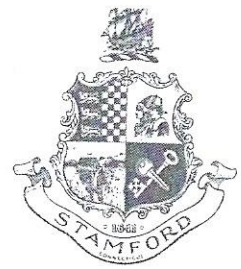


# CITY OF STAMFORD, CONNECTICUT

## ENVIRONMENTAL PROTECTION BOARD

*incorporating*  
FLOOD AND EROSION CONTROL BOARD  
CONSERVATION COMMISSION  
INLAND WETLANDS and WATERCOURSES AGENCY



MAYOR  
DAVID R. MARTIN

RICHARD H. TALAMELLI  
EXECUTIVE DIRECTOR/  
ENVIRONMENTAL PLANNER

MEMO TO: Ralph Blessing, Land Use Bureau Chief  
Zoning Board of the City of Stamford

FROM: Jaclyn Chapman, Environmental Analyst  
Environmental Protection Board

SUBJECT: 210 Long Ridge Road (Revised Memo)  
Andrew Banoff  
Jewish Senior Services  
Zoning Application No. 222-08 and 222-09

DATE: March 24, 2022

Andrew Banoff, President and CEO of Jewish Senior Services, seeks a Text Change, General Development Plan, and a Special Permit to facilitate 210 units of Senior Housing at 210 Long Ridge Road, where the Zoning Board previously approved 200 units in 2020. That approval remains in effect (219-18). The previous use change had concerns about the loss of many mature trees and the large knoll, plus not knowing what might be built on the westerly 8 acres. Jewish Senior Services is now proposing to utilize the entire 15 acres for construction of an independent and assisted living, communal building amenities, outdoor patios, walking paths, parking, and landscaping on a relatively undeveloped parcel situated along the west side of Long Ridge Road, approximately 2000 feet (ft) north of Cold Spring Road. This Text and intended development is an opportunity to use the entire 15 acres and save the knoll and trees along Long Ridge Road. The parcel is identified as follows in the records maintained by the Stamford Tax Assessor:

Address	Lot No.	Account	Card	Map	Block	Zone	Area
210 Long Ridge Road	A-R	003-8215	W-017	103	247	C-D	±15.00 Acres

The site currently supports portions of an asphalt parking lot, access drive, fences, sanitary sewer and drainage. Currently, there are no substantial structures on the property. The site is characterized by the presence of moderately dense woodlands, open fields, wooded wetlands, special flood hazard areas, and a ±670 ft reach of the Rippowam River. Numerous trees of size and value occupy the property, many of which have already been identified and evaluated by a Connecticut licensed arborist (Green, Care of Trees, 7/26/19). A river walk easement, approximately twenty (20) feet in width was previously established along portions of the river. Topography is variable with the most challenging areas of slope lying to the east along Long Ridge Road and to the west along the Rippowam River. A detailed soils report was prepared in advance of a prior EPB permit application (Theall, 4/10/08). Uplands, which occupy a vast majority of the eastern reaches of the property, have been classified as Charlton-Hollis Fine Sandy loams, very rocky (Cr) and Udorthents, smoothed (Ud). The less steeply sloping Charlton-Hollis consist of gently sloping to sloping, well drained soils commonly found on hills and ridges. These

210 Long Ridge Road  
Jewish Senior Services  
ZB No. 222-08 & 222-09

soils are characterized by their undulating topography, exposed bedrock, surface boulders and stones, wet depressions, moderate to moderately rapid permeability, and medium to very strong acidity. Major limitations to development are posed by a shallow depth to bedrock and surface stones and boulders. Restrictions are considered "Moderate" for dwellings, roadways, landscaping, and septic ("Soil Survey of Fairfield County, Connecticut," US Department of Agriculture, Soil Conservation Service, 1981, Pp. 14-15, 95,100). The more intensely sloping Charlton-Hollis soils consists of moderately steep to very steep, well drained, upland soils found on hills and ridges. These soils are characterized by areas of exposed bedrock, drainageways and a few wet depressions. These soils have moderate to moderately rapid permeability, and medium to very strong acidity. Major limitations to development are posed by slope, surface stones and boulders, exposed bedrock and shallow soils overlying bedrock. The soils manual identifies development restrictions as "Severe" for shallow excavations, dwellings without basements, dwellings with basements, lawns and landscaping and septic tanks/absorption fields (Pp. 95, 100). Udothents are those areas having at least two (2) feet of their original soil surface altered by excavation or grading. Soil restrictions are variable and often necessitate site specific evaluation ("Soil Survey of Fairfield County, Connecticut," by the USDA, Soil Conservation Service, 1984, Pp. 32).

The regulated soils, which generally parallel the Rippowam River in the western portions of the site, have been classified as Pootatuck, fine sandy loam (Ps). Pootatuck soils consists of nearly level, moderately well drained soils commonly found on floodplains. These soils are characterized by frequent flooding, a seasonal high water table at a depth of about 20 inches, moderate to moderately rapid permeability in the surface and subsoil layers, very rapid permeability in the substratum, and slight to very strong acidity. Flooding is the primary limit of this soil for development. The general soils manual entitled "Soil Survey, Fairfield County Connecticut," by the USDA, Soil Conservation Service, 1981 indicates that Pootatuck soils have "Severe" limitations for septic, shallow excavations, dwellings without basements, dwellings with basements, local streets and roads and lawns and landscaping.

The property lies, in part, within the base floodplain of the Rippowam River (Zone AE, Elevation 52-56 feet NAVD-88, FIRM 09001C0508F, 6/18/10). Like the regulated soils, the flood prone space lies in the western reaches of the parcel along the river and a nearby drainage channel.

The project provides for the construction of a new senior living facility consisting of independent living, assisted living and memory care units, parking, drainage and other related features. Previously, the facilities were to be confined to a "lease area" in the eastern portions of the property along Long Ridge Road. Access to the site was proposed to be gained through an existing paved travelway located on property to the north. Under the original proposal, direct wetland, watercourse, and floodplain encroachments had been avoided; however, anticipated grade change and tree loss was extensive. Substantial increases in site imperiousness are also expected from the proposed design change. A battery of structural measures have been proposed to overcome site limitations and more may be required under the proposed design changes.

**To ensure that the project protects resources/natural features, compliments the existing topography, effectively mitigates potential drainage impacts, and preserves/enhances surface and groundwater water quality, the following additional information will need to be developed and reviewed by EPB Staff prior to final EPB endorsement for Zoning Board approval:**

210 Long Ridge Road  
Jewish Senior Services  
ZB No. 222-08 & 222-09

- Submission of a detailed revised site improvement survey (NAVD 1988) by a Connecticut Engineer clearly depicting existing and proposed features, drainage, utilities, distance(s) to the 25 ft wetland setback, etc. **Note that the revised plans shall be responsive to any revised reports and assessments described below, seeking to avoid areas of resource, wetlands, watercourses, important habitats, significant slopes, flood prone areas, etc.**
- Show all areas of disturbance and grading and the feasibility of avoiding EPB-regulated areas (wetland setbacks, FEMA flood zone, etc.)
- Include trees proposed for removal and whether or not they are identified as specimen trees based on the 2019 tree inspection and inventory prepared by The Care of Trees on the topographic site survey. Impacts to trees will be calculated to inform a potential tree replacement plan.
- Development and submission of a planting plan. Planting plan shall consist of native vegetative species and include the locations of replacement trees due to the extensive removal required for site development. Such a plan shall include name, size, type, location and quantity of plants.
- The U.S. Fish and Wildlife's Information for Planning and Consultation (IPaC) lists the Federally-threatened Northern long-eared bat as being potentially present at the site. Please complete an evaluation of potential hibernacula or roosting habitat for the Northern long-eared bat based on the 2019 tree inspection and inventory prepared by The Care of Trees.
- A new submission of a detailed assessment by qualified environmental professionals describing the site's resources, natural features and property conditions, defining their functions and values, assessing potential impacts due to changes in design, examining alternative designs and locations to minimize impacts or reduce the structural response, and outlining specific measures to mitigate unavoidable impacts, protect resources/natural features, and/or enhance environmental qualities.
- Ensure that all soil report references are accurate and fully correspond to the subject parcel.
- Positive endorsement of the drainage/water quality impact assessment/plan by the Stamford Engineering Bureau including all necessary maintenance practices/requirements. EPB Staff encourages the applicant to consider greater use of non-structural practices to better manage and treat the expected stormwater runoff.
- Location/details of any fuel oil storage tanks, generators, etc. along with a discussion of the design considerations/technologies that will be applied to the proposed systems to reduce the potential for leaks, spills, and overflow.
- Measures to ensure the long term maintenance and success of the proposed drainage measures and any approved planted features.

I look forward to receiving/evaluating the listed items of additional information before a final decision is rendered on this application. Thank you.

