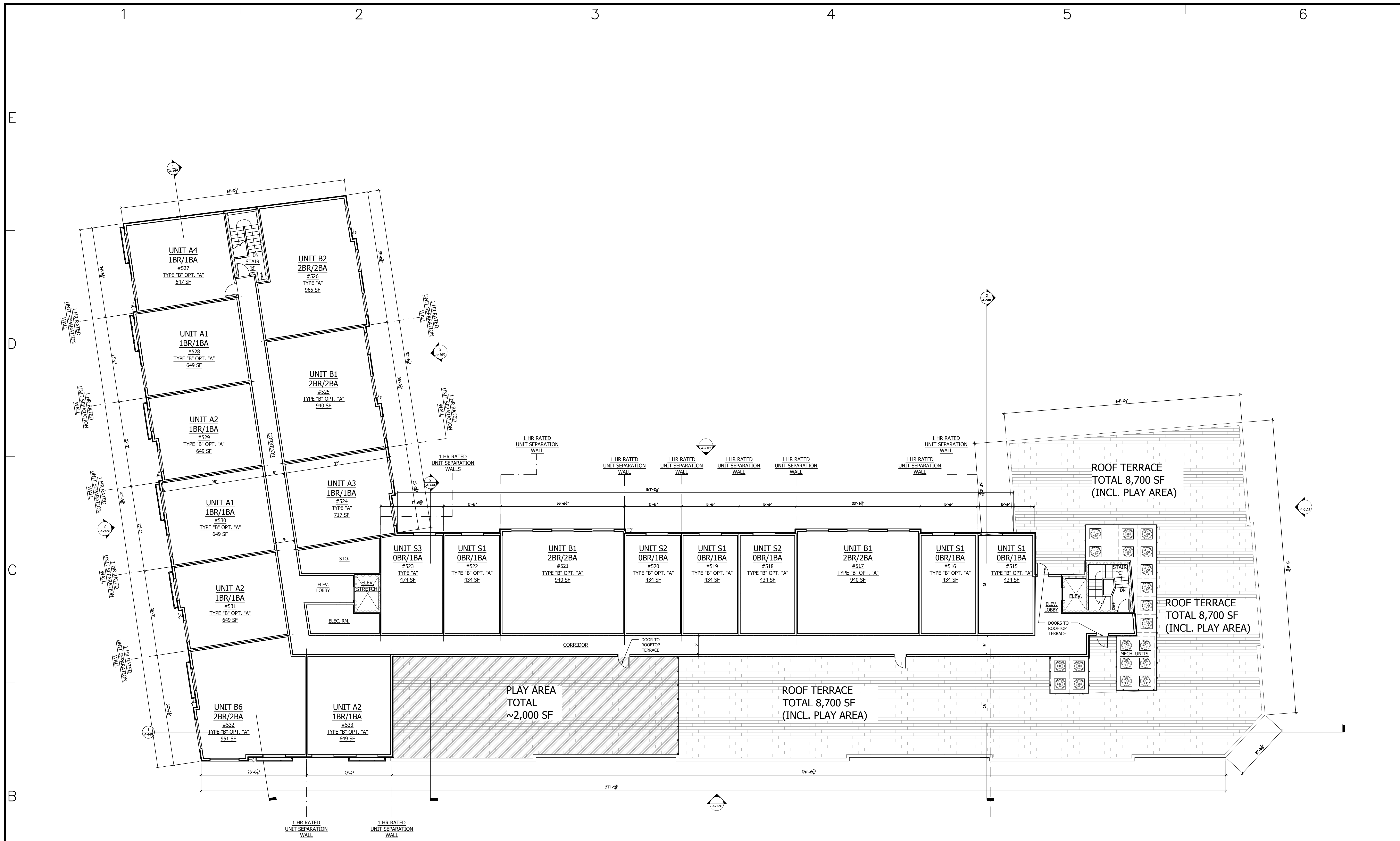
OWNER  
**WELLBUILT COMPANY**  
 2 ARMONK STREET  
 GREENWICH, CT 06830  
 (866)846-4874

PROJECT  
**THE LAFAYETTE**  
 819 E. MAIN ST. STAMFORD,  
 CT 06902

NO.	DATE	DESCRIPTION
1/18/2012		ZONING ADDENDUM
4/10/2011		ZONING SUBMITTAL

PROJECT NO: ----  
 CAD DWG FILE: A-101.DWG  
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SHEET TITLE  
**FOURTH FLOOR PLAN**  
 A - 105  
 SHEET OF



**RESIDENTIAL UNIT PROGRAM**

FLOOR	STUDIO	1 BR	2 BR	TOTAL
1ST FLOOR	4	6	2	12
2ND FLOOR	11	14	8	33
3RD FLOOR	11	14	8	33
4TH FLOOR	11	14	8	33
5TH FLOOR	7	7	5	19
TOTAL	44	55	31	130

**PARKING TOTALS**

PARKING LEVEL	REGULAR	HANDICAP	EV	TOTAL
	8.5'X18'	10'X18' OR 8'X18' (VAN)	10'X18	
BSMT. GARAGE	66	8	8	82
1ST FLOOR / ON GRADE	57	5	6	68
TOTAL	123	13	14	150

**1 FIFTH FLOOR PLAN**  
SCALE: 3/32" = 1'-0"

ARCHITECT  
**DO H. CHUNG and PARTNERS**  
ARCHITECTS PLANNERS  
105 BEDFORD ST., STAMFORD, CONNECTICUT 06901  
T. 203.357.0089 F. 203.353.0336

CONSULTANTS  
**CIVIL ENGINEERS:**  
DIMARZO & BERECZKY  
10 HIGH CIRCLE LANE  
FAIRFIELD, CT 06825  
(203)857-4110

**LANDSCAPE ARCHITECT:**  
ENVIRONMENTAL LAND SOLUTIONS, LLC  
8 KNIGHT STREET  
#203  
NORWALK, CT 06851  
(203)855-7879

**SURVEYOR:**  
DIMARZO & BERECZKY  
10 HIGH CIRCLE LANE  
FAIRFIELD, CT 06825  
(203)857-4110

**MECHANICAL ENGINEERS:**  
STANTEC  
30 OAK ST.  
FOURTH FLOOR  
STAMFORD, CT 06905  
(203)352-1717

**STRUCTURAL ENGINEER:**  
CONSULTING STRUCTURAL ENGINEERS  
4 LANDMARK SQUARE, SUITE 170  
STAMFORD, CT. 06901  
(203)327-0408

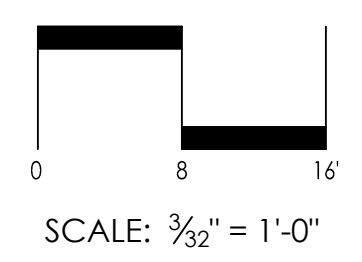
OWNER  
**WELLBUILT COMPANY**  
2 ARMONK STREET  
GREENWICH, CT 06830  
(866)846-4874

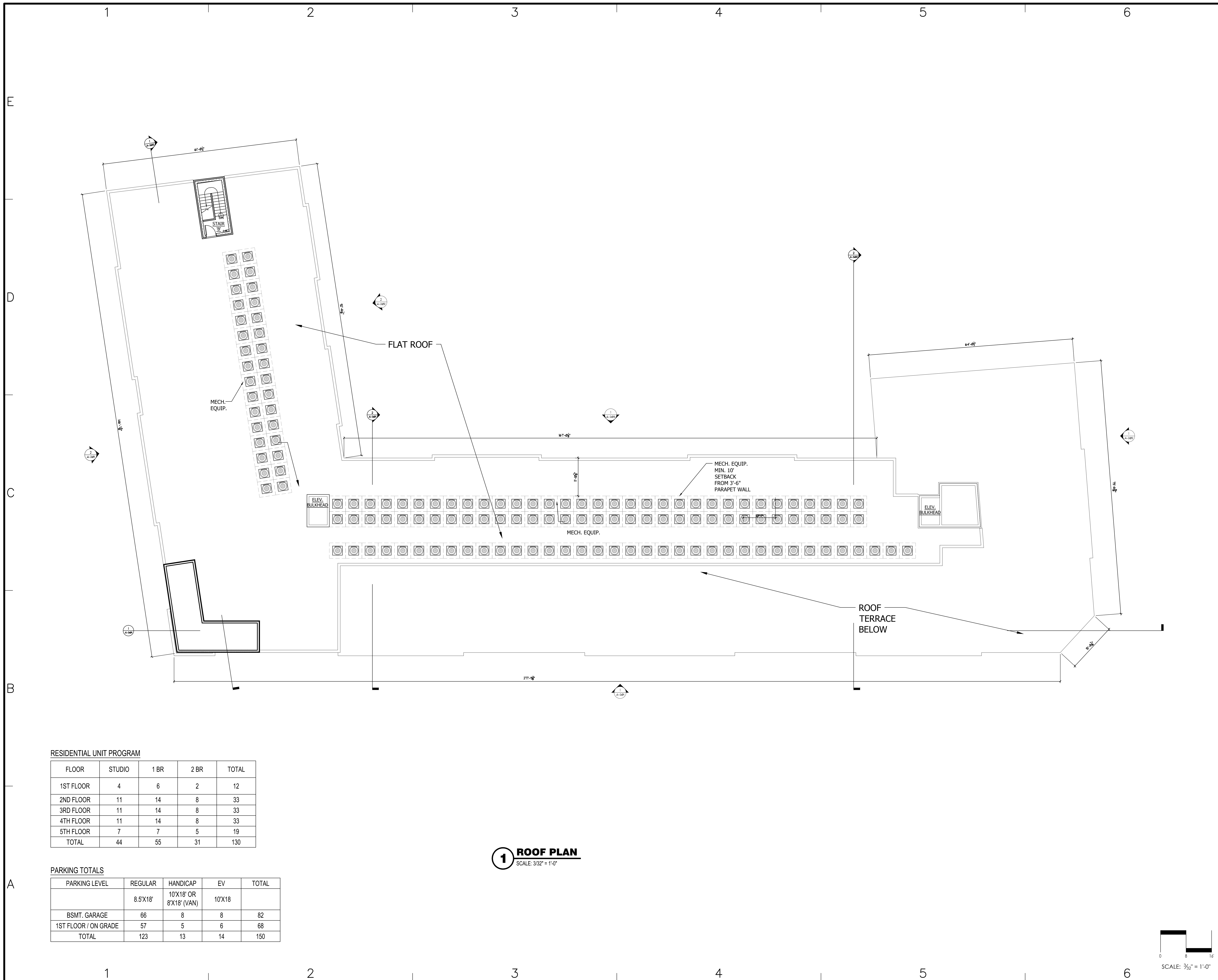
PROJECT  
**THE LAFAYETTE**  
819 E. MAIN ST. STAMFORD,  
CT 06902

