

January 31, 2022

City of Stamford  
Zoning Board  
c/o Vineeta Mathur, Acting Principle Planner  
888 Washington Boulevard  
Stamford, CT 06901

**Re: 648, 670, 686, & 690 Pacific Street, and 171 Henry Street**  
**ZB 221-29 – Zoning Board Comments**

Dear Ms. Mathur Board Members,

In response to comments and requested supplemental information during the hearing on 1/24/22, we are submitting the following materials as described below:

**1. Building Materials**

The proposed building materials have been updated to replace vinyl siding with fiber cement (e.g. Hardie Board) on the west (facing Pacific St.) and north (facing Henry St.) building facades. **See revised architectural sheet A-210.**

**2. Green Space/Pervious Coverage**

The proposed site plans have been updated so that each parcel within the overall Zoning Lot complies individually with the minimum pervious area requirement of 15%. The parcel containing the proposed building has been revised to include the use of pervious pavement to meet the requirement without any “allocation” from other parcels. The “firehouse” lot has also been updated to include a front patio area. Overall, pervious areas on the Zoning Lot were increased from 15.2% to 16%. **See updated Proposed Coverage Exhibit.** Changes are also reflected on the landscape plans and zoning charts.

**3. Usable Open Space**

The architectural plans have been updated to provide areas and dimensions of private and communal balcony areas. Private balconies on the penthouse level were accidentally omitted from prior calculations, which have since been updated. Over 70% of the units include private balconies and terraces averaging nearly 200sf each. The total building contains over 11,000 sf of private and communal open space – more than double the minimum requirement. **See architectural sheets A-103 through A-106.**

**4. Street Trees**

Landscaping plans have been updated to reflect 2 proposed street trees along the proposed building frontage, as well as two existing trees to remain in front of the church. The remainder of the street tree requirements will be satisfied through a fee to be calculated by staff based on the latest plans. **See landscaping sheets SPL-1.0 and SPL-2.0.**

**5. Onsite Trees**

The landscaping plans have been updated to provide a total of seven (7) new trees to replace the 7 being removed as part of the construction. **See landscaping sheets SPL-1.0 and SPL-2.0.** There are also 3 Elm trees proposed as part of the rooftop landscaping (SPL-1.1).

**6. Rooftop Plantings**

The previous note stating that planters on private balconies are for “illustration purposes only” has been removed. All planters are proposed as shown. **See landscaping sheet SPL-1.1.**

Please feel free to contact us with any questions or comments. We appreciate the Board’s input and feel the resultant changes have enhanced the proposed development.

Sincerely,



Raymond R. Mazzeo, AICP

Enclosures

**Zoning Data**  
**Pacific Street - Zoning Lot \***

Standard	Required (V-C)	Required** (VC + §7.3 Special Standards)	Proposed Development	Notes
<b>Min. Lot Area</b>	5,000	N/A	36,196	<b>Complies.</b> Does not include add'l 5,135 sf of property within the RMF Zone;
<b>Min. Frontage</b>	50'	N/A	400'	<b>Complies.</b> Does not include property within the RMF Zone;
<b>Max. Building Stories</b>	4-5	5-7	7 (Arterial) 5 (Non-Arterial)	<b>Complies.</b> 7th floor is less than 50% of the floor below; V-C: 5 stories permitted within 125' of front lot line; 4 stories beyond 125'; 7.3 Special Standard: +2 stories within 125' of front lot line; +1 story beyond 125';
<b>Max. Building Height</b>	45'-55'	60'-80'	75'± (Arterial) 55'± (Non-Arterial)	<b>Complies.</b> V-C: 55' permitted within 125' of front lot line; 45' when beyond 125'; 7.3 Special Standard: +25' within 125' of front lot line, +15' when beyond 125';
<b>Max. Building Coverage</b>	63.7% (23,053)	N/A (no Special Standard requested)	62% (22,428)	<b>Complies.</b> V-C: Blended ratio of 65% (arterial) and 55% (non-arterial) areas of the site; 7.3 Special Standard: Base + 25%;
<b>Min. Green Space</b>	15% (5,429)		16% (5,789)	<b>Complies.</b> Min. 15% at-grade porous/planted area;
<b>Max. Floor Area</b>	1.97 (71,206)	2.27 (82,186)	2.10 (75,980)	<b>Complies.</b> V-C: Blended ratio of 2.0 (arterial) and 1.75 (non-arterial) - includes BMR bonus; 7.3 Special Standard: VC + FAR of historic structures (10,980 sf) provided additional area does not exceed 25% underlying FAR permitted);
<b>Max. Dwelling Units</b>	110		61	<b>Complies.</b> Max. based on 650 min Floor Area per DU;
<b>Min. BMR</b>	12%		12%	<b>Complies.</b> Per. Section 7.4; See attached BMR Calculations;
<b>Min. Usable Open Space</b>	4,575	N/A (no Special Standard requested)	11,400	<b>Complies.</b> Includes communal rooftop areas and private balconies;
<b>Min. Front Setback (Pacific)</b>	Min 15'		15'	<b>Complies.</b> As measured from Curb Line
<b>Min. Front Setback (Henry)</b>	Min 10'		12'	<b>Complies.</b> Permitted encroachments less than 6' and w/in limit of prior existing stair/wall;
<b>Min. Side Setback (south)</b>	0' or 10'		0'	<b>Complies.</b> No setbacks for lot lines interior to the overall Zoning Lot;
<b>Min. Rear Setback (east)</b>	20'	10'	10'	<b>Complies.</b> 7.3 Special Standard may reduce Rear Setback by 50%;
<b>Min. Light &amp; Air</b>	20' (12' to property line)	10' (2' to property line)	18' (10' to property line)	<b>Complies.</b> Onsite requirement of 12' based on adjacent zone setback of 8' and total L&A of 20'; 7.3 Special Standard may reduce 20' requirement to 10';

\*Zoning Analysis does not include R-MF area of 171 Henry Street. The property is included as part of the Zoning Lot for parking and access purposes but does not contribute to the development rights. See separate charts for Parking and BMR requirements.

\*\*Special Standards for Historic Preservation permitted by Special Permit per §7.3.C of the Zoning Regulations.

**Zoning Data (cont.)  
Pacific Street - Zoning Lot**

**Parking Calculation**

Residential (by unit)		Req. per Unit	(total req)	Provided	Notes
Studio (BMR)	2	0.50	1.00		<b>Complies.</b> Per §12.D.2, Table 12.7; Overall residential ratio of 1.22 striped spaces per DU. Technically 71 spaces as 5 required EV charging spaces count as 50% each. (73 - 2.5 = 71.5 ≈ 71 "spaces").
1-BR (BMR)	3	0.75	2.25		
2-BR (BMR)	2	1.00	2.00		
Studio (market)	10	0.75	7.50		
1-BR (market)	29	1.00	29.00		
2-BR (market)	15	1.25	18.75		
171 Henry	2	2.00	4.00		
<b>SUBTOTAL</b>	<b>63</b>	<b>-</b>	<b>64.5</b>	<b>73</b>	
Non-Residential Spaces		Req. per SF	(total req)	Provided	
Church	6,150	n/a	9.0	9	Existing nonconforming parking to remain.
Firehouse 1	2,430	3,100 (excludes 2,000sf per business)	1.3	4	<b>Complies.</b> Commercial tenants may have the opportunity to share parking with residential depending on the relationship of demand periods. Sharing may be approved administratively by the ZB pursuant to Section 12-I of the Zoning Regulations once specific tenants are identified.
Firehouse 2	2,400		1.2		
New Bldg 1	2,130		0.4	1	
New Bldg 2	993		0.0		
<b>TOTAL</b>				<b>76.4</b>	

**BMR Calculation**

Total Units		Affordability Level (AMI)	Conversion Rate (per §7.4)	Required BMR		Proposed BMR		Notes	
				Number of Units	Equivalency Units	Number of Units	Equivalency Units		
Studio	12	50%	0.33	6%	0.72	0.24	2	0.67	<b>Complies.</b> Special Permit Request per §7.4.C.1 subsections (g) and (k)
		65%	0.20	6%	0.72	0.14	0	0.00	
1BR	32	50%	0.50	6%	1.92	0.96	2	1.00	
		65%	0.30	6%	1.92	0.58	1	0.30	
2BR	17	50%	1.00	6%	1.02	1.02	1	1.00	
		65%	0.60	6%	1.02	0.61	1	0.60	
<b>TOTAL</b>	<b>61</b>				<b>7.32</b>	<b>3.55</b>	<b>7</b>	<b>3.57</b>	

**670, 648, 686 & 690 Pacific Street and 171 Henry Street**

**Allocation of Development Rights**

	<b><u>Lot A</u> 670 Pacific "Fire House"</b>	<b><u>Lot B</u> 648 Pacific "Church"</b>	<b><u>Lot C</u> 686+690 Pacific (as consolidated) "Development Lot (DL)"</b>	<b><u>Lot D</u> 171 Henry (as adjusted) "2-Family House"</b>
<b>Lot Area</b>	6,698	8,693	20,806	5,135
<b>Zoning District</b>	V-C	V-C	V-C	R-MF
<b>Building Coverage</b>	Permitted: 4,309 Proposed: -2,559 Transferred to DL: <u>-1,600</u> Remaining: 150	Permitted: 5,595 Proposed: -3,250 Transferred to DL: <u>-2,200</u> Remaining: 145	Permitted: 13,150 Rights from others: + <u>3,800</u> Subtotal Allowed: 16,950 Proposed: <u>-16,620</u> Remaining: 330	Permitted: 1,540 Proposed: -1,000 Transferred to DL: <u>n/a</u> Remaining: 540
<b>Floor Area /Density</b>	Permitted: 13,283 Proposed: -4,830 Exemption: 4,830 Transferred to DL: <u>-12,500</u> Remaining: 783	Permitted: 17,246 Proposed: -6,150 Exemption: 6,150 Transferred to DL: <u>-17,000</u> Remaining: 246	Permitted: 40,677 Rights from others: + <u>29,500</u> Subtotal Allowed: 70,177 Proposed: <u>-65,000</u> Remaining: 5,177	Permitted: 2 DU Proposed: 2 DU Transferred to DL: <u>n/a</u> Remaining: 0
<b>Green Space</b>	Provided: 1,449 Required: <u>-1,005</u> Remaining/Surplus: 444	Provided: 1,387 Required: <u>-1,304</u> Remaining/Surplus: 83	Provided: 3,253 Required: <u>-3,121</u> Remaining/Surplus: 132	Provided: 2,773 Required: n/a Transferred to DL: n/a Remaining/Surplus: n/a
<b>Parking</b>	Required: 3 Provided: 4 Remaining/Surplus: 1	Required: 9 (existing nonconformity) Provided: 9 Remaining/Surplus: 0	Required: 61 Provided: 70 Remaining/Surplus: 9	Required: 4 Provided: 4 Remaining/Surplus: 0 (one space crosses property line with DL)

171 HENRY STREET:  
 PROPERTY AREA=5,135 SF  
 LAWN AREA=1,848 SF  
 PERVIOUS PAVEMENT AREA= 925 SF  
 TOTAL PERVIOUS AREA=2,773 SF  
 BUILDING COVERAGE=1,035 SF  
 % PERVIOUS=54.0%  
 % BUILDING COVERAGE=20.2%

670 PACIFIC STREET:  
 PROPERTY AREA=6,698 SF  
 PERVIOUS AREA=1,149 SF  
 BUILDING COVERAGE=2,559 SF  
 % PERVIOUS=17.2%  
 % BUILDING COVERAGE=38.2%


648 PACIFIC STREET:  
 PROPERTY AREA=8,694 SF  
 PERVIOUS AREA=1,387 SF  
 BUILDING COVERAGE=3,250 SF  
 % PERVIOUS=15.9%  
 % BUILDING COVERAGE=37.4%

686 & 690 PACIFIC STREET:  
 PROPERTY AREA=20,806 SF  
 LAWN AREA= 2,071 SF  
 PERVIOUS PAVEMENT AREA= 1,182 SF  
 TOTAL PERVIOUS AREA=3,253 SF  
 BUILDING COVERAGE=16,619 SF  
 % PERVIOUS=15.6%  
 % BUILDING COVERAGE=80.0%

V-C ZONE CALCULATIONS:  
 AREA=36,196 SF  
 PERVIOUS AREA=5,789 SF  
 BUILDING COVERAGE=22,428 SF  
 % PERVIOUS=15.9%  
 % BUILDING COVERAGE=61.96%

**LEGEND:**

- BUILDINGS
- ASPHALT PARKING, DRIVES & HARDSCAPE
- PERVIOUS PAVEMENT
- PERVIOUS



**REDNISS & MEAD**

LAND SURVEYING  
 CIVIL ENGINEERING  
 PLANNING & ZONING CONSULTING  
 PERMITTING

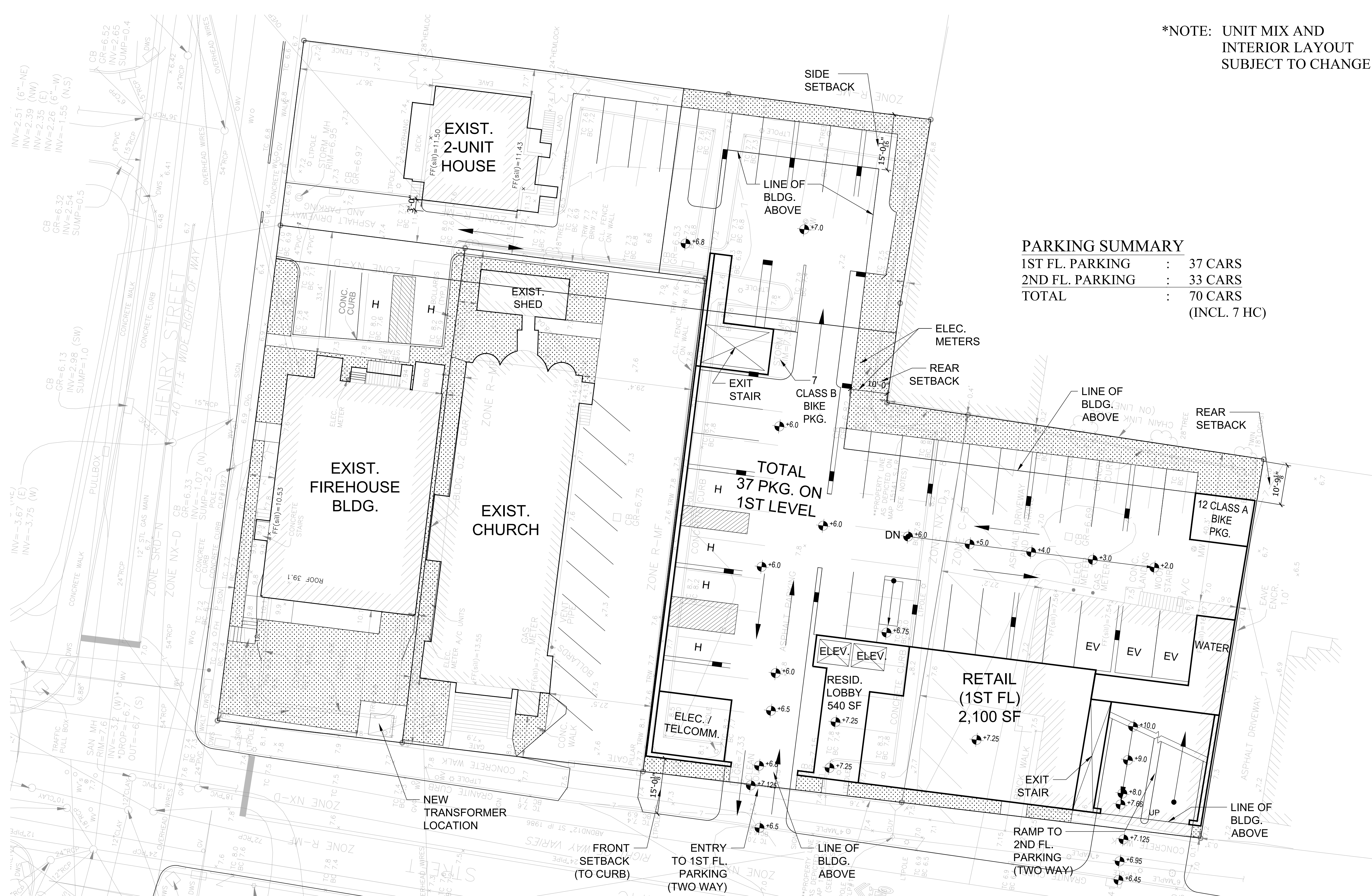
22 First Street | Stamford, CT 06905  
 Tel: 203.327.0500 | Fax: 203.357.1118  
 www.rednissmead.com

COMM. NO.: 6546Z	DATE: 1/31/2022
	SCALE: 1"=40'

**PROPOSED COVERAGE EXHIBIT**  
**648, 670, 686 & 690 PACIFIC STREET AND 171 HENRY STREET**  
**STAMFORD, CT**

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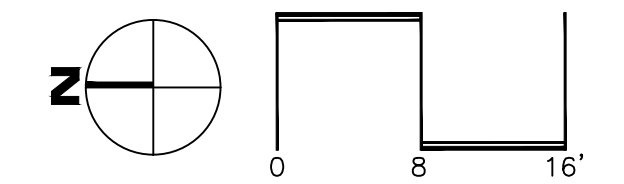
\*NOTE: UNIT MIX AND INTERIOR LAYOUT SUBJECT TO CHANGE



**PARKING SUMMARY**

1ST FL. PARKING	: 37 CARS
2ND FL. PARKING	: 33 CARS
TOTAL	: 70 CARS (INCL. 7 HC)

