

ORIENTATION



NOTES:

- 1. This survey has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. as a Property and Topographic Survey the Boundary Determination Category of which is a Resurvey conforming to Horizontal Accuracy Class A-2 and the locations and elevations of which conform to Topographic Accuracy Class T-2. It is intended to depict property boundaries, locations and elevations of improvements and topographic features. Reference is made to Maps 56, 5762, 5781, 5931, 7196, 8515 & 7200 of the Stamford 2. Land Records (S.L.R.). Reference is made to deeds of record: 3 27 Lafayette St: Parcel 3, Vol. 12082, Pg. 44 S.L.R. 29 Lafayette St: Parcel 1, Vol. 12082, Pg. 44 S.L.R. 821 E. Main St: Parcel 2, Vol. 12082, Pg. 44 S.L.R. 825 E. Main St: Parcel 4, Vol. 12082, Pg. 44 S.L.R. 827 E. Main St: Parcel 5, Vol. 12082, Pg. 44 S.L.R. 831 E Main St: Vol. 8363, Pg. 46 S.L.R. 15-23 Lafayette St: Vol. 10364, Pg. 104 S.L.R. Reference is made to Connecticut State Highway Department Right of Way Map 135-42 4. sheet 9. Reference is made to instruments of record as labeled hereon. 5. Total Lot area : 50,237 ± Sq. Ft. or 1.1532 ± Acres 6. Elevations depicted hereon are based on the North American Vertical Datum of 1988 (NAVD-88). Bearings depicted hereon are based on Connecticut State Coordinate System - NAD'83. 8. Subject parcel does not lie within a Special Flood Hazard Area as depicted on FEMA Flood 9.
- Insurance Rate Map Community Panel No. 09001C0517G Map Effective July 8, 2013.
- 10. Wetlands, if any, not depicted hereon
- 11. Location, extent and sizes of underground utilities not guaranteed. Consult with the appropriate utility company or agency prior to designing improvements, commencing demolition or construction.





T COORD. SYSTEM OF 1983

BENCHMARK DRILL HOLE ELEV: 21.40

	ZONING DATA: MX-D							
	REGULATION	MIN / MAX	PROPOSED					
MI	N. LOT SIZE	20,000 SF	50,237 SF 1.1533 ACRES					
S	MIN. FRONT YARD (E. MAIN) ⁵	see note 5	7.2' / 15.3' (curb)					
ACK	MIN. FRONT YARD (LAFAYETTE) ⁵	see note 5	3.7' / 10.0' (curb)					
ETB/	MIN. FRONT YARD (N. STATE) ⁵	see note 5	2.0' / 12.0' (curb)					
S	MIN. SIDE YARD (EAST) ⁵	see note 5	0.0'					
ST	ORIES	n/a	5 ¹					
HE	EIGHT	90'	58.5 ¹					
BL	JILDING COVERAGE	80%	52.5% ¹					
CC	DMMERCIAL FAR	0.30	0.06 ¹					
TC	OTAL FAR ²	2.5	2.2 ¹					
D٧	VELLING UNITS ³	199	130 ¹					
OF	PEN SPACE ⁴	(75 sf/DU)	(78.5 sf/DU) ¹					

1 Provided by Do H. Chung & Partners.

2 Pursuant to Section Section 9.C.5.b.2 and 9.C.4.c, (permitted exemptions for amenity space and onsite BMRs have not been deducted from FAR totals).

3 Underlying Master Plan (Cat. 9 Urban Mixed Use) limits density to 172.8 units per acre, or 199 total units on the subject site.

4 Includes landscaped/open space on top of sub-grade garage and 5th floor roof level.
5 Pursuant to Section 9.C.4.h, the Zoning Board may approve "appropriate relationship of yard requirements and separation of structures...". Proposed setbacks 15' on E. Main St. and 10' on Lafayette St. and N. State St. measured from building to face of curb.



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- 1. This survey has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. as a Zoning Location Survey the Boundary Determination Category of which is a Resurvey conforming to Horizontal Accuracy Class A-2 and Vertical Accuracy Class V-2. It is intended to be used for application for determination of zoning compliance and for building permit purposes.
- 2. Reference is made to Maps 56, 5762, 5931, 7196, 7200 and 8515 of the Stamford Land Records (S.L.R.).
- Reference is made to deeds of record: 27 Lafayette St: Parcel 3, Vol. 12082, Pg. 44 S.L.R. 29 Lafayette St: Parcel 1, Vol. 12082, Pg. 44 S.L.R. 821 E. Main St: Parcel 2, Vol. 12082, Pg. 44 S.L.R. 825 E. Main St: Parcel 4, Vol. 12082, Pg. 44 S.L.R. 827 E. Main St: Parcel 5, Vol. 12082, Pg. 44 S.L.R. 831 E Main St: Vol. 8363, Pg. 46 S.L.R. 15-23 Lafayette St: Vol. 10364, Pg. 104 S.L.R.
- 4. Reference is made to Connecticut State Highway Department Right of Way Map 135-42 sheet 9.
- 5. Reference is made to instruments of record as labeled hereon.
- 6. Total Lot area : 50,237 ± Sq. Ft. or 1.1532 ± Acres
- Elevations depicted hereon are based on the North American Vertical Datum of 1988 (NAVD-88).
- 8. Bearings depicted hereon are based on Connecticut State Coordinate System NAD'83.
- Subject parcel does not lie within a Special Flood Hazard Area as depicted on FEMA Flood Insurance Rate Map Community Panel No. 09001C0517G Map Effective July 8, 2013.
- Reference is made to an unrecorded map titled "Property & Topographic Survey depicting 821, 825, 827 & 831 East Main St, 15, 27 & 29 Lafayette St, Stamford, CT, prepared for 819 East Main Street, LLC" dated 12/14/2021, prepared by this office.
- Reference is made to Site Plans depicting 27 & 29 Lafayette St, 821, 825, 827 & 831 East Main St, Stamford, CT, prepared for 819 East Main Street, LLC" dated 2/03/2022, prepared by this office.
- 12. Reference is made to Architectural plans titled "The Lafayette, 819 E. Main St. Stamford, CT" dated 1/22/2022 and prepared by Wellbuilt Co, DO H. CHUNG & PARTNERS.
- 13. Location, extent and sizes of underground utilities not guaranteed. Consult with the appropriate utility company or agency prior to designing improvements, commencing demolition or construction.
- 14. Property to be consolidated, currently consists of seven parcels.

ZONING LOCATION SURVEY DEPICTING 821, 825, 827 & 831 EAST MAIN STREET 15, 27 & 29 LAFAYETTE STREET STAMFORD, CT PREPARED FOR 819 EAST MAIN STREET, LLC						
DATE: 2/03/2022 JOB NO. 173	0 20 40					
To my knowledge and belief this map is substantially correct as noted hereon ATTILA BERECZKY CT. LIC. NO 70416 210312022 DATE	BIMARZO & BERECZKY 191 LLOYD DRIVE FAIRFIELD, CT 06825 203.857.4110 LAND SURVEYING CIVIL ENGINEERING PERMITTING					
This document and copies thereof are valid only if they bear the signature and embossed seal of the designated licensed professional. Unauthorized alterations render any declaration hereon null & void.	ZLS					

		LANDSCAPED AREA DEPICTED PER HATCH (TYP.) REFER TO LANDSCAPE PLAN BY ENVIRONMENTAL
		PROPOSED KBI-FLEXI PAVE (4'x8') AT STREET TREES (TYP)
		RIGHT-OF-WAY BOUNDARY (STATE)
		PROPOSED SIDEWALK RAMP PER CT D.O.T. DETAIL
N	OTES:	
1.	THE INTENT OF THESE DRAWINGS IS FOR THE DEPICTION OF THE SITE GRADING, STORMWATER MANAGEMENT SYSTEM, SITE UTILITIES AND EROSION AND SEDIMENT CONTROL PLANS SHOWN	
2.	HEREIN. REFER TO THE STORMWATER MANAGEMENT REPORT PREPARED BY OUR OFFICE DATED	
3.	2/03/2021. SURVEY DATA, BOUNDARY LINES, TOPOGRAPHY AND BUILDING LOCATIONS ARE FROM AN A-2 AND T-2 CERTIFIED SURVEY PREPARED BY THIS OFFICE TITLED "PROPERTY AND TOPOGRAPHIC SURVEY DEPICTING 821, 825, 827 & 831 EAST MAIN STREET, 15, 27, & 29 LAFAYETTE STREET, STAMFORD, CT PREPARED FOR 819 EAST MAIN STREET, LLC" DATED 12/14/2021. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD-88).	Œ
4.	AREA OF THE PARCEL = $50,237 \pm SF$ OR $1.1532 \pm ACRES$.	
5.	ALL CONSTRUCTION SHALL COMPLY WITH CITY OF STAMFORD REQUIREMENTS, THE STATE OF CONNECTICUT BASIC BUILDING CODE, THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL AND O.S.H.A. ALL PERMITS SHALL BE OBTAINED AND NECESSARY INSPECTIONS COMPLETED PRIOR TO BACKFILLING.	
6.	INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM INFORMATION INCLUDING FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES.	PROPOSED CONCRETE V PROPOSED PARALLEL SPACES (10 22' x 8
7.	THE PROPERTY SHALL BE SERVED BY PUBLIC WATER AND SEWERS.	PROPOSED KBI-FLEXI PAVE AT STREET TREES
8.	CONTRACTOR SHALL SUPPLY COMPLETE SHOP DRAWINGS INCLUDING MANUFACTURER'S PRODUCT DATA SHEETS TO THE SITE ENGINEER, FOR ALL CONSTRUCTION MATERIAL USED IN CONJUNCTION WITH THESE DRAWINGS. CONTRACTOR SHALL ALLOW A 5 DAY REVIEW PERIOD, PRIOR TO FABRICATION AND INSTALLATION.	PROPOSED STREET TREES. (REFER TO LANDSCAPE PLA ENVIRONMENTAL I
9.	PRIOR TO ANY EXCAVATION THE CONTRACTOR, LAND OWNER OR APPLICANT SHALL BE REQUIRED TO CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 FOR MARK-OUT OF UNDERGROUND UTILITIES.	SOLUTIONS
10.	ALL MATERIALS REMOVED FROM THE PROJECT SITE SHALL BE DISPOSED OF IN CONFORMANCE WITH ALL JURISDICTIONAL AGENCIES.	
11.	ANY MATERIAL, MAN-MADE OR NATURAL, WHICH IS IN ANY WAY DISTURBED AND/OR UTILIZED DURING WORK SHALL NOT BE DEPOSITED IN ANY WETLAND OR WATERCOURSE, EITHER ON OR OFF-SITE, UNLESS SPECIFICALLY AUTHORIZED BY A DOCUMENTED PERMIT.	
12.	THE WORK SHALL BE DONE IN CONFORMANCE WITH THE CONTRACT DOCUMENTS/PLANS UNLESS CHANGES HAVE BEEN APPROVED IN WRITING BY THE DESIGN ENGINEER PRIOR TO THE WORK BEING DONE.	RIGHT-OF-WAY BOUNDARY (
13.	A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, CONTRACTOR AND ENGINEER TO REVIEW THE SCOPE OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE PRE-CONSTRUCTION MEETING	
<u>St</u>	TANDARD CITY OF STAMFORD NOTES:	
1.	A STREET OPENING PERMIT IS REQUIRED FOR ALL WORK WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY.	TROPOSED CONCRETE C
2.	ALL WORK WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY SHALL BE CONSTRUCTED TO CITY OF STAMFORD REQUIREMENTS, THE STATE OF CONNECTICUT BASIC BUILDING CODE AND THE CONNECTICUT GUIDELINES FOR SOIL AND EROSION AND SEDIMENT CONTROL.	
3.	THE ENGINEERING BUREAU OF THE CITY OF STAMFORD SHALL BE NOTIFIED THREE (3) DAYS PRIOR TO ANY COMMENCEMENT OF CONSTRUCTION OR WORK WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY.	PROPOSED PLANTER (2'x
4.	TREES WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY TO BE REMOVED SHALL BE POSTED IN ACCORDANCE WITH THE TREE ORDINANCE.	
5.	PRIOR TO ANY EXCAVATION THE CONTRACTOR AND/OR APPLICANT/OWNER, IN ACCORDANCE WITH PUBLIC ACT 77-350, SHALL BE REQUIRED TO CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 FOR MARK-OUT OF UNDERGROUND UTILITIES.	
6.	ALL RETAINING WALLS THREE (3) FEET OR HIGHER MEASURED FROM FINISHED GRADE AT THE BOTTOM OF THE WALL TO FINISHED GRADE AT THE TOP OF THE WALL AND RETAINING WALLS SUPPORTING A SURCHARGE OR IMPOUNDING CLASS I, II OR III-A LIQUIDS ARE REQUIRED TO HAVE A BUILDING PERMIT. RETAINING WALLS SHALL BE DESIGNED AND INSPECTED DURING CONSTRUCTION BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, RETAINING WALLS SHALL BE CERTIFIED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT.	
7.	CERTIFICATION WILL BE REQUIRED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT THAT WORK HAS BEEN COMPLETED IN COMPLIANCE WITH THE APPROVED DRAWINGS.	LIMIT OF PARK STRUCTU
8.	A FINAL LOCATION SURVEY WILL BE REQUIRED BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF CONNECTICUT.	PROPOSED CITY STREETSCAPE LIGHT P REFER TO LANDSCAPE PLAN BY ENVIRO
9.	CONNECTION TO A CITY-OWNED STORM SEWER SHALL REQUIRE THE "WAIVER COVERING STORM SEWER CONNECTION" TO BE FILED WITH THE CITY OF STAMFORD ENGINEERING BUREAU.	
10.	GRANITE BLOCK OR OTHER DECORATIVE STONE OR BRICK, DEPRESSED CURB, DRIVEWAY APRON AND CURBING WITHIN CITY OF STAMFORD RIGHT-OF-WAY SHALL REQUIRE THE "WAIVER COVERING GRANITE BLOCK DEPRESSED CURB AND DRIVEWAY APRONS" TO BE FILED WITH THE CITY OF STAMFORD ENGINEERING BUREAU.	
11.	SEDIMENT AND EROSION CONTROLS SHALL BE MAINTAINED AND REPAIRED AS NECESSARY THROUGHOUT CONSTRUCTION UNTIL THE SITE IS STABILIZED.	
12.	TO OBTAIN A CERTIFICATE OF OCCUPANCY, SUBMITTAL MUST INCLUDE ALL ITEMS OUTLINED IN THE CHECKLIST FOR CERTIFICATE OF OCCUPANCY (APPENDIX D OF THE CITY OF STAMFORD DRAINAGE MANUAL)	

13. REFERENCE IS MADE TO DEMOLITION PERMITS D-22-1, D-22-2, D-22-3, D-22-4, AND D-22-5.

PARKING TOTALS								
PARKING LEVEL	REGULAR	HANDICAP ACCESSIBLE	E.V.	TOTAL				
	8.5' x 18'	10' x 18' STANDARD 8' x 18' VAN	10' x 18'					
BASEMENT GARAGE	66	8	8	82				
1ST FLOOR / ON GRADE	57	5	6	68				
TOTAL	123	13	14	150				

LANDSCAPED AREA DEPICTED PER HATCH (TYP.) REFER TO LANDSCAPE PLAN BY ENVIRONMENTAL LAND SOLUTIONS, LLC FOR PLANTING DETAILS.