DATE	DESCRIPTION
1/18/2012	ZONING ADDENDUM
4/10/2011	ZONING SUBMITTAL

PROJECT NO: ---  
CAD DWG FILE: A-101.DWG  
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SHEET TITLE  
**FIFTH FLOOR PLAN**  
A - 106  
SHEET OF





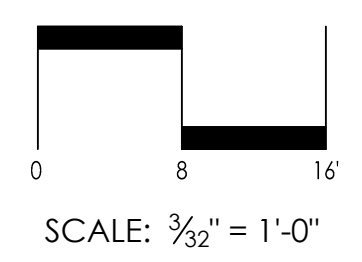
**RESIDENTIAL UNIT PROGRAM**

FLOOR	STUDIO	1 BR	2 BR	TOTAL
1ST FLOOR	4	6	2	12
2ND FLOOR	11	14	8	33
3RD FLOOR	11	14	8	33
4TH FLOOR	11	14	8	33
5TH FLOOR	7	7	5	19
<b>TOTAL</b>	<b>44</b>	<b>55</b>	<b>31</b>	<b>130</b>

**PARKING TOTALS**

PARKING LEVEL	REGULAR	HANDICAP	EV	TOTAL
	8.5'X18'	10'X18' OR 8'X18' (VAN)	10'X18	
BSMT. GARAGE	66	8	8	82
1ST FLOOR / ON GRADE	57	5	6	68
<b>TOTAL</b>	<b>123</b>	<b>13</b>	<b>14</b>	<b>150</b>

**1 ROOF PLAN**  
SCALE: 3/32" = 1'-0"



**ARCHITECT**  
DO H. CHUNG and PARTNERS  
ARCHITECTS PLANNERS  
105 BEDFORD ST., STAMFORD, CONNECTICUT 06901  
T. 203.357.0089 F. 203.353.0336

**CONSULTANTS**

**CIVIL ENGINEERS:**  
DIMARZO & BEREZKY  
10 HIGH CIRCLE LANE  
FAIRFIELD, CT 06825  
(203)857-4110

**LANDSCAPE ARCHITECT:**  
ENVIRONMENTAL LAND SOLUTIONS, LLC  
8 KNIGHT STREET  
#203  
NORWALK, CT 06851  
(203)855-7879

**SURVEYOR:**  
DIMARZO & BEREZKY  
10 HIGH CIRCLE LANE  
FAIRFIELD, CT 06825  
(203)857-4110

**MECHANICAL ENGINEERS:**  
STANTEC  
30 OAK ST.  
FOURTH FLOOR  
STAMFORD, CT 06905  
(203)352-1717

**STRUCTURAL ENGINEER:**  
CONSULTING STRUCTURAL ENGINEERS  
4 LANDMARK SQUARE, SUITE 170  
STAMFORD, CT. 06901  
(203)327-0408

**OWNER**  
WELLBUILT COMPANY  
2 ARMONK STREET  
GREENWICH, CT 06830  
(866)846-4874

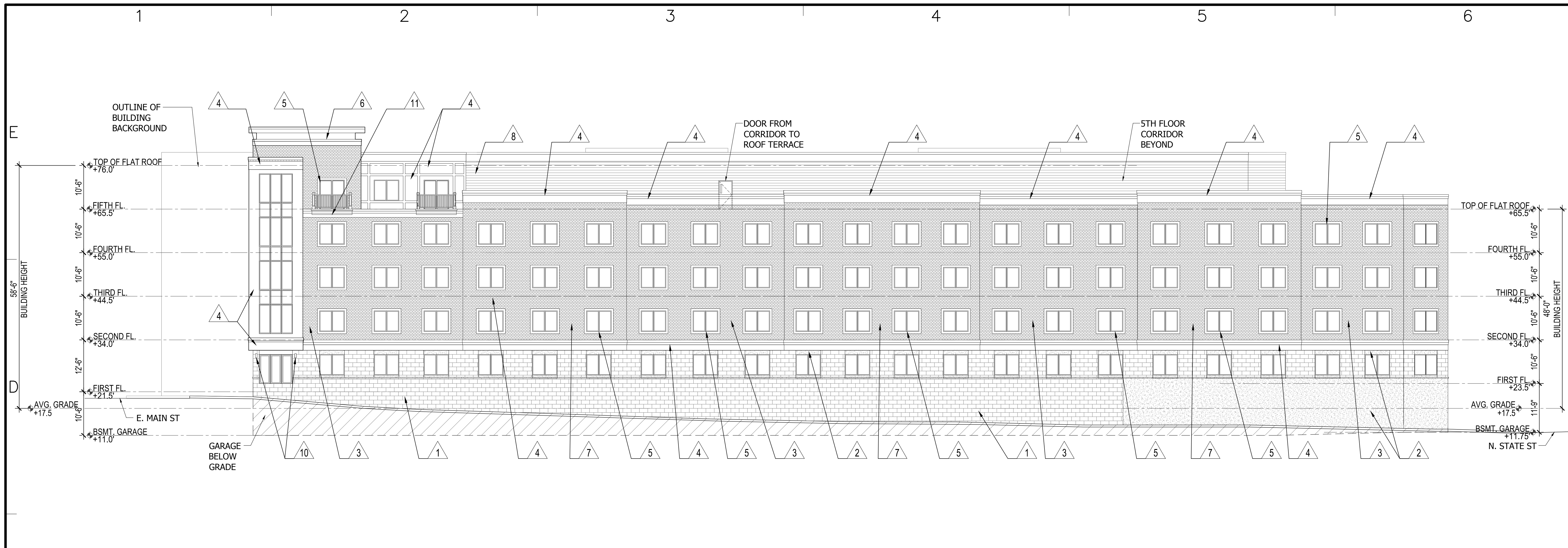
**PROJECT**  
**THE LAFAYETTE**  
819 E. MAIN ST. STAMFORD, CT 06902

DATE	DESCRIPTION
1/18/2022	ZONING ADDENDUM
4/19/2021	ZONING SUBMITTAL

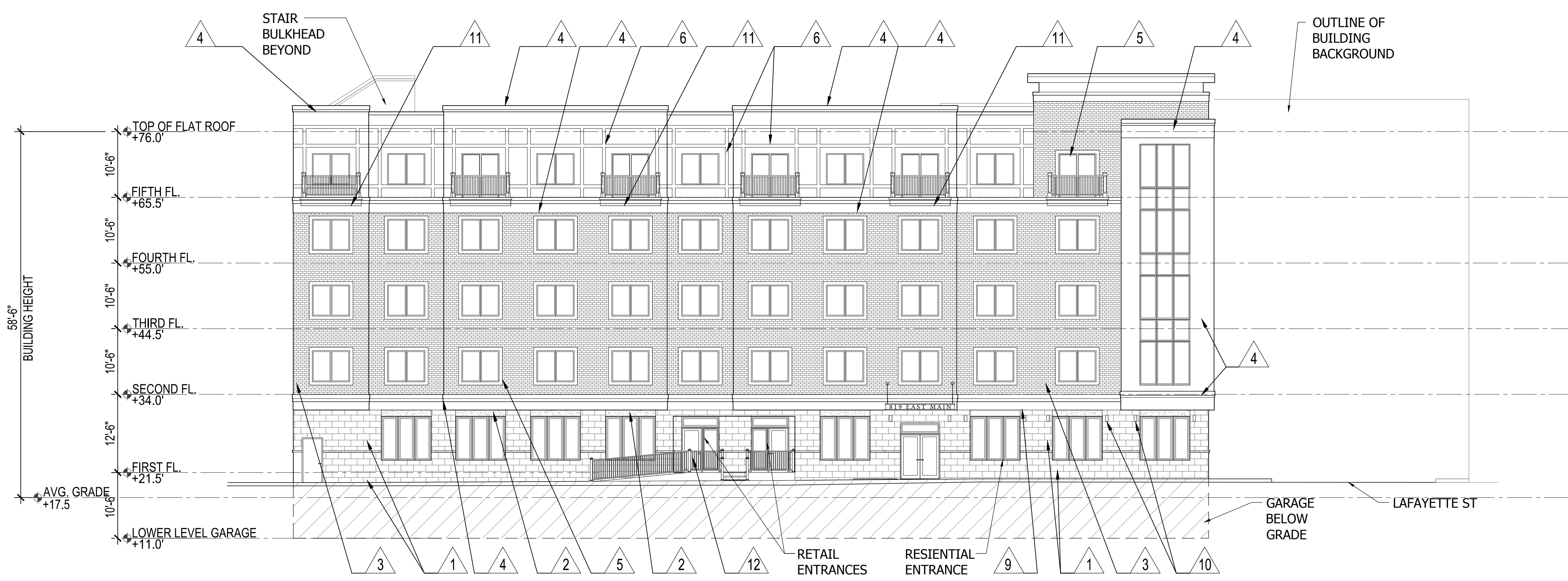
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CHK'D BY: -  
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**SHEET TITLE**  
**ROOF PLAN**