**HENRY & PACIFIC ST.**  
STAMFORD, CT

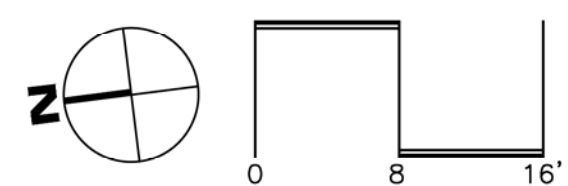
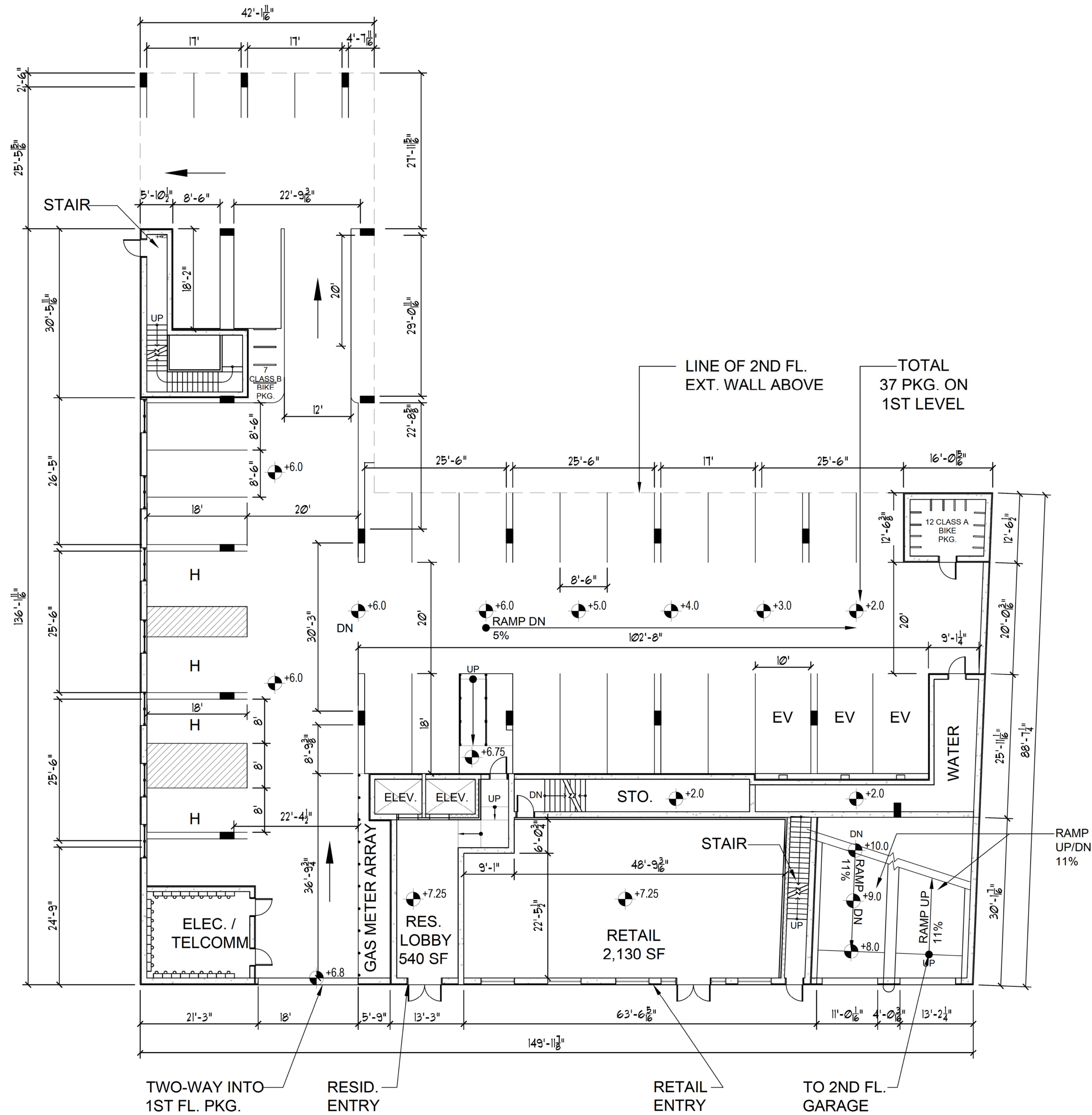


**HOGG HOLDINGS**  
**DO H. CHUNG & PARTNERS**

**SCHEMATIC SITE PLAN**  
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DATE: 1-10-2022

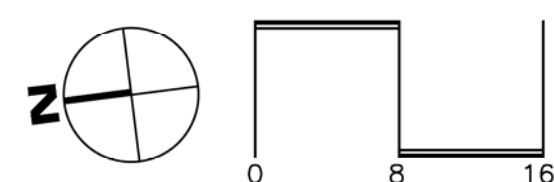
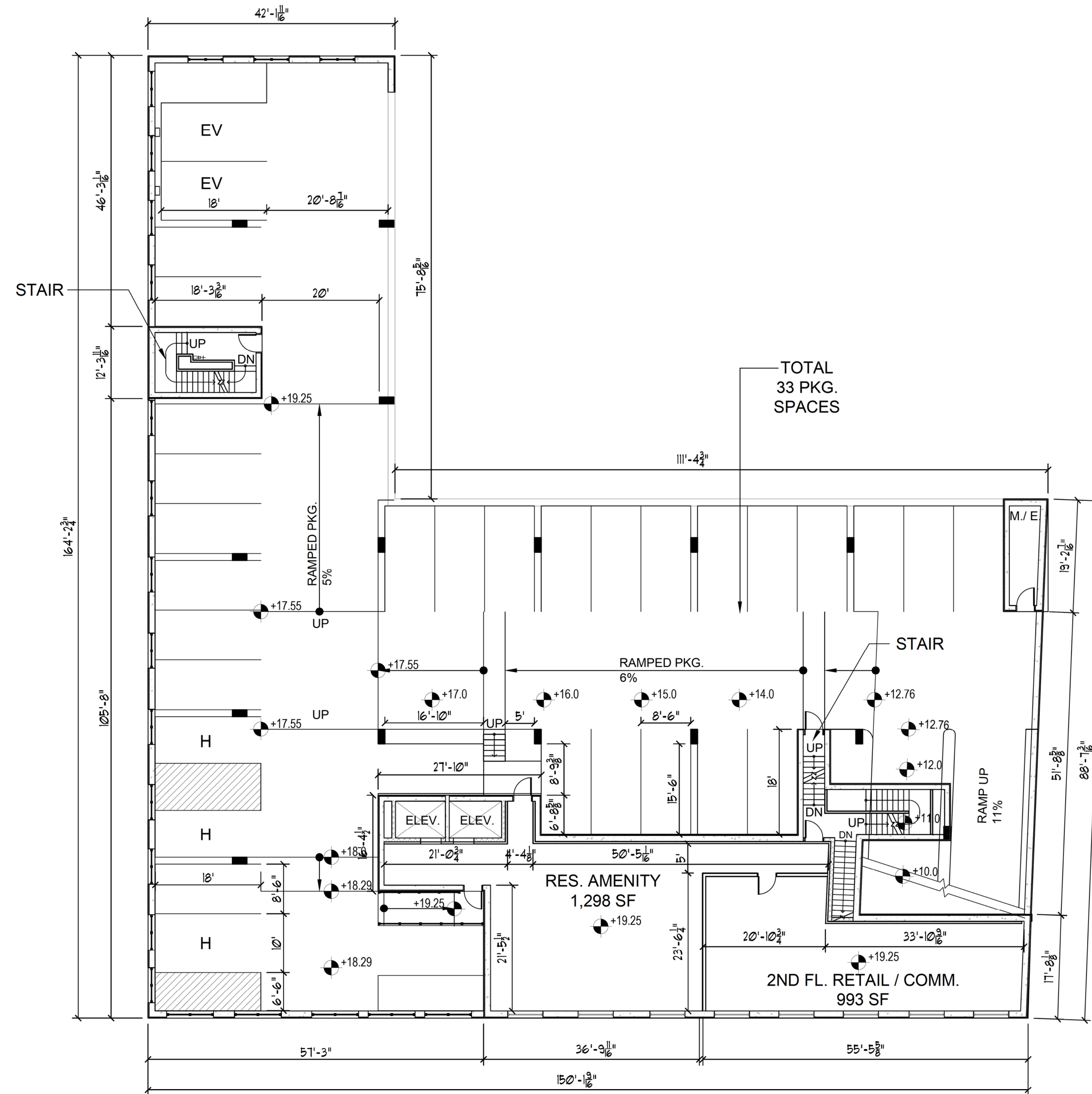
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\*NOTE: UNIT MIX AND INTERIOR LAYOUT SUBJECT TO CHANGE

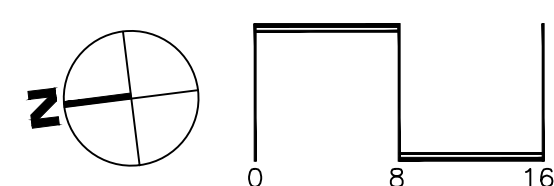
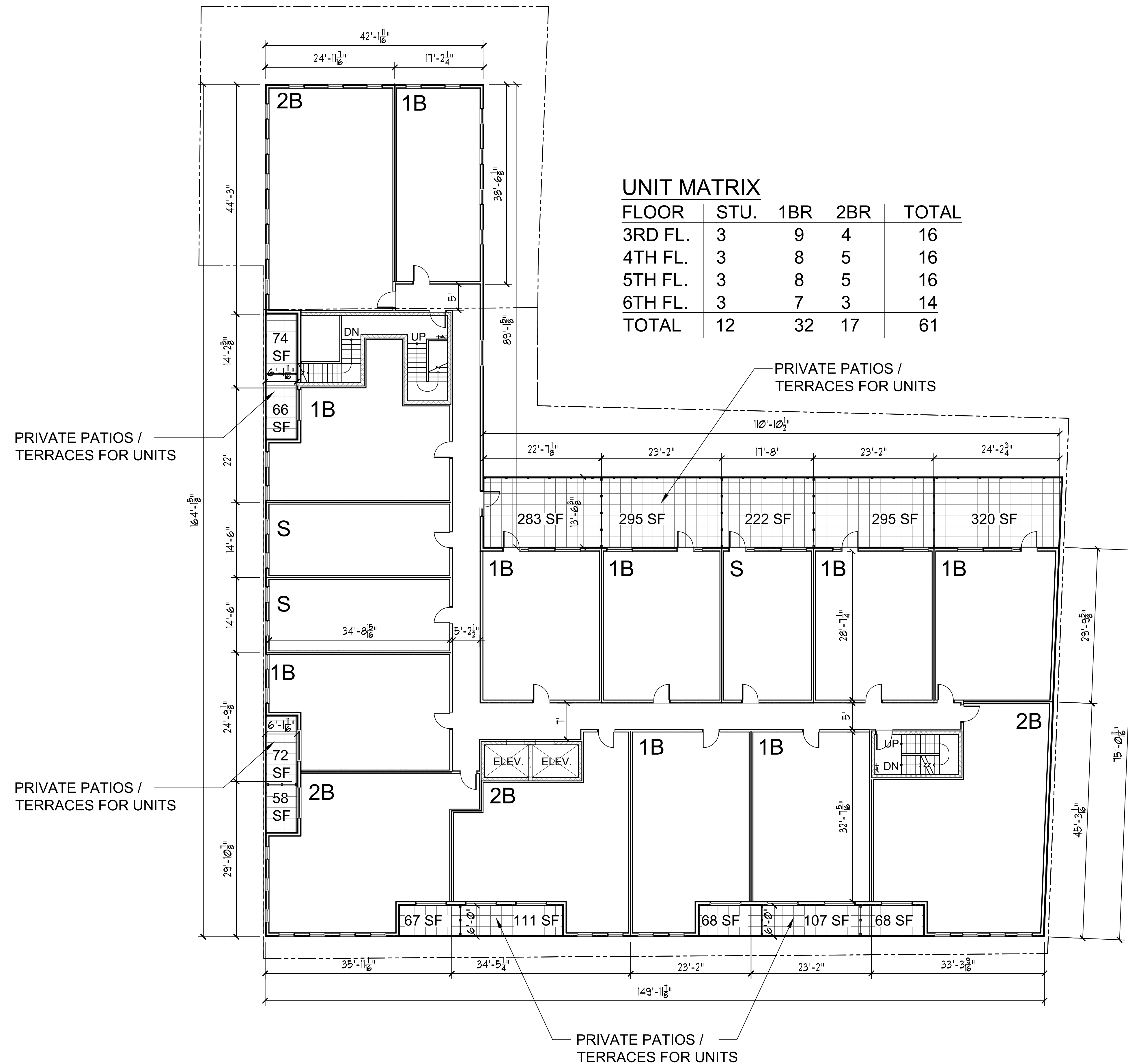




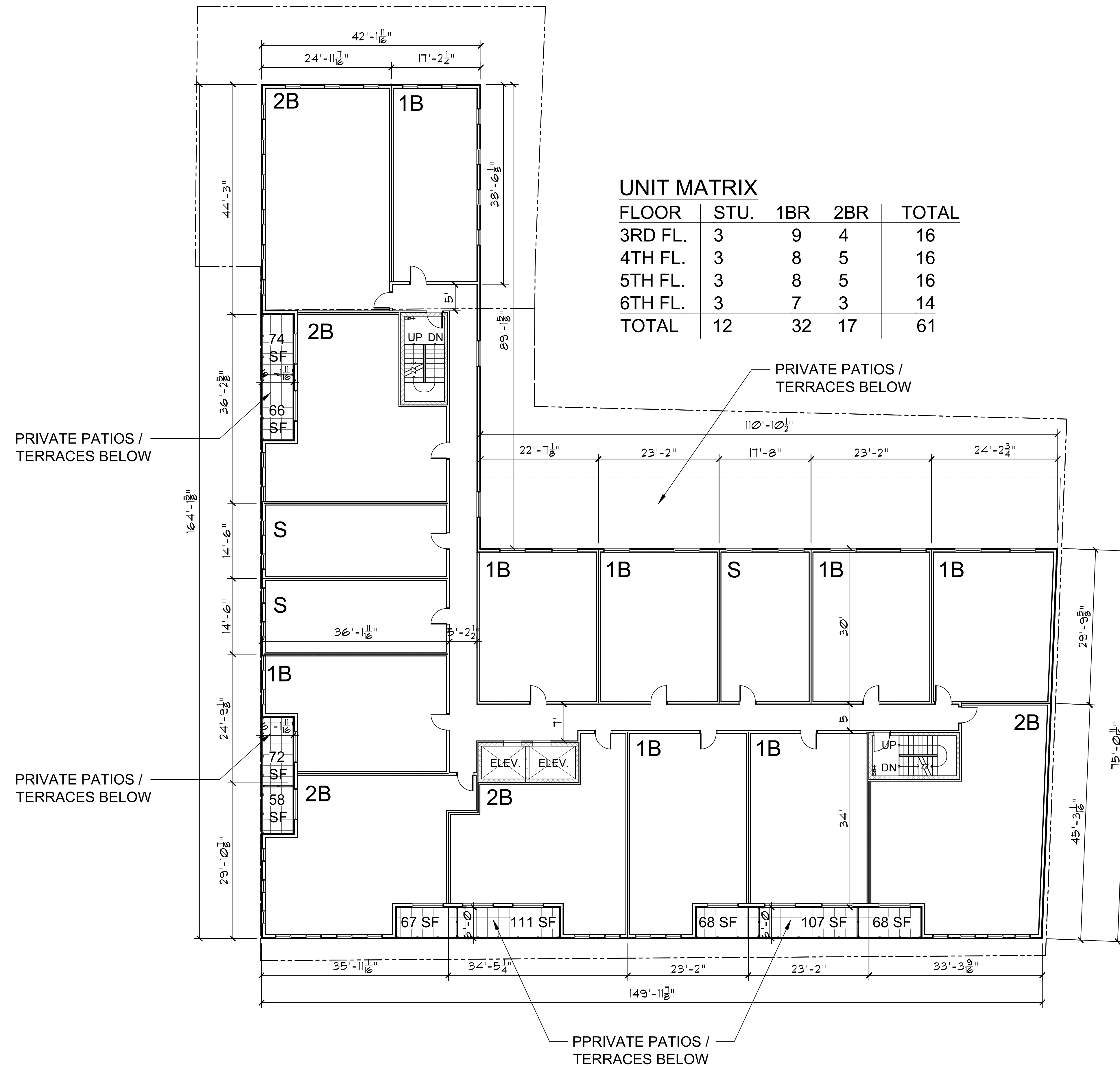
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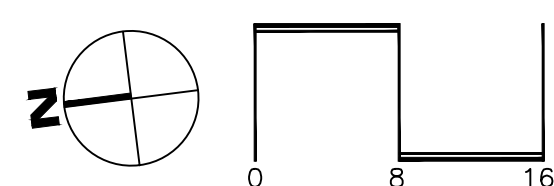