210 Long Ridge Road  
Jewish Senior Services  
ZB No. 222-08 & 222-09

cc: S. Kisken, City Engineer  
V. Mathur, Principal Planner  
R. Redniss, AICP, Redniss and Mead



OFFICE OF OPERATIONS  
BUILDING DEPARTMENT  
Tel: (203) 977-4164 / Email: BuildingDept@StamfordCT.gov  
Government Center, 888 Washington Boulevard, Stamford, CT 06901

MATTHEW QUINONES  
DIRECTOR OF OPERATIONS

BHARAT GAMI  
CHIEF BUILDING OFFICIAL

March 17, 2022

INTEROFFICE MEMORANDUM

CITY OF STAMFORD

**TO:** Vineeta Mathur, Associate Planner (Via Email)

**FROM:** Bharat Gami, Chief Building Official

**DATE:** March 17, 2022

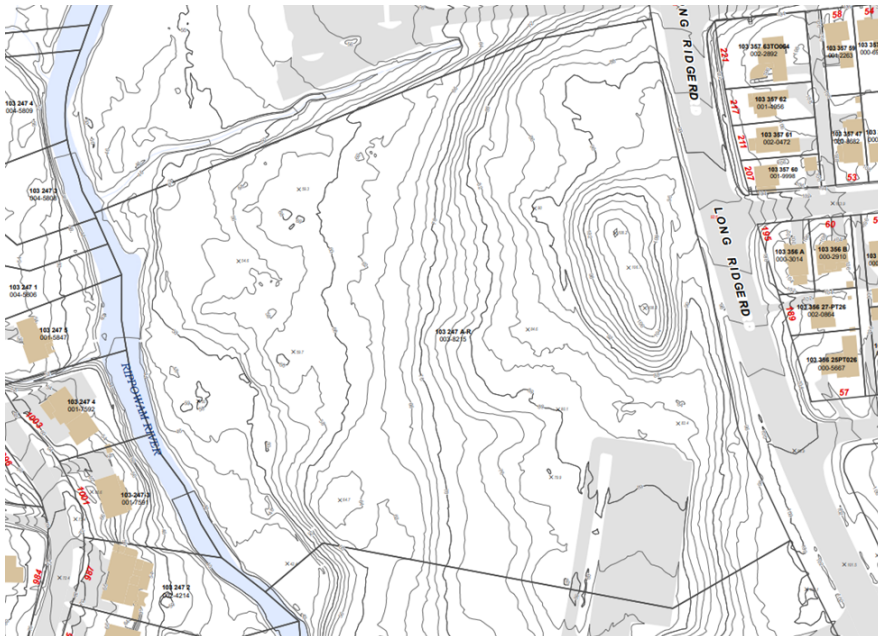
**RE:** ZB-222-09 210 Long Ridge Road. This project is to construct a "Senior Housing and Nursing Home Facility Complex" containing a total of 210 units with a mix of independent living and assisted living, communal building amenities, outdoor patios, walking paths, parking and landscaping on the entire 15 acres.

Please advise the applicant to respond to following comments:

Please submit final building designs (rooflines and slopes, building materials, architectural features, etc.) when available.

6 foot wide walk-way abruptly ends in the Entrance drop off area. It must continue till the main building entrance.

Please confirm that the building entrance and all exterior pedestrian walkways are in compliance with wheelchair accessibility requirements per Chapter 11 of the 2015 International Building Code. Existing topography shows that wheelchair accessible ramps may be needed at some locations.



Please feel free to contact us at 203-977-4164 or send an email to [BuildingDept@StamfordCT.Gov](mailto:BuildingDept@StamfordCT.Gov).

With best regards,

A handwritten signature in black ink, appearing to read 'C. Engle', with a large, stylized flourish at the end.

Chief Building Official

**City of Stamford**

**[Building Department](#)**

888 Washington Boulevard, 7th Floor  
Stamford CT 06901

# CITY OF STAMFORD

MAYOR  
*CAROLINE SIMMONS*

DIRECTOR OF OPERATIONS  
*MATT QUINONES*  
Email: MQuinones@StamfordCT.gov



CITY ENGINEER  
*LOUIS CASOLO, JR., P.E.*  
Email: LCasolo@StamfordCT.gov

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## INTEROFFICE MEMORANDUM

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March 30, 2022

To: Vineeta Mathur Associate Planner

From: Willetta Capelle P.E. - Coordinator of Site Plan Reviews and Inspections

**Subject:**

**210 Long Ridge Road - Jewish Senior Services  
Zoning Application No. 222-09**

The Engineering Bureau received General Development Plan and Special Permit application documents for the construction of a 210 unit senior housing and nursing home facility complex, consisting of a mix of independent living and assisted living, communal building amenities, outdoor patios, walking paths, parking and landscaping on a 15 acre property.

The following documents were reviewed:

- "General Development Plan Depicting 210 Long Ridge Road Prepared for Jewish Senior Services" by Redniss & Mead dated 2/25/22

- "Property & Topographic Survey Depicting Parcel 'A-R', Map 11551 S.L.R. #210 Long Ridge Road Prepared for 120-A Long Ridge LLC" by Redniss & Mead dated 11/25/19

- Stormwater Management Narrative from correspondence to Ralph Blessing, Land use Bureau Chief Re: Zoning Board Application - The Dogwoods @ Long Ridge Road by Redniss & Mead, dated 2/18/22

The Engineer of Record, Ted Milone, P.E. stated, "Based on our institutional knowledge of the property including site soils being sandy loam or bank run gravel, it is our opinion we can develop a stormwater management system in keeping with the current policies and will not result in adverse impacts to adjacent or downstream properties or City/State owned drainage facilities."

The application documents do not include the proposed stormwater or site design and the stormwater management narrative referenced above states the details of the stormwater management analysis and plans will be provided with the Final Site Plan submission. Therefore, if the application is allowed to proceed, the Engineering Bureau shall review the Final Site Plan submission, once submitted, for compliance with Engineering Bureau policies, including compliance with the Stamford Stormwater Drainage Manual.

Please contact me at 203-977-4003 with any questions.

CC: Ted Milone  
Jaclyn Chapman

Reg. No. 103



MAYOR  
**Caroline Simmons**



**CITY OF STAMFORD  
PLANNING BOARD  
LAND USE BUREAU  
888 WASHINGTON BOULEVARD  
STAMFORD, CT 06904 -2152**

DIRECTOR OF OPERATIONS  
**Matthew Quiñones**

Land Use Bureau Chief  
**Ralph Blessing**

Acting Principal Planner  
**Vineeta Mathur**  
(203) 977-4716  
vmathur@stamfordct.gov

March 10, 2022

Mr. David Stein, Chair  
City of Stamford  
Zoning Board  
888 Washington Boulevard  
Stamford, CT 06902

**RE: ZB APPLICATION #222-09 - JEWISH SENIOR SERVICES - 210 LONG RIDGE ROAD -  
General Development Plan (GDP) and Special Permit**

Dear Mr. Stein & Members of the Zoning Board:

During its regularly scheduled meeting held on Tuesday, March 8, 2022, the Planning Board reviewed the above captioned application referred in accordance with the requirements of the Stamford Charter.

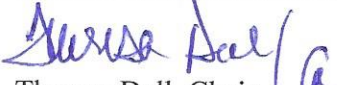
This site was previously approved under ZB Application #219-19 for the construction of a 200 unit Senior Living Facility on seven (7) acres. The new applicant, Jewish Senior Services, is proposing to construct a "Senior Housing and Nursing Home Facility Complex" containing a total of 210 units with a mix of independent living and assisted living units, communal building amenities, outdoor patios, walking paths, parking and landscaping on the entire fifteen (15) acres. This site is located within the C-D (Designed Commercial) District.

The Planning Board was advised of the revisions to the original plan and were pleased with the changes to the buffer and conservation area that were added to the application.

After a brief discussion, the Planning Board unanimously voted to recommended *approval* of *ZB Application #222-09* and this request is compatible with the neighborhood and consistent with Master Plan Category #8 (Mixed-Use Campus).

Sincerely,

**STAMFORD PLANNING BOARD**

  
Theresa Dell, Chair

TD/lac

**RECEIVED**

MAR 10 2022

**ZONING BOARD**

MAYOR  
**CAROLINE SIMMONS**

DIRECTOR OF OPERATIONS  
**MATT QUIÑONES**  
Email: [mquinones@stamfordct.gov](mailto:mquinones@stamfordct.gov)



TRANSPORTATION BUREAU CHIEF  
**FRANK W. PETISE, P.E.**  
Email: [fpetise@stamfordct.gov](mailto:fpetise@stamfordct.gov)

**OFFICE OF OPERATIONS**  
**TRANSPORTATION, TRAFFIC & PARKING**  
Tel: (203) 977-5466/Fax: (203) 977-4004  
Government Center, 888 Washington Blvd., 7<sup>TH</sup> Floor, Stamford, CT 06901

## **INTEROFFICE MEMORANDIUM**

**TO:** Zoning Board Office

**FROM:** Frank W. Petise, P.E. *FWP*  
Transportation Bureau Chief

Luke Battenwieser *LBattenwieser*  
Transportation Bureau Staff

**DATE:** April 8, 2022

**RE:** Zoning Board Application 222-09

Application #222-09

210 Long Ridge Road  
Jewish Senior Services

The Transportation, Traffic & Parking Department (TTP) has reviewed the following documents:

- Zoning Board application received March 3, 2022;
- Project narrative;
- General Development Plan prepared by Redniss & Mead dated February 25, 2021;
- Site Plan prepared by Perkins Eastman;
- Traffic Study Prepared by Milone and Macbroom dated August 5, 2019; and,
- Traffic Study Updated prepared by BFJ Planning Dated February 17, 2022

The Department thoroughly reviewed the previous zoning application for this site (219-19) and found the site to be appropriate in the context of the City's mobility system with respect to location and trip generation given specific multi-modal improvements along the site to support the aging and vulnerable population going to use the site.

The current proposed development is anticipated to generate a slightly reduced number of vehicle trips, so with the targeted mobility improvements, the site does not appear to have a negative impact on the City's mobility system.