**A - 107**  
SHEET OF



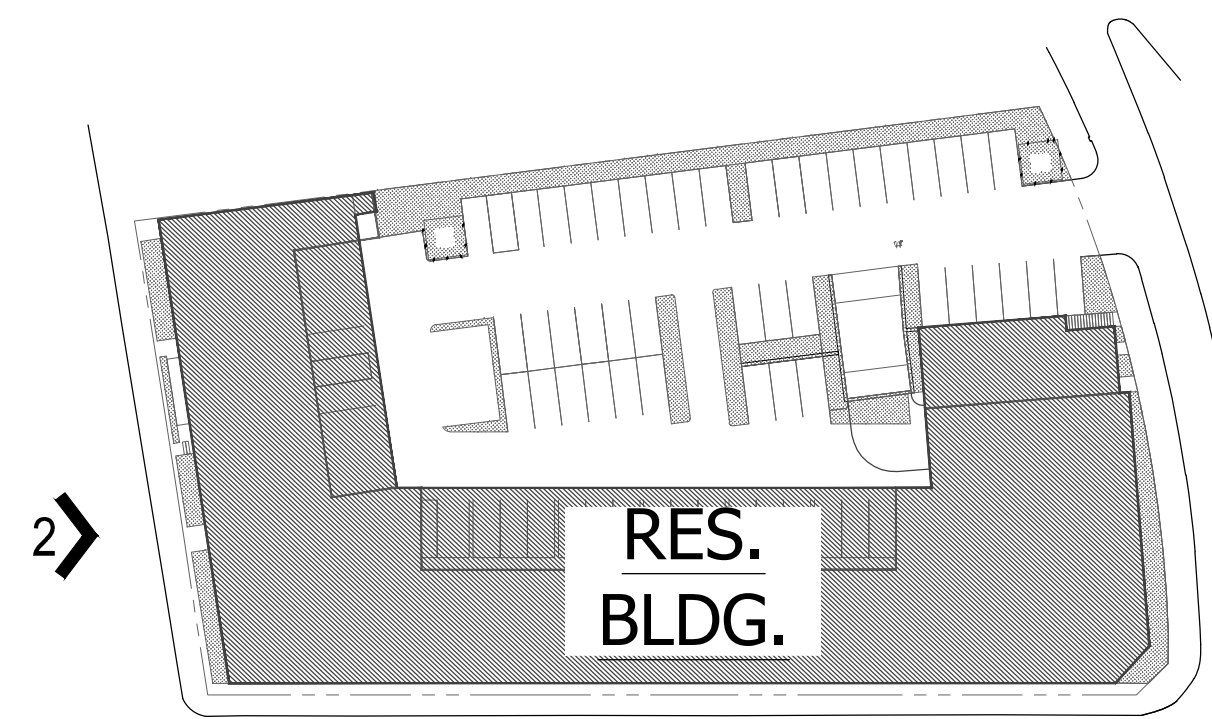
**1 WEST ELEVATION (FROM LAFAYETTE ST.)**  
3/32"=1'-0"



**2 NORTH ELEVATION (FROM E. MAIN ST.)**  
3/32"=1'-0"

**LEGEND**

1 DRYVIT TERRENEO EXTERIOR FINISH	7 STUCCO STENCIL BRICK - DARK GREY
2 PARGED CONCRETE FINISH	8 LAP SIDING
3 STUCCO STENCIL BRICK - OFF WHITE	9 METAL CANOPY
4 AZEK SHEET & TRIM	10 DECORATIVE SCOSCE LIGHTING
5 VINYL WINDOWS & DOORS	11 FRENCH BALCONY w/ METAL RAILING
6 AZEK TRIM	12 METAL RAILING
X RESID. UNIT DOOR	COMMON DOOR
	WINDOW



KEY PLAN 1/8"=1'-0"

ARCHITECT  
**DO H. CHUNG and PARTNERS**  
ARCHITECTS PLANNERS  
105 BEDFORD ST., STAMFORD, CONNECTICUT 06901  
T. 203.357.0089 F. 203.353.0336

CONSULTANTS  
**CIVIL ENGINEERS:**  
DIMARZO & BERECZKY  
10 HIGH CIRCLE LANE  
FAIRFIELD, CT 06825  
(203)857-4110

**LANDSCAPE ARCHITECT:**  
ENVIRONMENTAL LAND SOLUTIONS, LLC  
8 KNIGHT STREET #203  
NORWALK, CT 06851  
(203)855-7879

**SURVEYOR:**  
DIMARZO & BERECZKY  
10 HIGH CIRCLE LANE  
FAIRFIELD, CT 06825  
(203)857-4110

**MECHANICAL ENGINEERS:**  
STANTEC  
30 OAK ST.  
FOURTH FLOOR  
STAMFORD, CT 06905  
(203)352-1717

**STRUCTURAL ENGINEER:**  
CONSULTING STRUCTURAL ENGINEERS  
4 LANDMARK SQUARE, SUITE 170  
STAMFORD, CT. 06901  
(203)327-0408

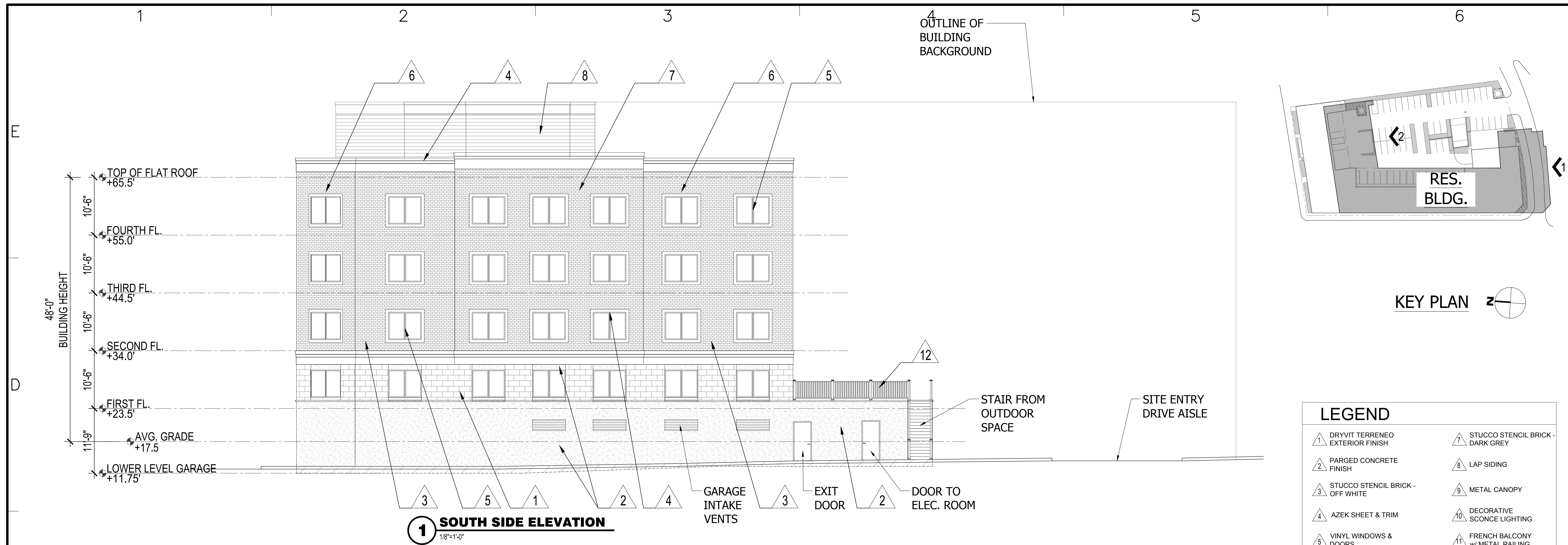
OWNER  
**WELLBUILT COMPANY**  
2 ARMONK STREET  
GREENWICH, CT 06830  
(866)846-4874

PROJECT  
**THE LAFAYETTE**  
819 E. MAIN ST. STAMFORD, CT 06902

DATE	DESCRIPTION	
1/18/2022	ZONING ADDENDUM	
6/7/2021	D.D. SET	
MARK	DATE	DESCRIPTION

PROJECT NO: ----  
CAD DWG FILE: A-201 ELEVATIONS.DWG  
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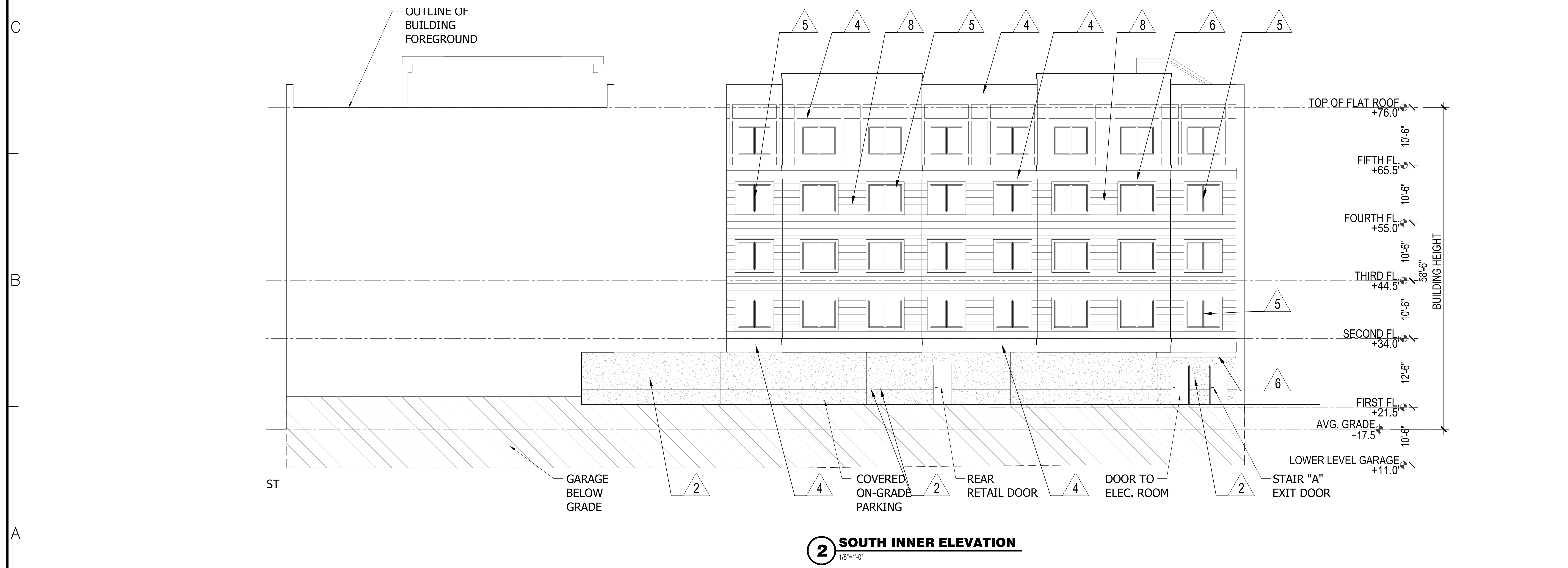
SHEET TITLE  
**TYP. BLDG. ELEVATIONS**