\*NOTE: UNIT MIX AND INTERIOR LAYOUT SUBJECT TO CHANGE

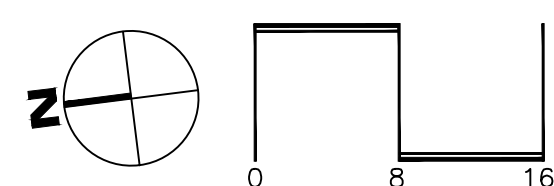
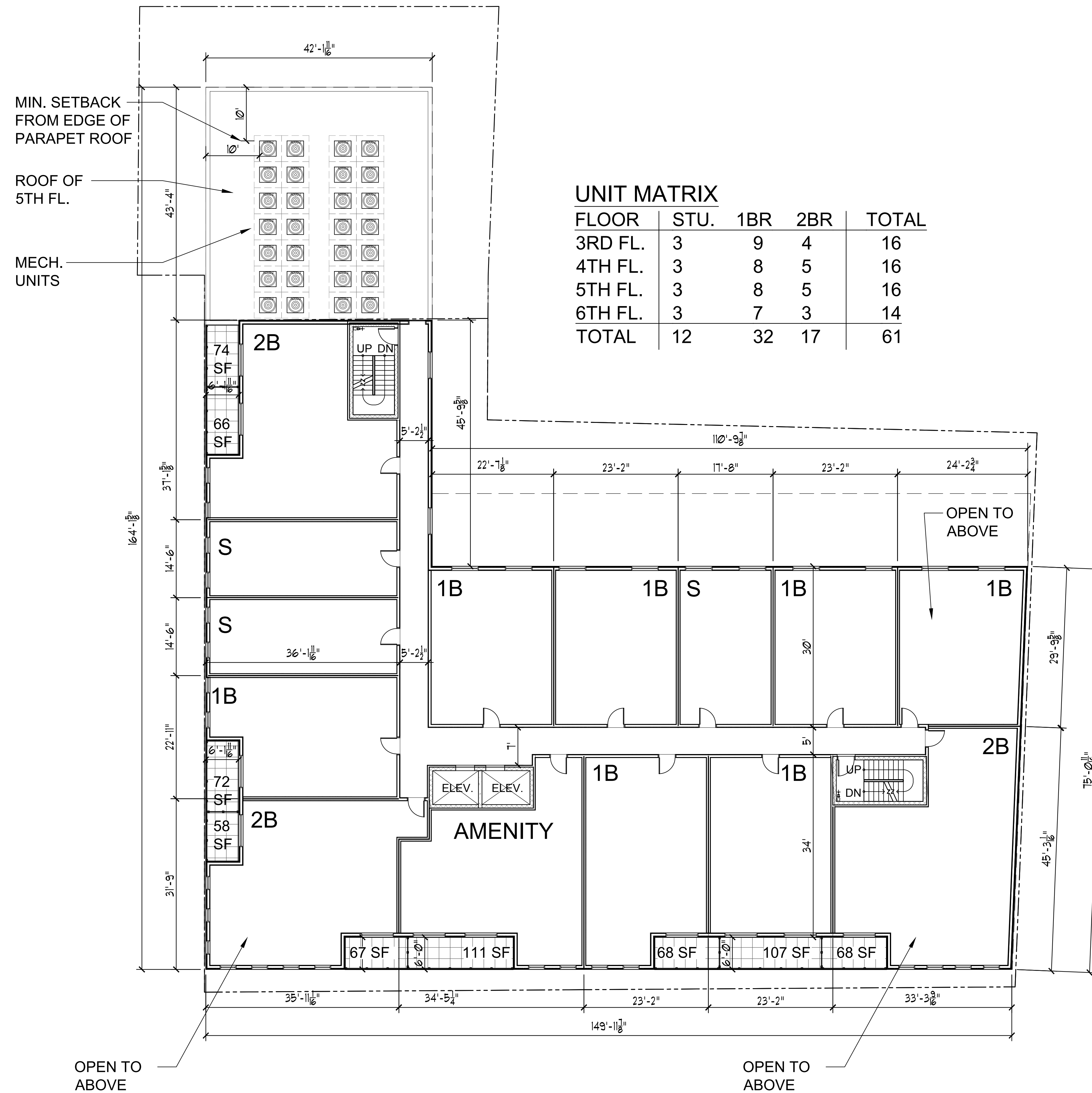


**UNIT MATRIX**

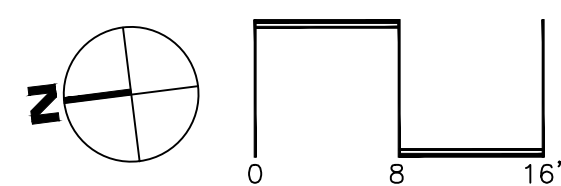
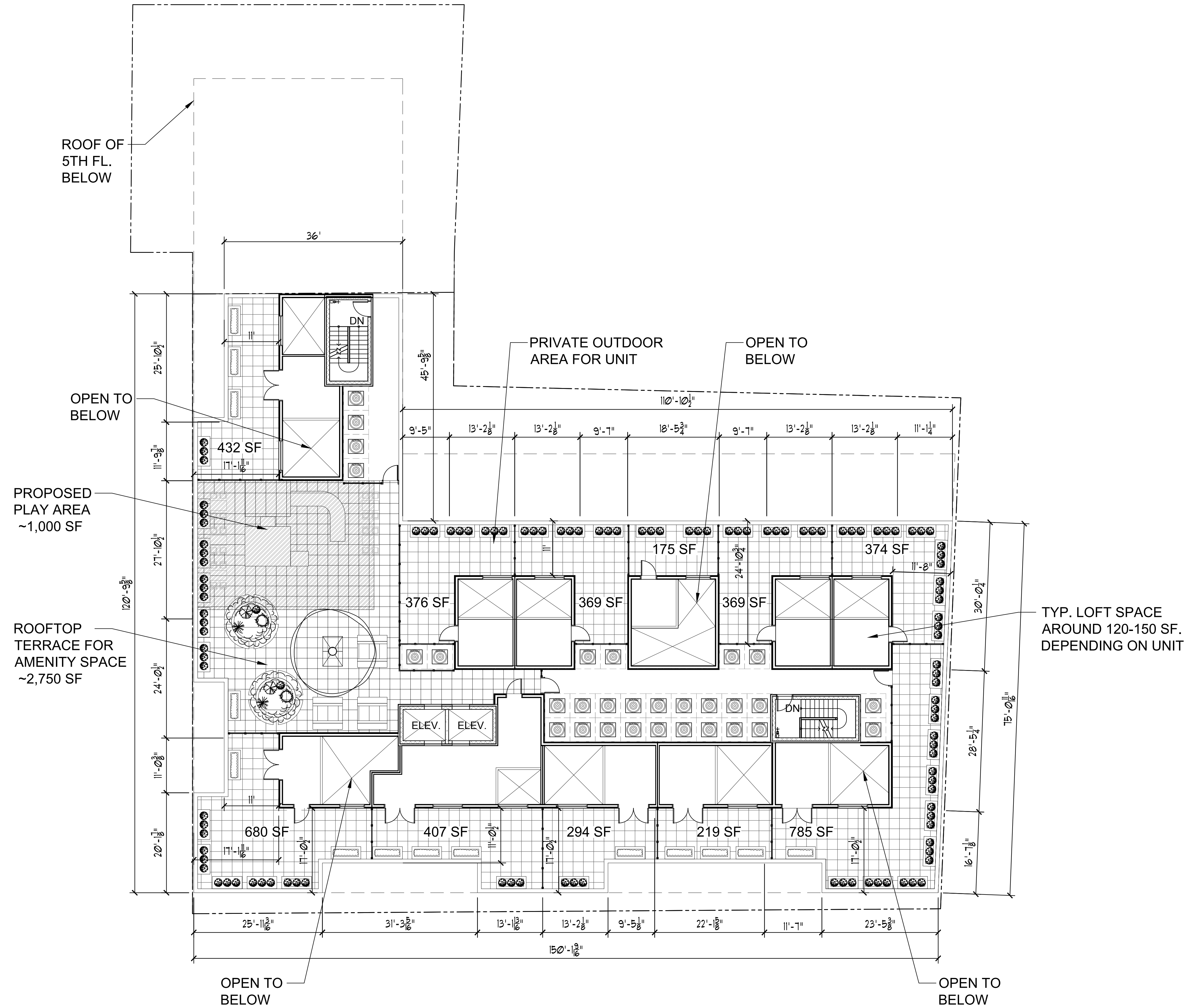
FLOOR	STU.	1BR	2BR	TOTAL
3RD FL.	3	9	4	16
4TH FL.	3	8	5	16
5TH FL.	3	8	5	16
6TH FL.	3	7	3	14
<b>TOTAL</b>	<b>12</b>	<b>32</b>	<b>17</b>	<b>61</b>

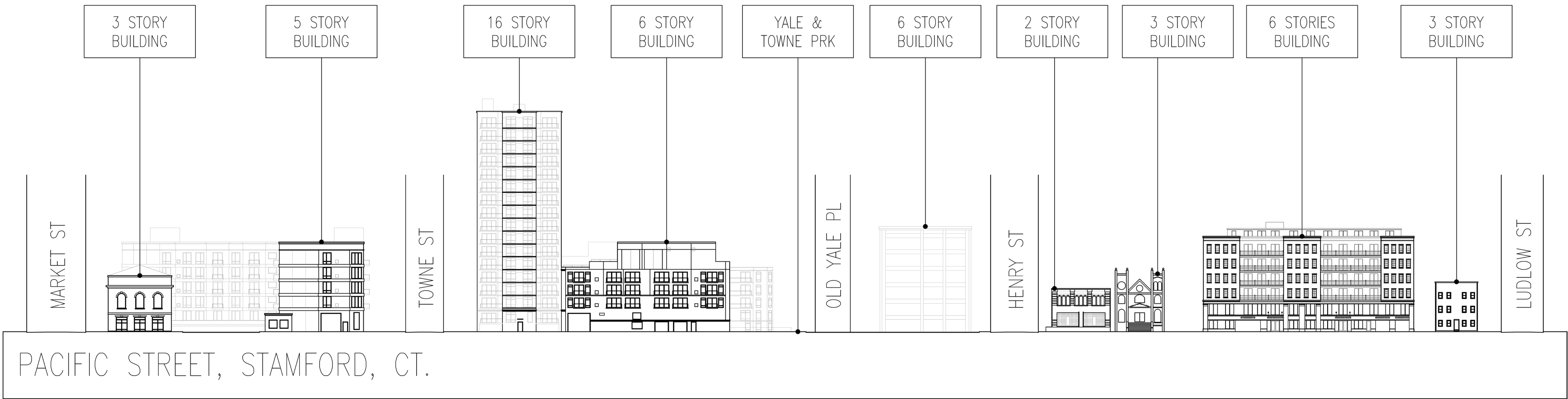


\*NOTE: UNIT MIX AND INTERIOR LAYOUT SUBJECT TO CHANGE



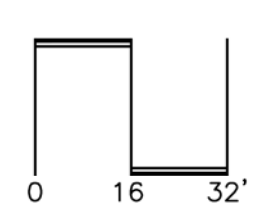
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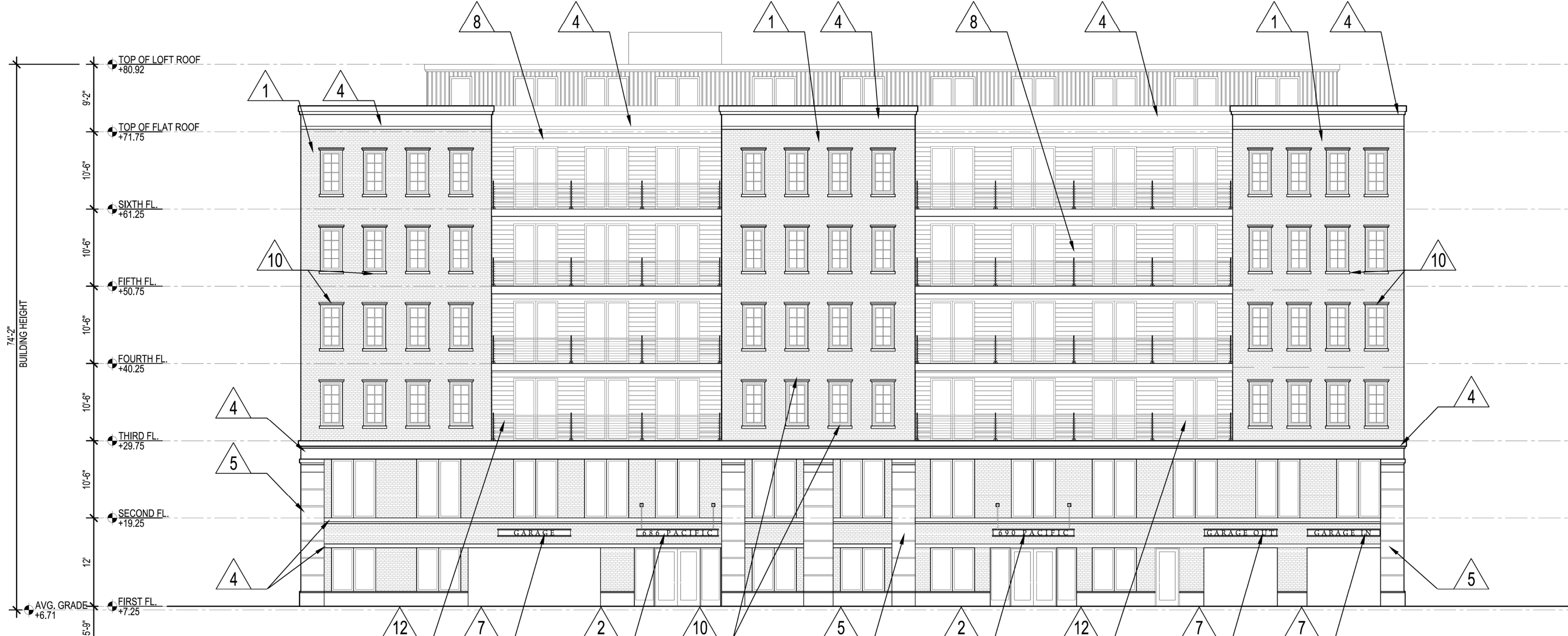
**1** **STREETSCAPE ELEVATION @ PACIFIC STREET**  
1/32" = 1'-0"

**HENRY & PACIFIC ST.**  
 STAMFORD, CT



**HOGG HOLDINGS**  
**DO H. CHUNG & PARTNERS**

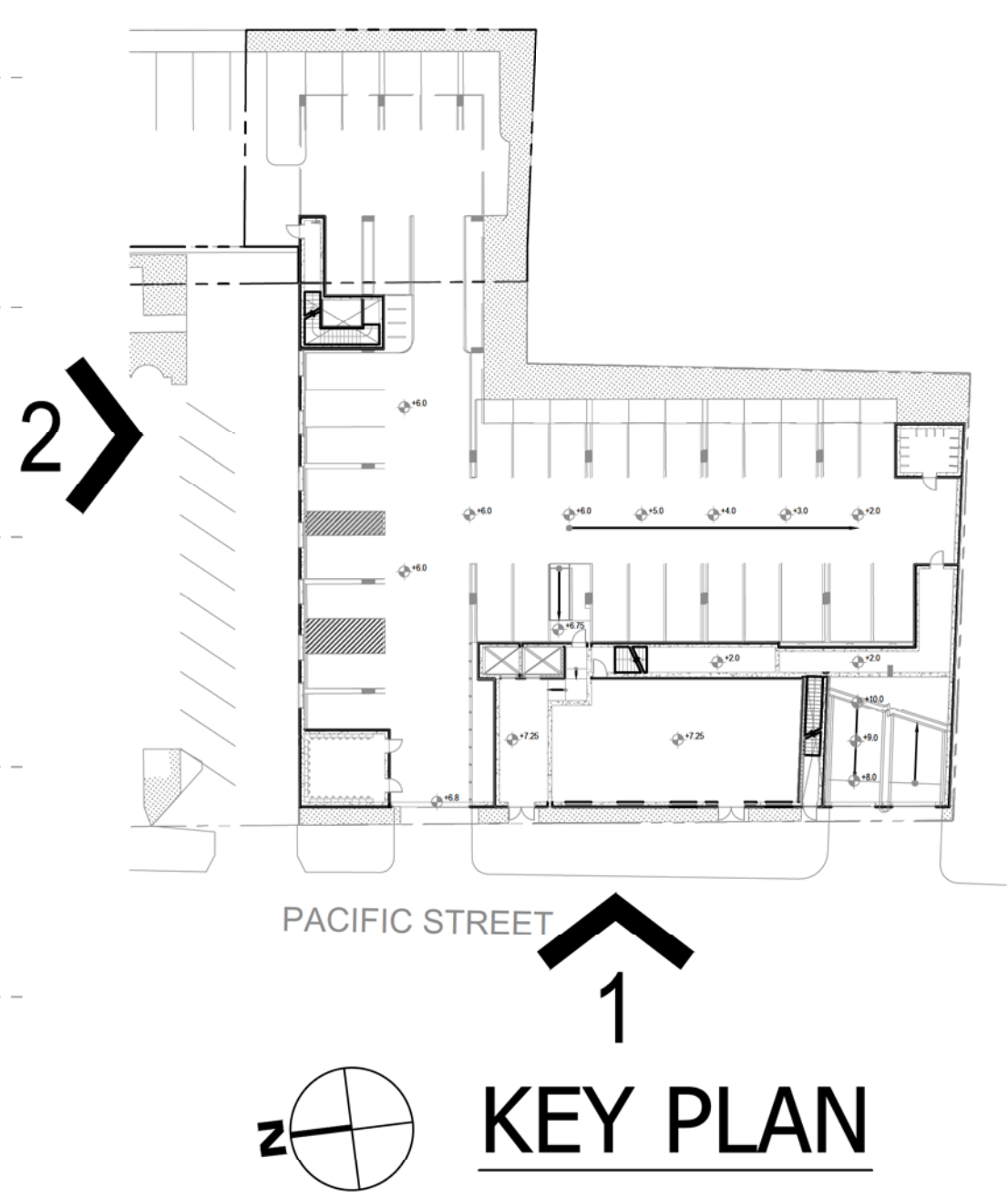
**PROPOSED STREETSCAPE**  
**ELEVATION**  
S: 1/32" = 1'-0"  
DATE: 1-10-2022