PROPOSED GAS SERVICE LOCATION OF 6" SCH. 40 PVC SLEEVE. 22.31 ×21.92 PROPOSED TWO (4) 4" SCH. 40 PVCP CONDUITS FOR TELECOMM SERVICE. 30" MIN. BURIAL DEPTH.

> EXISTING UTILITY POLE TO BE REMOVED. DEVELOPER AND CONTRACTOR SHALL COORDINATE WITH EVERSOURCE, FRONTIER, AND ALTICE

PROPOSED 8" SANITARY PVCP LATERAL CONNECTION TO EXISTING 8" SAN. SEWER MAIN. INVERT=10.85± (V.I.F.

> 25 LF OF 8" SCH. 40 PVCH @ ¹/₈" PER FOOT MIN

EXISTING UTILITY POLE TO BE REMOVED DEVELOPER AND CONTRACTOR SHALL COORDINATE WITH EVERSOURCE FRONTIER, AND ALTICE

> EXISTING UTILITY POLE TO BE REMOVED. DEVELOPER AND CONTRACTOR SHALL COORDINATE WITH EVERSOURCE,

PROPOSED 8" SANITARY PVCP LATERAL CONNECTION TO EXISTING 8" SAN. SEWER MAIN. INVERT=7.67± (V.I.F.)

EXISTING UTILITY POLE TO BE REMOVED. DEVELOPER AND CONTRACTOR SHALL COORDINATE WITH EVERSOURCE, FRONTIER, AND ALTICE

INVERT=9.40 AT BUILDING FOR ROOF DRAIN CONNECTION (CAPTURE 24,900± SF OF ENTIRE HIGH ROOF AREA. REFER TO PROJECT'S STORMWATER MANAGEMENT REPORT)

INV. = 8.50 (12" PVCP - ROOF) INV. =8.00 (12" PVCP - MH#1) * A "WAIVER COVERING STORM SEWER CONNECTION" FORM SHALL BE SIGNED, NOTARIZED AND SUBMITTED TO THE CITY ENGINEERING BUREAU PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. N.\STATE STREET



PIPE TABLE - STORMWATER							
DOWNSTREAM	PIPE INFO.	UPSTREAM					
EX.MH	60 LF OF 12" PVC @ 0.015 FPF	ROOF					
EX. M H	180 LF OF 12" PVC @ 0.01 FPF	MH#1					
MH#1	40 LF OF 12" PVC @ 0.02 FPF	MH#2					
MH#2	4 LF OF 12" PVC @ 0.025 FPF	GALS (BM P-1)					
MH#2	32 LF OF 10" PVC @ 0.02 FPF	CB#2					
GALS (BMP-1)	85 LF OF 12" PVC @ 0.035 FPF	MH#3					
GALS (BMP-1)	25 LF OF 10" PVC @ 0.02 FPF	CB#1					
GALS (BMP-1)	13 LF OF 8" PVC @ 0.04 FPF	ROOF					
GALS (BMP-1)	48 LF OF 10" PVC @ 0.02 FPF	TD#1					
MH#3	3 LF OF 12" PVC @ 0.033 FPF	GALS (BM P-2)					
GALS (BMP-2)	35 LF OF 10" PVC @ 0.01 FPF	CB#3					
GALS (BMP-2)	3 LF OF 10" PVC @ 0.033 FPF	CB#4					
	1						

		LEG	END
		PROPOSED CONTOUR	
)		PROPOSED SPOT ELEVATION	• 101.4
.) LEV.) T.		TC = TOP OF CURB ELEVATION BC = BOTTOM OF CURB ELEVATION	• TC 100.8 BC 100.3
		TW = TOP OF WALL ELEVATION BW = BOTTOM OF WALL ELEVATION	• TW 103.5 BW 100.0
		PROPOSED DOOR LOCATIONS	►
		TEST PIT, SOILS	TP#3A
		BOREHOLE INFILTRATION TEST, SOIL	S BH#3 🗣
Έ		STORM SEWER, GRAVITY	
		GRAVITY	
		DOMESTIC WATER SERVICE -	
		ELECTRIC SERVICE CONDUITS —	
		COMM. SERVICE CONDUITS –	· _ · · _ · · _ · · _ · · _ · · _ · · _ · · _ · · _ · · _ · · · _ · · · _ · · · _ · · · _ · · · _ · · · _ · · · · _ · · · _ · · · _ · · · · _ · · · · · _ · · · · _ · · · · _ · · · · · _ ·
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		819 EAST MAIN	N STREET. LLC
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	of the designated alteration or addit	incensed protessional shared in to this document half make the	l C-2







EARTHWORK & GRADING:

- 1. GRADE AWAY FROM BUILDING WALLS AT 2% MINIMUM (TYPICAL).
- 2. EARTH SLOPES SHALL BE NO STEEPER THAN 2:1 (HORZ.:VERT.)
- 3. NO WORK SHALL COMMENCE UNTIL EROSION CONTROLS HAVE BEEN INSPECTED AND APPROVED BY THE PROJECT ENGINEER OR DESIGNATED INSPECTORS.
- 4. GENERAL FILL BEYOND PAVED AREAS SHALL BE FREE OF BRUSH RUBBISH, STUMPS AND STONES LARGER THAN 4". FILL SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 8" IN THICKNESS. THE DRY DENSITY AFTER COMPACTION SHALL NOT BE LESS THAN 95% OF THE STANDARD PROCTOR TEST.
- 5. FILL UNDER PAVED AREAS SHALL BE TILL, LOAM, SAND OR GRAVEL MIXTURE. IT SHALL HAVE NOT MORE THAN 40% FINES PASSING THE #100 SIEVE, NOT MORE THAN 10% PASSING THE #200 SIEVE, AND NO STONES LARGER THAN 4".
- SUBGRADE AND FILL UNDER PAVED AREAS SHALL BE UNIFORMLY COMPACTED BY THE USE OF EQUIPMENT MANUFACTURED FOR THAT PURPOSE.
- . FILL OR TOPSOIL SHALL NOT BE PLACED NOR COMPACTED WHILE IN A FROZEN OR MUDDY CONDITION OR WHILE SUBGRADE IS FROZEN.

RETAINING WALLS:

- ALL RETAINING WALLS GREATER THAN THREE FEET ARE REQUIRED TO BE DESIGNED, AND INSPECTED DURING CONSTRUCTION BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF CONNECTICUT.
- 9. RETAINING WALLS WITH A GRADE DIFFERENCE EQUAL TO OR GREATER THAN 2.5 FEET MAY REQUIRE A SAFETY BARRIER ON THE TOP OF THE WALL. RETAINING WALLS AND BARRIERS ARE TO BE DESIGNED BY OTHERS.
- 10. RETAINING WALLS ARE SHOWN FOR SCHEMATIC PURPOSES ONLY, AND SHALL BE DESIGNED BY THE STRUCTURAL ENGINEER. ALL STRUCTURAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE BASIC BUILDING CODE OF THE STATE OF CONNECTICUT, LATEST EDITION AND THE CITY OF STAMFORD REQUIREMENTS.

STORM AND SANITARY SEWER SYSTEMS:

- 11. ALL PIPE SHALL BE INSTALLED STRAIGHT AND AT THE VERTICAL AND HORIZONTAL ALIGNMENT SHOWN. PIPES SHALL HAVE A UNIFORM SLOPE AS SPECIFIED.
- 12. MINIMUM COVER ON ALL PIPES SHALL BE TWO FEET (2') UNLESS OTHERWISE NOTED.
- 13. ALL STORM PIPE SPECIFIED AS POLY VINYL CHLORIDE PIPE (PVCP) SHALL BE SDR 35 WITH RUBBER GASKETED JOINTS AND MEET THE REQUIREMENTS OF ASTM D3034 AND D3212.
- 14. WHEN CONNECTING NEW PIPES TO EXISTING STRUCTURES SUCH AS MANHOLES AND CATCH BASINS, THE STRUCTURE SHALL BE COMPLETELY CLEANED OUT. THE HOLE MADE IN THE STRUCTURE SHALL BE MADE AS SMALL AS POSSIBLE. THE STRUCTURE SHALL BE REPAIRED TO MATCH ITS ORIGINAL TYPE OF CONSTRUCTION. THE JOINT BETWEEN THE STRUCTURE AND THE PIPE SHALL BE MADE WATERTIGHT BY FILLING THE JOINT WITH MORTAR.
- 15. UNDER NO CIRCUMSTANCES SHALL TRENCH WATER BE ALLOWED TO DRAIN OFF THROUGH SANITARY SEWER LINES.
- 16. ALL CATCH BASINS SHALL HAVE TWO FOOT (2') MIN. SUMPS AND BELL TRAPS INSTALLED.
- 17. ALL CRUSHED STONE SHALL BE GRADATION NO. 4 AS PER CT DOT FORM 818, TABLE M.01.02-2. STONE SHALL CONSIST OF SOUND, TOUGH, DURABLE PARTICLES.
- 18. AT THE END OF CONSTRUCTION, AFTER THE SITE HAS BE FULLY STABILIZED, ALL NEW AND PREVIOUSLY EXISTING STORM SEWER FACILITIES INCLUDING, BUT NOT LIMITED TO, CATCH BASINS, AREA DRAINS, MANHOLES, JUNCTION BOXES, FLOW CONTROL STRUCTURES, PIPES, OIL GRIT SEPARATORS, PERMEABLE PAVERS AND POROUS PAVEMENT SHALL BE FULLY CLEANED WITH EQUIPMENT DESIGNED FOR THAT PURPOSE TO THE SATISFACTION OF THE INSPECTING ENGINEER

UTILITIES:

- 19. PROPOSED ELECTRIC, TELEPHONE, CABLE SERVICES ARE SHOWN FOR SCHEMATIC PURPOSES ONLY AND ARE SUBJECT TO CHANGE PENDING UTILITY COMPANY REVIEW. THESE UTILITIES SHALL BE DESIGNED BY OTHERS AND INSTALLED IN CONFORMANCE TO THE REQUIREMENTS OF THE GOVERNING UTILITY COMPANIES.
- 20. DETECTABLE TAPE SHALL BE USED TO MARK PIPING LISTED BELOW. THE IDENTIFICATION TAPE SHALL BE BURIED AT LEAST 6-INCHES TO 10-INCHES BELOW FINAL GRADE BUT NO CLOSER THAN 12-INCHES TO THE BURIED UTILITY PIPING OR SERVICE.

RED	CAUTION ELECTRIC LINE BURIED BELOW
RED	CAUTION ELECTRIC LINE BURIED BELOW
ORANGE	CAUTION TELEPHONE LINE BURIED
YELLOW	CAUTION GAS LINE BURIED BELOW
BLUE	CAUTION WATER LINE BURIED BELOW
BLUE	CAUTION FIRE LINE BURIED BELOW
BLUE	CAUTION SPRINKLER LINE BURIED
GREEN	CAUTION SEWER LINE BURIED BELOW
ORANGE	CAUTION COMM. LINE BURIED BELOW
	RED RED ORANGE YELLOW BLUE BLUE BLUE GREEN ORANGE

21. UNDERGROUND-TYPE PLASTIC LINE MARKER: MANUFACTURER'S STANDARD PERMANENT, BRIGHT-COLORED DETECTABLE TAPE, CONTINUOUS-PRINTED PLASTIC TAPE, INTENDED FOR DIRECT-BURIAL SERVICE; NOT LESS THAN 4" WIDE X 4 MILS THICK.