Since the previous application, the Department has completed 100% design and has received full approval from the Connecticut Department of Transportation for the construction of a sidewalk along Long Ridge Road detailed in plans titled "Long Ridge Road Sidewalk Improvements dated June 28, 2021". The applicant, per the requirements of Section 12, has included this shovel ready sidewalk design along their entire property frontage along with associated crosswalk improvements. Based on the previous approval, if the cost of the already required sidewalk construction per the above referenced plans and associated components such as bus shelters, street trees, and traffic signal components along the site frontage does not exceed \$400,000 then the applicant shall extend the construction of the designed sidewalk south towards Bulls Head in coordination with the Department.

General Development Plan Comments to be incorporated into the site plans. The Department will review and finalize the below comments during the Site Plan Application Phase.

1. The applicant should have all on-site crosswalks be raised to improve ADA compliance and reduce vehicle speeds on the property.
2. The applicant shall detail the direction of traffic on the main circular access drive with a mixture of signage and paint.
3. Recommend having parking areas closer to the main building area to reduce the distance needed to walk to and from parked cars to the building and to improve pedestrian safety.
4. The applicant shall make sure the walkway connecting the site to the sidewalk on Long Ridge Road is ADA compliant in relation to grade. The grading shall be conservative in anticipation of the population occupying the site.
5. The entrance/drop-off area shall be better defined.
6. Recommend widening the on-site walking path that will be publically accessible in the future to connect Long Ridge Road to the Rippowman/Mill River Easement area.
7. The applicant may want to explore using pervious pavement materials on their site to improve stormwater management.

The Department reserves the right to make additional comments on this project.

William P. Brink, P.E. BCEE  
Executive Director  
Stamford Water Pollution Control Authority  
203-977-5809  
wbrink@stamfordct.gov



Edward Kelly, Chairman  
SWPCA Board of Directors  
Stamford Water Pollution Control Authority  
ekelly@stamfordct.gov

TO: Vineeta Mathur, Principal Planner

FROM: Ann Brown, P.E., Supervising Engineer *AMB*

DATE: April 4, 2022

RE: **Application 222-09 – Jewish Senior Services, 210 Long Ridge Road, Stamford, CT  
- General Development Plan and Special Permit**

Application 222-09 – General Development Plan and Special Permit Review

The Stamford WPCA has reviewed the following documents for the referenced application.

Documents and Plans Submitted:

- Cover Memo dated 3/2/22 prepared by Vineeta Mathur
- Letter to Mr. Blessings Land Use Bureau Chief for GDP and Special Permit Applications with attachments dated 2/25/22 prepared by Redniss & Mead.
- Zoning Board Application Letter to Mr. Blessings Land Use Bureau Chief with attachments dated 2/18/22 prepared by Redniss & Mead.
- Letter regarding August 5, 2019 Traffic Study by Milone & MacBroom dated 2/17/22 prepared by BFJ Planning.
- Traffic Study dated 8/5/19 prepared by Milone & MacBroom.

Based on review of the above, Stamford Water Pollution Control Authority (SWPCA) provides the following comments:

Sanitary Lateral

1. Relative to the public sanitary sewer system, please provide a project overview and a utility site plan for this application.
2. Preliminary comments for proposed sanitary sewer tie-in connections are provided below:
  - a. An outdoor clean-out for the building's lateral must be provided; and,
  - b. Sewer Tie-in Connection Requirements:
    - i. Proposed sanitary tie-in connection must be an approved saddle connection to the public sewer line. A chimney connection may be

required to ensure the private lateral slope does not exceed 2%, and it must meet either the City standard specification and/or the approved modular style chimney design requirements. Both saddle and/or chimney connections must be encased in concrete. Attached are the approved saddle and chimney specification information;

- ii. Applicant and/or Contractor needs to schedule the tie-in activity with Stamford WPCA's Collection Systems Supervisor at least 3-days in advance for scheduling WPCA personnel to witness and photograph the sewer tie-in connection. Anytime between 7:30 a.m. and 2 p.m. (Mon. thru Fri.).
- iii. The contractor is not to break into the public sewer line without WPCA being present; and,
- iv. Additionally, the sewer tie-in distance information from at least 2-permanent stations, i.e., telephone pole and number, distance from nearest manhole cover, corner of building with address number, etc., and depth of tie-in, along with a sketched drawing depicting these monuments and distances must be submitted for final approval.

#### Retail/Amenity/Food Service Establishments

3. As part of the building permit process for this development, food service establishments (FSE) and/or other facilities where there is potential for Fats, Oils, and Grease (FOG) to discharge into the sanitary sewer are obliged to comply with *Stamford's Fats, Oils, and Grease (FOG) Abatement Program* administered by the Stamford Water Pollution Control Authority. Facilities include but are not limited to restaurants, office cafeterias, church kitchens, community barbeque stations and kitchens, etc. The FSE or facility shall be equipped with adequately sized, properly functioning, and SWPCA approved grease management equipment. In addition, all of the correct kitchen equipment, fixtures, and/or drains shall discharge into the grease management equipment (GME). The attached document provides an overview of the above building permit requirements.

#### Covered Parking Garage Drains

4. The wastewater generated by covered parking garage drains shall be directed to an adequately sized WPCA approved treatment system (Oil/Water/Grit/Sand Separator). Sizing calculations for the chamber are based on the maximum flow, including but not limited to power washing the garage. A minimum 1500 gallon capacity and six hour retention time is required. The treatment system shall meet all of the requirements outlined Appendix H: (12) of the 2020 State of CT DEEP General Permit for Discharges from Miscellaneous Industrial Users.
5. Provide a Cross Section/Installation Detail of the Oil/Sand Separator with pertinent installation requirements (i.e. H2O loading, high water table, proper venting, etc.). Below the detail, please add the following language:
  - a. "The oil/sand separator shall be installed in accordance with all applicable codes and with strict adherence to the manufacturer instructions, specifications, and

- recommendations. Prior to backfilling, all necessary inspections and approvals shall be obtained (i.e. Building Dept., Design Engineer)”.
6. No less than 60 days in advance of the CO, TCO, or PCO, the owner/operator(s) of the development shall complete and submit to SWPCA for review and approval, CT DEEP’s Miscellaneous General Permit for Discharge from Industrial Users (MIU GP) Notification Form associated with the parking garage sanitary wastewater treatment system. A signed post construction Operation and Maintenance Manual shall be attached to the Notification Form and shall include the manufacturer’s maintenance requirements and the following language:
- b. Inspections
    - i. Inspections of the treatment system shall include but not limited to the oil/sand separator and components thereof, all floor drains, troughs, piping that collect transport and discharge wastewater into the chamber, and piping that transport wastewater from the chamber to the sanitary. The amount of oil, grit, sand, and debris observed in the chamber shall be measured and recorded.
    - ii. Sand, grit, oil, and debris observed in all other components of the treatment system shall be identified and noted on the Log Sheets as light, moderate, or heavy amounts. Post pump-out inspections of the empty chamber shall occur to determine if it is structurally intact and water tight. The findings shall be noted on the Log Sheets.
  - c. Maintenance
    - i. Routine maintenance of the treatment system shall occur by clearing all drains, troughs, and the conveyance system of oil, grit, sand, and debris. The chamber shall be completely cleaned by a certified waste hauler. At no time shall the combined amount of oil, grit, sand, and debris in the chamber equal to or exceed 20% of the total volume capacity. The contents removed from the treatment system shall be properly transported and disposed in accordance with all applicable laws and regulations. Broken or deteriorated components of the treatment system shall be immediately repaired or replaced.
  - d. Frequency of Inspections and Maintenance
    - i. The treatment system shall be inspected on a monthly basis. The chamber and all other components of the treatment system shall be completely cleaned no less than twice per year.
    - ii. More frequent cleaning intervals of the treatment system may become necessary. In some instances a waiver may be granted by WPCA to perform less inspections and maintenance on the treatment system. The request to obtain a waiver must be put in writing and shall be accompanied with supporting documentation as to why the waiver is being requested.
  - e. Record Keeping and Reporting
    - i. All inspection findings, maintenance activities, and repairs shall be recorded on the Inspection and Maintenance Log Sheets. Log sheet entries

shall be complete with the dated and type of service, the qualified individual name and title, signature, inspection findings, quantities observed and/or removed from the treatment system, maintenance work performed, etc. All pumping reports shall include the date and time the chamber was pumped, the name, address, and phone number of the certified hauler, the total volume removed and what percentage of the volume was oil and solids, the location and phone number of the approved disposal site and date of disposal. Copies of all documents relating to the inspection and maintenance of the treatment system (i.e. pumping reports, inspections reports, manifests, service contracts, receipt, etc.) shall be kept on file with the Log Sheets.