**1 FRONT ELEVATION @ PACIFIC STREET**  
1/8"=1'-0"



**2 NORTH ELEVATION**  
1/8"=1'-0"



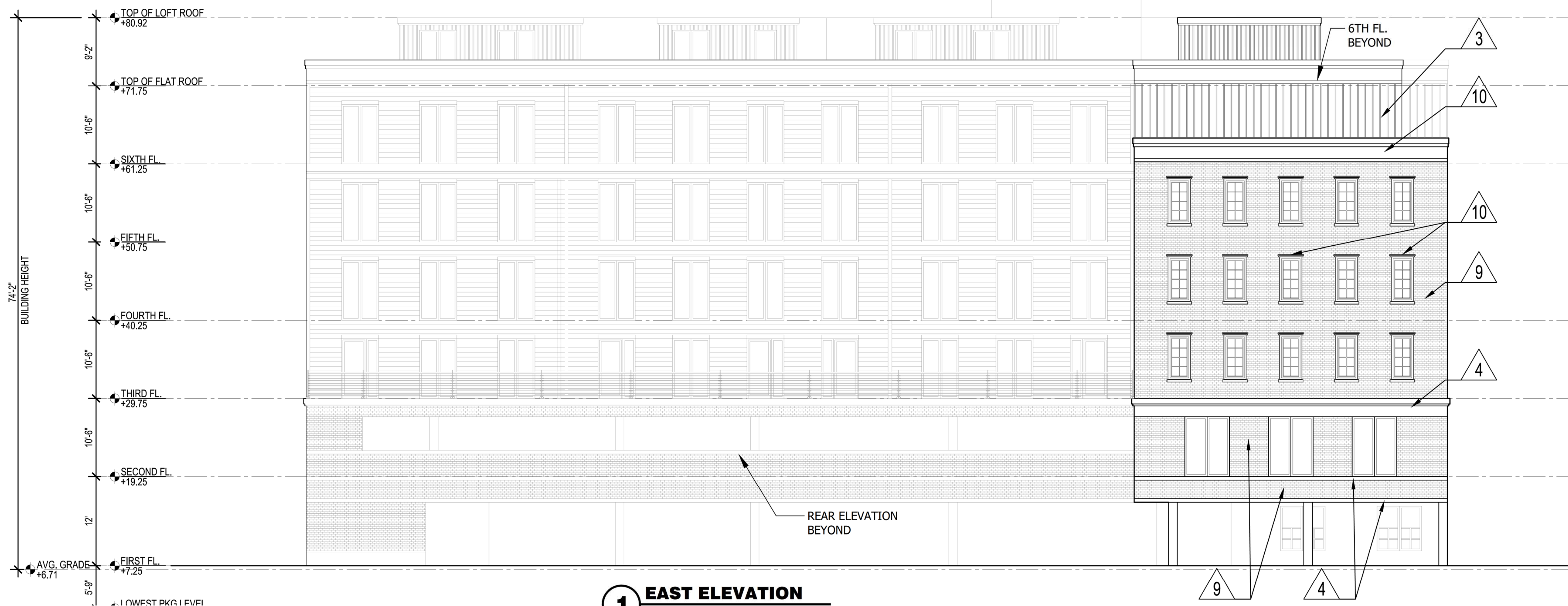
**LEGEND**

1 BRICK VENEER	7 METAL SIGNAGE
2 METAL CANOPY	8 LAP SIDING
3 BOARD & BATTEN SIDING	9 STO CREATIV BRICK
4 STONE FINISH CORNICE	10 STONE FINISH TRIM
5 CEMENTITIOUS STUCCO FINISH	4 AZEK BOARD AND TRIM
6 TEXTURED STUCCO FINISH	12 CABLE SYSTEM RAILING

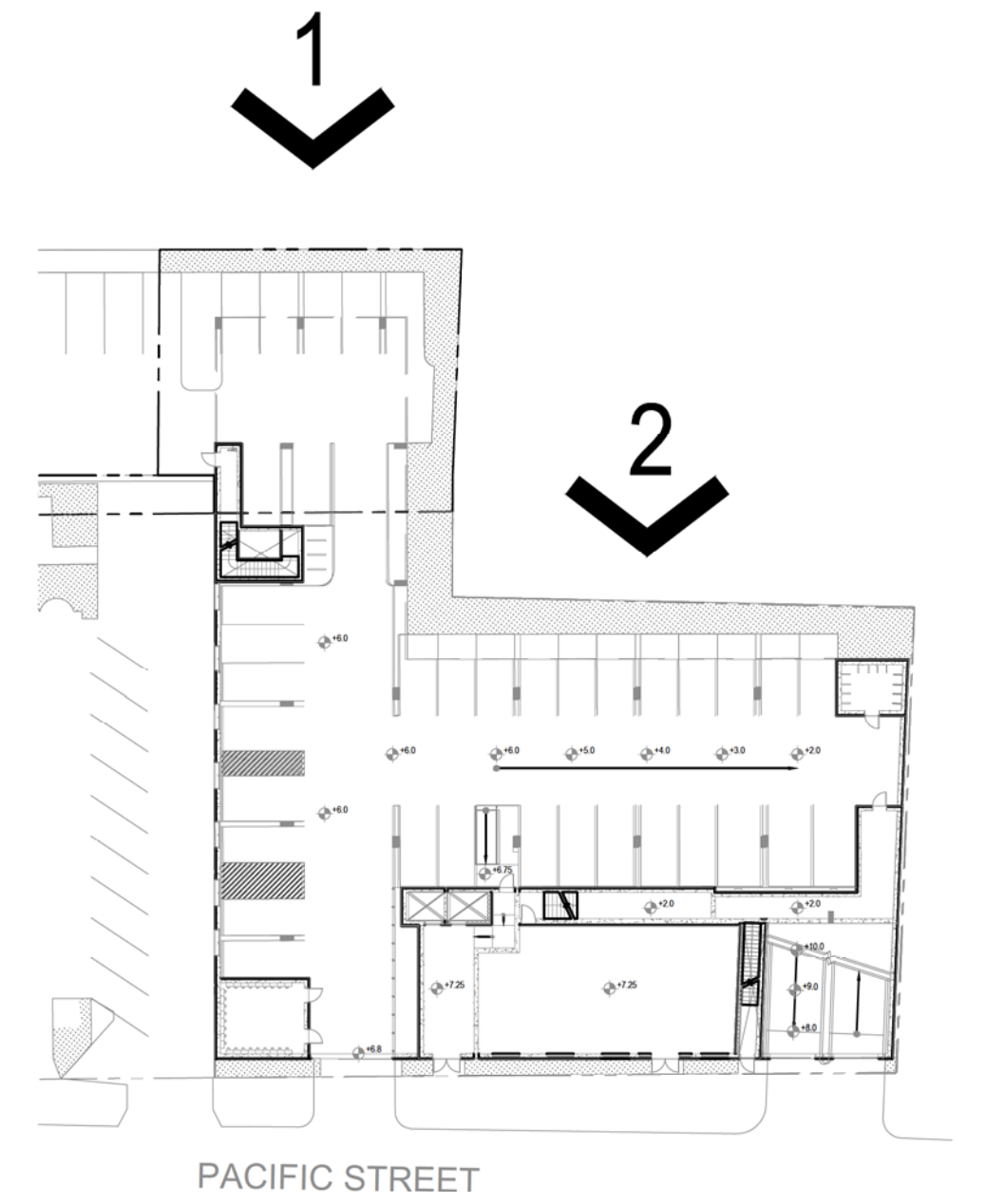
**HENRY & PACIFIC ST.**  
STAMFORD, CT

**HOGG HOLDINGS**  
**DO H. CHUNG & PARTNERS**

**ELEVATIONS**  
S: 1/8" = 1'-0"  
DATE: 1-10-2022

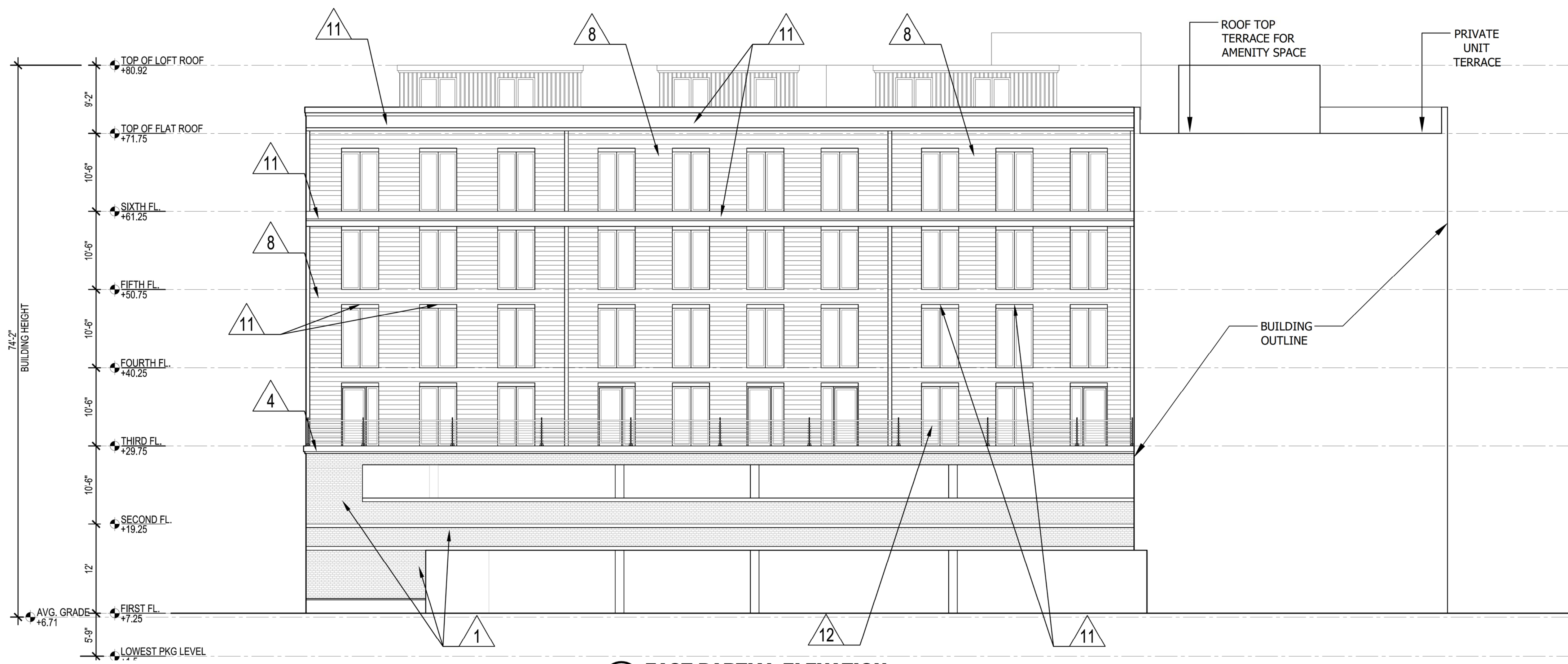


**1 EAST ELEVATION**  
1/8"=1'-0"



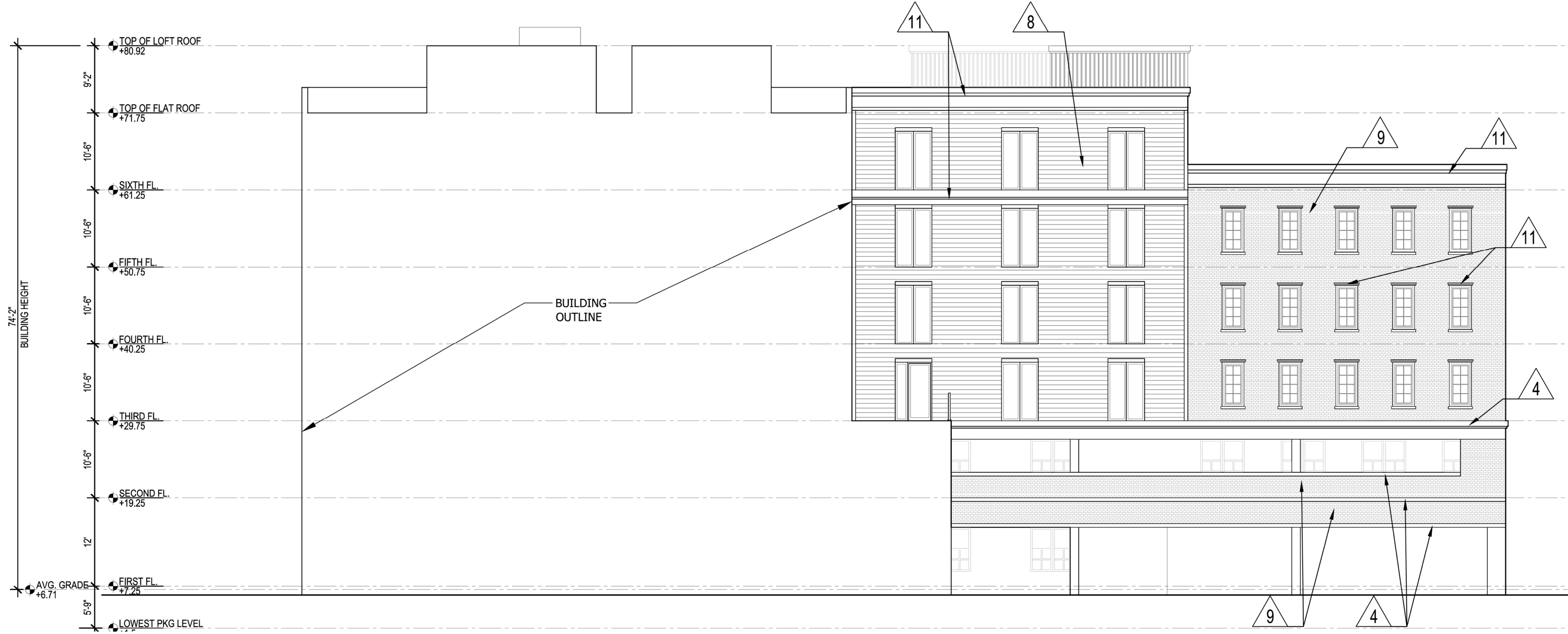
**KEY PLAN**

LEGEND			
1	BRICK VENEER	7	METAL SIGNAGE
2	METAL CANOPY	8	LAP SIDING
3	BOARD & BATTEN SIDING	9	STO CREATIV BRICK
4	STONE FINISH CORNICE	10	STONE FINISH TRIM
5	CEMENTITIOUS STUCCO FINISH	11	AZEK BOARD AND TRIM
6	TEXTURED STUCCO FINISH	12	CABLE SYSTEM RAILING