**1 SOUTH SIDE ELEVATION**  
1/8"=1'-0"

**LEGEND**

1 DRYVIT TERRENEO EXTERIOR FINISH	7 STUCCO STENCIL BRICK - DARK GREY
2 PARGED CONCRETE FINISH	8 LAP SIDING
3 STUCCO STENCIL BRICK - OFF WHITE	9 METAL CANOPY
4 AZEK SHEET & TRIM	10 DECORATIVE SCOSCE LIGHTING
5 VINYL WINDOWS & DOORS	11 FRENCH BALCONY w/ METAL RAILING
6 AZEK TRIM	12 METAL RAILING
X RESID. UNIT DOOR	COMMON DOOR
	WINDOW



**2 SOUTH INNER ELEVATION**  
1/8"=1'-0"

ARCHITECT  
DO H. CHUNG and PARTNERS  
ARCHITECTS PLANNERS  
105 BEDFORD ST., STAMFORD, CONNECTICUT 06901  
T. 203.357.0089 F. 203.353.0336

CONSULTANTS  
**CIVIL ENGINEERS:**  
DIMARZO & BERECKZY  
10 HIGH CIRCLE LANE  
FAIRFIELD, CT 06825  
(203)857-4110

**LANDSCAPE ARCHITECT:**  
ENVIRONMENTAL LAND SOLUTIONS, LLC  
8 KNIGHT STREET  
#203  
NORWALK, CT 06851  
(203)855-7879

**SURVEYOR:**  
DIMARZO & BERECKZY  
10 HIGH CIRCLE LANE  
FAIRFIELD, CT 06825  
(203)857-4110

**MECHANICAL ENGINEERS:**  
STANTEC  
30 OAK ST.  
FOURTH FLOOR  
STAMFORD, CT 06905  
(203)352-1717

**STRUCTURAL ENGINEER:**  
CONSULTING STRUCTURAL ENGINEERS  
4 LANDMARK SQUARE, SUITE 170  
STAMFORD, CT. 06901  
(203)327-0408

OWNER  
WELLBUILT COMPANY  
2 ARMONK STREET  
GREENWICH, CT 06830  
(866)846-4874

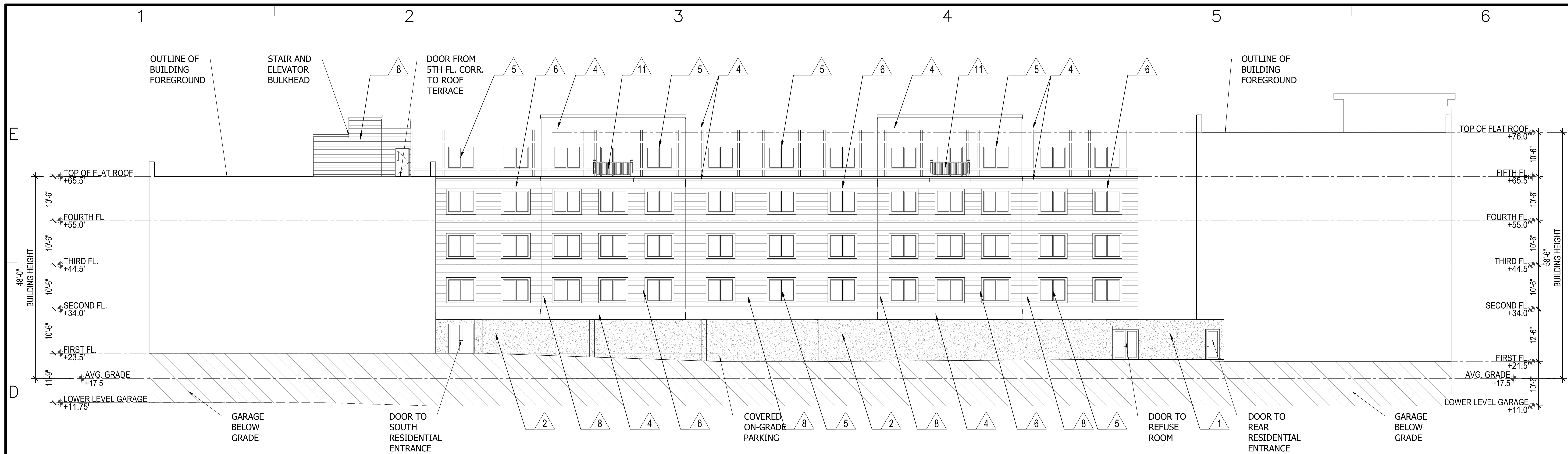
PROJECT  
**THE LAFAYETTE**  
819 E. MAIN ST. STAMFORD, CT 06902

DATE	DESCRIPTION
1/18/2022	ZONING ADDENDUM
6/7/2021	S.D. SET

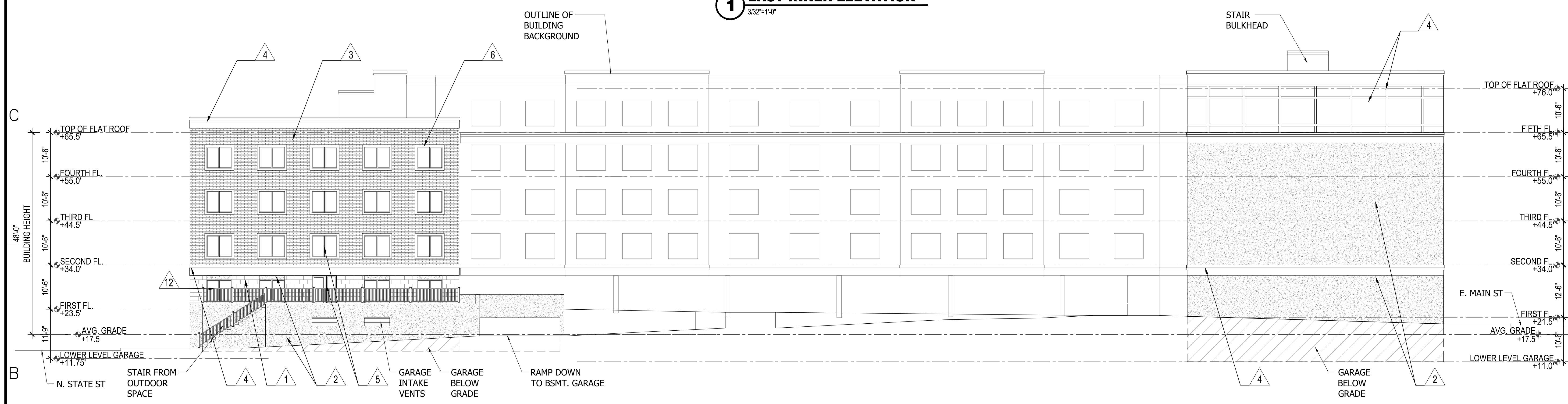
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CAD DWG FILE: A-201 ELEVATIONS.DWG  
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SHEET TITLE  
**TYP. BLDG. ELEVATIONS**