- ii. No later than December 15th of each calendar year, copies of the previous 12 months of Log Sheets and all related documents described above shall be mailed to WPCA at the following address:

Stamford Water Pollution Control Authority  
Attn: Regulatory Compliance Inspector  
111 Harbor View Avenue, Building 6A  
Stamford, CT 06902

#### Construction Dewatering

7. Prior to any discharge of wastewater into the sanitary sewer as a result of construction dewatering, a Misc. Discharge Permit Application shall be completed and submitted to SWPCA for review and approval. Please contact Robert Pudelka, Plant Supervisor at 203-977-5780 or by e-mail at rpudelka@stamfordct.gov for the necessary forms and requirements.
8. In the event construction dewatering into the sanitary sewer is approved, a flow meter shall be installed capable of recording, saving, and reporting the daily volume from the pumps. No later than the 15th of each calendar month, please forward to SWPCA, copies of the previous month report showing the daily discharge generated by the dewatering activity. Copies of the reports shall be mailed to:

Stamford Water Pollution Control Authority  
Attn: Rhudean Bull  
111 Harbor View Avenue, Building 6A  
Stamford, CT 06902

#### Swimming Pools

9. In the event a swimming pool is proposed, the swimming pool water filtration system shall be of cartridge type. If a sand filtration system is used, the back wash shall discharge into a gravity fed treatment system prior to discharging into the sanitary. Please provide detailed information on the filtration system.
10. No less than 60 days in advance of a Certificate of Occupancy or Temporary Certificate of Occupancy, the owner/developer of the site shall complete and submit to SWPCA for

review and approval a Registration Application for Miscellaneous Discharges of Sewer Compatible Wastewater for the sanitary discharge of swimming pool wastewater. Contact Robert Pudelka, Plant Supervisor at 203-564-7945 or by email at rpudelka@stamfordct.gov for additional information.

#### Green Roofs

11. All drainage from green roofs must be directed to storm.

#### Dog Salons

12. Wastewater generated from these areas that is scheduled to discharge into the sanitary sewer will require special approval by SWPCA.

#### Connection Charge

13. A Connection Charge may be assessed by the SWPCA in accordance with the City Charter of the City of Stamford (Sec. 200-41) and as provided by state law (Connecticut General Statutes §7-255). The issuance of a Certificate of Occupancy (CO) signals the completion of construction and the CO is, therefore, the starting point of the Connection Charge process. Once each year the CO's issued (starting with March first and running through the end of February the following year) are reviewed to determine those that reflect a change in sewer usage. Those properties reflecting additional sewer units will receive an assessment in the fall following the above time period. Connection Charges are based on a "Sewer Unit" system. Questions regarding connection charge fees should be directed to the WPCA's Supervising Engineer, Ann Brown, via email ABrown2@stamfordct.gov or phone 203-977-5896.

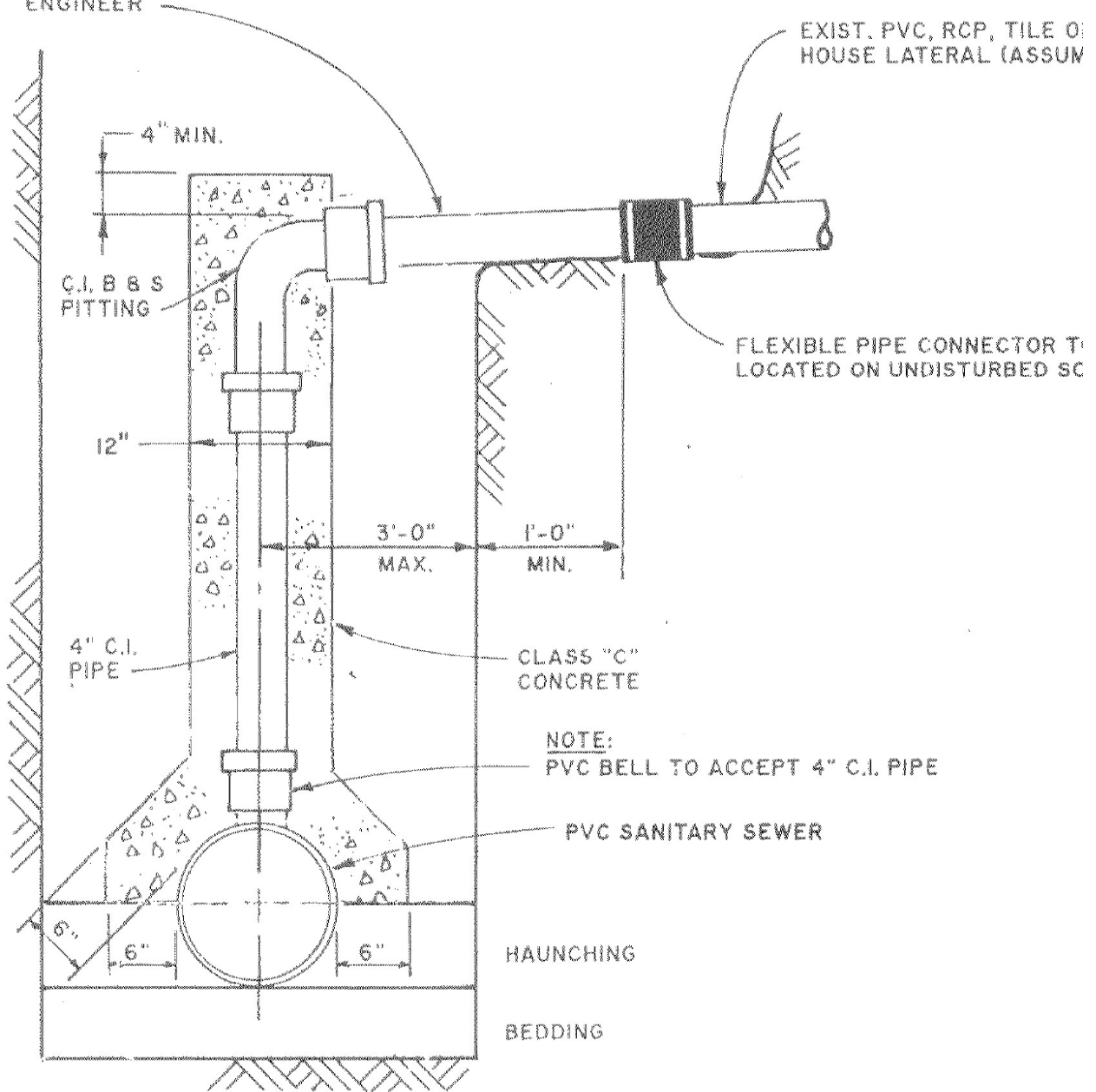
SWPCA reserves the right to make additional comments.

#### Attachment

cc: Stephen A. Pietrzyk, Collections System Supervisor  
Jane Gibeault, Regulatory Compliance Coordinator



STANDARD 4" CAST IRON PIPE,  
 IF UNUSUAL CONDITIONS EXIST  
 WITHIN THE TRENCH AREA, A  
 CONCRETE REINFORCED CRADLE  
 MAY BE REQUIRED AT THE  
 DISCRETION OF THE FIELD  
 ENGINEER





**STAMFORDWPCA**  
**Office of Regulatory Compliance**  
**Building Permit Requirements**  
**FSE/Facility FOG**

Rev. 1 (6/9/21)

## Section 1. Introduction

Food Service Establishments (FSE) and/or other Facilities where there is potential for Fats, Oils, and Grease (FOG) to discharge into the sanitary sewer are obliged to comply with *Stamford's Fats, Oils, and Grease (FOG) Abatement Program* administered by the Stamford Water Pollution Control Authority. Facilities include but are not limited to restaurants, office cafeterias, church kitchens, community barbeque stations and kitchens, etc. As part of the compliance requirements, the FSE or facility shall be equipped with adequately sized, properly functioning, and SWPCA approved grease management equipment. In addition, all of the correct kitchen equipment, fixtures, and/or drains shall discharge into the grease management equipment (GME). Compliance shall be achieved even if the kitchen is not part of the scope of work in the permit application.

Described herein are guidelines for the design of GME and the submittal requirements for a building permit involving a new FSE or modifications to an existing FSE. In addition, no less than 30 days prior to the Certificate of Occupancy (CO) or Temporary Certificate of Occupancy (TCO), the owner/operator(s) of the food service establishment or other facility shall submit to SWPCA for review and approval, a Registration Application and FOG Abatement Plan. Approval of the FOG Abatement Plan must be obtained prior to the CO or TCO, and the FOG Abatement Plan shall be implemented when the kitchen is open for use. Please contact SWPCA at 203-977-4997 or visit our website at <https://www.stamfordct.gov/government/operations/water-pollution-control-authority/fats-oils-and-grease-fog-abatement-program> to obtain the documents and forms necessary for completing the above. The Registration Application and FOG Abatement Plan should not be completed until after SWPCA plan review process has been finalized and approval has been obtained.

## Section 2. Grease Management Equipment

There are 3 types of approved grease management equipment, the Outdoor In-ground Chamber, the Active Grease Recovery Unit (AGRU), and the Super Capacity Grease Interceptor (SCGI). It is highly recommended the maintenance requirements are taken into consideration when choosing which type to install. Sharing the same GME among separate FSE's and/or Facilities is prohibited. (Rev.1)

### A. Outdoor In-ground Chamber

Outdoor In-ground Chambers are typically constructed of concrete and can be single or two compartment. The minimum capacity for a chamber is 1000 gallons. The exterior of the chamber shall be waterproof and the inlet and outlet T-pipes shall extend to within 12" from the bottom of the chamber. The chamber shall also be equipped with a high efficient grease outlet filter. The chamber setback to the footprint of any building is 10'. For additional compliance requirements refer to Section 5(b)(1)(B thru M) of the State of CT DEEP General Permit for the Discharge of Wastewater Associated with Food Service Establishments. It is preferred chambers are installed in series if more than one is required. The amount of FOG and solids in the chamber must be routinely monitored using a sludge judge or similar device. The measured amounts shall be recorded on log sheets and kept on site. At no time shall the combined FOG and solids reach or exceed 25% of the total capacity of the chamber. The contents in the chamber shall be completely pumped out no less than once every 3 months by an outside contractor for proper disposal. Sizing the outdoor in-ground chamber is based on meals served and hours of operation utilizing the Uniform Plumbing Code Formula Grease Interceptor Sizing Worksheet.