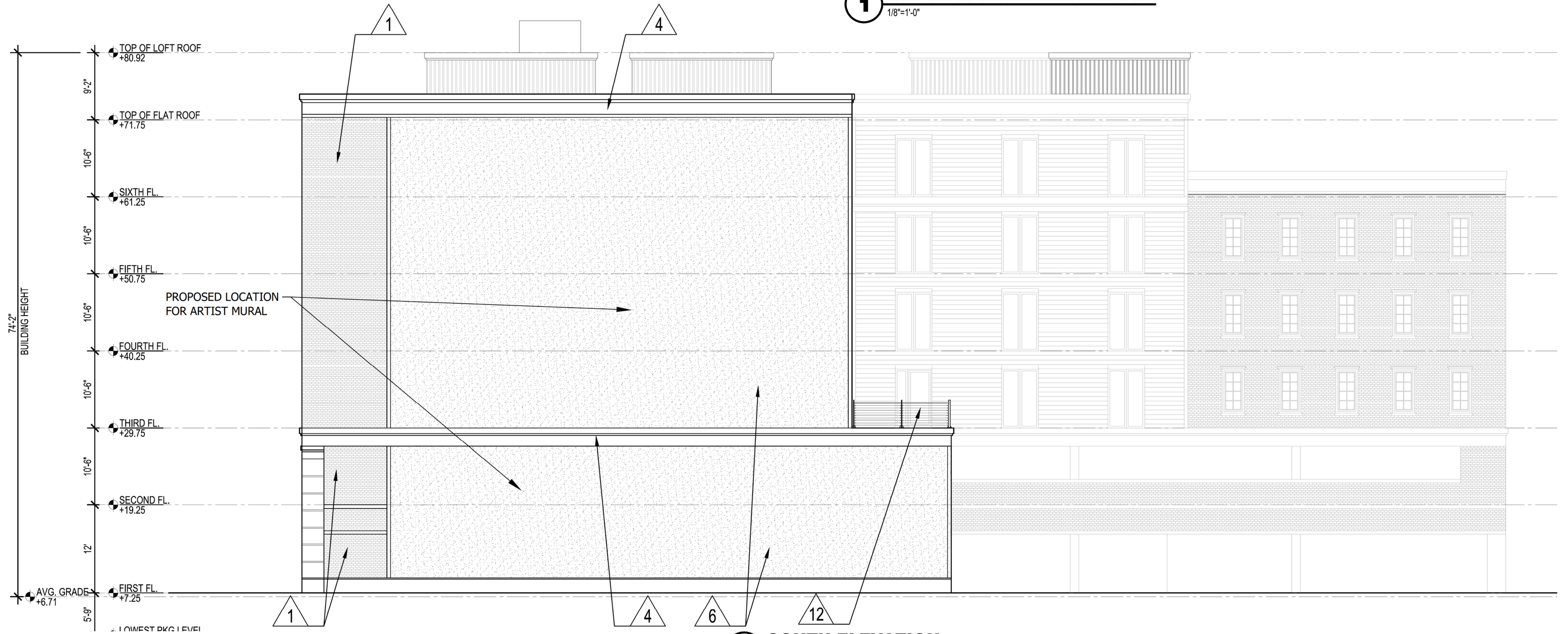


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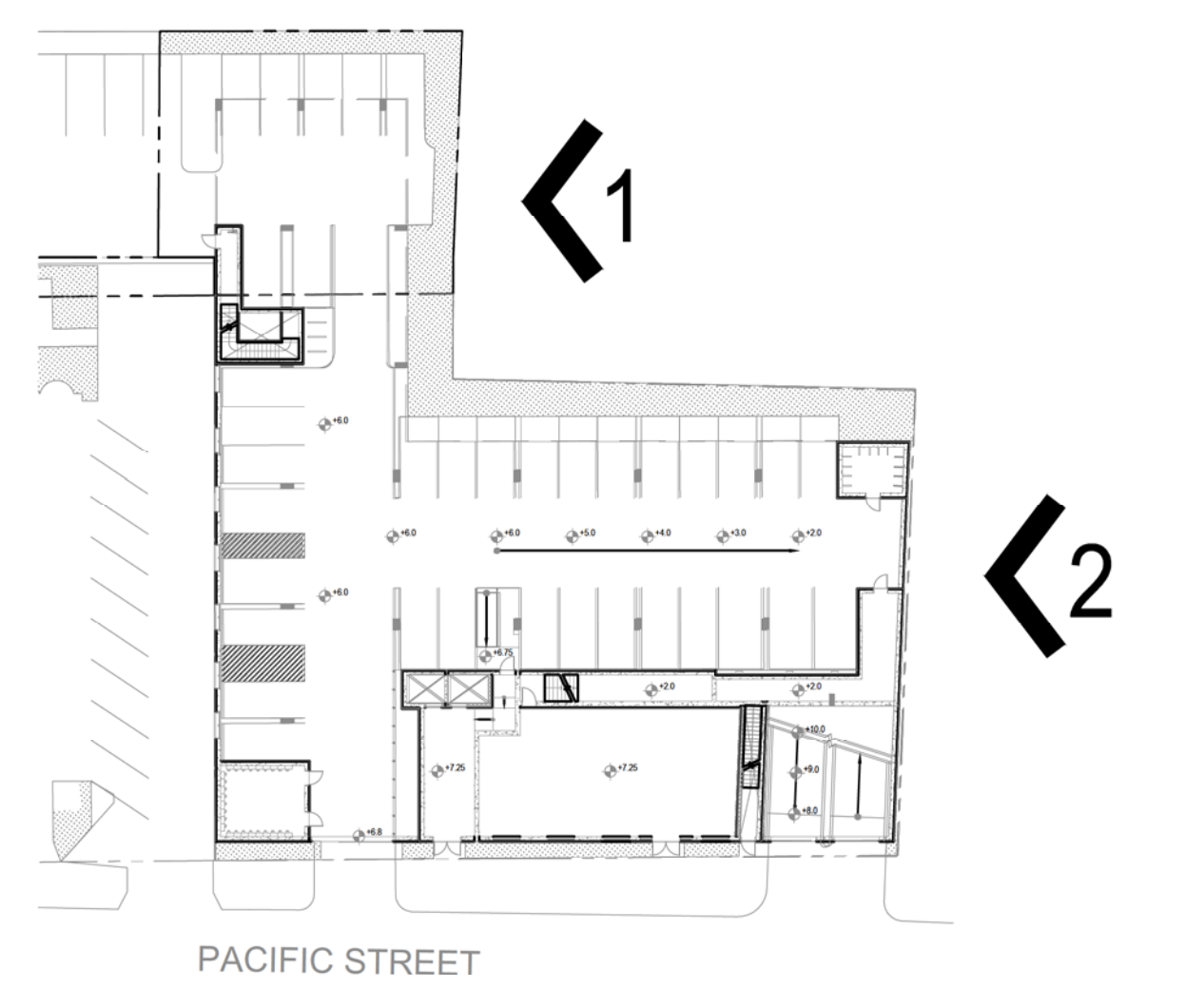




**1 SOUTH PARTIAL ELEVATION**  
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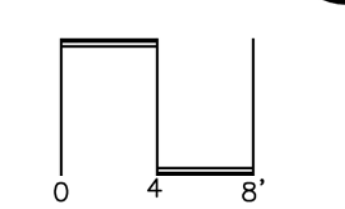
**2 SOUTH ELEVATION**  
1/8"=1'-0"



**KEY PLAN**

**LEGEND**

1 BRICK VENEER	7 METAL SIGNAGE
2 METAL CANOPY	8 LAP SIDING
3 BOARD & BATTEN SIDING	9 STO CREATIV BRICK
4 STONE FINISH CORNICE	10 STONE FINISH TRIM
5 CEMENTITIOUS STUCCO FINISH	11 AZEK BOARD AND TRIM
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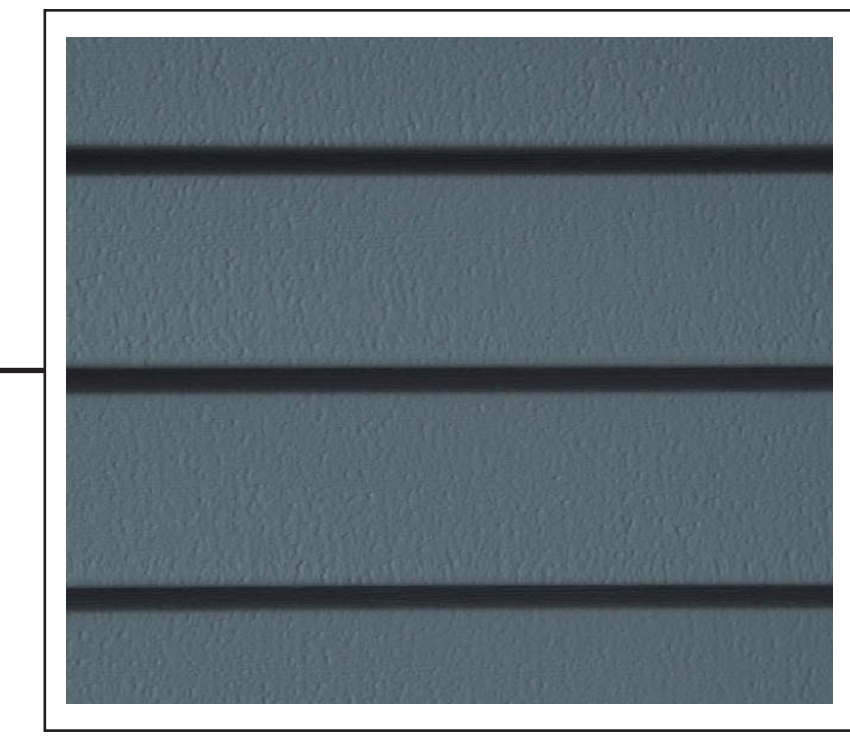
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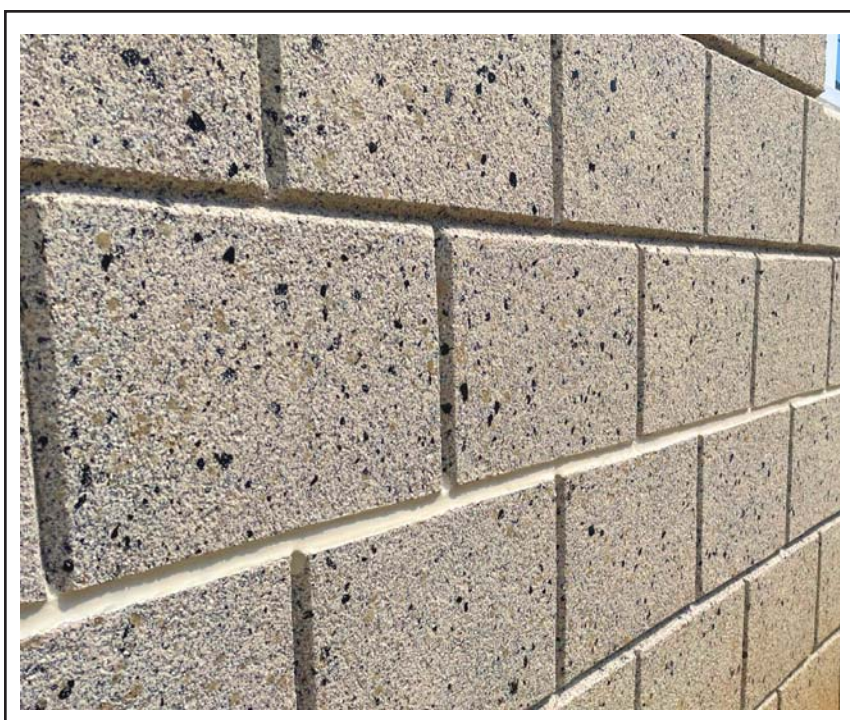
PANELIZED  
STONE  
CORNICE



FIBER CEMENT  
LAP SIDING  
OCEAN BLUE



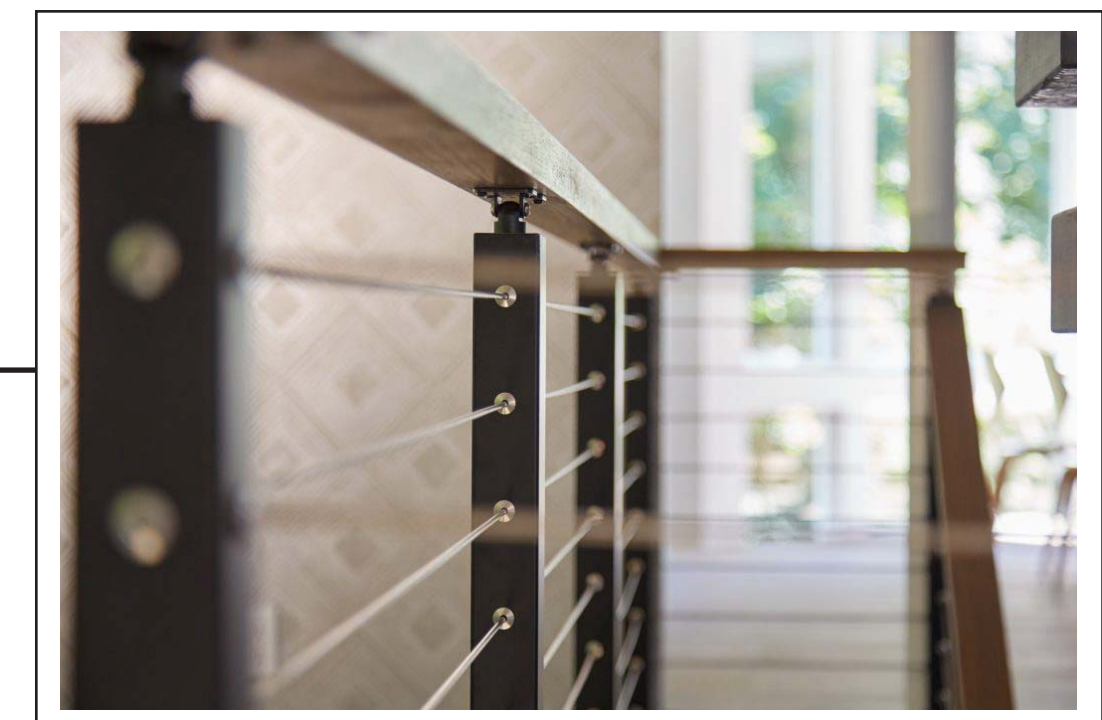
FRAMED METAL  
WITH MESH INSERTS



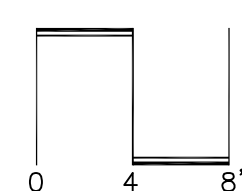
CEMENTITIOUS  
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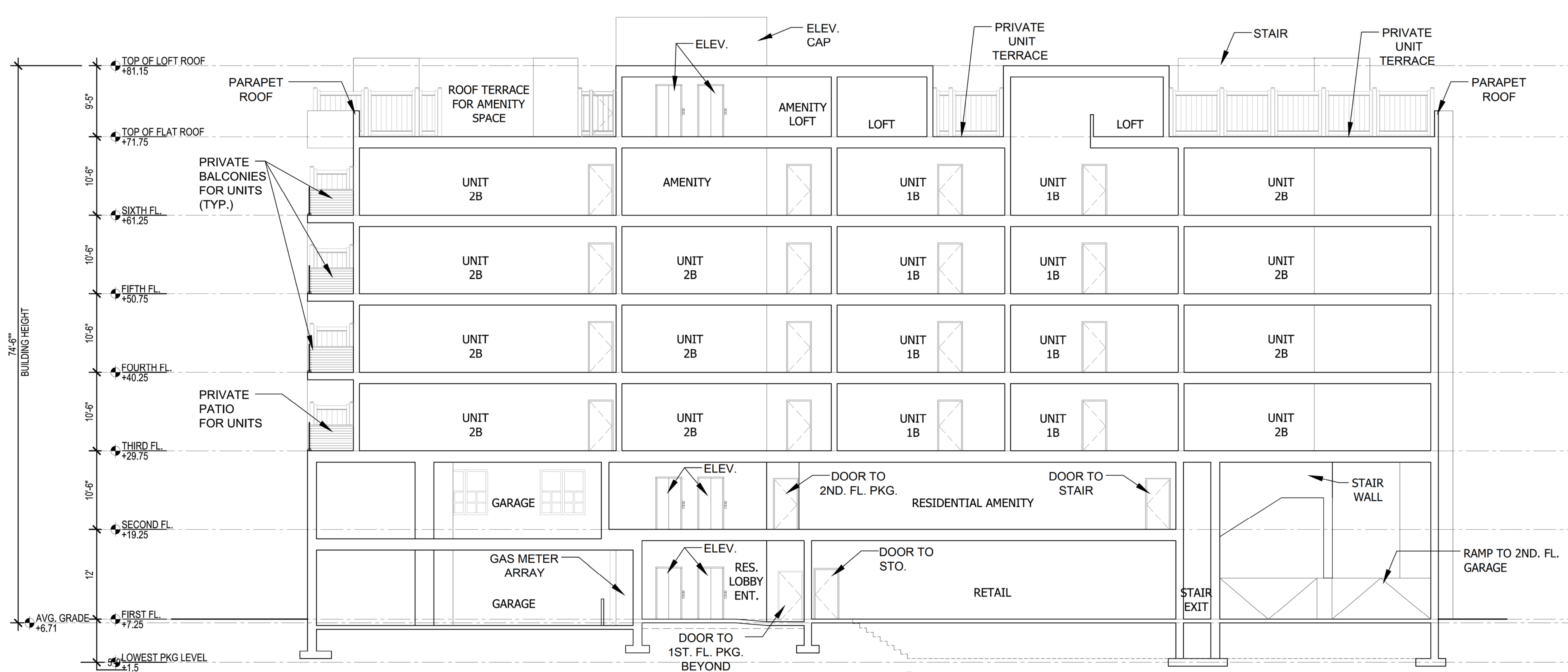