PAVEMENT:

- 22. AREAS OF NEW ASPHALT SHALL FOLLOW THE DETAIL ON SHEET C-5.
- 23. AREAS OF ASPHALT PAVEMENT THAT ARE DISTURBED BY THE CONSTRUCTION OF THIS PROJECT SHALL BE REPLACED IN ACCORDANCE WITH THE ASPHALT PAVEMENT DETAIL. THE FINISHED GRADE OF ASPHALT PAVING SHALL BLEND TO EXISTING GRADE AND THE EDGE OF THE CONCRETE PAVEMENT SMOOTHLY.
- 24. FINISHED PAVING SHALL BE FREE OF "BIRD BATHS" AND BE SMOOTH AT THE SLOPES SPECIFIED ON THE PLANS.
- 25. THE PAVEMENT SHALL BE PROTECTED FROM VEHICULAR TRAFFIC OF ANY KIND WITH THE USE OF BARRICADES, ETC. FOR A MINIMUM PERIOD OF 24 HOURS AFTER FINAL ROLLING. MAINTAIN AND PROTECT ASPHALT SURFACE FROM SCRAPES, SEARS, SPILLS, HYDRAULIC LEAKS, AND ANY OTHER CONSTRUCTION DAMAGE FOR THE REMAINDER OF CONSTRUCTION UNTIL OWNER'S ACCEPTANCE.
- 26. THICKNESSES OF ALL LAYERS SHOWN ARE AFTER COMPACTION. COMPACT ALL LAYERS TO 95% PER ASTM D 1557 (MODIFIED PROCTOR METHOD).

SEDIMENT AND EROSION CONTROL NOTES:

- 27. EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED IN THEIR PROPER SEQUENCE. NO CLEARING OR GRADING MAY BE DONE IN ANY AREA UNTIL THE EROSION CONTROL DEVICES FOR THAT AREA, AS SHOWN ON THE PLAN, ARE IN PLACE AND FUNCTIONAL.
- 28. SHEET C-4 IS INTENDED TO DESCRIBE THE SOIL SEDIMENT AND EROSION CONTROL TREATMENT OF THIS SITE ONLY. FOR OTHER DETAILS WITH RESPECT TO CONSTRUCTION, SEE APPROPRIATE DRAWINGS.
- 29. ALL SEDIMENT AND EROSION CONTROLS SHALL BE DONE IN CONFORMANCE WITH THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" DATED MAY 2002 PREPARED BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
- 30. THE CONTRACTOR IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THE SEDIMENT AND EROSION CONTROL PLAN.
- 31. TEMPORARY SEDIMENT CONTROL MEASURES AND TREE PROTECTION MUST BE INSTALLED IN ACCORDANCE WITH DRAWINGS AND MANUFACTURER RECOMMENDATIONS PRIOR TO WORK IN ANY UPLAND AREAS.
- 32. NO CONSTRUCTION OR CONSTRUCTION EQUIPMENT OR STORAGE OF MATERIALS WILL BE ALLOWED ON THE DOWNHILL SIDE OF THE SILT FENCE.
- 33. SILT FENCE AND FILTER FABRIC SHALL BE APPROVED BY SITE ENGINEER. INSTALL SILT FENCE ACCORDING TO MANUFACTURER'S INSTRUCTION, PARTICULARLY, BURY LOWER EDGE OF FABRIC INTO GROUND.
- 34. ALL ROOF LEADER DOWNSPOUTS SHALL TEMPORARILY DISCHARGE ONTO SPLASH PADS.
- 35. LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM.
- 36. ALL DISTURBED LAND AREAS SHALL BE PLANTED AS SOON AS PRACTICABLE. SEED AND MULCH DISTURBED AREAS WITH GRASS SEED WHERE PERMANENT PLANTINGS AND SOD ARE NOT CALLED FOR, AS SOON AS PRACTICABLE.
- 37. PREPARE SEEDBED WITH A MINIMUM OF 6" OF TOPSOIL. SEED, RAKE, ROLL, WATER AND MULCH AREAS ACCORDING TO THE MIXES BELOW. WATER AS OFTEN AS NECESSARY TO ESTABLISH COVER. MULCH SEEDED AREAS AT 1 TO 2 TONS/ACRE WITH STRAW HAY. MAINTAIN MULCH AND WATERING UNTIL GRASS IS 3" HIGH WITH 85% COVER. RESEED IF NECESSARY.

40 LBS./ACRE

TEMPORARY SEED MIX: PERENNIAL RYEGRASS PERMANENT LAWNS:

KENTUCKY BLUEGRASS

CREEPING RED FESCUE

PERENNIAL RYEGRASS

20 LBS./ACRE 20 LBS./ACRE 5 LBS./ACRE

38. SEEDING SHOULD OCCUR DURING THE OPTIMUM SEEDING DATES OF APRIL 15 THROUGH JUNE 15 OR AUGUST 15 THROUGH OCTOBER 1.

- 39. IF DISTURBED AREAS CAN NOT BE SEEDED IMMEDIATELY DUE TO THE TIME OF YEAR. THEN MULCH AREA AND MAINTAIN MULCH UNTIL SEEDING CAN OCCUR. REMOVE MULCH AND SEED AND RE-MULCH WHEN SEASON PERMITS
- 40. IF EXCAVATION DEWATERING IS REQUIRED, ALL DEWATERING PUMPING MUST HAVE SEDIMENT AND EROSION CONTROL PROVISIONS TO MAINTAIN CLEAR WATER DISCHARGE.
- 41. UPON INSTALLATION OF EACH CATCH BASIN AND AREA DRAIN, IMMEDIATELY SURROUND IT WITH HAYBALES AS PER SEDIMENT FILTER DETAIL.
- 42. HAYBALES SHALL BE NEW AND ARE TO BE REPLACED WHENEVER THEIR CONDITION DETERIORATES BEYOND REASONABLE USABILITY.
- 43. LOADED TRUCKS SHALL BE COVERED AS REQUIRED TO KEEP DOWN DUST.
- 44. AFFECTED PORTIONS OF OFF SITE ROADS AND SIDEWALKS MUST BE SWEPT CLEAN WHEN REQUIRED TO KEEP DOWN DUST AND PREVENT SAFETY HAZARDS OR AT LEAST ONCE A WEEK DURING CONSTRUCTION AND AS DIRECTED BY SITE ENGINEER.
- 45. DUST CONTROL TO BE ACHIEVED WITH WATERING DOWN DISTURBED AREAS AS REQUIRED.
- 46. AFTER EACH STORM EVENT OR ONCE BI-WEEKLY, ALL SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED.
- 47. ALL PERMANENT AND TEMPORARY SEDIMENT CONTROL DEVICES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD UNTIL UPLAND DISTURBED AREAS ARE THOROUGHLY STABILIZED. UPON COMPLETION OF WORK AND STABILIZATION OF ALL UPLAND AREAS. ALL TEMPORARY SEDIMENT CONTROL DEVICES AND TREE PROTECTION SHOULD BE REMOVED FROM THE SITE AND ANY SILT DISPOSED OF LEGALLY.

CONSTRUCTION PHASING:

THE FOLLOWING DESCRIPTION OF CONSTRUCTION PHASING IS INTENDED TO DEMONSTRATE A FEASIBLE SEQUENCE OF CONSTRUCTION. THE ACTUAL SEQUENCE MAY VARY DUE TO FIELD CONDITIONS IF APPROVED BY THE PROJECT ENGINEER.

PHASE 1: PREPARATION & DEMOLITION

- A. AT LEAST ONE WEEK PRIOR TO THE START OF CONSTRUCTION, THE INSPECTING ENGINEER SHALL MEET WITH THE CONTRACTOR AND OWNER TO REVIEW THE SEDIMENT AND EROSION CONTROL PLAN.
- B. INSTALL SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE PLANS.
- C. INSTALL TREE PROTECTION AS REQUIRED.
- D. MARK AND CUT TREES TO BE REMOVED.
- E. DISCONNECT AND ABANDON SITE UTILITIES AS NEEDED. COORDINATE WITH THE APPROPRIATE UTILITY COMPANY.

F. REMOVE/DEMOLISH EXISTING BUILDINGS AND EXISTING HARDSCAPES. REMOVE EXISTING PAVEMENT ONLY AS NECESSARY TO PROVIDE AN ANTI-TRACKING PAD FOR CONSTRUCTION.

PHASE 2: CONSTRUCTION

- A. STRIP TOPSOIL AND STOCKPILE WITH APPROPRIATE E & S CONTROLS.
- B. ROUGH GRADE SITE. GENERAL EARTHWORK. EXCAVATE FOR BUILDING FOUNDATION. INSTALL CONSTRUCTION DEWATERING AND TEMPORARY FILTERING SYSTEM AS NECESSARY.
- C. CONSTRUCT FOUNDATION AND BACKFILL AS SOON AS POSSIBLE. AS-BUILT THE FOUNDATION PLAN
- D. ROUGH-IN THE DRIVEWAY AND PARKING AREAS. PREPARE SUBGRADE FOR STORMWATER MANAGEMENT PRACTICES.
- E. INSTALL STORM WATER SYSTEM. THE DRAINAGE UTILITIES WILL BE INSTALLED AND READY TO RECEIVE STORM WATER PRIOR TO THE INSTALLATION OF PAVING.
- F. INSTALL SEDIMENT AND EROSION CONTROLS ASSOCIATED WITH DRAINAGE STRUCTURES.
- G. FINAL GRADING AND PAVING.
- H. MAINTAIN ALL SEDIMENT AND EROSION CONTROLS IN AN EFFECTIVE CONDITION DURING THE CONSTRUCTION PERIOD.

PHASE 3: CLEAN UP AFTER ALL AREAS ARE STABILIZED

- A. CLEAN EFFECTED PORTION OF ON & OFF SITE ROADS AND DRIVEWAYS.
- B. REMOVE ACCUMULATED SILT AND DEBRIS FROM CATCH BASIN SUMPS & PIPES OF EFFECTED ON & OFF SITE STORM DRAINS.
- C. REMOVE ACCUMULATED SEDIMENT FROM EFFECTED AREAS AND DISPOSE OF LEGALLY.
- D. REMOVE TEMPORARY SEDIMENT AND EROSION CONTROL AND TREE PROTECTION.
- E. MAKE ANY NECESSARY REPAIRS TO PERMANENT SEDIMENT AND EROSION CONTROLS.

		Date	: 11/17/20	TP#1 - SOIL 1 020 - Inspec	TEST PIT tor: Lou D	iMarzo, P.I	E.	
ſ	De	pth			Descrip	otion		
	0 -	18"			Fill			
-	18" -	- 30"		Sa	ind & Grav	vel w/ silts		
	30" -	- 96"	Wator	Sand &	Gravel w/	2" to 3" st	ones	
			Ledge:	None		Roots: 30"	sparse	
		Date	· 11/17/20	TP#2 - SOIL 1	TEST PIT	iMarzo Pl	E	
[De	pth			Descrip	otion	_ .	
	0 -	28"			Fill			
	28" -	- 40"		Sa	ind & Grav	vel w/ silts		
	40" - 98" Medium Coarse Sand & Gravel							
		Water: Ledge:	None		Roots: 32"	sparse		
		Data	. 11/17/20	TP#3 - SOIL T	TEST PIT	Marra D	-	
ſ	De	Date nth	: 11/17/20	J20 - Inspec	Descrir		E	
-	0 -	60"			Fill			
Ī	60" -	115"		Mediu	m Coarse	Sand & Gr	avel	
_	Water: None Mottling: None							
			Ledge:	None		Roots: Noi	ne	
		Date	: 11/17/20	TP#4 - SOIL 1 020 - Inspec	TEST PIT tor: Lou D	iMarzo, P.I	E.	
	De	pth			<u>Descrip</u>	otion		
-	0 -	24"		Ma alia	Fill	Canad On Ca		
L	24" -	- 96"	Water:	None	m Coarse	Sand & Gr Mottling: N	None	
			Ledge:	None		Roots: Noi	ne	
		Date	e: 1/26/20	TP#5 - SOIL 1 22 - Inspec	TEST PIT tor: Lou Di	Marzo, P.E		
[De	pth			Descrip	otion		
-	0 -	36"			Fill			
-	36" -	- 60"			Brown Silt	y Loam		
L	00 -	- 90	Water:	None	Sanu &	Mottling: 1	None	
			Ledge:	None		Roots: Noi	ne	
		Date	e: 1/26/20	TP#6 - SOIL 1 22 - Inspec	TEST PIT tor: Lou Di	Marzo, P.E		
[De	<u>pth</u>			Descrip	otion		
	0 -	28"			Fill			
-	28" -	- 50"			Brown Silt	y Loam		
L	50 -	- 98	Water:	None	Sand &	Gravei Mottling: N	None	
			Ledge:	None		Roots: 50"		
		Date	BH# : 11/17/20	‡1 - INFILTRA)20 - Inspec	TION TES	Г iMarzo, Р.f	Ξ.	
Pre-Soak Date: 11/17/2020			Depth Dept	i from excava h from Existi	ited Bench ng Grade	= 30" = 66"	Diam. = 6"	pvc casin
Hole Number	Run No.	Start	Stop	Elapse Time Min.	Depth t from Bend	o Water ch Surface	Water Level Drop in	Infiltrati Rate
					Start Inches	Stop Inches	inches	inches/h
BH#1	1	12:12	1:12	60	6"	18.5"	12.5"	12.5" in/
	2	1:18	2:18	60	6"	16.25"	10.25	10.25" in
	3	2:22	3:22	60	6"	15.75"	9.5"	9.5" in/
	4	3:26	4:26	60	6"	14.75"	8.75"	8.75" in/
	Ave	erage of Ra	tes = 10.2	2 in/hr	Fie	eld Infiltrat	ion Rate = 5.1	in/hr
[Date	BH#	2 - INFILTRA	TION TES	T iMarzo, P.E	Ξ.	