Take-out meals and catering are to be factored in the formula. In the formula a single service kitchen is limited to pre-packaged food only, with no food preparation or cooking.

**B. Active Grease Recovery Unit (AGRU)**

AGRU's require electricity and run on a timer. The FOG on the wastewater is skimmed by a wheel and sent to a collection jug attached to the outside of the unit. With larger units, the FOG is skimmed and sent to a collection barrel. AGRU's equipped with the Automatic Solids Transfer feature are not permitted. There are ongoing maintenance requirements for AGRU's. On a daily basis, the amount of FOG in the collection jug must be measured, recorded, and deposited in a storage barrel labeled and designated for Non-renderable FOG. The internal food strainer must be removed daily and the contents emptied in the trash. The skimming blades on the wheel should be checked for grease built up and wiped clean when needed. In addition, it is required that an outside contractor pump out the unit no less than once every 3 months and inspect the AGRU to ensure it is functioning properly. Typically at that time, the contractor will pump out the contents of the non-renderable storage barrel for proper disposal. This type of GME should not be buried below floor grade. Sizing the AGRU is based on the GPM of the kitchen equipment discharging into it using a 2 minute drain time.

**C. Super Capacity Grease Interceptors (SCGI)**

SCGI's are passive grease interceptors which are 3<sup>rd</sup> party certified to hold 4 times the amount of FOG in pounds than the established GPM. Depending on the make and model number, SCGI's can be used in a variety of applications such as outdoor in-ground and indoor above or below floor grade. Clarification should be obtained from the manufacturer if the correct model is utilized for the proposed installation. Identical units shall be installed parallel with a flow splitter and not in series. For outdoor installations, SCGI's must be installed below the frost line. SCGI's with a volume of 250 gallons or less shall be located at least 5' from the footprint of any building, and if the volume in the unit is greater than 250 gallons a 10' setback is required. The amount of FOG and solids in the units must be routinely monitored using a sludge judge or similar device. The measured amounts shall be recorded on log sheets and kept on site. At no time shall the depth of the FOG or the height of the solids in the units reach or exceed the maximum amounts specified by the manufacturer. The location of the SCGI must allow for sufficient clearance above the unit to perform this maintenance requirement.<sup>(Rev.1)</sup> Typically, with properly sized SCGI's, the pump-out requirements are approximately every 2 to 3 months.

**Section 3. Kitchen Equipment, Fixtures, Drains**

A. Separate sanitary and grease waste lines are required for the discharge of kitchen wastewater. Food Pulpers, garbage disposals/grinders are prohibited. Listed below are some but not all of the kitchen equipment, fixtures, and/or drains that should discharge into grease management equipment:

- |                               |   |
|-------------------------------|---|
| Three Compartment Sinks       | Two Compartment Sinks                   |
| Single Compartment Prep Sinks | Pre-Rinse Sinks (Soiled Dish Table)     |
| Dump Sinks                    | Kitchen/Ware Washing Area Floor Drains* |
| Soup Kettles/Braising Pans    | Pollution Control Units                 |
| Mop Sinks*                    | Self-Cleaning Exhaust Hoods             |
| Wok Stations                  | Combi-Ovens**                           |

\*With the lack of fryolators, limited menus, and low grease production, SWPCA may grant a waiver to allow the wastewater from kitchen/ware washing floor drains and mop sinks to discharge into the sanitary without treatment from grease management equipment. The request for a waiver shall be put in writing with justification as to why the waiver should be granted. A copy of the menu must be attached.

\*\*Combi-Ovens must be equipped with a tempering valve. A notation shall be included on the food service and plumbing plans.

Unless a waiver by SWPCA has been granted, floor sinks and/or drains scheduled for sanitary discharge shall be slightly raised to prevent the infiltration of mop water. A notation shall be included in the plumbing plans indicating the sanitary floor sinks/drains are to be slightly raised.

B. Listed below are some but not all of the kitchen equipment, fixtures, and/or drains that should NOT discharge into grease management equipment:

Ice Machines	Refrigeration Condensate
Dishwashers	Hot/Cold Holding Units
Water Heater Overflow/Relief Valves	Salad Dryers
Hand Sinks	Coffee/Esspresso Machines

#### **Section 4. Plans (required)**

For outdoor installations, the information on the proposed GME shall be on a Site Utility Plan and Details Plan prepared by a professional civil engineer registered in the State of CT. For indoor installations, the information on the proposed GME shall be on the plumbing plans. The information below provides a minimal overview of the plans and documents required when submitting to SWPCA for review. The information on the site, architectural, food service, and plumbing plans, as well as the information on the cut sheets and specification sheets must all match. Full size hard copies of the plans and documents are required. Full size hard copies of any and all revisions to the plans shall be submitted for additional review. Revisions shall be highlighted on the plans. Please deliver to 111 Harborview Avenue (Building 11). As part of the CO process, as-built record drawings and design engineer certification are required.

##### **A. Site Plans (Exterior GME Installation)**

1. Type, size, and location of proposed GME.
2. Existing and proposed grade elevations.
3. GME invert elevations.
4. Elevation of maximum ground water.
5. Cross Section/Detail of GME w/pertinent installation requirements.  
For outdoor chambers: (Grease Outlet Filter, T-Pipes, Waterproofing, Manhole Covers, etc.)  
The cross section should show all requirements have been met which are listed in Section 5 of the CT DEEP General Permit. The high water table in relation to the bottom of the GME needs to be taken into consideration.  
For SCGI's: Ensure all aspects of the manufacturer's installation instructions, requirements, and recommendations are shown on the cross section. SCGI's shall be installed below the frost line. A high water table in relation may warrant additional installation requirements.
6. Outdoor Chambers: Add the following language to the site plans: "The chamber shall be installed in accordance with all applicable codes and shall meet the requirements set forth in Section 5(b)(1)(B thru M) of the State of CT DEEP General Permit for the Discharge of Wastewater Associated with Food Service Establishments. Prior to backfilling, all necessary inspections and approvals shall be obtained (i.e. Building Dept., SWPCA, Design Engineer). No less than 3 working days in advance, please contact SWPCA at 203-977-4997 or 203-977-4134 to schedule an installation inspection."
7. SCGI's: Add the following language to the site plans: "The grease management equipment shall be installed in accordance with all applicable codes, and shall be installed with strict adherence to the

manufacturer's installation instructions, requirements, and recommendations. Prior to backfilling, all necessary inspections and approvals shall be obtained (i.e. Building Dept., SWPCA, and the Design Engineer). No less than 3 working days in advance, please contact SWPCA at 203-977-4997 or 203-977-4134 to schedule an installation inspection.

#### B. Architectural/Food Service Plans

1. A complete set of the architectural and food service plans.
2. The plans shall include a chart containing an itemized list of all the food service/kitchen equipment. Indicate if the item is existing or proposed, provide the manufacturer and model number, sink bowl dimensions (if applicable), indicate if the item requires hot/cold water, direct/indirect discharge, and electric or gas supply. In the remarks column, indicate if the item is piped to grease waste.
3. Floor plan showing all of the existing and proposed food service/kitchen equipment clearly labeled with the corresponding item number.

#### C. MEP Plans

1. A complete set of MEP plans.
2. A MEP chart with a complete itemized list of the food service/kitchen equipment. The item numbers shall match those listed in the architectural/food service plans. Indicate, if the item is existing or proposed, provide the manufacturer and model number, sink bowl dimensions (if applicable), indicate the hot/cold water, direct/indirect discharge, and electric or gas supply requirements for each item. In the remarks column, indicate if the item is piped to grease waste.
3. Floor plan showing floor sinks, floor drains, the grease and sanitary waste lines. The plan shall clearly identify which equipment discharge into the sanitary and which equipment discharge into the grease waste. Include the equipment item numbers. (See Illustration 1).
4. Sanitary and grease waste riser diagrams showing all floor sinks and floor drains. Identify all the equipment by item number scheduled to discharge into each floor sink and/or drain. (See Illustration 2).
5. Sizing calculation chart for the proposed grease management equipment. For outdoor chambers utilize the Uniform Plumbing Code Formula Grease Interceptor Sizing Worksheet. For AGRU's and SCGI's, calculate the GPM for each equipment and include the items numbers. Provide separate sizing charts for separate GME.
6. For AGRU's and SCGI's on/or above the floor, add the following language to the plumbing plans: "The grease management equipment shall be installed in accordance with all applicable codes, and shall be installed with strict adherence to the manufacturer's installation instructions, requirements, and recommendations." Please note: SWPCA does not approve suspending grease management equipment. In the event it has been demonstrated there is no other alternative, an exception may be granted. However, the design for the support system shall be prepared and submitted by a CT Licensed Structural Engineer. The P.E. shall certify in writing the proposed support system is more than adequate to hold the maximum load of the GME. In addition, the area below the suspended GME including a safety buffer shall be permanently barricaded from vehicular and pedestrian trafficking.
7. For SCGI's below floor/buried installations, provide a Cross Section/Detail of GME with pertinent installation requirements. Ensure all aspects of the manufacturer's installation instructions, requirements, and recommendations are shown on the cross section. Add the following language: "The grease management equipment shall be installed in accordance with all applicable codes, and shall be installed with strict adherence to the manufacturer's installation instructions, requirements,

and recommendations. Prior to backfilling, all necessary inspections and approvals shall be obtained (i.e. Building Dept., SWPCA, and the Design Engineer). No less than 3 working days in advance, please contact SWPCA at 203-977-4997 or 203-977-4134 to schedule an installation inspection.