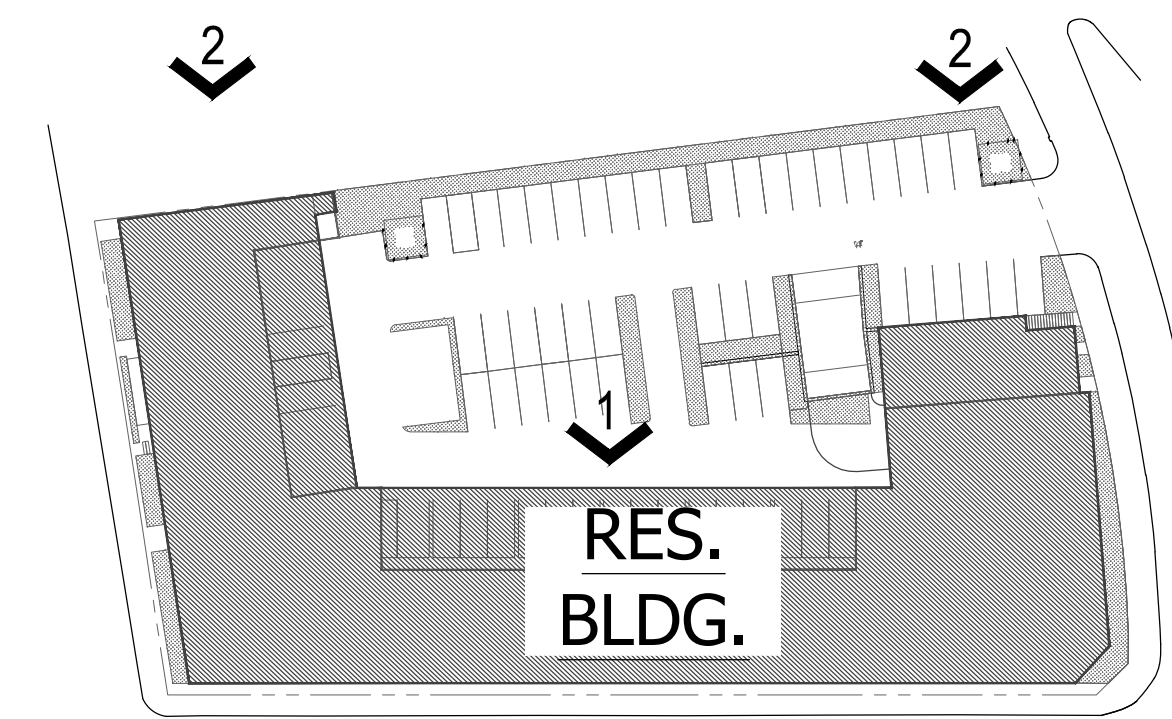
A - 202  
SHEET OF



**1 EAST INNER ELEVATION**  
3/32"=1'-0"



**1 EAST OUTER ELEVATION**  
3/32"=1'-0"



KEY PLAN

ARCHITECT  
**DO H. CHUNG and PARTNERS**  
ARCHITECTS PLANNERS  
105 BEDFORD ST., STAMFORD, CONNECTICUT 06901  
T. 203.357.0089 F. 203.353.0336

CONSULTANTS  
**CIVIL ENGINEERS:**  
DIMARZO & BEREZKY  
10 HIGH CIRCLE LANE  
FAIRFIELD, CT 06825  
(203)857-4110

**LANDSCAPE ARCHITECT:**  
ENVIRONMENTAL LAND  
SOLUTIONS, LLC  
8 KNIGHT STREET  
#203  
NORWALK, CT 06851  
(203)855-7879

**SURVEYOR:**  
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FAIRFIELD, CT 06825  
(203)857-4110

**MECHANICAL ENGINEERS:**  
STANTEC  
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FOURTH FLOOR  
STAMFORD, CT 06905  
(203)352-1717

**STRUCTURAL ENGINEER:**  
CONSULTING STRUCTURAL  
ENGINEERS  
4 LANDMARK SQUARE, SUITE 170  
STAMFORD, CT. 06901  
(203)327-0408

OWNER  
**WELLBUILT COMPANY**  
2 ARMONK STREET  
GREENWICH, CT 06830  
(866)846-4874

PROJECT  
**819 E. MAIN ST.**  
819 E. MAIN ST. STAMFORD,  
CT 06902

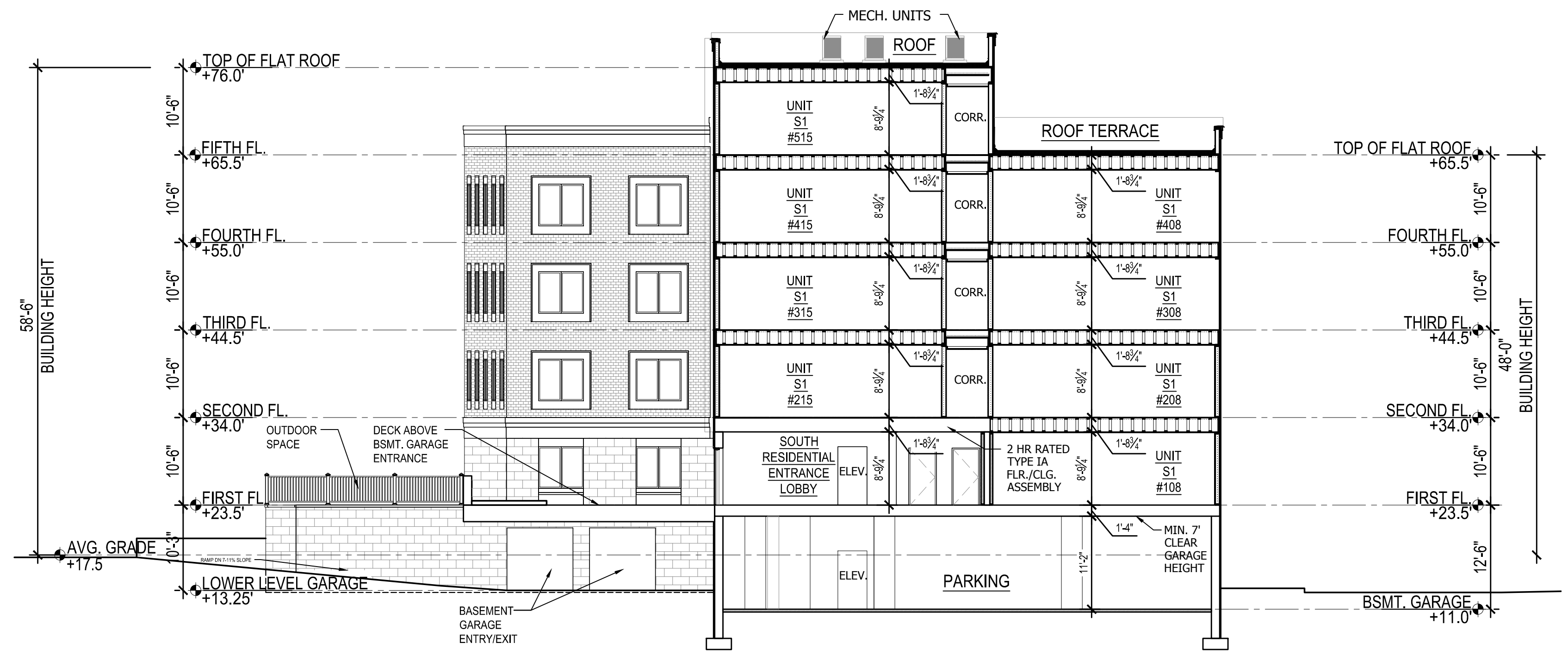
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1/18/2022	ZONING ADDENDUM	
6/7/2021	B.D. SET	

PROJECT NO: ---  
CAD DWG FILE: A-201 ELEVATIONS.DWG  
DRAWN BY: ---  
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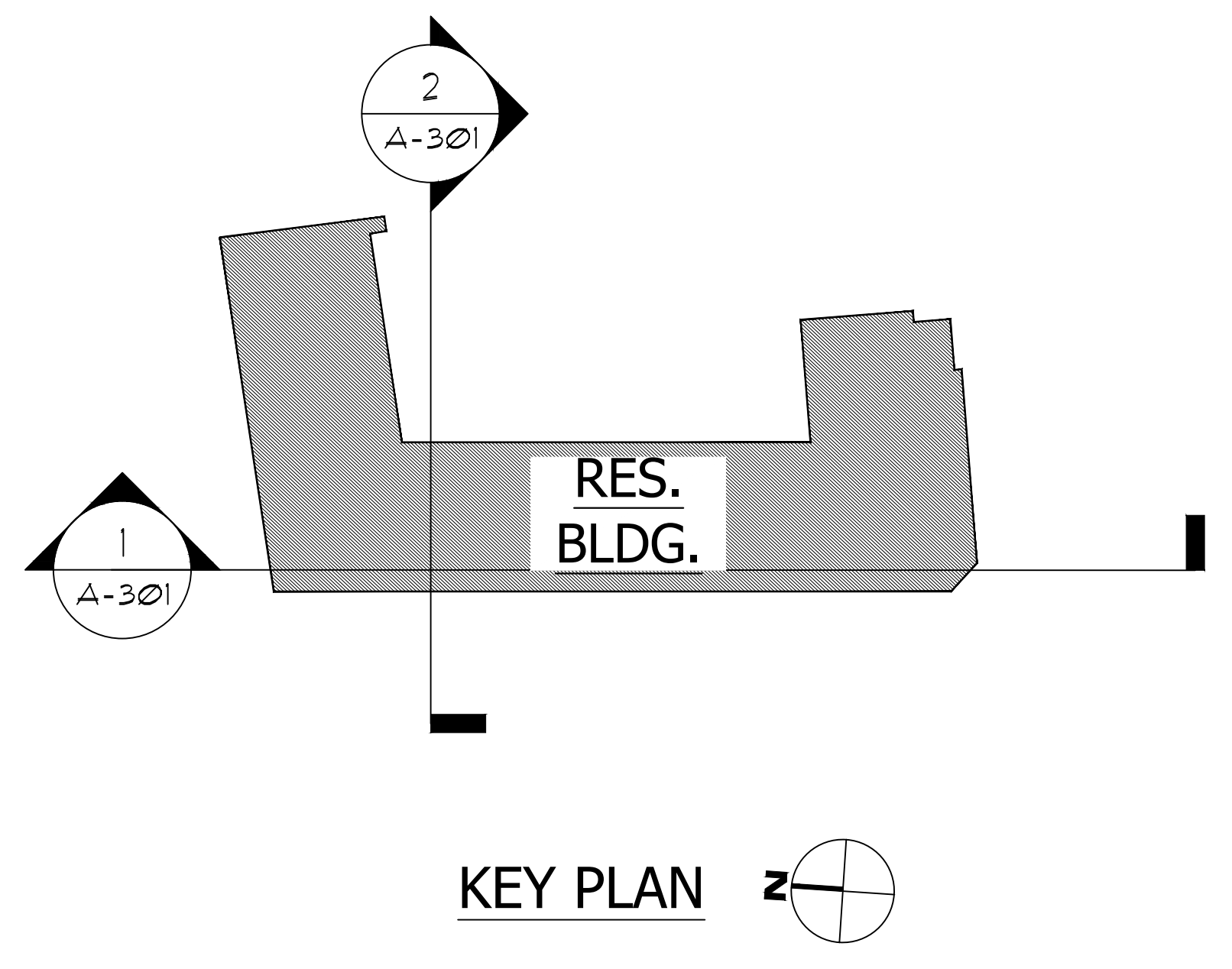
SHEET TITLE  
**TYP. BLDG. ELEVATIONS**