Pre-Soak Date: 11/17/2020			Depth from excavated Bench = 30" Depth from Existing Grade = 66"				Diam. = 6" pvc casing	
Hole	Run No.	tun No. Start	Stop	Elapse Time Min.	Depth to Water from Bench Surface		Water Level Drop in	Infiltration Rate
Number					Start Inches	Stop Inches	Inches	inches/hour
BH#2	1	12:15	1:15	60	6"	16.25"	10.25"	10.25" in/hr
	2	1:21	2:21	60	6"	15.5"	9.5"	9.5" in/hr
	3	2:25	3:25	60	6"	15.25"	9.25"	9.25" in/hr
	4	3:29	4:29	60	6"	14.5"	8.5"	8.5" in/hr
	Average of Bates = 9.3 in/br			Fie	eld Infiltrat	ion Rate = 4.6	in/hr	

	BH#3 - INFILTRATION TEST									
	Date: 1/26/2022 - Inspector: Lou DiMarzo, P.E.									
Soa	Oak Date: 1/26/2022Depth from excavated Bench = 30" Depth from Existing Grade = 72"Diam. = 4" pvc casin									
Run No.		No. Start	No. Start Stop	Elapse Time	Depth to Water from Bench Surface		Water Level Drop in	Infiltrat Rate		
er				IVIIII.	Start Inches	Stop Inches	Inches	inches/ł		
3	1	9:57	10:57	60	6"	27"	21.0"	21.0" ir		
	2	10.59	11.50	60	6"	25.5"	19.5	19 5" in		

60

60 6" 21.5" 15.5" 15.5" in/hr

Field Infiltration Rate = 8.6 in/hr

19"

13.0" 13.0" in/hr

1:02

1:05 2:05

Average of Rates = 17.2 in/hr













- 3. ALL WORK SHALL BE PERFORMED ACCORDING TO THE APPROPRIATE UTILITY COMPANY REQUIREMENTS.
- 2. ALL BACKFILL MATERIAL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557.
- 1. IF 24" OF COVER CANNOT BE OBTAINED OVER THE CONDUIT, CONDUIT SHALL BE CONCRETE ENCASED.











PRECAST CONCRETE SURFACE.

DROP INLET - 8" WALL, TYPE-C FOR PRODUCT SPECIFICATION.



NOTES:

- 1. ALL GALLERIES TO HANDLE H-20 LOADINGS AND SHALL COMPLY WITH THE DETAIL. INTERIOR SECTIONS TO HAVE NO END WALLS. END SECTIONS TO HAVE ONE END WALL. END UNITS TO BE INSTALLED AT ENDS OF ALL GALLERY RUNS.
- 2. ALL GALLERY SECTIONS TO HAVE HOLES BROKEN TO ALLOW FLOW PRIOR TO PLACEMENT.
- 3. THERE SHALL BE A 6" LAYER OF 11/4" CRUSHED STONE BELOW ALL GALLERIES.
- 4. THE ROWS OF GALLERIES SHALL BE PLACED SUCH THAT BASES ARE TOUCHING. SPACE BETWEEN GALLERY ROWS SHALL BE FILLED WITH 11/4" CRUSHED STONE.
- 5. THERE SHALL BE A MINIMUM OF 1' OF 11/4" CRUSHED STONE ON THE SIDES OF THE OUTER GALLERIES.
- 6. A 6" BY 5' BY 4' CONCRETE SLAB (1-2-3 CONCRETE) SHALL BE INSTALLED AT ANY PIPE ENTRANCE TO THE GALLERIES TO PREVENT EROSION.
- 7. RAISE FRAME AND GRATE TO GRADE USING SOLID CONCRETE BLOCK AND MORTAR.
- 8. REMOVE ANY TOPSOIL PRIOR TO INSTALLATION OF GALLERY.
- 9. CONTACT THE DESIGN ENGINEER THREE DAYS PRIOR TO EXCAVATION FOR THE GALLERIES. DURING THE EXCAVATION, THE DESIGN ENGINEER MAY REVISE THE ELEVATIONS OF THE GALLERIES IF FIELD CONDITIONS DICTATE.
- 10. CRUSHED STONE SHALL BE PER CT D.O.T. FORM 818 TABLE M.01.02-2 GRADATION NO.4.

48" PRECAST CONCRETE GALLERY DETAIL (4'W x 8'L)

N.T.S.



NOTES:

- 1. OVERALL MANHOLE SPECIFICATIONS SHALL MEET OR EXCEED THE CITY OF STAMFORD STANDARD MANHOLE DETAIL ON THE CITY "STORM DRAINAGE DETAILS" SHEET SD-1.
- 2. MANHOLE BASE SLAB OR BASE SECTION SHALL BE PLACED ON A 6" MIN. LAYER OF CRUSHED STONE. CRUSHED STONE SHALL BE PER CT D.O.T. FORM 818 TABLE M.01.02-2 GRADATION NO.4.
- ANY FILL MATERIAL PLACED UNDER THE MANHOLE STRUCTURE SHALL BE COMPACTED TO 95% OF THE MAX. DRY DENSITY AS DETERMINED BY ASTM D1557.
- 3. DESIGN AND REINFORCEMENT OF PRECAST CONCRETE SHALL COMPLY WITH ASTM C 478.
- 4. MANHOLE SHALL COMPLY WITH AASHTO HS-20 LOADING.
- 5. MANHOLE STEPS SHALL COMPLY WITH ASTM A-615 GRADE 60 (STEEL), OR ASTM D-4104 (POLY.) 6. ALL JOINTS AND PENETRATIONS SHALL BE MORTARED SMOOTH WITH THE FACE OF THE
- ADJACENT PRECAST CONCRETE SURFACE.

MANHOLE WITH OVERFLOW WEIR DETAIL



6. ALL JOINTS AND PENETRATIONS SHALL BE MORTARED SMOOTH WITH THE FACE OF THE ADJACENT

7. REFER TO CONNECTICUT PRECAST CORP. CATCH BASIN PRODUCT 36"x48" STANDARD PRECAST CTDOT

CATCH BASIN DETAIL

N.T.S.



MAINTENANCE PLAN & SCHEDULE OF STORMWATER SYSTEM:

- THE PURPOSE OF THE MAINTENANCE PLAN AND SCHEDULE IS TO ENSURE THE STORMWATER COMPONENTS INSTALLED ARE MAINTAINED IN OPERATIONAL CONDITION THROUGHOUT THE LIFE OF THE DEVELOPMENT.
- STORMWATER COMPONENTS SHOULD BE CHECKED ON A PERIODIC BASIS AND KEPT IN FULL WORKING ORDER. ULTIMATELY, THE REQUIRED FREQUENCY OF INSPECTION AND SERVICE WILL VARY DEPENDING ON STORM FREQUENCY, POLLUTANT LOADING, AND DEBRIS BUILD-UP. STORMWATER COMPONENTS SHOULD BE INSPECTED AND SERVICED TWICE PER YEAR. FIRST BEFORE WINTER BEGINS AND AGAIN DURING SPRING CLEANUP.
- THE INSPECTIONS MUST BE COMPLETED BY AN INDIVIDUAL EXPERIENCED IN THE CONSTRUCTION AND MAINTENANCE OF STORMWATER MANAGEMENT SYSTEMS.
- 4. ALL DEBRIS AND SEDIMENT REMOVED FROM THE STORMWATER COMPONENTS SHALL BE DISPOSED OF LEGALLY. THERE SHALL BE NO DUMPING OF SILT OR DEBRIS INTO OR IN PROXIMITY TO ANY INLAND OR TIDAL WETLANDS.
- 5. THE OWNERS(S) SHALL MAINTAIN ALL RECORDS (LOGS, INVOICES, REPORTS, DATA, ETC.).

SERVICE PROCEDURES:

- 6. CATCH BASINS & DRAINAGE INLETS:
- a. CATCH BASINS AND DRAINAGE INLETS SHALL BE COMPLETELY CLEANED OF ACCUMULATED DEBRIS AND SEDIMENTS AT THE COMPLETION OF CONSTRUCTION. b. FOR THE FIRST YEAR, CATCH BASINS AND DRAINAGE INLETS SHALL BE INSPECTED ON A
- QUARTERLY BASIS.
- c. ANY ACCUMULATED DEBRIS WITHIN THE CATCH BASINS/INLETS SHALL BE REMOVED AND ANY REPAIRS AS REQUIRED. d. FROM THE SECOND YEAR ONWARD, VISUAL INSPECTIONS SHALL OCCUR TWICE PER YEAR,
- ONCE IN THE SPRING AND ONCE IN THE FALL, AFTER FALL CLEANUP OF LEAVES HAS OCCURRED.
- e. ACCUMULATED DEBRIS WITHIN THE CATCH BASINS/INLETS SHALL BE REMOVED AND REPAIRS MADE AS REQUIRED.
- f. ACCUMULATED SEDIMENTS SHALL BE REMOVED AT WHICH TIME THEY ARE WITHIN 12 INCHES OF THE INVERT OF THE OUTLET PIPE. g. ANY ADDITIONAL MAINTENANCE REQUIRED PER THE MANUFACTURER'S SPECIFICATIONS
- STORM DRAINAGE PIPING AND MANHOLES/JUNCTION BOXES:
- a. ALL STORM DRAINAGE PIPING SHALL BE COMPLETELY FLUSHED OF DEBRIS AND
- ACCUMULATED SEDIMENT AT THE COMPLETION OF CONSTRUCTION.
- b. MANHOLES/JUNCTION BOXES SHALL BE INSPECTED AND REPAIRED ON AN ANNUAL BASIS. c. UNLESS SYSTEM PERFORMANCE INDICATES DEGRADATION OF PIPING, COMPREHENSIVE
- VIDEO INSPECTION OF STORM DRAINAGE PIPING SHALL OCCUR ONCE EVERY TEN YEARS.
- d. ANY ADDITIONAL MAINTENANCE REQUIRED PER THE MANUFACTURER'S SPECIFICATIONS
- SHALL ALSO BE COMPLETED. 8. STORMWATER CONTROL STRUCTURES:

SHALL ALSO BE COMPLETED

- a. ALL CONTROL STRUCTURES (ORIFICE, WEIR, ETC.) SHALL BE COMPLETELY CLEANED OF ACCUMULATED DEBRIS AND SEDIMENTS AT THE COMPLETION OF CONSTRUCTION. ANY REPAIRS SHALL BE PERFORMED.
- b. FOR THE FIRST YEAR, CONTROL STRUCTURES (ORIFICE, WEIR, ETC.) SHALL BE INSPECTED ON A QUARTERLY BASIS.
- c. ANY ACCUMULATED DEBRIS SHALL BE REMOVED AND ANY REPAIRS MADE TO THE CONTROL STRUCTURES (ORIFICE, WEIR, ETC.) AS REQUIRED.
- d. FROM THE SECOND YEAR ONWARD, VISUAL INSPECTIONS SHALL OCCUR TWICE PER YEAR, ONCE IN THE SPRING AND ONCE IN THE FALL, AFTER FALL CLEANUP OF LEAVES HAS OCCURRED.
- e. ACCUMULATED DEBRIS SHALL BE REMOVED AND REPAIRS MADE AS REQUIRED. f. ANY ADDITIONAL MAINTENANCE REQUIRED PER THE MANUFACTURER'S SPECIFICATIONS SHALL ALSO BE COMPLETED.
- INFILTRATION SYSTEMS:
- a. ALL INFILTRATORS SHALL BE COMPLETELY CLEANED OF ACCUMULATED DEBRIS AND
- SEDIMENTS UPON THE COMPLETION OF CONSTRUCTION.
- b. FOR THE FIRST YEAR, THE INFILTRATORS SHALL BE INSPECTED ON A QUARTERLY BASIS. c. ANY ACCUMULATED DEBRIS WITHIN THE INFILTRATORS SHALL BE REMOVED AND ANY
- REPAIRS MADE TO THE UNITS AS REQUIRED. d. FROM THE SECOND YEAR ONWARD, VISUAL INSPECTION SHALL OCCUR TWICE PER YEAR,
- ONCE IN THE SPRING AND ONCE IN THE FALL, AFTER FALL CLEANUP OF LEAVES HAS OCCURRED.
- e. ACCUMULATED DEBRIS WITHIN THE UNITS SHALL BE REMOVED AND REPAIRS MADE AS REQUIRED.
- f. ANY ADDITIONAL MAINTENANCE REQUIRED PER THE MANUFACTURER'S SPECIFICATIONS SHALL ALSO BE COMPLETED.

10. ROOF GUTTERS:

a. REMOVE ACCUMULATED DEBRIS AND INSPECT FOR DAMAGE. ANY DAMAGE SHOULD BE REPAIRED AS REQUIRED.