8. Detailed information on the exhaust hoods (existing and proposed). Verify if self-cleaning.

Illustration 1 (Floor Plan)

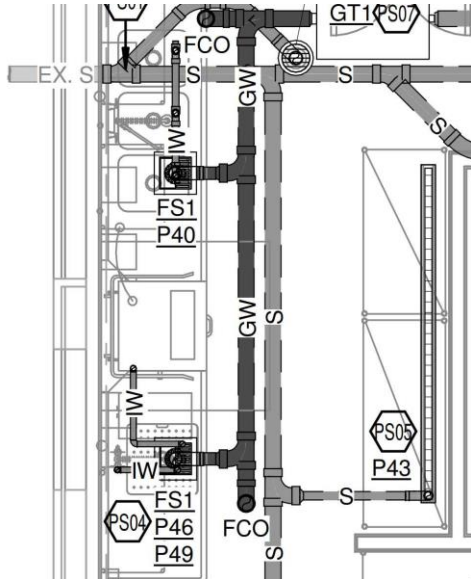
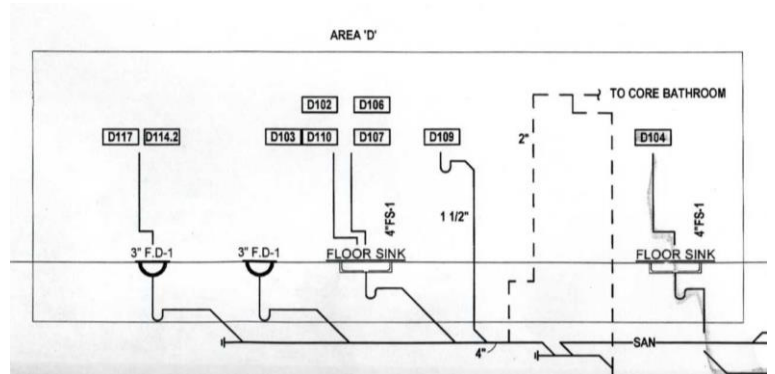


Illustration 2 (Riser Diagram)



### Section 5. Documents (required)

- A. Copies of all of the manufacturer equipment cut sheets in numerical order with the item numbers listed on the cut sheets. Be sure the cut sheets provide the model number and other pertinent information such as sink bowl dimensions, GPM discharges, etc.
- B. Copies of the manufacturer specifications sheets on the proposed grease management equipment.
- C. For AGRU's and SCGI's, copies of the manufacturer installation instructions and owner's manual on the proposed grease management equipment.

SWPCA strongly advises against installing GME prior to the fit out of the FSE or Facility. In the event the owner(s) and/or developer opts to install GME in advance it is solely at their own risk. Should it be determined the GME is undersized at the time of the building permit application for the FSE or Facility, the GME shall be removed and replaced with adequately sized equipment or additional GME will be required.

**PLEASE COMPLETE THE CHECKLIST PROVIDED BELOW AND SUBMIT WITH THE PLANS AND DOCUMENTS FOR REVIEW. Incomplete submissions will be rejected.**



**STAMFORDWPCA**  
**Office of Regulatory Compliance**  
**Food Service/Facility Plan Review Checklist**

Building Permit Application Number: \_\_\_\_\_ Date: \_\_\_\_\_

Address: \_\_\_\_\_

Name of Facility: \_\_\_\_\_

Applicant Name: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Owner(s) Name: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Yes	N/A	Section (see above)	Description
<input type="checkbox"/>		Section 2.	Adequately sized approved GME.
<input type="checkbox"/>		Section 3.A.	Correct kitchen equipment, fixtures, and/or drains discharge into GME.
<input type="checkbox"/>		Section 3.B.	Correct kitchen equipment, fixtures, and/or drains discharge into sanitary.
<input type="checkbox"/>		Section 4.	Information on the plans and documents match.
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.A.	Site plans (Exterior GME).
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.A.1.	Type, size, and location of proposed GME.
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.A.2.-4.	Grade, GME invert, maximum ground water elevations.
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.A.5.	Cross section/detail.
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.A.6.-7.	Installation language added to plans.
<input type="checkbox"/>		Section 4.B.1.	Complete set of the architectural and food service plans. Latest revision date: ____ / ____ / ____
<input type="checkbox"/>		Section 4.B.2.-3.	Equipment schedule and floor plan.
<input type="checkbox"/>		Section 4.C.1	Complete set of MEP plans. Latest revision date: ____ / ____ / ____

BP Appl. #: \_\_\_\_\_

Date: \_\_\_\_\_

<input type="checkbox"/>		Section 4.C.2.	MEP Equipment Chart.
<input type="checkbox"/>		Section 4.C.3.	MEP Floor Plan w/ sanitary, grease waste, and equipment item numbers.
<input type="checkbox"/>		Section 4.C.4.	Sanitary and grease waste riser diagrams w/ item numbers.
<input type="checkbox"/>		Section 4.C.5.	GME sizing calculation chart.
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.C.6.	Language for AGRU/SCGI installed on or above floor grade.
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.C.7.	Cross section and language for SCGI installed below floor grade.
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.C.8.	Information on exhaust hoods.
<input type="checkbox"/>		Section 5.A.	Manufacturer equipment cut sheets.
<input type="checkbox"/>		Section 5.B.	GME manufacturer specification sheets.
<input type="checkbox"/>	<input type="checkbox"/>	Section 5.C.	AGRU/SCGI installation instructions/owner's manual.

Prepared by: \_\_\_\_\_ Date: \_\_\_\_\_  
(Print Name)

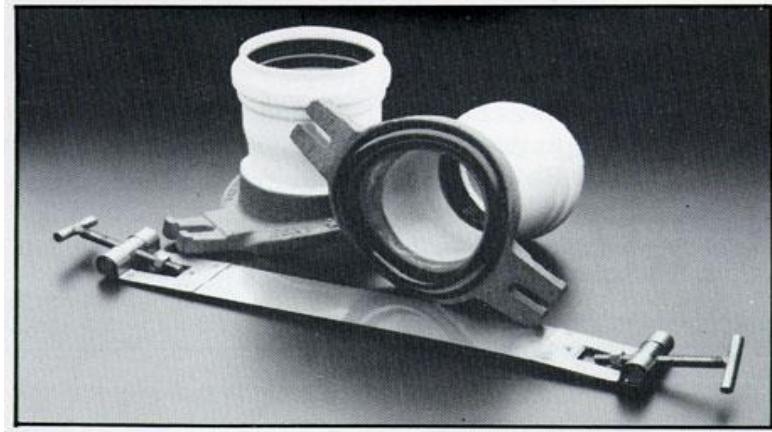
\_\_\_\_\_  
(Signature)

Company Name: \_\_\_\_\_

Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_



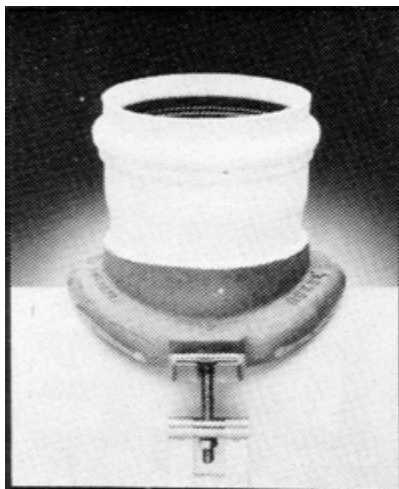
## SEALTITE® \* MULTI-RANGE SEWER PIPE SADDLES



- Absolutely infiltration - free connection
- Economical
- Reduces inventory
- Over ten inlet models available
- Will connect four, six or eight inch lateral
- Saddle base is constructed of tough, durable cast iron
- Stainless steel strap assemblies
- Eliminates haphazard connections
- Simple installation - immediate backfill
- Polyisoprene O-Ring forms seal between saddle and main

### SEALTITE® TYPE "U" MULTI-RANGE TEE SEWER SADDLE VARIOUS CONTOURS TO FIT 6.275" THROUGH 30.00" OD GRAVITY SEWER MAINS

#### Models Available:



UH	4" & 6" Gasketed Bell to accept SDR-35
U40P	4" & 6" Solvent Weld PVC Hub to accept Sch 40
US	4" & 6" Spigot Can Connect Any Lateral with Proper FERNCO Coupling
UA	4" & 6" Spigot of SDR 35-PVC
UEX	4" & 6" Hub to accept Extra Heavy CI (Gasket Included)
USV	4" & 6" Hub to accept Service Weight CI (Gasket Included)
U26	4" & 6" NEW! Gasketed Bell to accept SDR-26

U40	4" & 6" <b>NEW!</b> Gasketed Bell to accept Sch 40
U40A	4" & 6" Spigot - Sch 40 PVC O.D.
U90A	4" & 6" Spigot - C900 O.D.
U90P	4" & 6" Solvent Weld PVC Hub to accept C900