DATE	REVISION	DESCRIPTION
1/18/2012	1	ZONING ADDENDUM
4/10/2011	1	ZONING SUBMITTAL

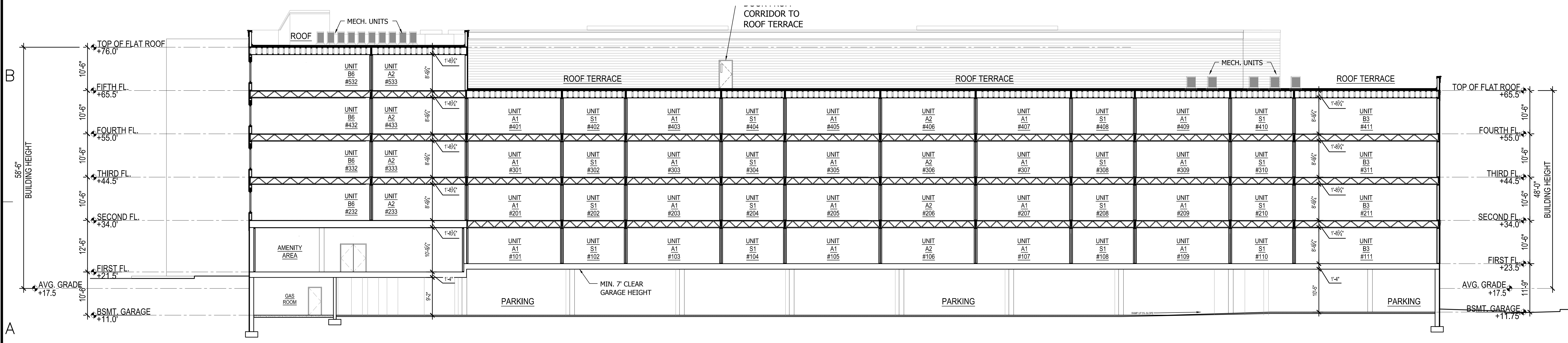
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 CAD DWG FILE: A-301 TYP. SECTIONS.DWG  
 DRAWN BY: -  
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**2 BUILDING SECTION**  
 3/32"=1'-0"

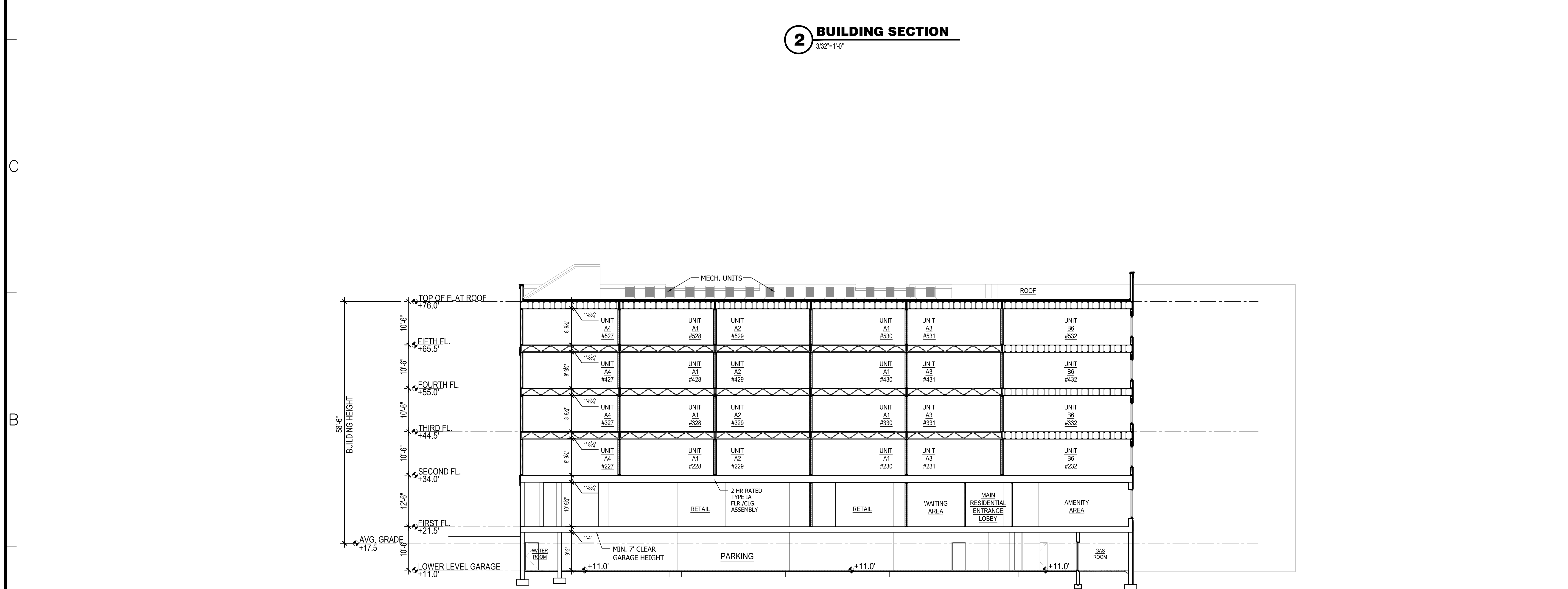
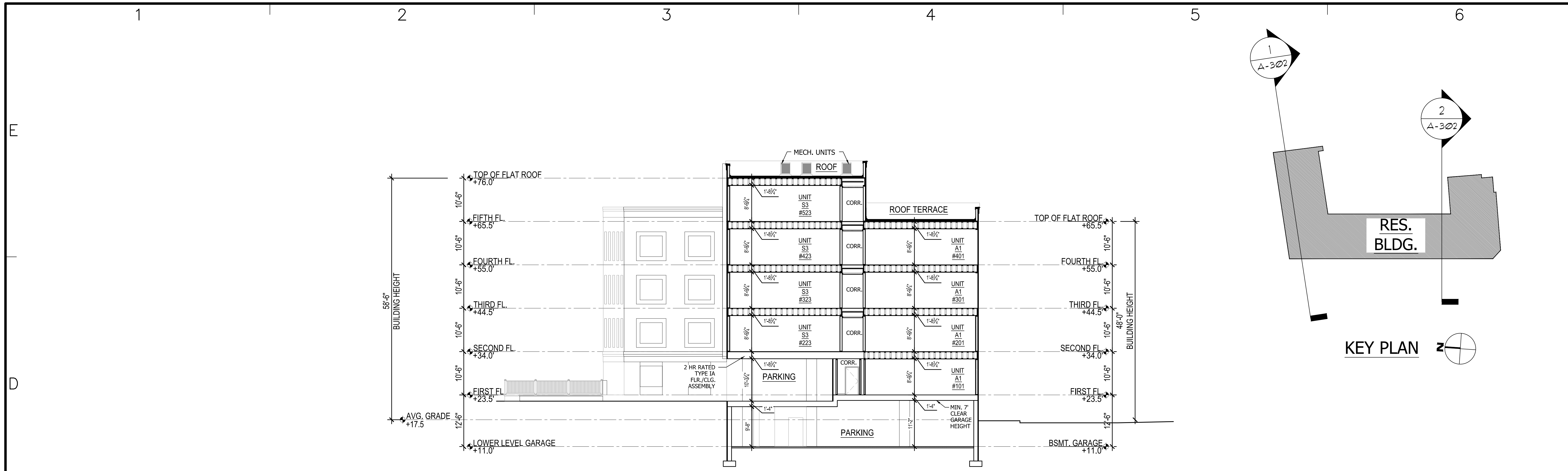


**KEY PLAN**



**1 BUILDING SECTION**  
 3/32"=1'-0"





ARCHITECT  
**DO H. CHUNG and PARTNERS**  
 ARCHITECTS PLANNERS  
 105 BEDFORD ST., STAMFORD, CONNECTICUT 06901  
 T. 203.357.0089 F. 203.353.0336

CONSULTANTS  
**CIVIL ENGINEERS:**  
 DIMARZO & BEREZKY  
 10 HIGH CIRCLE LANE  
 FAIRFIELD, CT 06825  
 (203)857-4110

**LANDSCAPE ARCHITECT:**  
 ENVIRONMENTAL LAND  
 SOLUTIONS, LLC  
 8 KNIGHT STREET  
 #203  
 NORWALK, CT 06851  
 (203)855-7879

**SURVEYOR:**  
 DIMARZO & BEREZKY  
 10 HIGH CIRCLE LANE  
 FAIRFIELD, CT 06825  
 (203)857-4110

**MECHANICAL ENGINEERS:**  
 COLLECTIVE DESIGN  
 ASSOCIATES  
 46 RIVERSIDE AVENUE  
 WESTPORT, CT 06880  
 (203)299-0250

**STRUCTURAL ENGINEER:**  
 CONSULTING STRUCTURAL  
 ENGINEERS  
 4 LANDMARK SQUARE, SUITE 170  
 STAMFORD, CT. 06901  
 (203)327-0408