PIPE TABLE - STORMWATER						
DOWNSTREAM	PIPE INFO.	UPSTREAM				
EX.MH	60 LF OF 12" PVC @ 0.015 FPF	ROOF				
EX. MH	180 LF OF 12" PVC @ 0.01 FPF	MH#1				
MH#1	40 LF OF 12" PVC @ 0.02 FPF	MH#2				
MH#2	4 LF OF 12" PVC @ 0.025 FPF	GALS (BMP-1)				
MH#2	32 LF OF 10" PVC @ 0.02 FPF	CB#2				
GALS (BMP-1)	85 LF OF 12" PVC @ 0.035 FPF	MH#3				
GALS (BMP-1)	25 LF OF 10" PVC @ 0.02 FPF	CB#1				
GALS (BMP-1)	13 LF OF 8" PVC @ 0.04 FPF	ROOF				
GALS (BMP-1)	48 LF OF 10" PVC @ 0.02 FPF	TD#1				
MH#3	3 LF OF 12" PVC @ 0.033 FPF	GALS (BMP-2)				
GALS (BMP-2)	35 LF OF 10" PVC @ 0.01 FPF	CB#3				
GALS (BMP-2)	3 LF OF 10" PVC @ 0.033 FPF	CB#4				

INV. = 8.50 (12" PVCP - ROOF) INV. =8.00 (12" PVCP - MH#1) * A "WAIVER COVERING STORM SEWER CONNECTION" FORM SHALL BE SIGNED, NOTARIZED AND SUBMITTED TO THE CITY ENGINEERING BUREAU PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

HSG: D SOILS (WHOLE PARCEL)

(CAPTURE 24,900± SF OF ENTIRE HIGH ROOF AREA. REFER TO PROJECT'S STORMWATER MANAGEMENT REPORT)

N. STATE STREET

	SOUTH	EAST	NORTH
	P.O.C.	P.O.C.	P.O.C.
TOTAL AREA (SF)	48,211	1,251	775
DISTURBANCE AREA (SF)	48,211	1,251	775
IMPERVIOUS AREA, PRE-DEVELOPMENT (SF)	38,631	-	749
IMPERVIOUS AREA, POST-DEVELOPMENT (SF)	45,260	-	213
W.Q.V. REQUIRED (CF)	3,620	-	-
W.Q.V. PROVIDED (CF)	3,625	-	-

THE LAFAYETTE

UF	KAVVII	NGLIST					
AR	CHITECT	- TURAL					
						~	X
	Sheet #	Title	Scale	Date	XXXX	(XXXXX	XXXXX
1	CS - 1	COVER SHEET		•	•	•	
2	A - 101	BASEMENT PLAN					
3	A - 102	1ST FLOOR PLAN					
4	A - 103	2ND FLOOR PLAN					
5	A - 104	3RD FLOOR PLAN					
6	A - 105	4TH FLOOR PLAN					
7	A - 106	5TH FLOOR PLAN					
8	A - 107	ROOF PLAN					
9	A - 201	TYP. BLDG. ELEVATIONS					
10	A - 202	TYP. BLDG. ELEVATIONS					
11	A - 203	TYP. BLDG. ELEVATION					
12	A - 301	TYP. SECTIONS					
13	A - 302	TYP. SECTIONS					
				1 -		T	_

ZONING ADDENDU
1-24-2022

CS	1

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UNIT #	BATHROOMS	1ST FL.	SQ. FT.	TOTAL #
LOBBY	0	Х	1,875	1
AMENITY	4	Х	3,400	1
COMMERCIAL	0	Х	2,200	1
COMMERCIAL/FLEX	0	Х	750	1
TOTAL	1	Х	8,225	4

RESIDENTIAL UNIT MATRIX

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UNIT #	BEDROOMS	BATHROOMS	1ST FL.	2ND FL.	3RD FL.	4TH FL.	5TH FL.	TYPE "A"	TYPE "B"	SQ. FT.	TOTAL #	
S1	0	1	4	7	7	7	3		B OPT A	434-449	28	
S2	0	1	0	3	3	3	3		B OPT A	434	12	
S3	0	1	0	1	1	1	1	Х		474	4	
A1	1	1	5	6	7	7	2		B OPT A	649-672	27	\mathbb{C}
A2	1	1	1	4	4	4	3		B OPT A	649-672	16	_
A3	1	1	0	1	1	1	1	Х		717	4	
A4	1	1	0	1	1	1	1		B OPT A	649	4	
A5	1	1	0	1	1	1	0		B OPT A	717	3	
A6	1	1	0	1	0	0	0	Х		672	1	
B1	2	2	0	3	3	3	3		B OPT A	940-952	12	
B2	2	2	0	1	1	1	1	Х		965	4	
B3	2	2	1	1	1	1	0		B OPT A	951	4	
B4	2	2	1	1	1	1	0		B OPT A	940	4	
B5	2	2	0	1	1	1	0		B OPT A	1070	3	
B6	2	2	0	1	1	1	1			951	4	
TOTAL	117	161	12	33	33	33	19	13	115	87,123	130	

GENERAL NOTES:

1. ALL WORK TO COMPLY WITH APPLICABLE STATE AND LOCAL CODES.

- 2. THE CONTRACTOR SHALL FIELD MEASURE AND VERIFY ALL DIMENSIONS, CONDITIONS & ELEVATIONS OF THE EXISTING BUILDING AND ALL DIMENSIONS RELATED THERETO AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES. (CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH ALL DRAWINGS PRIOR TO STARTING ANY WORK).
- 3. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWING, THESE NOTES, AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK, AND REQUEST FOR CLARIFICATION IN WRITING. COMMENCEMENT OF THE WORK WILL BE CONSTRUED AS COMPLETE ACCEPTANCE OF THESE CONDITIONS AND ACCEPTANCE OF RESPONSIBILITY FOR CORRECTING DEFECTS.
- 4. NO WORK AND/OR ANY REMOVALS, EXCAVATIONS AND PROPOSED WORK SHALL BEGIN OR COMMENCE, PRIOR TO THE CONTRACTOR AND/OR OWNER OBTAINING THE PROPER PERMITS FOR SUCH WORK.
- 5. ALL DIMENSIONS ARE GIVEN TO ROUGH SURFACES, FACE OF STUDS, BLOCK OR CONCRETE WALLS, OR TOP OF SUB-FLOOR, UNLESS OTHERWISE NOTED.
- 6. USE WRITTEN DIMENSIONS, DO NOT SCALE DRAWING FOR DIMENSIONS, DETAILED DRAWINGS AND SECTIONS OVER SMALL SCALED DRAWINGS. 1. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS.
- NO EXTRAS WILL BE CLAIMED WITHOUT PRIOR REVIEW.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY SHORING AND BRACING REQUIRED TO MAINTAIN THE STRUCTURAL STABILITY OF THE BUILDING DURING CONSTRUCTION.
- 9. PROTECT ALL COMPLETED WORK & FINISHES DURING CONSTRUCTION. DAMAGES OCCURRING PRIOR TO THE ACCEPTANCE WORK SHALL BE CORRECTED AT NO EXPENSE TO OWNER.
- 10. ALL SECTIONS AND DETAILS SHOWN SHALL BE CONSIDERED TYPICAL AND APPLY FOR THE SAME, AND SIMILAR CONDITIONS, UNLESS OTHERWISE SPECIFICALLY NOTED. II. THE CONTRACTOR IS RESPONSIBLE FOR THE "METHOD AND MEANS" OF CONSTRUCTION AND SAFETY OF
- ALL WORK AREAS OF THE PROJECT DURING CONSTRUCTION. 12. MISSING INFORMATION SHALL NOT BE CONSTRUCTED AS RELIEVING THE CONTRACTOR FROM EXECUTING
- ALL WORK IN ACCORDANCE WITH STATE AND LOCAL BUILDING CODES. 13. AN ASBESTOS SURVEY SHALL BE CONDUCTED PRIOR TO EVERY DEMOLITION OR RENOVATION, GOVERNMENT AGENCIES SHALL BE NOTIFIED IF ASBESTOS IS REMOVED, AND PRIOR TO ALL DEMOLITIONS.
- REMOVE AND DISPOSE OF ASBESTOS AS PER GOVERNMENT REGULATIONS. 14. UPON COMPLETION OF PRIMARY REVIEW THE CONTRACTOR SHALL PROVIDE (3) COPIES MIN. OF SHOP
- DRAWINGS FOR ARCHITECT AND ENGINEER APPROVAL WHEREVER REQUIRED. ALL SHOP DRAWINGS SHALL BE DELIVERED TO THE ARCHITECT AND DISTRIBUTED TO CONSULTANTS ACCORDINGLY FOR APPROVAL. CONTRACTOR SHALL PROVIDE ADEQUATE NUMBER OF COPIES FOR DISTRIBUTION, ALLOW 1-10 DAYS FOR APPROVAL PROCESS FROM TIME OF DELIVERY. 15. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH DRAWINGS OF ALL TRADES
- INCLUDING, BUT NOT LIMITED TO, ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, FIRE PROTECTION AND PLUMBING
- 16. UNDER NO CIRCUMSTANCE SHALL ALUMINUM BE IN DIRECT CONTACT WITH STEEL.

DO H. CHUNG and PARTNERS ARCHITECTS PLANNERS 105 BEDFORD ST, STAMFORD, CONNECTICUT 06901 T. 203.357.0089 F. 203-353-0336

ARCHITECT

CONSULTANTS

CIVIL ENGINEERS:

DIMARZO & BERECZKY 10 HIGH CIRCLE LANE FAIRFIELD, CT 06825 (203)857-4110

LANDSCAPE ARCHITECT: ENVIRONMENTAL LAND SOLUTIONS, LLC 8 KNIGHT STREET #203 NORWALK, CT 06851

(203)855-7879 SURVEYOR:

DIMARZO & BERECZKY 10 HIGH CIRCLE LANE FAIRFIELD, CT 06825 (203)857-4110

MECHANICAL ENGINEERS:

STANTEC 30 OAK ST. FOURTH FLOOR STAMFORD, CT 06905 (203)352–1717

STRUCTURAL ENGINEER: CONSULTING STRUCTURAL ENGINEERS 4 LANDMARK SQUARE, SUITE 170 STAMFORD, CT. 06901 (203)327-0408

WELLBUILT COMPANY 2 ARMONK STREET GREENWICH, CT 06830 (866)846-4874

PROJECT

THE LAFAYETTE 819 E. MAIN ST. STAMFORD, CT 06902

	1/22/2022	ZONING A	DDENDUM				
	5/7/2021	D.D. SET					
MARK	DATE	DESCRIP	TION				
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FLOOR	STUDIO	1 BR	2 BR	TOTAL
1ST FLOOR	4	6	2	12
2ND FLOOR	11	14	8	33
3RD FLOOR	11	14	8	33
4TH FLOOR	11	14	8	33
5TH FLOOR	7	7	5	19
TOTAL	44	55	31	130

PARKING LEVEL	REGULAR	HANDICAP	EV	TOTAL
	8.5'X18'	10'X18' OR 8'X18' (VAN)	10'X18	
BSMT. GARAGE	66	8	8	82
1ST FLOOR / ON GRADE	57	5	6	68
TOTAL	123	13	14	150

ARCHITECT DO H. CHUNG and PARTNERS ARCHITECTS PLANNERS
 105 BEDFORD ST, STAMFORD, CONNECTICUT 06901

 T. 203.357.0089
 F. 203-353-0336
 CONSULTANTS CIVIL ENGINEERS: DIMARZO & BERECZKY 10 HIGH CIRCLE LANE FAIRFIELD, CT 06825 (203)857-4110 LANDSCAPE ARCHITECT: ENVIRONMENTAL LAND SOLUTIONS, LLC 8 KNIGHT STREET #203 NORWALK, CT 06851 (203)855–7879 SURVEYOR: DIMARZO & BERECZKY 10 HIGH CIRCLE LANE FAIRFIELD, CT 06825 (203)857-4110 MECHANICAL ENGINEERS: STANTEC 30 OAK ST. FOURTH FLOOR STAMFORD, CT 06905 (203)352-1717 STRUCTURAL ENGINEER: CONSULTING STRUCTURAL ENGINEERS 4 LANDMARK SQUARE, SUITE 170 STAMFORD, CT. 06901 (203)327-0408 OWNER WELLBUILT COMPANY 2 ARMONK STREET GREENWICH, CT 06830 (866)846-4874 PROJECT THE LAFAYETTE 819 E. MAIN ST. STAMFORD, CT 06902
 1/22/2022
 ZONING ADDENDUM

 4/23/2021
 ZONING SUBMITAL

 MARK
 DATE
 DESCRIPTION
 PROJECT NO: ----CAD DWG FILE: A-101.DWG DRAWN BY: -CHK'D BY: – COPYRIGHT: SHEET TITLE **BASEMENT PLAN**

A - 101

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		ē				
<u>UNIT A1</u> 1BR/1BA	<u>UNIT S1</u> 0BR/1BA	<u>NIT A1</u> <u>1BR/1BA</u>	<u>UNIT S1</u> <u>0BR/1BA</u>	<u>UNIT A1</u> 1BR/1BA	UNIT A2 1BR/1BA	<u>UNIT A1</u> <u>1BR/1BA</u>
<u>#101</u> PE "B" OPT. "A" 649 SF	<u>#102</u> <u>TYPE "B" OPT. "A"</u> 434 SF	<u>#103</u> <u>TYPE "B" OPT. "A"</u> 649 SF	<u>#104</u> <u>TYPE "B" OPT. "A"</u> 434 SF	<u>#105</u> <u>TYPE "B" OPT. "A"</u> 649 SF	<u>#106</u> <u>TYPE "B" OPT. "A"</u> 649 SE	<u>#107</u> <u>TYPE "B" OPT. "A"</u> 649 SF
· · · · · · · · · · · · · · · · · · ·	<u></u>	23'-2"	. 15'-6"	23'-2"	23'-2"	23'-2"
		276'-11 ² "			 	
				1 (A-2001)		 I
<u>1 HR I</u> UNIT SEF	I RATED <u>1 HR RA</u> PARATION UNIT SEPA	<u>TED 1 HR F</u> RATION UNIT SEP	ATED <u>1 HR RA</u> ARATION UNIT SEPAR	TED <u>1 HR</u> ATION UNIT SE	I RATED <u>1 HR F</u> PARATION UNIT SEP	I RATED <u>1 HR</u> PARATION UNIT SE
W	ALL WAL	L	ALL WALL	<u></u>	ALL WA	ALL V

0 8 16 SCALE: ³/₃₂" = 1'-0"

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ARCHITECT DO H. CHUNG and PARTNERS ARCHITECTS PLANNERS
 105 BEDFORD ST, STAMFORD, CONNECTICUT 06901