All of Above Models Also Available With **Alignment Flange** (6.275" - 16.00" OD Mains)

## SEALTITE® TYPE "E" MULTI-RANGE **WYE** SEWER SADDLE VARIOUS CONTOURS TO FIT 6.00" THROUGH 30.00" O.D. GRAVITY SEWER MAINS

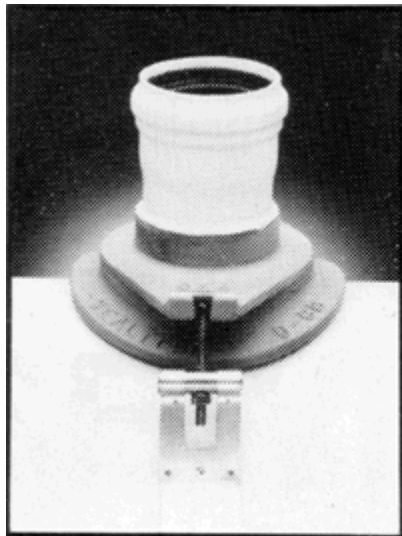
### Models Available:



EH	4" & 6" Gasketed Bell to accept SDR-35
EI	4" Spigot - DI O.D.
E40P	4" & 6" Solvent Weld PVC Hub to accept Sch 40
ES	4" & 6" Spigot Can Connect Any Lateral with Proper FERNCO Coupling
EA	4" & 6" Spigot of SDR 35-PVC
EEX	4" & 6" Hub to accept Extra Heavy CI (Gasket Included)
ESV	4" & 6" Hub to accept Service Weight CI (Gasket Included)
E26	4" & 6" <b>NEW!</b> Gasketed Bell to accept SDR-26
E40	4" & 6" Gasketed Bell to accept Sch 40
E40A	4" & 6" Spigot - SCH 40 PVC O.D.
E90A	4" & 6" Spigot - C900 O.D.
E90P	4" & 6" Solvent Weld PVC Hub to accept C900

**SEALTITE® TYPE "C" MULTI-RANGE TEE SEWER SADDLE TWO  
CONTOURS TO FIT 30.00" THROUGH 72.00" O.D. GRAVITY SEWER MAINS**

**Models Available:**

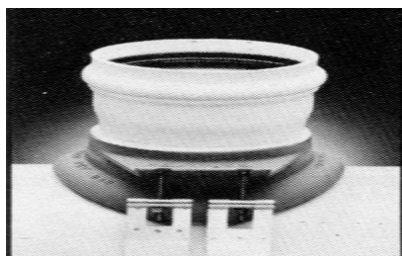


CH	4" & 6" Gasketed Bell to accept SDR-35
C40P	4" & 6" Solvent Weld PVC Hub to accept Sch 40
CS	4" & 6" Spigot Can Connect Any Lateral with Proper FERNCO Coupling
CA	4" & 6" Spigot of SDR 35-PVC
CEX	4" & 6" Hub to accept Extra Heavy CI (Gasket Included)
CSV	4" & 6" Hub to accept Service Weight CI (Gasket Included)
C26	4" & 6" <b>NEW!</b> Gasketed Bell to accept SDR-26
C40	4" & 6" <b>NEW!</b> Gasketed Bell to accept Sch 40
C40A	4" & 6" Spigot - Sch 40 PVC O.D.
C90A	4" & 6" Spigot - C900 O.D.
C90P	4" & 6" Solvent Weld PVC Hub to accept C900

Note: 6" Tap required in Main Regardless of Lateral Size

**SEALTITE® TYPE "8C" MULTI-RANGE TEE SEWER SADDLE VARIOUS  
CONTOURS TO FIT 10.00" THROUGH 94.00" O.D. GRAVITY SEWER MAINS**

**Models Available:**



CH8	8" Gasketed Bell to accept SDR-35
8C40P	8" Solvent Weld PVC Hub to accept Sch 40
8C90A	8" Spigot C900 O.D.
CA8	8" Spigot of SDR 35-PVC
8C40	<b>NEW!</b> 8" Gasketed Bell to Accept Sch

40

8C40A 8" Spigot Sch 40 PVC O.D.

8C90P 8" Solvent Weld PVC Hub to Accept  
C900



# Style "CB"<sup>™</sup> Sewer Saddle

**A ROMAC ORIGINAL**  
- 1981 -



Patent #4494780

## Design Advantages:

- **Inventory Reduction:** Unique gaskets fit wide range of diameters.
- **Ease of Installation:** Saddle can be installed by unskilled labor, using a socket or open end wrench. Built-in stop prevents blockages due to inadvertant insertion of branch into main.
- **Superior Strap:** Strong 304 stainless steel band GMAW & GTAW welded to roll threaded 304 stainless bolts adjusts over a wide range. Clamping force is well distributed by 3 1/2" width.
- **Flexibility:** Gasket allows considerable deflection due to earth movement, while large sealing surface and wide band strongly resist displacement.
- **Reliability:** Continuous rubber connection between rim and branch eliminates potential leak spots. Saddles have been tested to pressures well in excess of typical service test requirements.

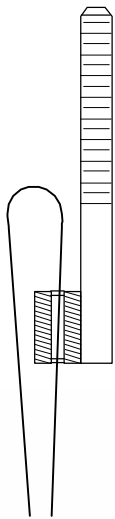
Note: A pipe stop capable of withstanding 1000 pounds of thrust is molded into the CB saddle gasket. Care must be taken during system design and installation to assure that this thrust limit is not exceeded.



# Detail Specifications for Romac "CB"<sup>TM</sup> Sewer Saddles

## Adjustable Strap

304 stainless steel band accommodates a wide range of pipe sizes. The stainless welds are fully passivated (chemically treated after welding to produce a highly corrosion resistant coating). The wide strap distributes the clamping force across the 3 1/2" width.



## Gasket

SBR per ASTM D 2000 MBA 710, compounded for water and sewer service. Gaskets are especially formulated with antioxidant/antiozonant agent to increase shelf life.

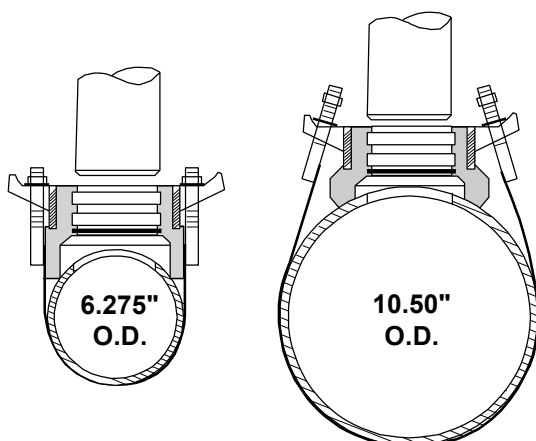


## Saddle Casting

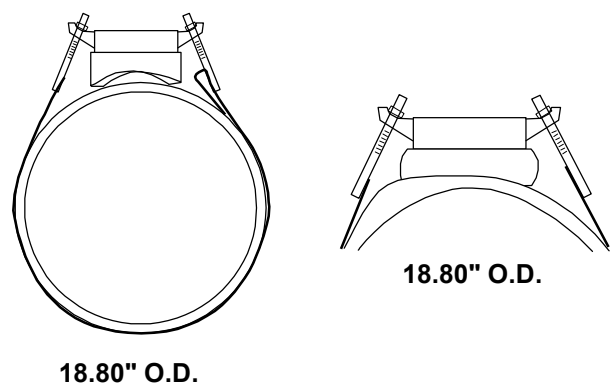
Ductile iron per ASTM 536, Grade 65-45-12. Protected with a yellow corrosion-resistant paint.

<sup>1</sup> **Passivated:** chemically treated after welding to produce a highly corrosion resistant coating.

Same saddle conforming to different outside diameters.



Saddle conforming to pipe.





# Style "CB"™ Sewer Saddle

**Material Specifications**

**Castings:** Ductile iron per ASTM 536, Grade 65-45-12. Protected with a yellow shopcoat.

**Adjustable Strap:** 3 1/2" wide, stainless steel per ASTM A 240, type 304.

**Bolts:** 1/2" UNC rolled thread, lubricant coated, stainless steel per ASTM A 193, type 304.

**Nuts:** Stainless steel per ASTM A 194, type 304.

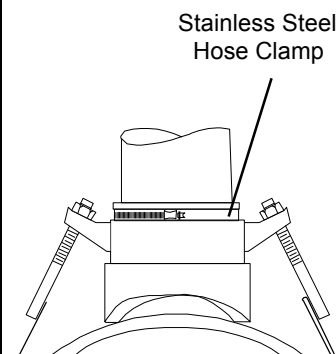
**Washers:** Stainless steel per ASTM A 240, type 304 and plastic lubricating washers.