OWNER  
**WELLBUILT COMPANY**  
 2 ARMONK STREET  
 GREENWICH, CT 06830  
 (866)846-4874

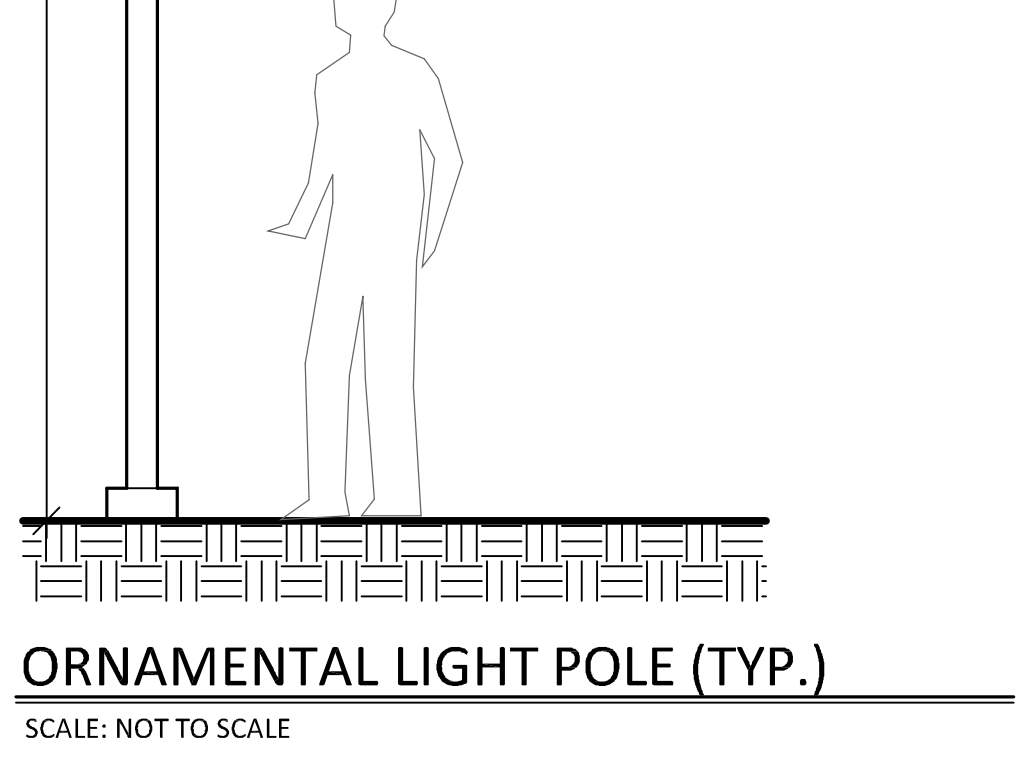
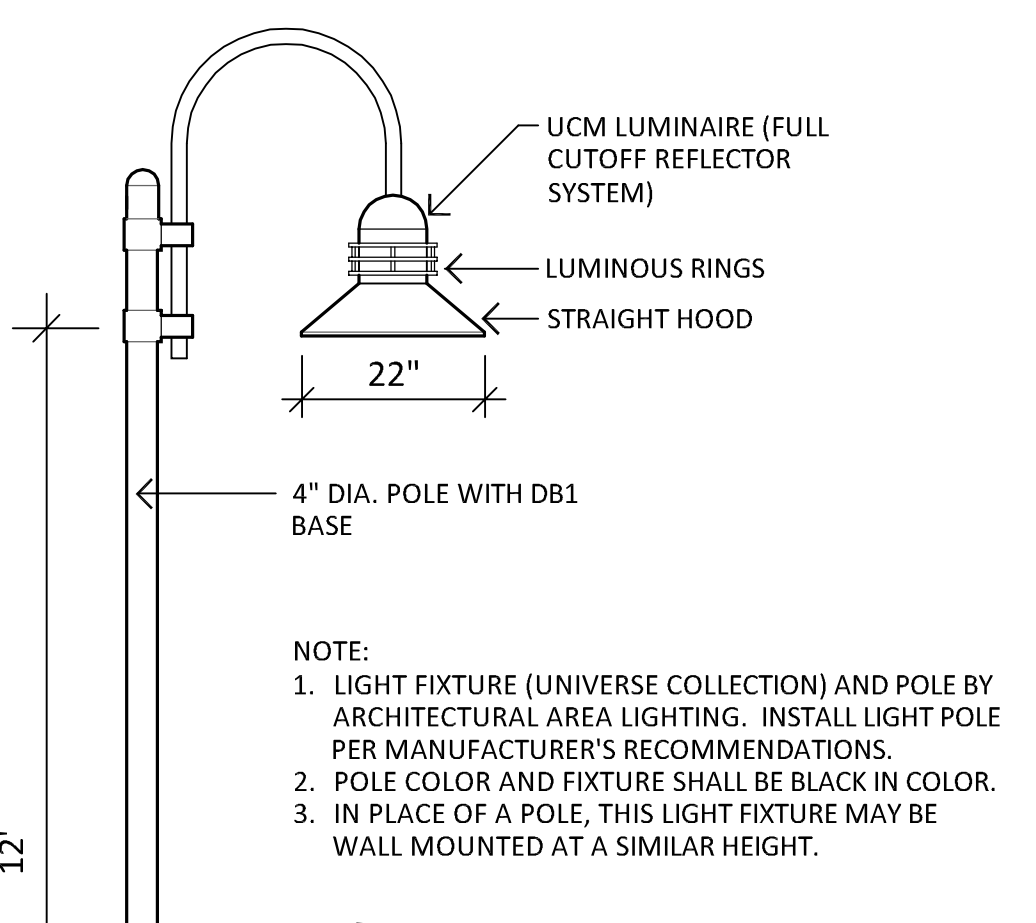
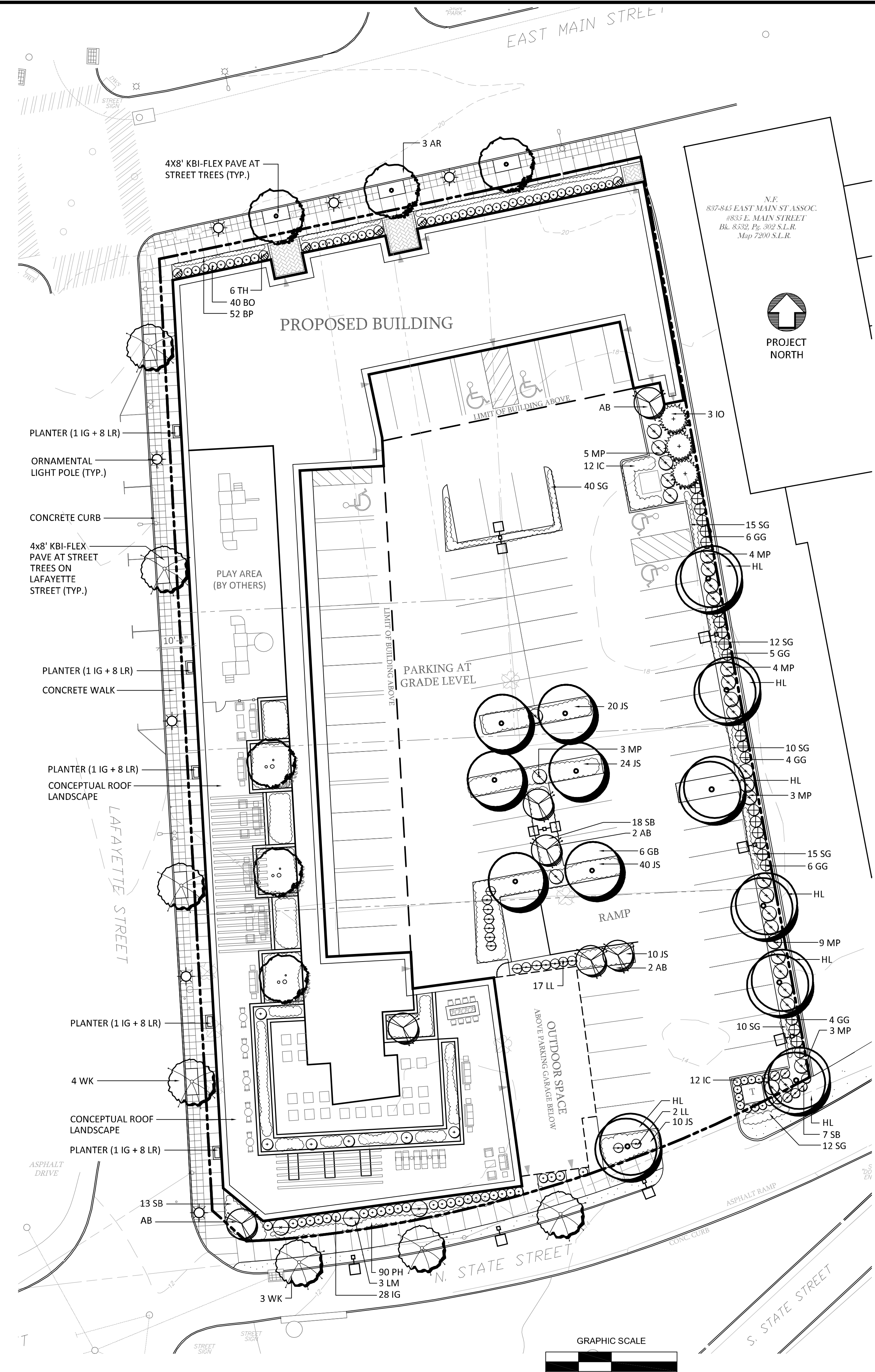
PROJECT  
**THE LAFAYETTE**  
 819 E. MAIN ST. STAMFORD,  
 CT 06902

MARK	DATE	DESCRIPTION
4/16/2011		ISSUE SUBMITTAL

PROJECT NO: ----  
 CAD DWG FILE: A-301 TYP. SECTIONS.DWG  
 DRAWN BY: -  
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SHEET TITLE  
**TYP. SECTIONS**