 T. 203.357.0089
 F. 203-353-0336
 CONSULTANTS CIVIL ENGINEERS: DIMARZO & BERECZKY 10 HIGH CIRCLE LANE FAIRFIELD, CT 06825 (203)857-4110 LANDSCAPE ARCHITECT: ENVIRONMENTAL LAND SOLUTIONS, LLC 8 KNIGHT STREET #203 NORWALK, CT 06851 (203)855–7879 SURVEYOR: DIMARZO & BERECZKY 10 HIGH CIRCLE LANE FAIRFIELD, CT 06825 (203)857-4110 MECHANICAL ENGINEERS: STANTEC 30 OAK ST. FOURTH FLOOR STAMFORD, CT 06905 (203)352-1717 STRUCTURAL ENGINEER: CONSULTING STRUCTURAL ENGINEERS 4 LANDMARK SQUARE, SUITE 170 STAMFORD, CT. 06901 (203)327–0408 OWNER WELLBUILT COMPANY 2 ARMONK STREET GREENWICH, CT 06830 (866)846-4874 PROJECT THE LAFAYETTE 819 E. MAIN ST. STAMFORD, CT 06902
 1/22/2022
 ZONING ADDENDUM

 4/23/2021
 ZONING SUBMITTAL

 MARK
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 DESCRIPTION
 PROJECT NO: ----CAD DWG FILE: A-101.DWG DRAWN BY: -CHK'D BY: – COPYRIGHT: SHEET TITLE FIRST FLOOR PLAN

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LINE SEPARA								
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HR RATED T SEPARATION	UNIT SEPA WAL	RATION L UNIT	HR RATED <u>1 HR</u> SEPARATION UNIT SEI	RATED <u>1 HR F</u> PARATION UNIT SEP	RATED <u>1 HR 1</u> PARATION UNIT SEF	RATED PARATION	<u>1</u> UNIT	<u>UN</u> <u>HR RATE</u> SEPARA
]		<u>WALL</u> <u>W</u> . i61'-Øġ"		ALL <u>W</u> .	ALL 		WALL
 		33'-6 ³ "	15'-6"	j. 15'-6" .	, Б'-6"		33'-6 ³ "	
UNIT S1		UNIT B1		UNIT S1	UNIT S2		JNIT B1	┢
<u>0BR/1BA</u> <u>#222</u> <u>TYPE "B" OPT. "A"</u>		<u>2BR/2BA</u> <u>#221</u> TYPE "B" OPT. "A"	<u>0BR/1BA</u> <u>#220</u> <u>TYPE "B" OPT. "A"</u>	<u>OBR/1BA</u> <u>#219</u> <u>TYPE "B" OPT. "A"</u>	<u>0BR/1BA</u> <u>#218</u> <u>TYPE "B" OPT. "A"</u>	<u>2</u> <u>TYP</u>	BR/2BA #217 E "B" OPT. "A"	
<u>434 SF</u>		<u>940 SF</u>	<u>434 SF</u>	<u>434 SF</u>	<u>434 SF</u>		<u>940 SF</u>	
		CORRIDOR		يت ب			 	
JNIT A1	IT S1	UNIT A1	UNIT S1	UNIT A1	Ŭ	NIT A2	UNIT A1	
BR/ IBA UBI #201 i E "B" OPT. "A" TYPE "I 649 SF 4	R/ IBA #202 B" OPT. "A" 34 SF	<u>IBR/IBA</u> <u>#203</u> <u>TYPE "B" OPT. "A"</u> <u>649 SF</u>	<u>UBR/1BA</u> <u>#204</u> <u>TYPE "B" OPT. "A"</u> <u>434 SF</u>	<u>IBR/IBA</u> <u>#205</u> <u>TYPE "B" OPT. "A'</u> <u>649 SF</u>		BR/1BA #206 : "B" OPT. "A" 649 SF	<u>IBR/IBA</u> <u>#207</u> <u>TYPE "B" OPT. "A'</u> <u>649 SF</u>	<u>-</u>
	15'-6" .	23'-2" 271'-5	 .8 ³ ∥	23'-2"		23'-2"	23'-2"	
<u>1</u> HR RATED	1 HR RA	<u>red</u> 1 H	 <u>R RATED</u> 1 HR RA	ATED	<u>1 HR R</u> ATED	1 HR	 RATED	1 HR
UNIT SEPARATION WALL	UNIT SEPAR WALL	ATION UNITS	EPARATION UNIT SEPA WALL WAL		UNIT SEPARATION WALL	UNIT SE W	PARATION ALL	UNIT SE

0 8 16 SCALE: $\frac{3}{32}$ = 1'-0"

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ARCHITECT DO H. CHUNG and PARTNERS ARCHITECTS PLANNERS
 105 BEDFORD ST, STAMFORD, CONNECTICUT 06901

 T. 203.357.0089
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 CONSULTANTS CIVIL ENGINEERS: DIMARZO & BERECZKY 10 HIGH CIRCLE LANE FAIRFIELD, CT 06825 (203)857-4110 LANDSCAPE ARCHITECT: ENVIRONMENTAL LAND SOLUTIONS, LLC 8 KNIGHT STREET #203 NORWALK, CT 06851 (203)855-7879 SURVEYOR: DIMARZO & BERECZKY 10 HIGH CIRCLE LANE FAIRFIELD, CT 06825 (203)857-4110 MECHANICAL ENGINEERS: STANTEC 30 OAK ST. FOURTH FLOOR STAMFORD, CT 06905 (203)352-1717 STRUCTURAL ENGINEER: CONSULTING STRUCTURAL ENGINEERS 4 LANDMARK SQUARE, SUITE 170 STAMFORD, CT. 06901 (203)327–0408 OWNER WELLBUILT COMPANY 2 ARMONK STREET GREENWICH, CT 06830 (866)846-4874 PROJECT THE LAFAYETTE 819 E. MAIN ST. STAMFORD, CT 06902
 1/22/2022
 ZONING ADDENDUM

 4/23/2021
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 MARK
 DATE
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 PROJECT NO: ----CAD DWG FILE: A-101.DWG DRAWN BY: -CHK'D BY: -COPYRIGHT: SHEET TITLE SECOND FLOOR PLAN

A- 103

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<u>77</u>								
UNI								
HR RATED TSEPARATION								
<u>HR RATED</u> SEPARATION WALLS	<u>1 HR R.</u> UNIT SEPA WAI	ATED IRATION LL UNIT S	R RATED <u>1 HR I</u> EPARATION <u>UNIT SEF</u>	RATED <u>1 HR F</u> PARATION <u>UNIT SEP</u>	RATED <u>1 HR</u> ARATION <u>UNIT SEI</u>	RATED PARATION	<u>1 H</u> UNIT S	<u>UN</u> IR RATE SEPARAT
]	22' 6 3 ''	<u></u>			ALL 	221 6 31	
	⊨				, I5-6°			
UNIT S1 0BR/1BA #322		UNIT B1 2BR/2BA #321	UNIT S2 0BR/1BA #320	<u>UNIT S1</u> 0BR/1BA <u>#319</u>	<u>UNIT S2</u> 0BR/1BA <u>#318</u>	<u>l</u> 2	JNIT B1 BR/2BA #317	
<u>TYPE "B" OPT. "A"</u> <u>434 SF</u>		<u>TYPE "B" OPT. "A"</u> <u>940 SF</u>	<u>TYPE "B" OPT. "A"</u> <u>434 SF</u>	<u>TYPE "B" OPT. "A"</u> <u>434 SF</u>	<u>TYPE "B" OPT. "A"</u> <u>434 SF</u>	<u>TYP</u>	<u>E "B" OPT. "A"</u> <u>940 SF</u>	
· 		CORRIDOR		مَــــــــــــــــــــــــــــــــــــ				
JNIT A1 UN BR/1BA 0BI #301 3 E "B" OPT. "A" TYPE "I	<u>IT S1</u> R/1BA ^{≇302} 3" OPT. "A"	UNIT A1 1BR/1BA #303 TYPE "B" OPT. "A"	<u>UNIT S1</u> <u>0BR/1BA</u> <u>#304</u> <u>TYPE "B" OPT. "A"</u>	UNIT A1 <u>1BR/1BA</u> <u>#305</u> TYPE "B" OPT. "A'	<u>U</u> <u>1</u>	NIT A2 BR/1BA #306 "B" OPT. "A"	UNIT A1 <u>1BR/1BA</u> <u>#307</u> <u>TYPE "B" OPT. "A"</u>	
649 SF 4	<u>34 SF</u>	<u>649 SF</u>	434 SF	<u>649 SF</u>		<u>649 SF</u>	649 SF	
	· · · · · · · · · · · · · · · · · · ·	<u>2-2-</u> 22 '22'-2'' 22:-2 ⁻² '23'-2''	▶ 1 0°-6° 	25-2"		<i>43-1</i>	<u>↓ 23</u> -2" · 	
<u>1 HR RATED</u> UNIT SEPARATION WALL	<u>1 HR RA</u> UNIT SEPAF WALI	TED <u>1 HR F</u> RATION <u>UNIT SEP</u>	RATED <u>1 HR RA</u> PARATION <u>UNIT SEPA</u> ALL WAL	ATED RATION	<u>1 HR RATED</u> UNIT SEPARATION WALL	<u>1 HR</u> UNIT SEI W	RATED PARATION ALL	<u>1 HR</u> UNIT SE W
<u>_</u>	<u></u>					<u></u>		<u>.</u>

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0 8 16 SCALE: ³/₃₂" = 1'-0"

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ARCHITECT DO H. CHUNG and PARTNERS ARCHITECTS PLANNERS
 105 BEDFORD ST, STAMFORD, CONNECTICUT 06901

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 DESCRIPTION
 PROJECT NO: ----CAD DWG FILE: A-101.DWG DRAWN BY: -CHK'D BY: – COPYRIGHT: SHEET TITLE THIRD FLOOR PLAN