METAL CANOPY &  
STOREFRONT WINDOWS

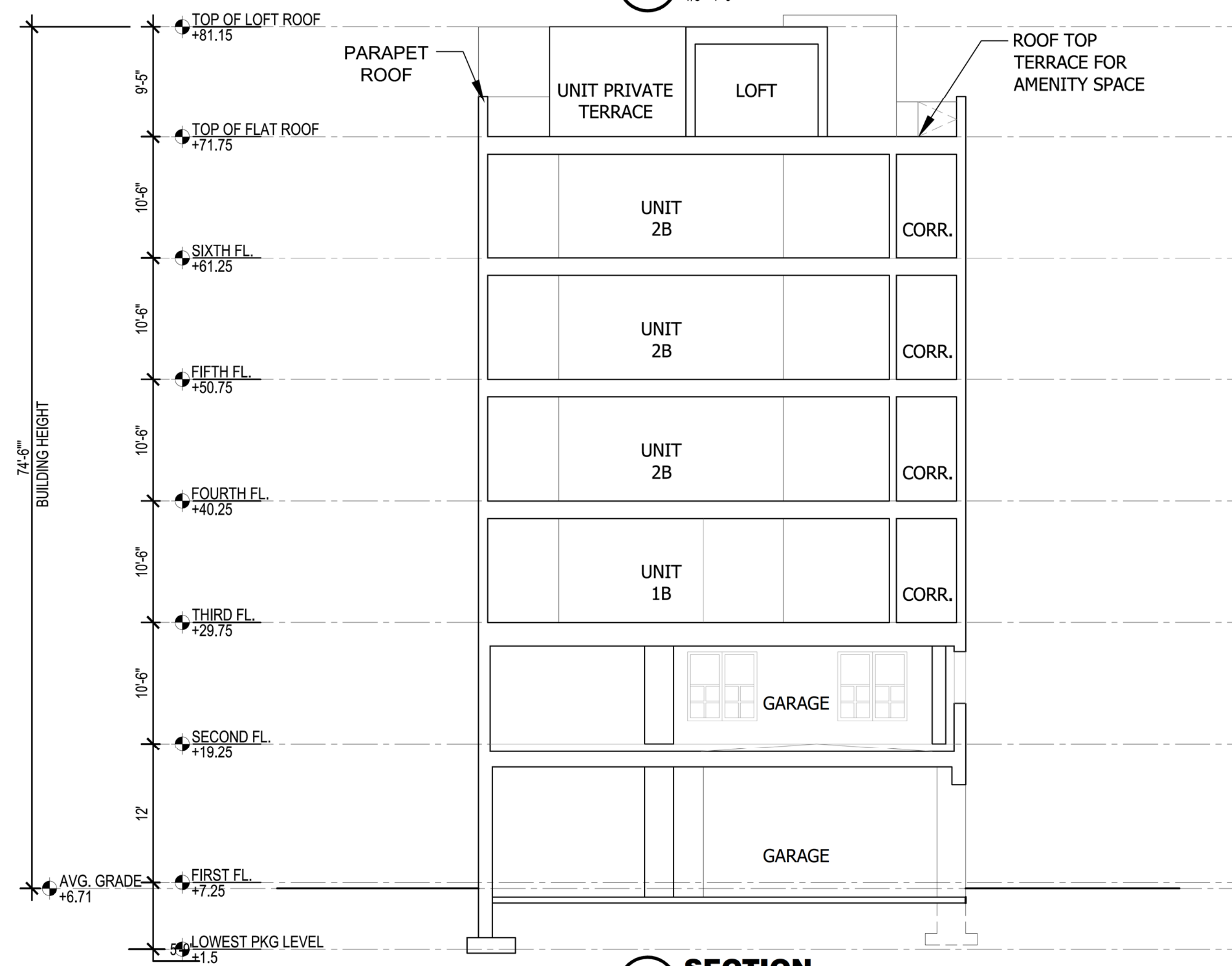


ALUMINUM CABLE WIRE  
RAILINGS

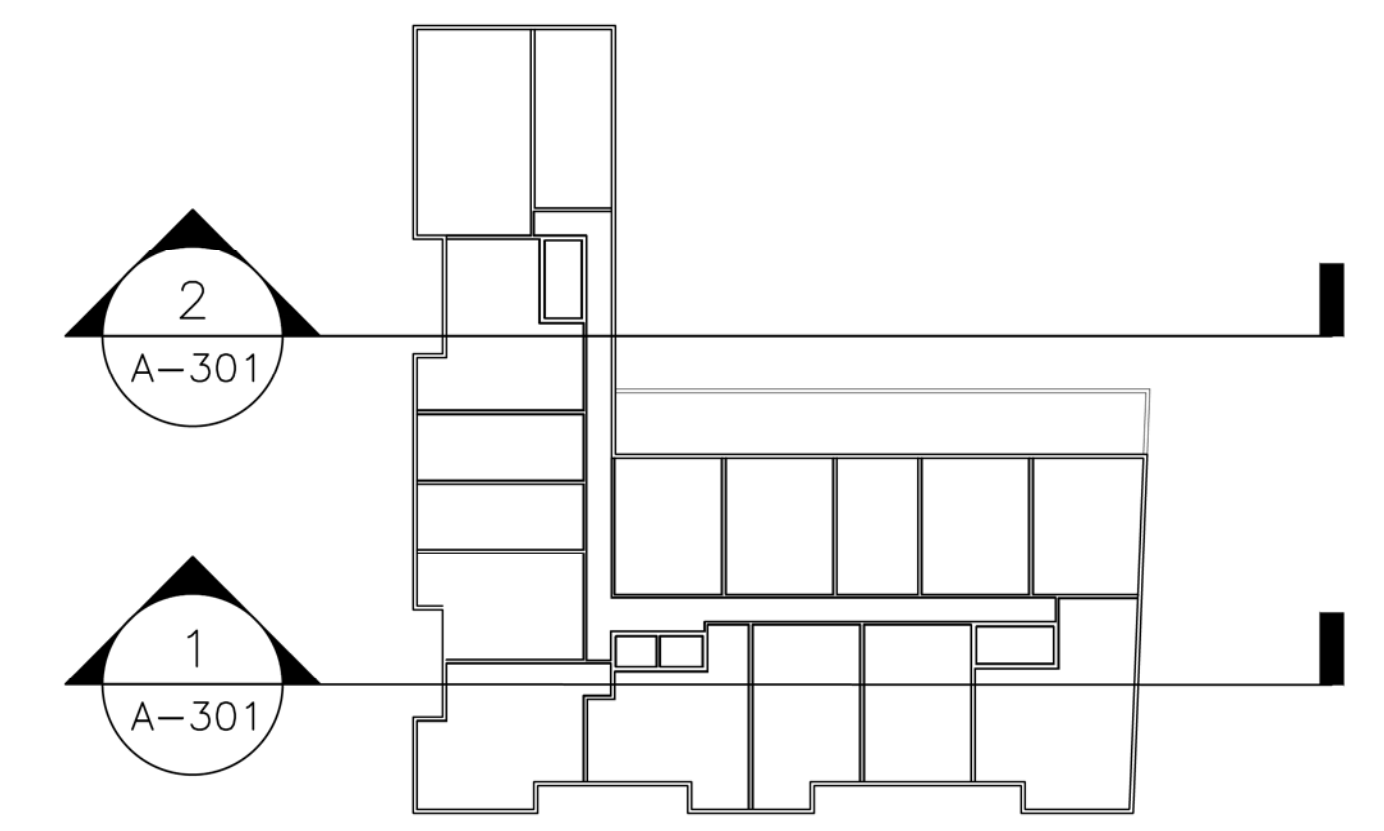




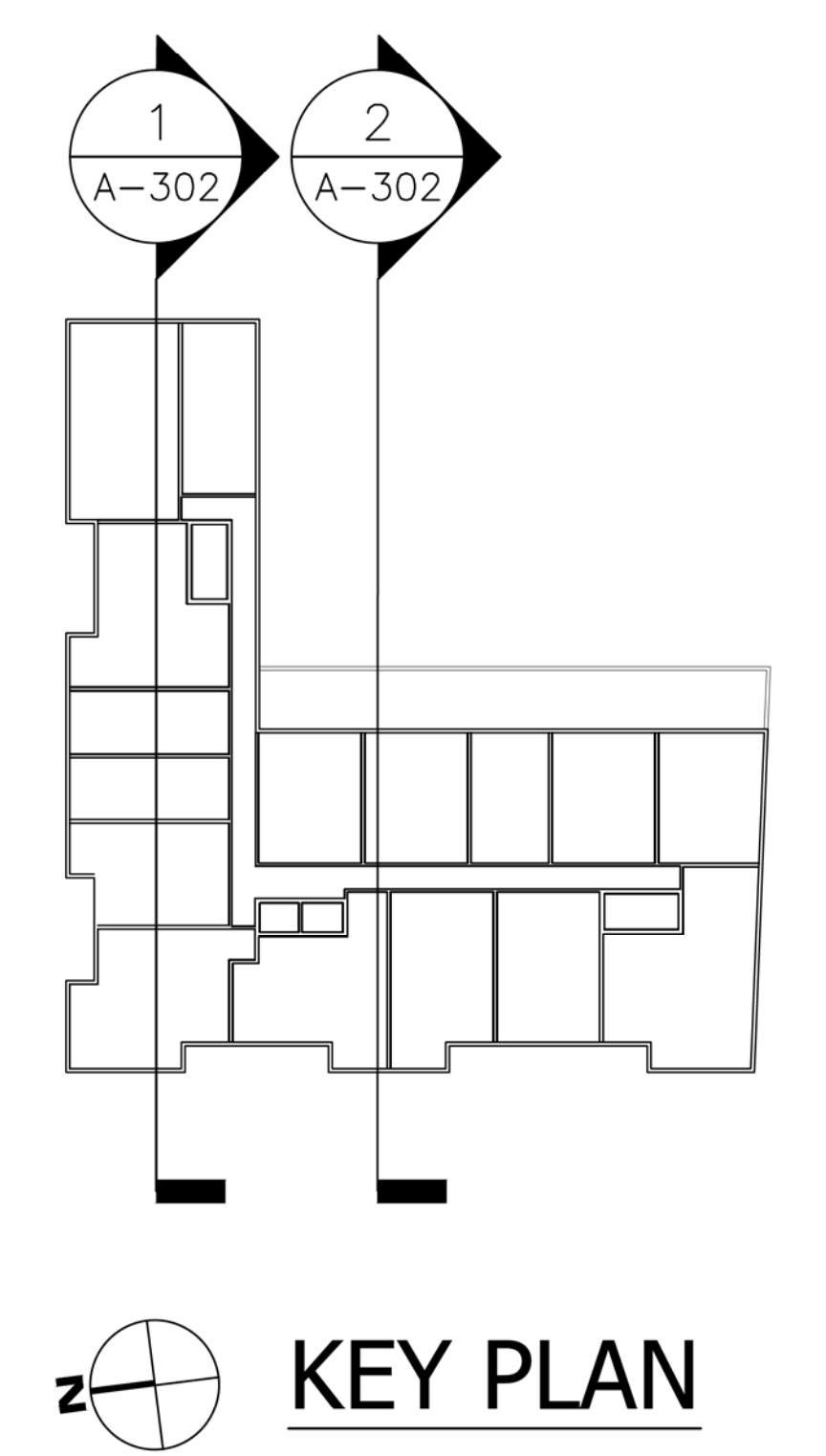
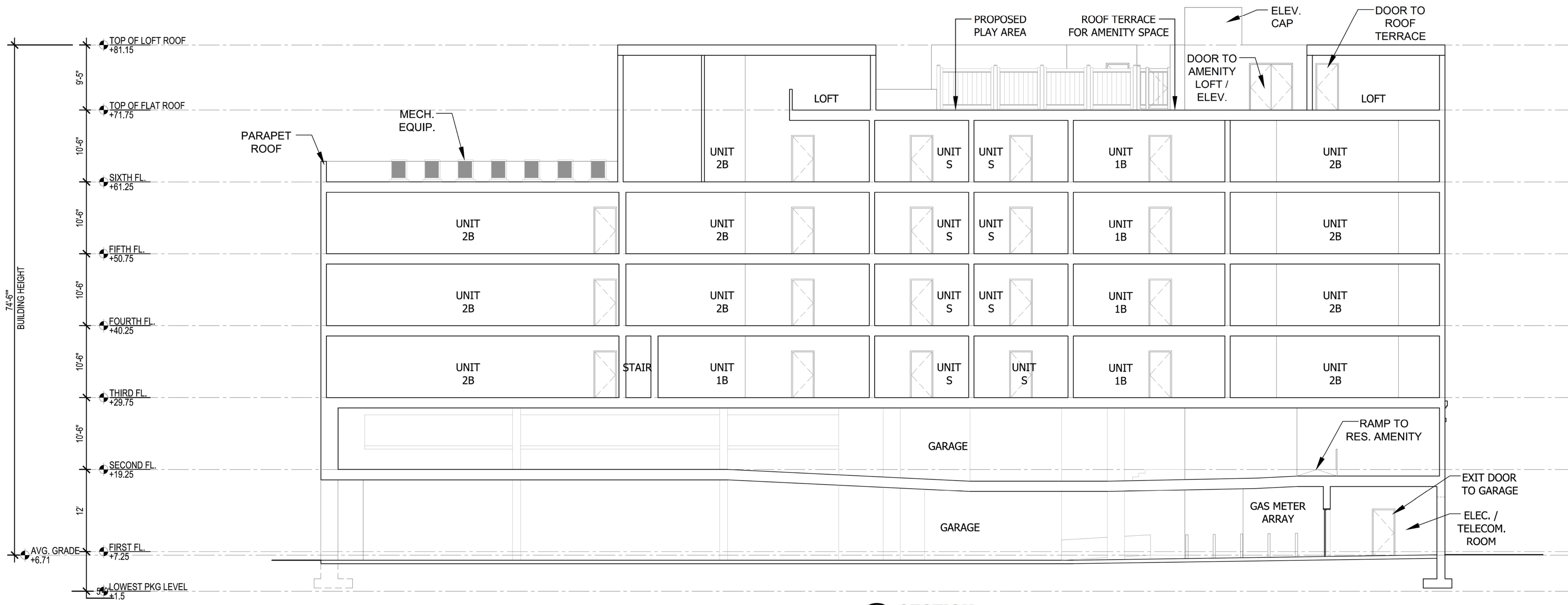
**1 SECTION**  
1/8"=1'-0"



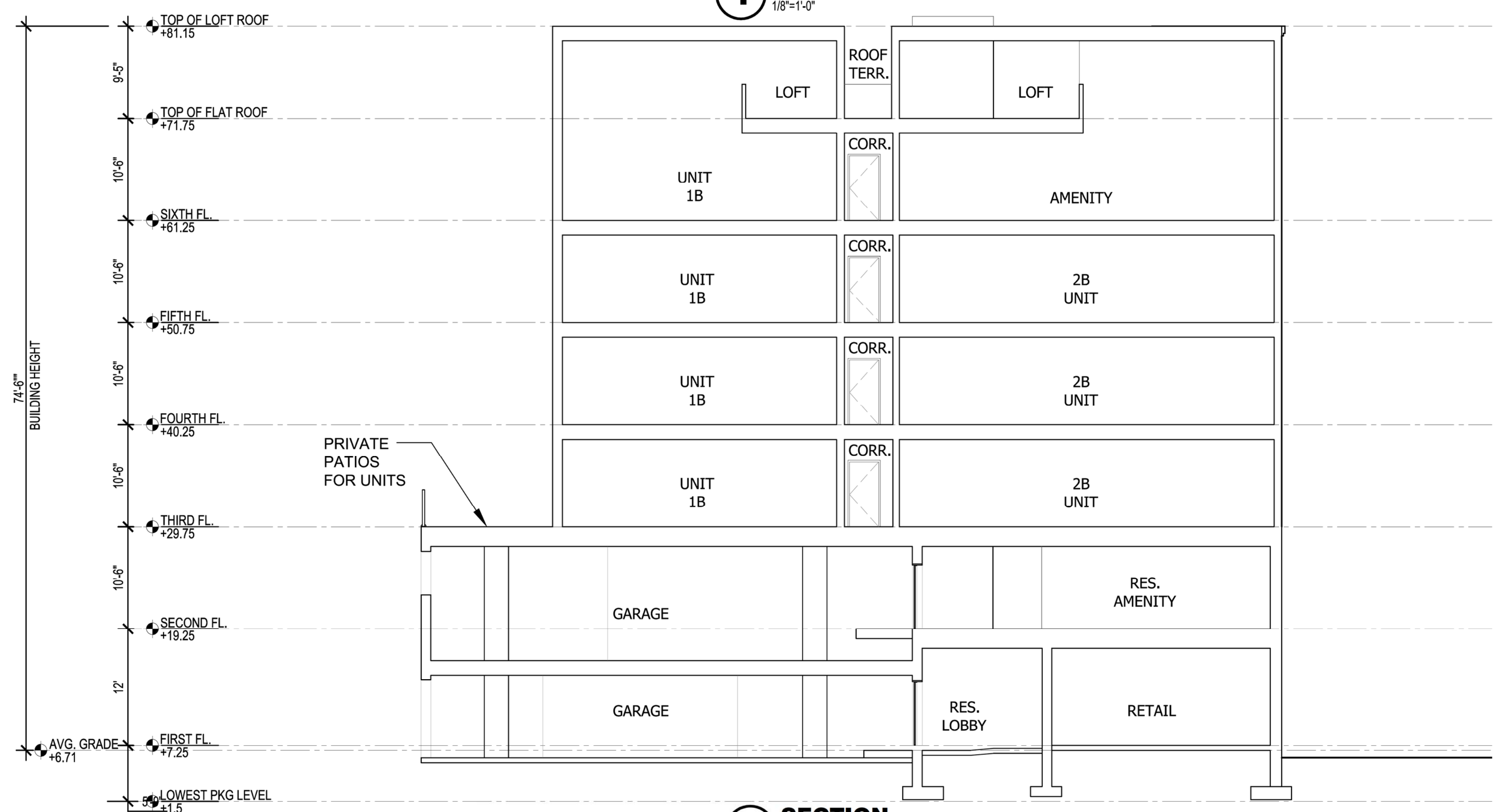
**2 SECTION**  
1/8"=1'-0"



**KEY PLAN**



**1 SECTION**  
1/8"=1'-0"



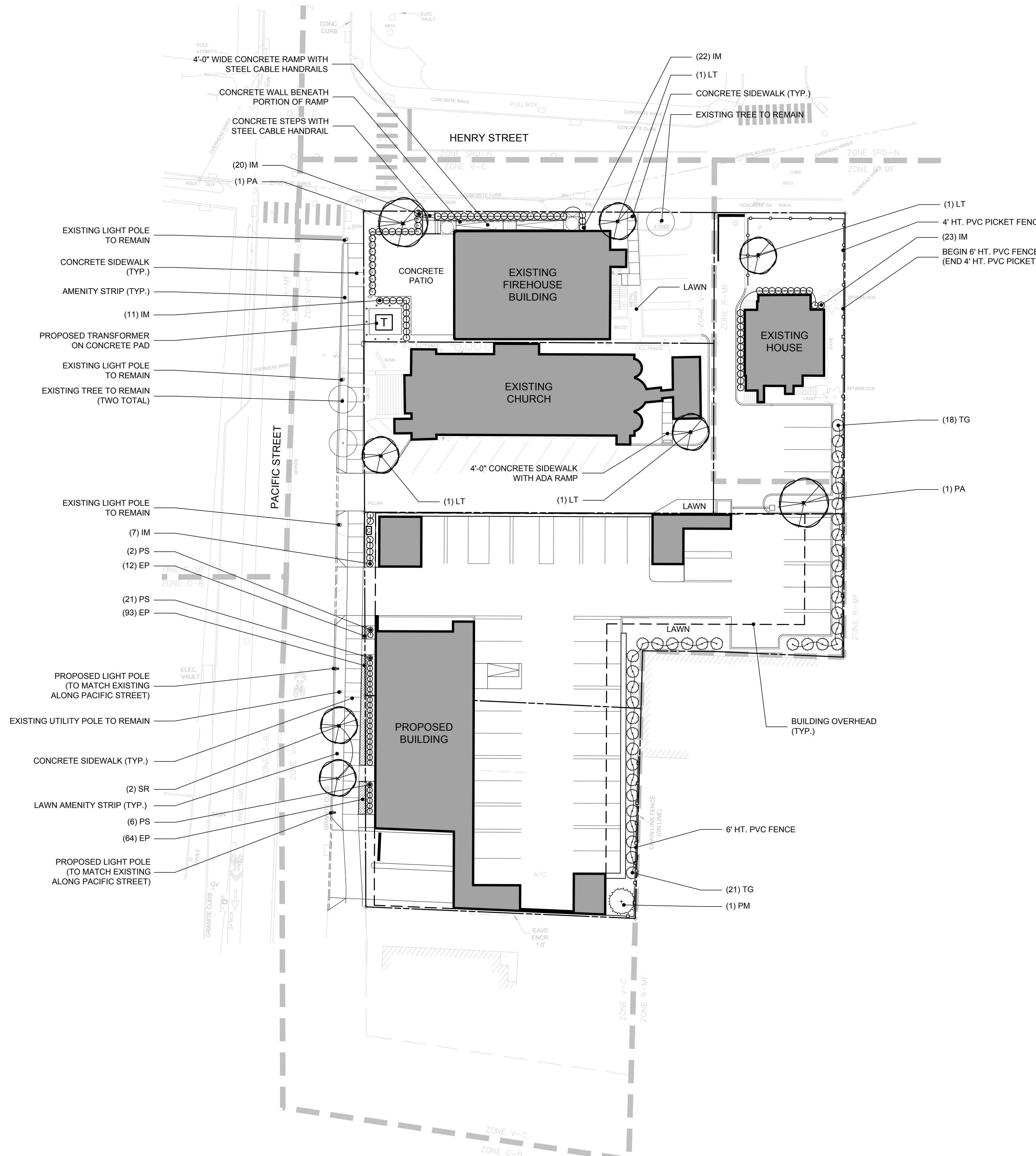
**2 SECTION**  
1/8"=1'-0"