SHEET  
**A - 302**  
 OF



**PLANT LIST**

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	PLANTING HEIGHT	MATURE HEIGHT	NOTES
3	AR	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	3-3 1/2" CAL.	B&B	14-16" HT.	50' HT. x 20' WIDE	RED FALL COLOR
6	GB	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD GINKGO	3-3 1/2" CAL.	B&B	14-16" HT.	50' HT. x 30' WIDE	YELLOW FALL COLOR
7	HL	GLEDITSIA TRIACANTHOS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	3-3 1/2" CAL.	B&B	14-16" HT.	45' HT. x 30' WIDE	COMPOUND LEAF
6	AB	AMELANCHIER 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SHAD	6-8" HT.	B&B	6-8" HT.	20' HT. x 10' WIDE	WHITE FLOWERS
7	WK	CRATAEGUS 'WINTER KING'	WINTER KING HAWTHORN	2 1/2-3" CAL.	B&B	12-14" HT.	20' HT. x 18' WIDE	RED BERRIES
3	IO	ILEX OPACA	AMERICAN HOLLY	6-7" HT.	B&B	6-7" HT.	40' HT. x 20' WIDE	EVERGREEN, NATIVE
25	GG	THUJA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	8-9" HT.	B&B	8-9" HT.	30' HT. x 10' WIDE	EVERGREEN
40	BO	HYDRANGEA 'BOBO'	BOBO HYDRANGEA	2-3" HT.	CONT.	2-3" HT.	3' HT. x 3' WIDE	WHITE FLOWERS
19	LL	HYDRANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME HYDRANGEA	2-3" HT.	CONT.	2-3" HT.	4' HT. x 4' WIDE	WHITE FLOWERS
3	LM	HYDRANGEA PANICULATA 'LIME LIGHT'	LIME LIGHT HYDRANGEA	3-4" HT.	CONT.	3-4" HT.	8' HT. x 8' WIDE	WHITE FLOWERS
24	IC	ILEX CRENATA 'CHESAPEAKE'	CHESAPEAKE HOLLY	3-4" HT.	B&B	3-4" HT.	8' HT. x 4' WIDE	EVERGREEN
33	IG	ILEX GLABRA 'SHAMROCK'	COMPACT INKBERRY	2-3" HT.	CONT.	2-3" HT.	4' HT. x 4' WIDE	EVERGREEN
108	JS	JUNIPERUS CHINENSIS VAR. 'SARGENTII'	SARGENT JUNIPER	2-3" SPR.	CONT.	2-3" SPR.	CONT.	EVERGREEN
52	BP	JUNIPERUS CONFERTA 'BLUE PACIFIC'	BLUE PACIFIC JUNIPER	2-3" SPR.	CONT.	2-3" SPR.	CONT.	EVERGREEN
31	MP	MYRTICA PENSYLVANICA	NORTHERN BAYBERRY	36-42" HT.	CONT.	36-42" HT.	12' HT. x 7' WIDE	NATIVE
38	SB	SPIRAEA 'SHIROBANA'	SHIROBANA SPIREA	24-30" HT.	CONT.	24-30" HT.	7' HT. x 3' WIDE	WHITE AND PINK FLOWERS
6	TH	THUJA OCCIDENTALIS 'HOLMSTRUP'	HOLMSTRUP ARBORVITAE	3-4" HT.	B&B	3-4" HT.	7' HT. x 3' WIDE	EVERGREEN
40	LR	LIRIOPE MUSCARI 'MONROE WHITE'	MONROE WHITE LIRIOPE	1 QT.	1 QT.	1 QT.	5' HT.	NATIVE
114	SG	PANICUM VIRGATUM 'HANSE HERMS'	HANSE HERMS SWITCHGRASS	1 GAL.	1 GAL.	1 GAL.	2' HT.	NATIVE
90	PH	PENNISETUM ALOPECUROIDES 'HAMELN'	DWARF FOUNTAIN HAMELN GRASS	1 GAL.	1 GAL.	1 GAL.	2' HT.	NATIVE

- SITE LIGHTING NOTES:**
- SITE LIGHTING INFORMATION AND LIGHTING PLANS PREPARED BY ENVIRONMENTAL LAND SOLUTIONS, LLC ARE DESIGNED FOR GENERAL LANDSCAPE AESTHETIC PURPOSES ONLY. LIGHTING INFORMATION SHOWN ON THIS PLAN SHALL NOT BE USED FOR SECURITY OR SAFETY PURPOSES.
  - LOCATION AND TYPE OF LIGHT FIXTURES ARE TYPICAL AND MAY VARY BASED ON ACTUAL FIELD CONDITIONS, SITE AND ARCHITECTURAL PLAN REVISIONS, USE OF EXISTING LIGHTING (IF ANY), NEW BUILDING MOUNTED LIGHTING, AESTHETICS, AND CONSULTATIONS WITH LIGHTING CONSULTANT AND/OR MANUFACTURER.
  - THIS PLAN ASSUMES THAT THE BUILDING WILL HAVE WALL MOUNTED FIXTURES (BY OTHERS) TO LIGHT THE FACADE AND ADJACENT LANDSCAPE AREAS (INCLUDING WALKS AND DOORS).
  - INSTALL LIGHT FIXTURES AS RECOMMENDED BY THE MANUFACTURER.

- PLANTER NOTES**
- PLANTERS ON LAFAYETTE STREET TO BE APPROX. 2' WIDE, 30" HT., AND 4' LONG.

**CITY STREETSCAPE LIGHT POLE**

**ORDERING GUIDE:**

C13813: LUMINAIRE

Modifications:

- Full top reflector.
- CAT13813: ARM BRACKET

Modifications:

- GR outlet w/ in-use cover.
- CPI13813: 1" POLE ASSEMBLY (shown)
- CPI13813A: 1" POLE ASSEMBLY

**Color:** (specify)

**Luminaire Detail**

Scale 1:16

15.53

42.22

41.43

14'-8" 11/16"

10'

21.01

17.00

**BASE TEMPLATE**

#701000305

**ARM BRACKET MODIFIED:**

2 LIGHTS @ 180°, CAST ALUMINUM CENTER HUB TO FIT ON 3" TENON, MODIFIED W/ 120V GR OUTLET W/ IN-USE COVER & (2) BRASS LOOPS ATTACHED TO ARMS

**POLE ASSEMBLY:**

5" ROUND FLAT FLUTED ALUMINUM W/ 3" O.D. TENON, 0.188"-0.250" WALL THICKNESS, CAST ALUMINUM BASE W/ ACCESS DOOR

**PRODUCT APPROVALS**

NHCO SDK

**CUSTOMER**

City of Stamford - LED

**TEAM BY**

H. Kuhn

**SCALE**

1:20

**DATE**

06/24/16

**DRAWING NUMBER**

C13813-DWG02

**REP:**

Apex Lighting

**REV:**

B

**REV:**

17-007

**BY:**

SMK

**DATE:**

03/23/17

**NOTES:**

- POLE AND FIXTURE COLOR SHALL BE GREEN.
- FIXTURE SHALL HAVE FULL TOP REFLECTOR.
- POLE SHALL BE 10' IN HEIGHT WITH GFI OUTLET.

- LEGEND**
- PROPERTY LINE
  - NEW SCREENING FENCE
  - NEW DECIDUOUS SHADE TREE
  - NEW DECIDUOUS SMALL TREE
  - NEW SHRUB
  - NEW CITY STREETSCAPE LIGHT POLE
  - NEW ORNAMENTAL LIGHT POLE (SINGLE/DOUBLE FIXTURE)
  - NEW / EX. LAWN
- GENERAL NOTES:**
- EXACT LOCATION OF PROPOSED PLANTINGS AND SPECIES TYPES MAY VARY FROM THIS PLAN BASED ON SITE PLAN REVISIONS AND/OR ACTUAL FIELD CONDITIONS.
  - PLANT SPECIES SUBSTITUTIONS MAY BE MADE WITH THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT PRIOR TO PLANTING. SUBSTITUTED PLANTS SHALL BE AT AN EQUAL OR GREATER SIZE AS NOTED USING A SIMILAR TYPE PLANT.
  - ALL PLANTING METHODS SHALL BE IN ACCORDANCE WITH THE "AMERICAN STANDARDS FOR NURSERY STOCK," LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
  - THE CONTRACTOR SHALL VERIFY WITH THE PROJECT ENGINEER THAT THE NEW PLANTINGS DO NOT INTERFERE WITH EXISTING AND/OR PROPOSED UTILITIES, SIGHT LINES, AND/OR STRUCTURES.
  - THIS PLAN FOR PLANTING PURPOSES ONLY. SEE PLANS BY OTHERS FOR ADDITIONAL INFORMATION.

**ENVIRONMENTAL LAND SOLUTIONS, LLC**

Landscape Architecture and Environmental Planning

8 KNIGHT STREET, SUITE 203  
NORWALK, CONNECTICUT 06851

Tel: (203) 855-7879 Fax: (203) 855-7836  
info@elsllc.net www.elsllc.net

**SEAL:**

**DATE:**

4.23.21

**SCALE:**

AS SHOWN


**DRAWING NO.:**

LP.1



Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Arrangement Watts	Total Watts
●	3	T2	Single	UCM2-ANG-36L-260-3K7-2	0.850	3788	31.52	31.52	94.56
●	3	T4W	Single	UCM2-ANG-36L-260-3K7-4W	0.850	3749	31.52	31.52	94.56
●	2	T5W-2	Back-Back	UCM2-ANG-36L-260-3K7-5W	0.850	3822	31.52	63.04	126.08

Calculation Summary								
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpclr	PtSpctb
All CalcPts Extending Out To	Fc	0.55	4.4	0.0	N.A.	N.A.	10	10
Zero Foot-Candles								

Project: 819 East Main.	
Contact: Cliff Gilbert Specifications - Southern CT (203) 788-0814 cgilbert@illuminatene.com	Detail: Photometric Calculation Date: 2/3/2022 Revision: ---- Scale: 1" = 20'-0" Drawn By: -
 44 Sixth Road Woburn, MA 01801 (781) 935-8500 333 Pleasant Valley Road South Windsor, CT 06074 (860) 282-0597	
Drawing Number: <b>SL-1</b>	
Sheet 1 of 1	