A - 104

1 HR RATE						
TION	<u>1 HR RATED</u> UNIT SEPARATION WALL		 			<u>1U</u>
HR RATED <u>F SEPARATION</u> <u>WALLS</u>		IR RATED 1 HR RA SEPARATION UNIT SEPAR WALL WAL	TED <u>1 HR RATED</u> RATION <u>UNIT SEPARAT</u> <u>WALL</u>	<u>1 HR RATED</u> ION <u>UNIT SEPARATIO</u> <u>WALL</u>	<u>ON</u>	<u>1 HR RATE</u> UNIT SEPARA WALL
			 			I
					33'-6 ³ "	
					33'-6₄ ^ª " 	
UNIT S1 0BR/1BA #422 TYPE "B" OPT. "A" 434 SE	UNIT B1 2BR/2BA #421 <u>TYPE "B" OPT. "A"</u> 940 SE	<u>UNIT S2</u> <u>0BR/1BA</u> <u>#420</u> <u>TYPE "B" OPT. "A"</u> <u>434 SE</u>	UNIT S1 0BR/1BA #419 <u>TYPE "B" OPT. "A"</u> 434 SE	UNIT S2 0BR/1BA #418 YPE "B" OPT. "A" 434 SE	33'-6 ³ " UNIT B1 2BR/2BA <u>#417</u> TYPE "B" OPT. "A" 940 SE	
UNIT S1 0BR/1BA #422 TYPE "B" OPT. "A" 434 SF	UNIT B1 2BR/2BA #421 <u>TYPE "B" OPT. "A"</u> 940 SF	<u>UNIT S2</u> <u>OBR/1BA</u> <u>#420</u> <u>TYPE "B" OPT. "A"</u> <u>434 SF</u>	UNIT S1 0BR/1BA #419 <u>TYPE "B" OPT. "A"</u> <u>434 SF</u>	UNIT S2 0BR/1BA #418 YPE "B" OPT. "A" 434 SF	33'-6 ³ " UNIT B1 2BR/2BA #417 TYPE "B" OPT. "A" 940 SF	
UNIT S1 0BR/1BA #422 TYPE "B" OPT. "A" 434 SF	UNIT B1 2BR/2BA #421 TYPE "B" OPT. "A" 940 SF	UNIT S2 OBR/1BA #420 TYPE "B" OPT. "A" 434 SE	UNIT S1 0BR/1BA #419 <u>TYPE "B" OPT. "A"</u> <u>434 SF</u> <u>T</u>	UNIT S2 0BR/1BA #418 YPE "B" OPT. "A" 434 SF	33'-6 ³ " <u>UNIT B1</u> <u>2BR/2BA</u> <u>#417</u> <u>TYPE "B" OPT. "A"</u> <u>940 SF</u>	
UNIT S1 OBR/1BA #422 TYPE "B" OPT. "A" 434 SF	UNIT B1 2BR/2BA #421 TYPE "B" OPT. "A" 940 SF	UNIT S2 OBR/1BA #420 TYPE "B" OPT. "A" 434 SF	UNIT S1 OBR/1BA #419 TYPE "B" OPT. "A" 434 SE īs	UNIT S2 0BR/1BA #418 YPE "B" OPT. "A" 434 SF	33'-6 ³ "	
UNIT S1 OBR/1BA #422 TYPE "B" OPT. "A" 434 SF	UNIT B1 2BR/2BA #421 TYPE "B" OPT. "A" 940 SF	UNIT S2 OBR/1BA #420 TYPE "B" OPT. "A" 434 SE	<u>UNIT S1</u> <u>0BR/1BA</u> <u>#419</u> <u>ТҮРЕ "В" ОРТ. "А"</u> <u>434 SF</u> <u>Т</u>	UNIT S2 0BR/1BA #418 YPE "B" OPT. "A" 434 SF	33'-6 ³ "	
UNIT S1 <u>OBR/1BA</u> <u>#422</u> <u>TYPE "B" OPT. "A"</u> <u>434 SE</u> <u>JNIT A1</u> <u>BR/1BA</u> <u>#401</u> <u>E "B" OPT. "A"</u> <u>TYPE</u>	UNIT B1 2BR/2BA #421 TYPE "B" OPT. "A" 940 SF SF SR/1BA #402 "B" OPT. "A" UNIT A1 1BR/1BA #402 "B" OPT. "A" TYPE "B" OPT. "A"	UNIT S2 <u>OBR/1BA</u> <u>#420</u> <u>TYPE "B" OPT. "A"</u> <u>434 SF</u> UNIT S1 <u>OBR/1BA</u> <u>#404</u> <u>TYPE "B" OPT. "A"</u>	<u>UNIT S1</u> <u>0BR/1BA</u> <u>#419</u> <u>ТҮРЕ "В" ОРТ. "А"</u> <u>434 SF</u> <u>434 SF</u> <u>434 SF</u> <u>түре "В" ОРТ. "А"</u>	UNIT S2 <u>OBR/1BA</u> <u>#418</u> <u>YPE "B" OPT. "A"</u> <u>434 SF</u> UNIT <u>434 SF</u> UNIT <u>1BR/1</u> <u>#406</u> <u>TYPE "B" OF</u>	<u>UNIT B1</u> <u>2BR/2BA</u> <u>#417</u> <u>TYPE "B" OPT. "A"</u> <u>940 SF</u>	NIT A1 R/1BA #407 'B" OPT. "A"
UNIT S1 <u>OBR/1BA</u> <u>#422</u> <u>TYPE "B" OPT. "A"</u> <u>434 SF</u> UI <u>BR/1BA</u> <u>#401</u> <u>E "B" OPT. "A"</u> <u>G49 SF</u> UI	UNIT B1 2BR/2BA #421 TYPE "B" OPT. "A" 940 SF CORRIDOR NIT S1 BR/1BA #402 "B" OPT. "A" 940 SF	UNIT S2 OBR/1BA #420 TYPE "B" OPT. "A" 434 SE	UNIT S1 OBR/1BA #419 TYPE "B" OPT. "A" 434 SF TYPE "B" OPT. "A" UNIT A1 1BR/1BA #405 TYPE "B" OPT. "A" 649 SF	UNIT S2 <u>0BR/1BA</u> <u>#418</u> <u>YPE "B" OPT. "A"</u> <u>434 SF</u> UNIT <u>1</u> <u>1BR/1</u> <u>#406</u> <u>TYPE "B" OF</u> <u>649 SF</u>	A2 BA 2T. "A" 33'-6 ³ " UNIT B1 2BR/2BA #417 TYPE "B" OPT. "A" 940 SF UN 1B TYPE '' 1 2 1 2 1 2 1 2 1 2 1 2 1 2 1 2 1 2 1	NIT A1 R/1BA #407 'B" OPT. "A" 549 SF
UNIT S1 <u>OBR/1BA</u> <u>#422</u> <u>TYPE "B" OPT. "A"</u> <u>434 SF</u> UI <u>434 SF</u> UI <u>BR/1BA</u> <u>#401</u> <u>E "B" OPT. "A"</u> <u>649 SF</u> UI <u>0E</u> <u>TYPE</u>	UNIT B1 2BR/2BA #421 TYPE "B" OPT. "A" 940 SF CORRIDOR NIT S1 BR/1BA #402 "B" OPT. "A" 434 SF "B"-6" 23'-2"	UNIT S2 OBR/1BA #420 TYPE "B" OPT. "A" 434 SE UNIT S1 OBR/1BA #404 TYPE "B" OPT. "A" 434 SE I5'-6"	UNIT S1 OBR/1BA #419 TYPE "B" OPT. "A" 434 SF UNIT A1 1BR/1BA #405 TYPE "B" OPT. "A" 649 SF 23'-2"	UNIT S2 <u>OBR/1BA</u> <u>#418</u> <u>YPE "B" OPT. "A"</u> <u>434 SF</u> UNIT <u>434 SF</u> <u>UNIT 1</u> <u>1BR/1</u> <u>#406</u> <u>TYPE "B" OF</u> <u>649 SF</u> <u>23'-2"</u>	A2 BA DT. "A" DT. "A DT. "A" DT. "A" D	<u>VIT A1</u> <u>R/1BA</u> <u>#407</u> 'B" OPT. "A" 549 SF
UNIT S1 OBR/1BA #422 TYPE "B" OPT. "A" 434 SF UNIT A1 BR/1BA #401 E "B" OPT. "A" 649 SF UNIT SEPARATION	UNIT B1 2BR/2BA #421 TYPE "B" OPT. "A" 940 SF CORRIDOR NIT S1 8R/1BA #402 "B" OPT. "A" UNIT A1 1BR/1BA #403 TYPE "B" OPT. "A" 649 SF B'-6" 23-2" I HR RATED I HR UNIT SEPARATION	UNIT S2 OBR/1BA #420 TYPE "B" OPT. "A" 434 SF UNIT S1 OBR/1BA #404 TYPE "B" OPT. "A" 434 SF UNIT S1 OBR/1BA #404 TYPE "B" OPT. "A" 434 SF UNIT SEPARA	UNIT S1 OBR/1BA #419 TYPE "B" OPT. "A" 434 SF I UNIT A1 1BR/1BA #405 TYPE "B" OPT. "A" 649 SF I 23'-2"	UNIT S2 <u>OBR/1BA</u> <u>#418</u> <u>YPE "B" OPT. "A"</u> <u>434 SF</u> <u>UNIT</u> <u>434 SF</u> <u>UNIT</u> <u>434 SF</u> <u>UNIT</u> <u>1BR/1</u> <u>#406</u> <u>TYPE "B" OF</u> <u>649 SI</u> <u>23'-2"</u> <u>C</u> <u>C</u> <u>C</u> <u>C</u> <u>C</u> <u>C</u> <u>C</u> <u>C</u>	A2 BA DT. "A" DINIT B1 DBR/2BA #417 TYPE "B" OPT. "A" 940 SF UNIT SEPARATION	VIT A1 R/1BA #407 'B" OPT. "A" 549 SF 23'-2"

0 8 16 SCALE: $\frac{3}{32}'' = 1'-0''$

6

5

ARCHITECT DO H. CHUNG and PARTNERS ARCHITECTS PLANNERS
 105 BEDFORD ST, STAMFORD, CONNECTICUT 06901

 T. 203.357.0089
 F. 203-353-0336
 CONSULTANTS CIVIL ENGINEERS: DIMARZO & BERECZKY 10 HIGH CIRCLE LANE FAIRFIELD, CT 06825 (203)857-4110 LANDSCAPE ARCHITECT: ENVIRONMENTAL LAND SOLUTIONS, LLC 8 KNIGHT STREET #203 NORWALK, CT 06851 (203)855-7879 SURVEYOR: DIMARZO & BERECZKY 10 HIGH CIRCLE LANE FAIRFIELD, CT 06825 (203)857-4110 MECHANICAL ENGINEERS: STANTEC 30 OAK ST. FOURTH FLOOR STAMFORD, CT 06905 (203)352-1717 STRUCTURAL ENGINEER: CONSULTING STRUCTURAL ENGINEERS 4 LANDMARK SQUARE, SUITE 170 STAMFORD, CT. 06901 (203)327–0408 OWNER WELLBUILT COMPANY 2 ARMONK STREET GREENWICH, CT 06830 (866)846-4874 PROJECT THE LAFAYETTE 819 E. MAIN ST. STAMFORD, CT 06902
 1/22/2022
 ZONING ADDENDUM

 4/23/2021
 ZONING SUBMITAL

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 DATE
 DESCRIPTION
 PROJECT NO: ----CAD DWG FILE: A-101.DWG DRAWN BY: -CHK'D BY: -COPYRIGHT: SHEET TITLE FOURTH FLOOR PLAN

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		3			4	
RRATED						
	<u>1 HR RATED</u> UNIT SEPARATION WALL		1 A-2Ø3			<u>Ul</u>
<u>HR RATED</u> T SEPARATION WALLS		<u>1 HR RATED</u> UNIT SEPARATION WALL	<u>1 HR RATED</u> UNIT SEPARATION WALL	<u>1 HR RATED</u> JNIT SEPARATION UNI WALL	L HR RATED T SEPARATION WALL	<u>1 HR RATE</u> UNIT SEPARA WALL
	 	. 167'-e	 8 			
, B'-6"	33'-6 7 "	15'- <i>e</i>	" 15'-6"	15'-6"	33'-6 ‡ "	
UNIT S1	UNIT B1		S2 UNIT S	51 UNIT S2	UNIT B1	
<u>0BR/1BA</u> <u>#522</u> <u>TYPE "B" OPT. "A"</u>	<u>2BR/2BA</u> <u>#521</u> <u>TYPE "B" OPT. "A"</u>	<u>0BR/</u> <u>#52</u> <u>TYPE "B" (</u>	1BA 0BR/11 0 #519 DPT. "A" TYPE "B" OP	BA OBR/1BA #518	<u>2BR/2BA</u> <u>#517</u> <u>TYPE "B" OPT. "</u>	<u>4"</u>
<u>434 SF</u>	<u>940 SF</u>	434	<u>5F 434 SF</u>	<u>434 SF</u>	<u>940 SF</u>	
	CORRIDOR	DOOR T ROOFTC TERRAC	ороди и страниции и с С страниции и стра			
					ROOF TERRACE	
	~2,000 SF				(INCL. PLAY AREA)	
					226'-Ø ^l	
		271'-9 ટ ્ટે"		<u> </u>		
			A-20	21		

FIFTH FLOOR PLAN SCALE: 3/32" = 1'-0"

3

ARCHITECT DO H. CHUNG and PARTNERS ARCHITECTS PLANNERS
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 T. 203.357.0089
 F. 203-353-0336
 CONSULTANTS CIVIL ENGINEERS: DIMARZO & BERECZKY 10 HIGH CIRCLE LANE FAIRFIELD, CT 06825 (203)857-4110 LANDSCAPE ARCHITECT: ENVIRONMENTAL LAND SOLUTIONS, LLC 8 KNIGHT STREET #203 NORWALK, CT 06851 (203)855–7879 SURVEYOR: DIMARZO & BERECZKY 10 HIGH CIRCLE LANE FAIRFIELD, CT 06825 (203)857-4110 MECHANICAL ENGINEERS: STANTEC 30 OAK ST. FOURTH FLOOR STAMFORD, CT 06905 (203)352-1717 STRUCTURAL ENGINEER: CONSULTING STRUCTURAL ENGINEERS 4 LANDMARK SQUARE, SUITE 170 STAMFORD, CT. 06901 (203)327–0408 OWNER WELLBUILT COMPANY 2 ARMONK STREET GREENWICH, CT 06830 (866)846-4874 PROJECT THE LAFAYETTE 819 E. MAIN ST. STAMFORD, CT 06902
 1/22/2022
 ZONING ADDENDUM

 4/23/2021
 ZONING SUBMITTAL

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A - 106

FLOOR	STUDIO	1 BR	2 BR	TOTAL
1ST FLOOR	4	6	2	12
2ND FLOOR	11	14	8	33
3RD FLOOR	11	14	8	33
4TH FLOOR	11	14	8	33
5TH FLOOR	7	7	5	19
TOTAL	44	55	31	130

PARKING LEVEL	REGULAR	HANDICAP	EV	TOTAL
	8.5'X18'	10'X18' OR 8'X18' (VAN)	10'X18	
BSMT. GARAGE	66	8	8	82
1ST FLOOR / ON GRADE	57	5	6	68
TOTAL	123	13	14	150

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 4/23/2021
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 MARK
 DATE
 DESCRIPTION
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> A - 107 OF

ARCHITECT DO H. CHUNG and PARTNERS
 105 BEDFORD ST, STAMFORD, CONNECTICUT 06901

 T. 203.357.0089
 F. 203-353-0336
 ONSULTANTS CIVIL ENGINEERS: DIMARZO & BERECZKY 10 HIGH CIRCLE LANE FAIRFIELD, CT 06825 (203)857-4110 LANDSCAPE ARCHITECT: ENVIRONMENTAL LAND SOLUTIONS, LLC 8 KNIGHT STREET #203 NORWALK, CT 06851 (203)855-7879 SURVEYOR: DIMARZO & BERECZKY 10 HIGH CIRCLE LANE FAIRFIELD, CT 06825 (203)857-4110 MECHANICAL ENGINEERS: STANTEC 30 OAK ST. FOURTH FLOOR STAMFORD, CT 06905 (203)352–1717 STRUCTURAL ENGINEER: CONSULTING STRUCTURAL ENGINEERS 4 LANDMARK SQUARE, SUITE 170 STAMFORD, CT. 06901 (203)327-0408 OWNER WELLBUILT COMPANY 2 ARMONK STREET GREENWICH, CT 06830 (866)846-4874 PROJECT THE LAFAYETTE 819 E. MAIN ST. STAMFORD, CT 06902
 1/22/2022
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 6/7/2021
 D.D. SET

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ARCHITECT DO H. CHUNG and PARTNERS ARCHITECTS PLANNERS
 105 BEDFORD ST, STAMFORD, CONNECTICUT 06901

 T. 203.357.0089
 F. 203-353-0336
 CONSULTANTS CIVIL ENGINEERS: DIMARZO & BERECZKY 10 HIGH CIRCLE LANE FAIRFIELD, CT 06825 (203)857-4110 LANDSCAPE ARCHITECT: ENVIRONMENTAL LAND SOLUTIONS, LLC 8 KNIGHT STREET #203 NORWALK, CT 06851 (203)855-7879 SURVEYOR: DIMARZO & BERECZKY 10 HIGH CIRCLE LANE FAIRFIELD, CT 06825 (203)857-4110 MECHANICAL ENGINEERS: STANTEC 30 OAK ST. FOURTH FLOOR STAMFORD, CT 06905 (203)352-1717 STRUCTURAL ENGINEER: CONSULTING STRUCTURAL ENGINEERS 4 LANDMARK SQUARE, SUITE 170 STAMFORD, CT. 06901 (203)327-0408 WELLBUILT COMPANY 2 ARMONK STREET GREENWICH, CT 06830 (866)846-4874 PROJECT THE LAFAYETTE 819 E. MAIN ST. STAMFORD, CT 06902