**Gasket:** SBR per ASTM D 2000 MBA 710, compounded for water and sewer service. Other compounds available on request.



NOM. BRANCH SIZE	NOM. PIPE SIZE	RANGE	BRANCH TYPE	BRANCH O.D.	CATALOG NUMBER	LIST PRICE	ADD-ON EPOXY	APPROX. WEIGHT (lbs.)
4"	6"-12" 48" Strap	2 6.27-14.40 Regular Gasket	PVC Sewer	4.215	CB-4.215	\$131.05	\$39.86	10 #
			Tyseal	4.28	CB-4.28			
			C.I. Soil-No Hub	4.38	CB-4.38			
			PVC	4.50	CB-4.50			
			Universal <sup>1</sup>	4.20-4.80	CB-4.80UN <sup>1</sup>			
	Clay <sup>1</sup>	5.00-5.38	CB-5.38 <sup>1</sup>					
	14"-24" 96" Strap	14.40-25.80 Large O.D. Gasket	PVC Sewer	4.215	CB-4.215LS	166.65		11 #
			Tyseal	4.28	CB-4.28LS			
			C.I. Soil-No Hub	4.38	CB-4.38LS			
			PVC	4.50	CB-4.50LS			
			Universal <sup>1</sup>	4.20-4.80	CB-4.80UNLS <sup>1</sup>			
	Clay <sup>1</sup>	5.00-5.38	CB-5.38LS <sup>1</sup>					
	24"-48" 192" Strap	25.80-54.00 Large O.D. Gasket	PVC Sewer	4.215	CB-4.215XLS	309.30		13 #
			Tyseal	4.28	CB-4.28XLS			
			C.I. Soil-No Hub	4.38	CB-4.38XLS			
PVC			4.50	CB-4.50XLS				
Universal <sup>1</sup>			4.20-4.80	CB-4.80UNXLS <sup>1</sup>				
Clay <sup>1</sup>	5.00-5.38	CB-5.38XLS <sup>1</sup>						
6"	8"-12" 48" Strap	2 8.00-14.40 Regular Gasket	PVC Sewer	6.27-6.30	CB-6.30	174.70	60.29	12 #
			C.I. Soil-No Hub	6.27-6.66	CB-6.66UN <sup>1</sup>			
			Universal <sup>1</sup>	6.27-6.66	CB-6.66UNLS <sup>1</sup>			
			Cast Iron-D.I.	6.90	CB-6.90			
			Clay <sup>1</sup>	7.19-8.00	CB-8.00 <sup>1</sup>			
	14"-24" 96" Strap	14.40-25.80 Large O.D. Gasket	PVC Sewer	6.27-6.30	CB-6.30LS	208.61		13 #
			C.I. Soil-No Hub	6.27-6.66	CB-6.66UNLS <sup>1</sup>			
			Universal <sup>1</sup>	6.27-6.66	CB-6.66UNLS <sup>1</sup>			
			Cast Iron-D.I.	6.90	CB-6.90LS			
			Clay <sup>1</sup>	7.19-8.00	CB-8.00LS <sup>1</sup>			
	24"-48" 192" Strap	25.80-54.00 Large O.D. Gasket	PVC Sewer	6.27-6.30	CB-6.30XLS	351.27		15 #
			C.I. Soil-No Hub	6.27-6.66	CB-6.66UNXLS <sup>1</sup>			
			Universal <sup>1</sup>	6.27-6.66	CB-6.66UNXLS <sup>1</sup>			
			Cast Iron-D.I.	6.90	CB-6.90XLS			
			Clay <sup>1</sup>	7.19-8.00	CB-8.00XLS <sup>1</sup>			

**CB-4.80UN  
Patent #4494780**



<sup>1</sup> CB Sewer Saddles for Universal and Clay pipe include stainless steel hose clamp.

<sup>2</sup> Regular gaskets are NOT interchangeable with large gaskets.

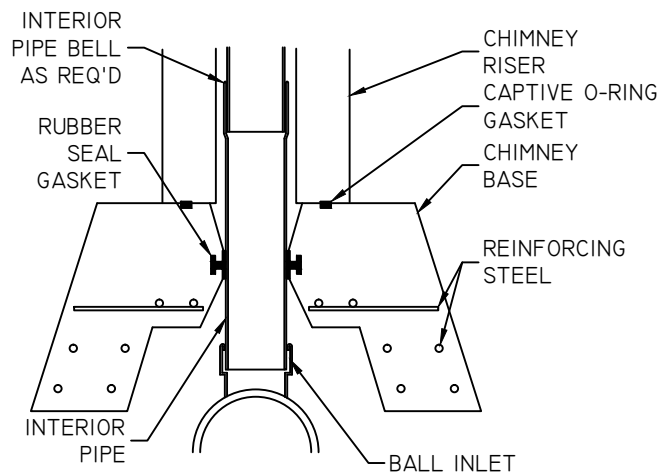
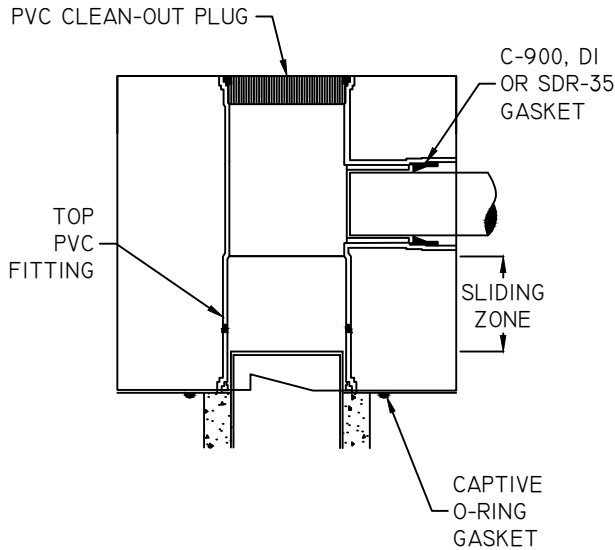
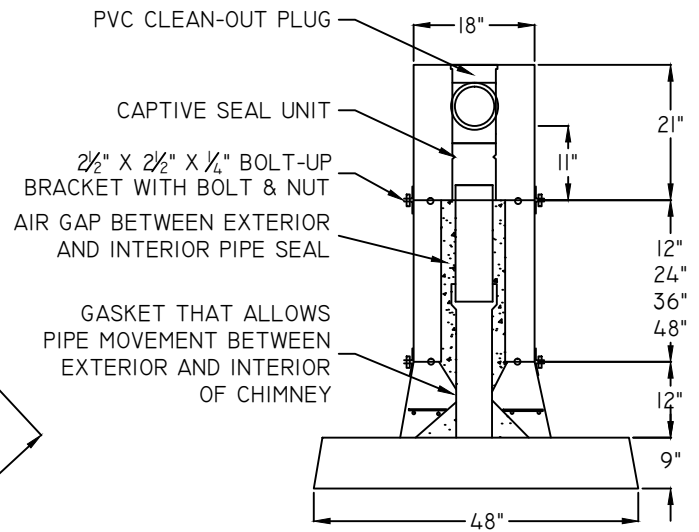
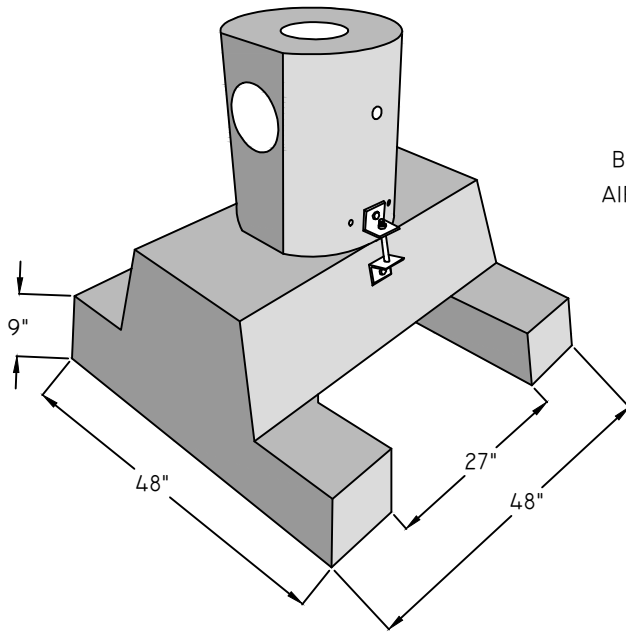
## PARTS LIST

BRANCH SIZE	SIZE	GASKET	SADDLE CASTING	SLIDING BOLT	HOSE CLAMP <sup>1</sup>	STRAP
4"	6-12"	\$42.72	\$45.95	\$15.62	\$12.70	REG (48") \$42.38
	14-24"	58.27				LS (96") 62.42
	24-48"	58.27				XLS (192") 205.08
6"	8-12"	75.23	57.09	15.62	13.52	
	14-24"	89.10				
	24-48"	89.10				

**To Order:** Specify catalog number.

**Example:** To fit 4" branch to 6" -12" nominal pipe with branch 4.20 - 4.80, order

**CB-4.80UN**



**DESIGN NOTES:**

1. CONCRETE - 5000 PSI, 28 DAYS
2. REINFORCING STEEL CONFORMS TO LATEST ASTM A615.
3. H-20 DESIGN LOADING PER AASHTO HS-20-44
4. FILL VOID UNDER BRIDGE SECTION WITH SUITABLE BEDDING MATERIAL
5. FOR USE WITH 18"Ø PIPE AND UP

PATENT 4,243,068  
 PATENT 5,189,861  
 PATENT 5,293,719  
 PATENT 5,345,728  
 PATENT 1,129,455 (CANADIAN)

ANY MODIFICATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF ARROW CONCRETE PRODUCTS SHALL RENDER IT INVALID AND UNUSABLE.



DOUBLE - SEAL  
SEWER CHIMNEY

WIDE BASE

SCALE: N.T.S.

DATE: 2/10/12

DRAWN: JPW

DWG #

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MILFORD, CONNECTICUT  
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