HENRY & PACIFIC ST.  
STAMFORD, CT

HOGG HOLDINGS  
DO H. CHUNG & PARTNERS

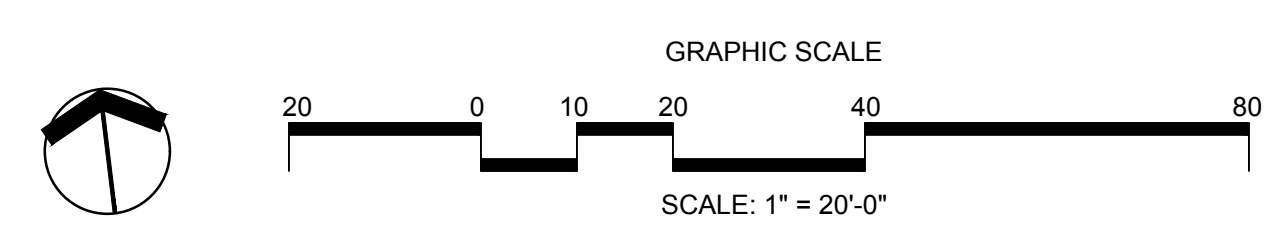
TYP. SECTIONS  
S: 1/8" = 1'-0"  
DATE: 10-8-2021

A - 302



- 4'-0" WIDE CONCRETE RAMP WITH STEEL CABLE HANDRAILS
- CONCRETE WALL BENEATH PORTION OF RAMP
- CONCRETE STEPS WITH STEEL CABLE HANDRAIL
- (20) IM
- (1) PA
- EXISTING LIGHT POLE TO REMAIN
- CONCRETE SIDEWALK (TYP.)
- AMENITY STRIP (TYP.)
- (11) IM
- PROPOSED TRANSFORMER ON CONCRETE PAD
- EXISTING LIGHT POLE TO REMAIN
- EXISTING TREE TO REMAIN (TWO TOTAL)
- EXISTING LIGHT POLE TO REMAIN
- (7) IM
- (2) PS
- (12) EP
- (21) PS
- (93) EP
- PROPOSED LIGHT POLE (TO MATCH EXISTING ALONG PACIFIC STREET)
- EXISTING UTILITY POLE TO REMAIN
- CONCRETE SIDEWALK (TYP.)
- (2) SR
- LAWN AMENITY STRIP (TYP.)
- (6) PS
- (64) EP
- PROPOSED LIGHT POLE (TO MATCH EXISTING ALONG PACIFIC STREET)
- (22) IM
- (1) LT
- CONCRETE SIDEWALK (TYP.)
- EXISTING TREE TO REMAIN
- (1) LT
- 4' HT. PVC PICKET FENCE
- (23) IM
- BEGIN 6' HT. PVC FENCE (END 4' HT. PVC PICKET)
- (18) TG
- (1) PA
- (1) LT
- (1) LT
- (1) LT
- (1) PM
- (21) TG
- 6' HT. PVC FENCE

**NOTES:**  
 1. REFER TO SPL-2.0 FOR PLANTING SCHEDULE, NOTES AND DETAILS.  
 2. THIS DRAWING IS FOR APPROVALS ONLY AND NOT TO BE USED FOR CONSTRUCTION.



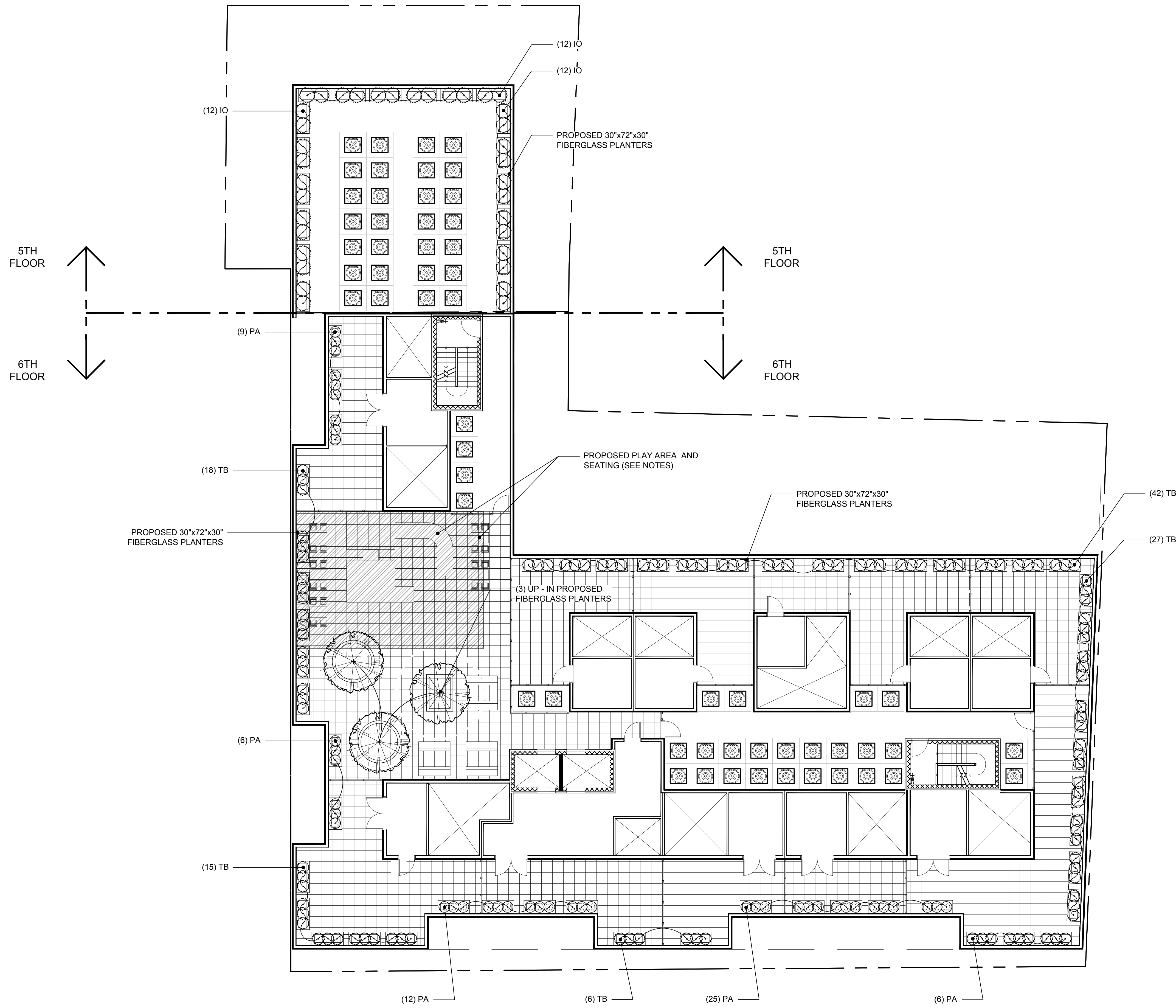
NO.	ISSUE	DATE
7		
6		22.01.31
5	ZONING SUBMISSION - REVISED PER COMMENTS	22.01.07
4	ZONING SUBMISSION - REVISED PER COMMENTS	21.10.08
3	ZONING SUBMISSION	21.10.01
2	DRAFT CITY SUBMISSION	21.10.01
1	DRAFT - FOR TEAM REVIEW	21.09.21



**648, 670, 686 & 690 PACIFIC STREET & 171 HENRY STREET**  
 STAMFORD, CT

PROJECT: LANDSCAPE SITE PLAN  
 DATE: 2022.01.12  
 SCALE: 1"=20'-0"

**SPL-1.0**



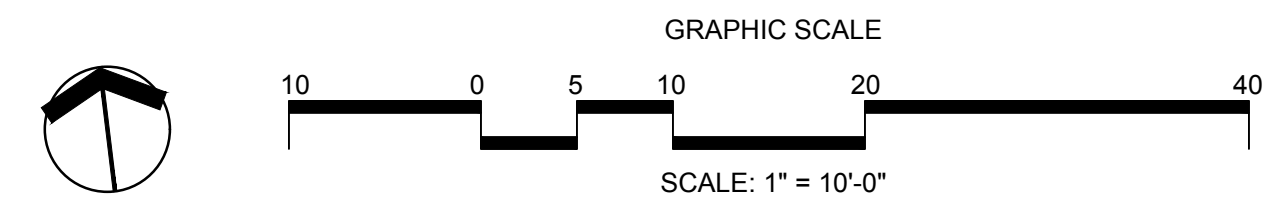
NOTES:  
 1. REFER TO SPL-2.0 FOR PLANTING SCHEDULE, NOTES AND DETAILS.  
 2. IRRIGATION WILL BE PROVIDED TO PLANTERS AS REQUIRED.  
 3. PROPOSED SEATING IS SHOWN FOR REFERENCE. FINAL LOCATION(S) WILL BE DETERMINED BASED ON SELECTION OF PLAY EQUIPMENT.  
 4. THIS DRAWING IS FOR APPROVALS ONLY AND NOT TO BE USED FOR CONSTRUCTION.

NO.	ISSUE	DATE
7		
6	ZONING SUBMISSION - REVISED PER COMMENTS	22.01.31
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4	ZONING SUBMISSION - REVISED PER COMMENTS	22.01.07
3	ZONING SUBMISSION	21.10.08
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1	DRAFT - FOR TEAM REVIEW	21.09.21



648, 670, 686 & 690 PACIFIC STREET & 171 HENRY STREET  
 STAMFORD, CT

PROJECT  
 5TH & 6TH FLOOR ROOF LANDSCAPE PLAN  
 DATE 2022.01.12  
 SCALE 1"=10'-0"



SPL-1.1

**PLANTING SCHEDULE - SITE**

SYM	QTY.	BOTANICAL NAME	COMMON NAME	ROOT	MIN. SIZE	COMMENTS	MATURE SIZE
<b>TREES</b>							
LT	4	Liriodendron tulipifera 'Fastigiata'	FASTIGIATE TULIP TREE	B&B	3"-3.5" CAL. / 14'-16' HT.	Full, 6' Branching min.	40-60' H x 15-20' W
PA	2	Platanus x acerifolia 'Mortons Circle'	EXCLAMATION PLANE TREE	B&B	3.5"-4" CAL. / 16'-18' HT.	Full, 6' Branching min.	50-60' H x 35-45' W
PM	1	Pseudotsuga menziesii	DOUGLAS FIR	B&B	12'-14' HT.	Full, Heavy	40-60' H x 15-20' W
SR	2	Syringa reticulata	JAPANESE TREE LILAC	B&B	3"-3.5" CAL. / 14'-16' HT.	Full, Heavy	20-30' H x 15-20' W
TG	39	Thuja 'Green Giant'	GREEN GIANT ARBOVITAE	B&B	10'-12' HT.	Full, Heavy - Hedged	40-60' H x 12-15' W
<b>PERENNIALS AND SHRUBS</b>							
EP	168	Echinacea pallida	PALE PURPLE CONEFLOWER	CONT	1 Gal. / 12" HT.	Spacing 12" O.C.	30" H x 18-24" W
IM	63	Ilex x merserveae 'Heckenstar'	CASTLE WALL HOLLY	CONT	30" - 36" HT.	Heavy, Spacing 36" O.C.	5-8' H x 3-4' W
PS	29	Pinus strobus 'Nana'	DWARF WHITE PINE	CONT	18" - 24" HT.	Heavy, Spacing 24" O.C.	3-4' H x 3-4' W

**PLANTING SCHEDULE - ROOF (FLOOR 5 AND 6)**

SYM	QTY.	BOTANICAL NAME	COMMON NAME	ROOT	MIN. SIZE	COMMENTS	MATURE SIZE
<b>TREES</b>							
UP	3	Ulmus parvifolia	LACEBARK ELM	B&B	3"-3.5" CAL. / 12'-14' HT.	Full, Heavy	15-22' H x 20-25' W
<b>PERENNIALS AND SHRUBS</b>							
IO	36	Ilex opaca	AMERICAN HOLLY	CONT	24"-30" HT.	Full, Heavy - Hedged	36" H x 36" W
PA	58	Pennisetum alopecuroides 'Hameln'	DWARF FOUNTAIN GRASS	CONT	1 GAL. / 12"-18"	Full, Heavy	30" H x 30" W
TB	108	Taxus baccata 'Repandens'	ENGLISH YEW	CONT	20"-24" HT.	Full, Heavy	36" H x 36" W

**SOIL CHART - SITE**

POST CONSTRUCTION SOIL CONDITION	TYPE OF PREPARATION
GOOD SOIL	LOOSEN EXISTING SOIL
COMPACTED SOIL	LOOSEN EXISTING SOIL, ADD COMPOSTED ORGANIC MATTER TO BRING ORGANIC CONTENT TO 5% DRY WEIGHT
CLAY CONTENT 5-35%	LOOSEN EXISTING SOIL, ADD ORGANIC MATTER TO BRING ORGANIC CONTENT TO 5% DRY WEIGHT
SANDY LOAM SOILS	ADD CLEAN COMPOSTED ORGANIC MATERIAL (20% MAX. BY VOLUME) TO THE EXISTING SOIL
POOR QUALITY, HEAVY CLAY SOIL	REMOVE EXISTING SOIL, ADD LOAM TOPSOIL

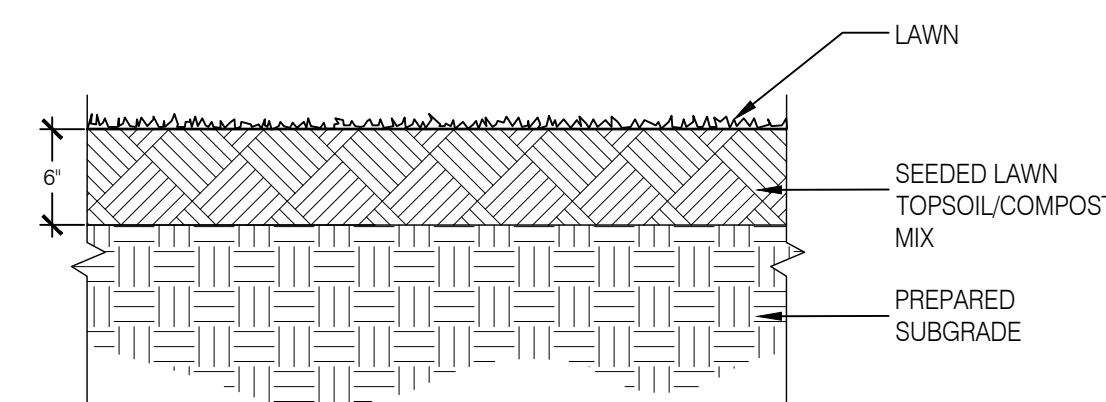
**LIGHTWEIGHT SOIL MIX - ROOF**

ROOFLITE 'INTENSIVE 600'. SUPPLIED BY ROOFLITE. www.rooflite.com

- \* MIX SHALL BE TESTED AFTER SETTLING TO ENSURE APPROPRIATE PH AND NUTRIENT LEVELS
- \* CONTRACTOR SHALL SUBMIT PRODUCT DATA FOR APPROVAL.
- \* LIGHTWEIGHT SOIL SHALL BE USED IN ALL COURTYARD PLANTING AREAS AND ROOF TERRACE PLANTERS.