 1/22/2022
 ZONING ADDENDUM

 5/7/2021
 D.D. SET

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 PROJECT NO: ----CAD DWG FILE: A-201 Elevations.dwg CAD DWG FILE: DRAWN BY: -CHK'D BY: -COPYRIGHT: TYP. BLDG. ELEVATIONS A - 202 OF

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			CORRIDOR ROOF TERF	TO RACE								
	ROOF TERRACE				ROOF		ROOF TERRACE		В			
UNIT <u>A1</u> <u>#401</u>	$\frac{\text{UNIT}}{\frac{\text{S1}}{\frac{\#402}}}$	$\frac{UNIT}{\underline{A1}}$	UNIT <u>S1</u> <u>#404</u>	UNIT <u>A1</u> <u>#405</u>	UNIT <u>A2</u> <u>#406</u>	$\frac{\text{UNIT}}{\underline{A1}}$	UNIT <u>S1</u> <u>#408</u>	$\frac{\text{UNIT}}{\underline{A1}}$	UNIT <u>S1</u> <u>#410</u>	$ \begin{array}{c} \frac{1'-8^{3}4''}{8^{3}} \\ \frac{1'-8^{3}4''}{8^{3}} \\ \frac{UNIT}{B3} \\ \frac{H411}{4} \\ \end{array} $	+65.5 φ φ Ε Ε Ε Ε Ε Ε Ε Ε Ε Ε Ε Ε Ε	
UNIT <u>A1</u> <u>#301</u>	UNIT <u>S1</u> <u>#302</u>	UNIT <u>A1</u> <u>#303</u>	UNIT <u>S1</u> <u>#304</u>	UNIT <u>A1</u> <u>#305</u>	UNIT <u>A2</u> <u>#306</u>	UNIT <u>A1</u> <u>#307</u>	UNIT <u>S1</u> <u>#308</u>	UNIT <u>A1</u> <u>#309</u>	UNIT <u>S1</u> <u>#310</u>	<u>1'-8³/4"</u> <u>UNIT</u> <u>B3</u> <u>#311</u>	+55.0	
UNIT <u>A1</u> <u>#201</u>	UNIT <u>S1</u> <u>#202</u>	UNIT A1 #203	<u>UNIT</u> <u>S1</u> <u>#204</u>	UNIT <u>A1</u> <u>#205</u>	<u>UNIT</u> <u>A2</u> <u>#206</u>	UNIT <u>A1</u> <u>#207</u>	<u>UNIT</u> <u>S1</u> <u>#208</u>	UNIT <u>A1</u> <u>#209</u>	<u>UNIT</u> <u><u>S1</u> <u>#210</u></u>	¹⁻⁸³ /4 [™] ¹⁻⁸³ /4 [™] <u>UNIT</u> <u>B3</u> <u>#211</u>		
UNIT A1 #101	UNIT <u>S1</u> <u>#102</u>	UNIT A1 <u>#103</u>	UNIT <u>S1</u> <u>#104</u>	UNIT <u>A1</u> <u>#105</u>	UNIT <u>A2</u> <u>#106</u>	UNIT A1 #107	UNIT <u>S1</u> <u>#108</u>	UNIT A1 #109	UNIT <u>S1</u> <u>#110</u>	1'-8 ³ /4" <u>UNIT</u> <u>B3</u> <u>#111</u>	ې چ FIRST FL.	
PARKING	MIN. 7' GARAGE	CLEAR E HEIGHT			PARKING			AMP UP 5% SLOPE-			AVG. GRADE +17.5 ♀ BSMT. GARAGE	
											+11.75' ^{~ r}	А

1 BUILDING SECTION 3/32"=1'-0"

6

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 CONSULTANTS CIVIL ENGINEERS: DIMARZO & BERECZKY 10 HIGH CIRCLE LANE FAIRFIELD, CT 06825 (203)857-4110 LANDSCAPE ARCHITECT: ENVIRONMENTAL LAND SOLUTIONS, LLC 8 KNIGHT STREET #203 NORWALK, CT 06851 (203)855-7879 SURVEYOR: DIMARZO & BERECZKY 10 HIGH CIRCLE LANE FAIRFIELD, CT 06825 (203)857-4110 MECHANICAL ENGINEERS: STANTEC 30 OAK ST. FOURTH FLOOR STAMFORD, CT 06905 (203)352–1717 STRUCTURAL ENGINEER: CONSULTING STRUCTURAL ENGINEERS 4 LANDMARK SQUARE, SUITE 170 STAMFORD, CT. 06901 (203)327–0408

WELLBUILT COMPANY 2 ARMONK STREET GREENWICH, CT 06830 (866)846-4874

PROJECT

OWNER

THE LAFAYETTE 819 E. MAIN ST. STAMFORD, CT 06902

	1/22/2022	
	4/23/2021	ZONING ADDENDOM ZONING SUBMITTAL
MARK	DATE	DESCRIPTION
PROJE	CT NO:	
CAD D	NG FILE:	A-301 TYP. SECTIONS.DWG
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SHEET	TITLE	
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		<u> </u>
		A - 301

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BUILDING SECTION 3/32"=1'-0"

			MECH	I. UNITS	 			
								<u>ROOF</u>
	1'-83 ***	$\frac{4}{4} - \frac{1}{\frac{A4}{\#527}}$	<u>UNIT</u> <u>A1</u> <u>#528</u>	<u>UNIT</u> <u>A2</u> <u>#529</u>	<u>UNIT</u> <u>A1</u> <u>#530</u>	UNIT A3 #531		
		$\frac{UNIT}{\underline{A4}}$	<u>UNIT</u> <u>A1</u> <u>#428</u>	<u>UNIT</u> <u>A2</u> <u>#429</u>	UNIT <u>A1</u> <u>#430</u>	<u>UNIT</u> <u>A3</u> <u>#431</u>		
	1'-83 */6°-18	$\frac{\underline{UNIT}}{\underline{A4}}$ $\underline{\underline{H327}}$	<u>UNIT</u> <u>A1</u> <u>#328</u>	<u>UNIT</u> <u>A2</u> <u>#329</u>	UNIT <u>A1</u> <u>#330</u>	UNIT <u>A3</u> #331		
	1-83 	$\frac{\underline{UNIT}}{\underline{A4}}$	<u>UNIT</u> <u>A1</u> <u>#228</u>	<u>UNIT</u> <u>A2</u> <u>#229</u>	UNIT <u>A1</u> <u>#230</u>	<u>UNIT</u> <u>A3</u> <u>#231</u>		
	1-8 ³		RETAIL	2 HR RATED TYPE IA FLR./CLG. ASSEMBLY	RETAIL	<u>WAITING</u> <u>AREA</u>	MAIN RESIDENTIAL ENTRANCE LOBBY	<u>-</u>
 Ge	WATER ROOM	MIN. 7' CLEAR GARAGE HEIGHT		PARKING	+11.0'		<u> </u>	

2 BUILDING SECTION 3/32"=1'-0"

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	Γ	17		s – F T			
<u>OF FLAT ROOF </u>	 	1'-8¾"					
H FL.		8-9/4	<u>UNIT</u> <u>S3</u> #523	CORR.	ROOF	TERRACE	r T
<u>5' - </u>		<u>1'-8¾"</u>	<u>UNIT</u>			<u>1-8¾"</u> <u>UNIT</u>	
RTH FL			<u>S3</u> <u>#423</u>			<u>A1</u> <u>#401</u>	
		<u>1'-8¾"</u> -8	<u>UNIT</u> <u>S3</u> <u>#323</u>	CORR.	8'-9/4"	<u>1'-8¾"</u> <u>UNIT</u> <u>A1</u> <u>#301</u>	
5'		<u>1'-8¾"</u>	UNIT			1'-8 ³ 4"UNIT	
<u>OND FL</u>		⁵ /68	<u>\$3</u> #223	CORR.		<u>A1</u> #201	
	2 HR RATED	<u>1'-8¾"</u> ⇒ <u>PARK</u>	NG	CORR.		<u>1'-8¾"</u> <u>UNIT</u> <u>A1</u> <u>#101</u>	
5' <u> </u>	 		_			<u>1'-4"</u> MIN. 7' CLEAR 	
ER LEVEL GARAGE	 	-0 -0		PARKIN	<u>G</u>	HEIGHT	
0'	Γ						

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 F. 203-353-0336

ARCHITECT

CIVIL ENGINEERS:

DIMARZO & BERECZKY 10 HIGH CIRCLE LANE FAIRFIELD, CT 06825 (203)857–4110

LANDSCAPE ARCHITECT:

ENVIRONMENTAL LAND SOLUTIONS, LLC 8 KNIGHT STREET #203 NORWALK, CT 06851 (203)855–7879

SURVEYOR:

DIMARZO & BERECZKY 10 HIGH CIRCLE LANE FAIRFIELD, CT 06825 (203)857-4110

MECHANICAL ENGINEERS:

COLLECTIVE DESIGN ASSOCIATES 46 RIVERSIDE AVENUE WESTPORT, CT 06880 (203)299-0250

STRUCTURAL ENGINEER: CONSULTING STRUCTURAL ENGINEERS 4 LANDMARK SQUARE, SUITE 170 STAMFORD, CT. 06901 (203)327-0408

WELLBUILT COMPANY 2 ARMONK STREET GREENWICH, CT 06830 (866)846-4874

PROJECT

OWNER

THE LAFAYETTE 819 E. MAIN ST. STAMFORD, CT 06902

	4/23/2021	ZONING SUBMITTAL
MARK	DATE	DESCRIPTION
PROJEC	CT NO:	
CAD DV	VG FILE:	A-301 TYP. SECTIONS.DWG
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A - 302

COMMON NAME	SIZE	ROOT	PLANTING HEIGHT	MATURE HEIGHT	NOTES
ARMSTRONG RED MAPLE	3-3 1/2" CAL.	B&B	14-16" HT.	50' HT. x 20' WIDE	RED FALL COLOR
AUTUMN GOLD GINKGO	3-3 1/2" CAL.	B&B	14-16' HT.	50' HT. X 30' WIDE	YELLOW FALL COLOR
SHADEMASTER HONEY LOCUST	3-3 1/2" CAL.	B&B	14-16' HT.	45' HT. x 30' WIDE	COMPOND LEAF
AUTUMN BRILLIANCE SHAD	6-8' HT.	B&B	6-8' HT.	20' HT. x 10' WIDE	WHITE FLOWERS
WINTER KING HAWTHORN	2 1/2-3" CAL.	B&B	12-14' HT.	20' HT. x 18' WIDE	RED BERRIES
AMERICAN HOLLY	6-7' HT.	B&B	6-7' HT.	40' HT. x 20' WIDE	EVERGREEN, NATIVE
GREEN GIANT ARBORVITAE	8-9' HT.	B&B		30' HT. x 10' WIDE	EVERGREEN
BOBO HYDRANGEA	2-3' HT.	CONT.		3' HT. x 3' WIDE	WHITE FLOWERS
LITTLE LIME HYDRANGEA	2-3' HT.	CONT.		4' HT. x 4' WIDE	WHITE FLOWERS
LIMELIGHT HYDRANGEA	3-4' HT.	CONT.		8' HT. x 8' WIDE	WHITE FLOWERS
CHESAPEAKE HOLLY	3-4' HT.	B&B		8' HT. x 4' WIDE	EVERGREEN
COMPACT INKBERRY	2-3' HT.	CONT.		4' HT. x 4' WIDE	EVERGREEN
SARGENT JUNIPER	2-3' SPR.	CONT.			EVERGREEN
BLUE PACIFIC JUNIPER	2-3' SPR.	CONT.			EVERGREEN
NORTHERN BAYBERRY	36-42" HT.	CONT.		12' HT. x 7' WIDE	NATIVE
SHIROBANA SPIREA	24-30" HT.	CONT.			WHITE AND PINK FLOWERS
HOLMSTRUP ARBORVITAE	3-4' HT.	B&B		7' HT. x 3' WIDE	EVERGREEN
MONROE WHITE LIRIOPE		1 QT.			
HANSE HERMS SWITCHGRASS		1 GAL.		5' HT.	NATIVE
DWARF FOUNTAIN HAMELN GRASS		1 GAL.		2' HT.	

CITY STREETSCAPE LIGHT POLE

POLE AND FIXTURE COLOR SHALL BE GREEN. FIXTURE SHALL HAVE FULL TOP REFLECTOR. POLE SHALL BE 10' IN HEIGHT WITH GFI OUTLET.

REVISI)NS:		DRAWING TITLE:					
			LANDSCAPE PLA	٨N				
			PROJECT:					
3	2.4.22	REVISED SITE PLAN	819 EAST MAIN STREET STAMFORD, CONNECTICUT					
2	7.25.21	ADD PLANTING HEIGHTS IN PLANT LIST						
1	7.22.21	REVISED PARKING LAYOUT						
23 -	_ANDSCAPE 炎 ∿!!%%L>	ENVIRONMENTAL LAND SOLUTIONS, LLC	SEAL:	DATE: 4.23.21				
IMENTA		Landscape Architecture and Environmental Planning 8 KNIGHT STREET, SUITE 203	CAPA-	SCALE: AS SHOWN				
		NORWALK, CONNECTICUT 06851	MEHT LA	DRAWING NO .:				
> N ⊟ ⅔ F	ELS #	Tel: (203) 855-7879 Fax: (203) 855-7836 info@elsllc.net www.elsllc.net	The sourcesses are and the second sec	LP.1				

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																(781) 935	-8500

Detail: Photometric Calculation Date: 2/3/2022 T Revision:----Scale: 1" = 20'-0" Drawn By: -Drawing Number: SL-1 333 Pleasant Valley Road South Windsor, CT 06074 (860) 282-0597 Sheet 1 of 1