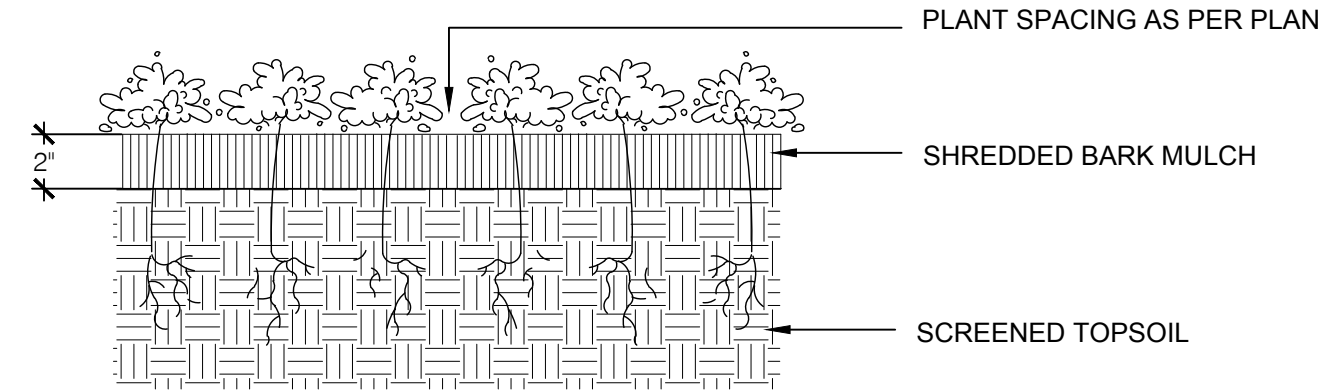
**PLANTING NOTES:**

1. THE CONTRACTOR SHALL PROVIDE A SOIL TEST RESULT FOR ALL PLANTING AND LAWN AREAS THAT MINIMALLY INDICATE PH, SOIL TYPE AND NUTRIENT LEVELS. THE CONTRACTOR SHALL AMEND SOILS AS REQUIRED TO PROVIDE APPROPRIATE CONDITIONS FOR THE PLANTS AND OR SEED INDICATED ON THE PLANS
2. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF ONE REPRESENTATIVE SAMPLE OF EACH PLANT VARIETY WITH AN ATTACHED LABEL INDICATING THE NAME, SIZE, AND ORIGIN, OF ALL PLANT MATERIALS
3. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIALS AT ANY POINT PRIOR TO INSTALLATION. ALL MATERIALS SHALL CONFORM TO THE AMERICAN STANDARDS FOR NURSERY STOCK "ANSI Z60.1-2014 (AVAILABLE AT AMERIHORT.ORG)
4. THE LAYOUT OF ALL BED LINES AND LOCATION OF ALL PLANT MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
5. ALL PLANT MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH DETAILS ON THE DRAWINGS
6. PLANTING BEDS SHALL BE MULCHED WITH A 3" (THREE INCH) MINIMUM OF SHREDDED AGED HARDWOOD BARK UNLESS OTHERWISE NOTED
7. ALL VEGETATION SHOWN ON THE DRAWINGS SHALL BE MAINTAINED IN A HEALTHY CONDITION THROUGHOUT THE DURATION OF THE PROJECT OR PROJECT PHASE
8. ALL PLANT MATERIAL SHALL BE COVERED BY A ONE-YEAR FULL REPLACEMENT WARRANTEE THAT SHALL INCLUDE ALL MATERIALS AND LABOR. THE CONTRACTOR SHALL REPLACE PLANTS AS SOON AS WEATHER AND SEASONAL CONDITIONS PERMIT
9. IF THERE IS A DIFFERENCE IN COUNT OR SIZE OF PLANT MATERIALS BETWEEN THE PLAN AND THE LIST THE HIGHER NUMBER AND OR SIZE SHALL PREVAIL



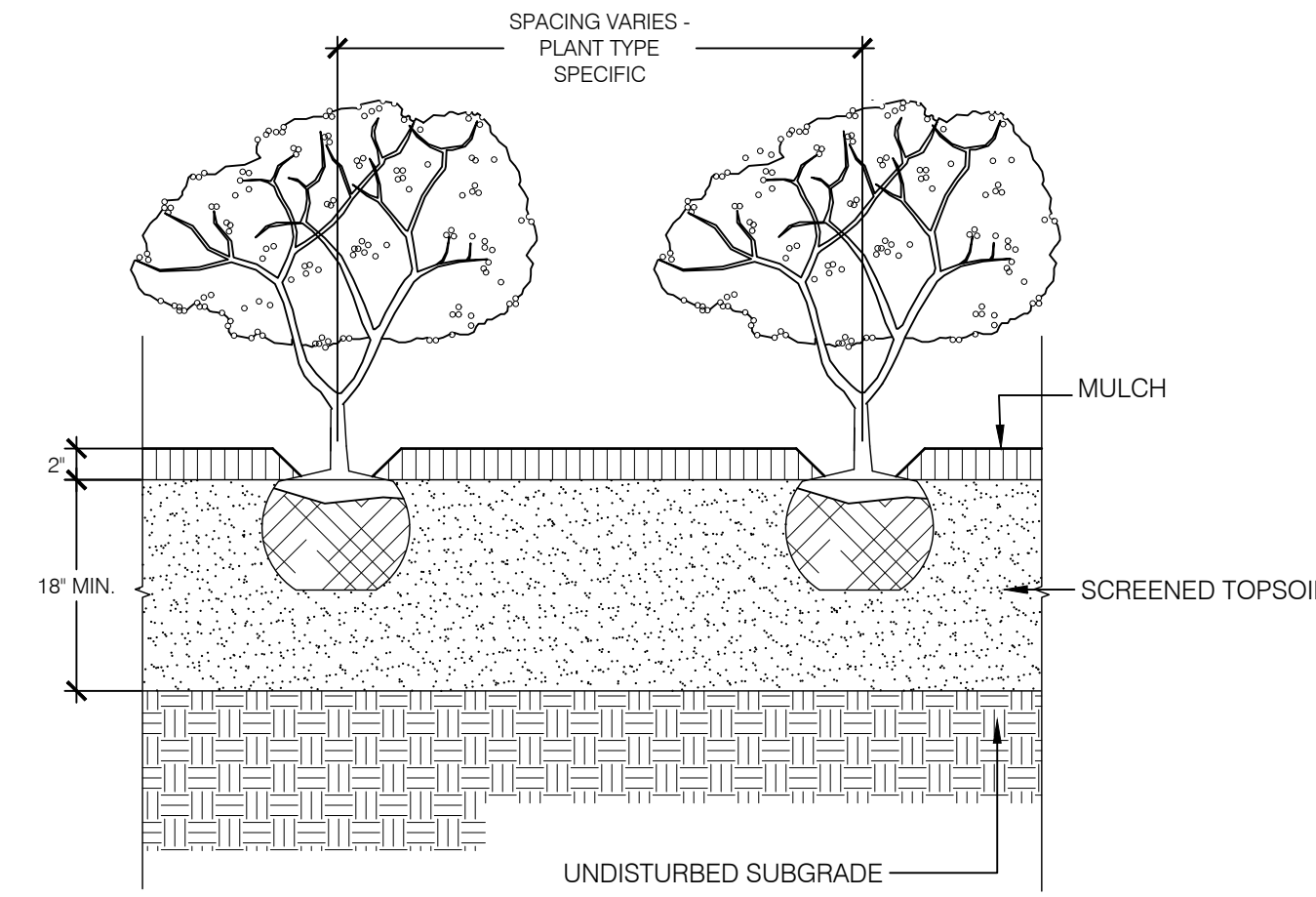
**1 SEEDED LAWN**

SCALE: NTS



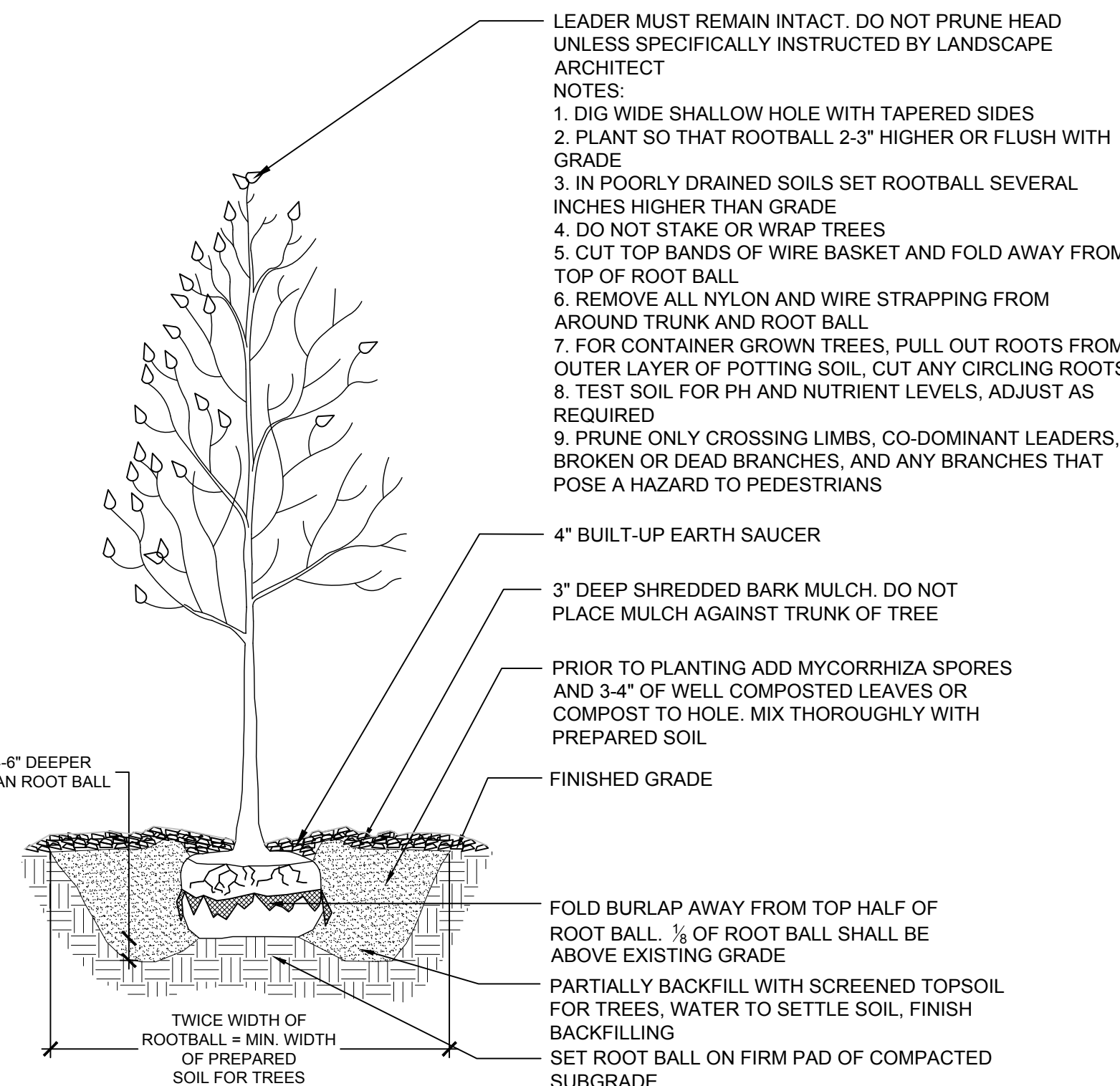
**2 PERENNIAL / GROUNDCOVER PLANTING**

SCALE: NTS



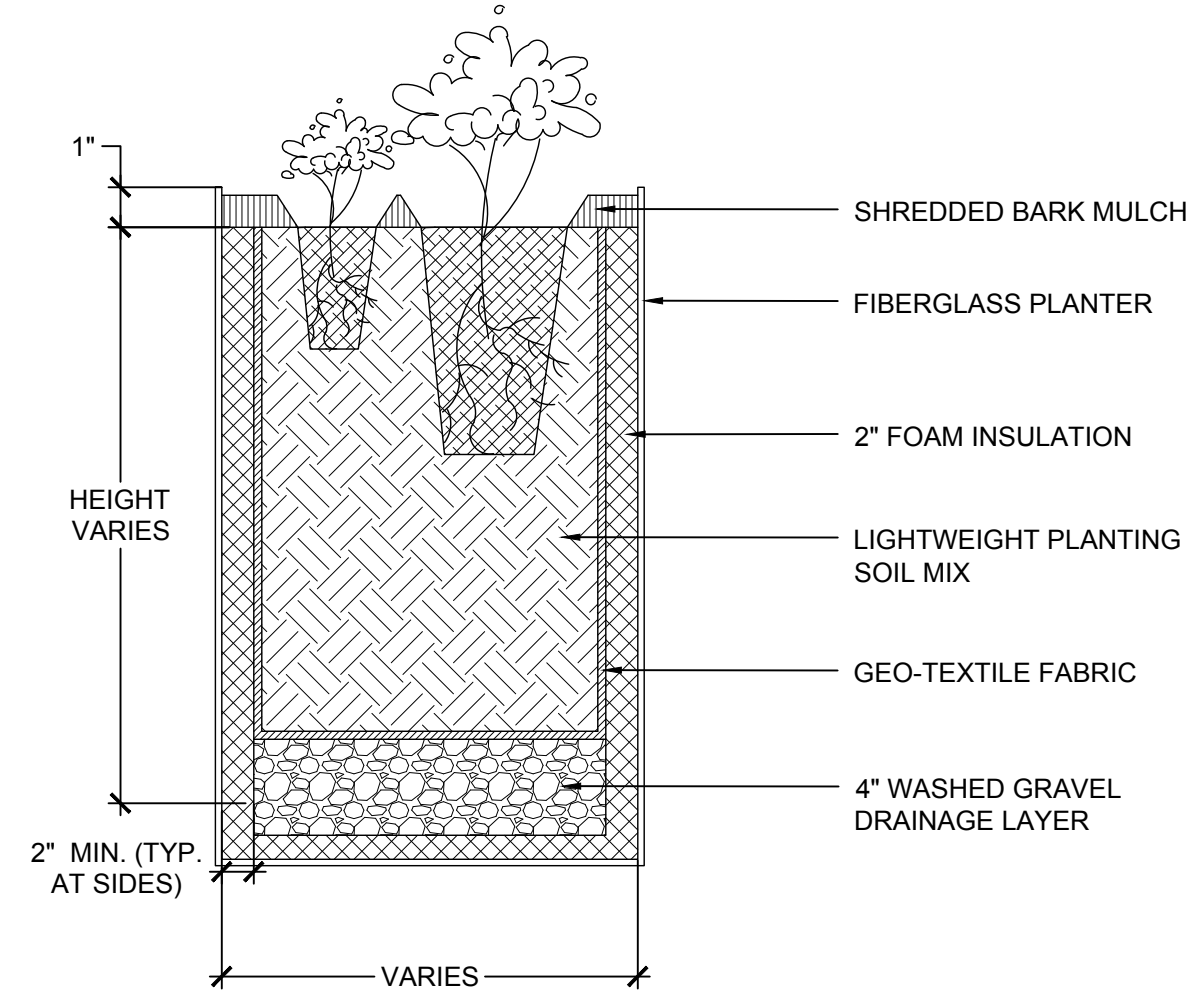
**3 SHRUB PLANTING**

SCALE: NTS



**4 TREE PLANTING**

SCALE: NTS



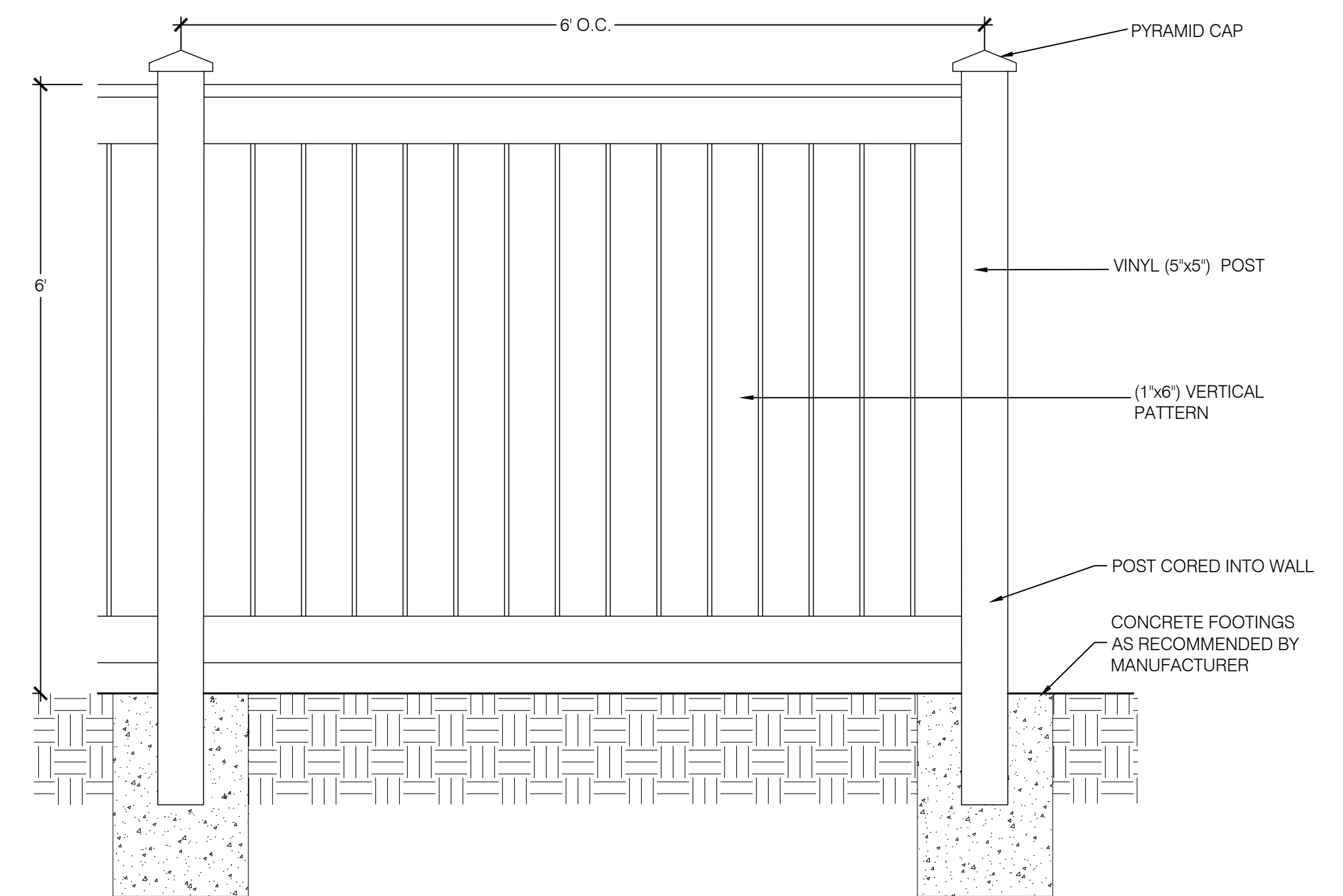
**5 FIBERGLASS PLANTER - ROOF PLANTINGS**

SCALE: NTS



**6 4' HT. PVC PICKET FENCE**

SCALE: NTS



**7 6' HT. PVC FENCE**

SCALE: NTS

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**648, 670, 686 & 690 PACIFIC STREET & 171 HENRY STREET**  
 STAMFORD, CT

PROJECT  
**LANDSCAPE SITE DETAILS**

JOB NO.  
 DATE  
 2022.01.12

SCALE  
 AS NOTED