



APPLICATION FOR SPECIAL PERMIT

Complete, notarize, and forward **thirteen (13) hard copies and (1) electronic copy in PDF format** to Clerk of the Zoning Board with a **\$1,000.00 Public Hearing Fee** and the required application filing fee (**see Fee Schedule below**), payable to the City of Stamford.

NOTE: Cost of required advertisements are payable by the Applicant and performance of required mailing to surrounding property owners is the sole responsibility of the applicant. **LAND RECORDS RECORDING FEE:** \$60.00 for First page - \$5.00 for each additional page)

Fee Schedule

Special Permit 20,000 sq. ft. or less	\$460.00
Special Permit more than 20,000 sq. ft.	\$460.00 + \$30 per 1,000 sq. ft. or portion thereof in excess of 20,000 sq. ft.

APPLICANT NAME (S): PABLO DE MIGUEL IGLESIAS

APPLICANT ADDRESS: 162 14TH STREET BROOKLYN NY 11215

APPLICANT PHONE #: 646 265 0338

IS APPLICANT AN OWNER OF PROPERTY IN THE CITY OF STAMFORD? NO

LOCATION OF PROPERTY IN STAMFORD OWNED BY APPLICANT (S): N/A

ADDRESS OF SUBJECT PROPERTY: 953 HOPE STREET

PRESENT ZONING DISTRICT: V-C

TITLE OF SITE PLANS & ARCHITECTURAL PLANS: ATLANTIS FRESH MARKET , MINOR INTERIOR AND FACADE ; SHEETS # A.001, A.101, A.102, A.201, S-200, S-201,

REQUESTED SPECIAL PERMIT: (Attach written statement describing request)
NEW METAL PANEL CLADDING OVER EXISTING BRICK _ COVERING APPROXIMATELY 40% OF EXISTING FACADE, NEW 8' x 8' OPENING.

LOCATION: (Give boundaries of land affected, distance from nearest intersecting streets, lot depths and Town Clerk's Block Number)
CORNER OF HOPE AND FAHEY STREETS . MBLU: 93 319 A 000-2932, 52.7' & 58.7' LOT DEPTH

NAME AND ADDRESS OF OWNERS OF ALL PROPERTY INVOLVED IN REQUEST:

<u>NAME & ADDRESS</u>	<u>LOCATION</u>
<u>CH REALTY VIII/CG ATLANTIS LLC 3819 MAPLE AVENUE DALLAS TX 75219</u>	<u>953 HOPE STREET</u>

DOES ANY PORTION OF THE PREMISES AFFECTED BY THIS APPLICATION LIE WITHIN 500 FEET OF THE BORDER LINE WITH GREENWICH, DARIEN OR NEW CANAAN? NO (If yes, notification must be sent to Town Clerk of neighboring community by registered mail within 7 days of receipt of application – PA 87-307).

DOES THE PROJECT RESULT IN THE CREATION OF 10 OR MORE UNITS OR 10,000 SF OR MORE IN FLOOR AREA OR DISTURBANCE OF 20,000 SF OR MORE IN LAND AREA, THROUGH NEW DEVELOPMENT, RECONSTRUCTION, ENLARGEMENT OR SUBSTANTIAL ALTERATIONS? NO (If yes, then complete the Stamford Sustainability Scorecard per Section 15.F).



DATED AT STAMFORD, CONNECTICUT, THIS 25 DAY OF OCTOBER 2021

SIGNED: [Signature]

NOTE: Application cannot be scheduled for Public Hearing until 35 days have elapsed from the date of referral to the Stamford Planning Board. If applicant wishes to withdraw application, please notify the Zoning Board at least three (3) days prior to Public Hearing so that the Board may have sufficient time to publicize the withdrawal.

STATE OF ~~CONNECTICUT~~ New York
ss ~~STAMFORD~~ Westchester above October 25 2021

COUNTY OF ~~FAIRFIELD~~
Personally appeared Pablo De Miguel, signer of the foregoing application, who
the truth of the contents thereof, before me.

Charline Polanco
Notary Public, State of New York
Registration No. 01P06368348
Qualified in Bronx County
Commission Expires Dec. 11, 2021

Charline Polanco
Notary Public - Commissioner of the Superior Court

FOR OFFICE USE ONLY

APPL. #: _____ Received in the office of the Zoning Board: Date: _____

By: _____

Revised 09/02/2020

City Of Stamford
Zoning Board-Land Use Bureau
Government Center
888 Washington Boulevard - 7th Floor
Stamford CT 06901

January 12,2022

Re. Statement of findings - 953 Hope Street Stamford CT

The applicant is seeking a Special Permit in accordance with section 4.B.7 of the Stamford Zoning regulations, for the alteration of a Building façade more than 50 feet in width, including signage, that exceeds thirty percent (30%) of the vertical plane area of any individual façade or portion of façade visible from within the V-C Districts from any public Street, roadway, public pedestrian walkway or park.

All new building signage will be filed under a separate application and is not part of this special permit application.

Special Permits shall be granted only upon a finding that the proposed use or structure or extension or alteration of an existing use or structure is in accordance with the public convenience and welfare after taking into account where appropriate the following:

1. The location and nature of the proposed site including its size and configuration, the proposed size, scale and arrangement of structures, drives and parking areas and the proximity of existing dwellings and other structures.

The application is not requesting a change to the site, its structure, drives or parking areas. The building footprint and height will not be altered should this application be granted. The proposed work is a cosmetic alteration of the existing brick facade.

2. The nature and intensity of the proposed use in relation to its site and the surrounding area. Operations in connection with special permit uses shall not be injurious to the neighborhood, shall be in harmony with the general purpose and intent of these Regulations, and shall not be more objectionable to nearby properties by reason of noise, fumes, vibration, artificial lighting or other potential disturbances to the health, safety or peaceful enjoyment of property than the public necessity demands.

The application is not requesting a change to the current gas station/ convenience store use or current operation. All new building signage is shown on the plans just as reference for the facade composition (scale, colors, fonts..),

but is not part of this special permit application and will be filed under a separate application. There is no exterior lighting or equipment in the scope of work.

3. the resulting traffic patterns, the adequacy of existing streets to accommodate the traffic associated with the proposed use, the adequacy of proposed off-street parking and loading, and the extent to which proposed driveways may cause a safety hazard, or traffic nuisance.

The proposed alteration would not affect the existing traffic patterns, parking and loading, or add any additional traffic nuisance to the area.

4. the nature of the surrounding area and the extent to which the proposed use or feature might impair its present and future development.

The proposed facade upgrade will not negatively impact the character of the surrounding area nor will impair its present and future development. The scope of work is very limited in relation to the surrounding area. In addition, the building being altered is located in the back of the site, which limits its visibility from the street.

5. the Master Plan of the City of Stamford and all statements of the purpose and intent of these regulations.

The subject property is located in Master Plan Category 6 -Commercial, neighborhood business. The property is zoned V-C Village Commercial District. The purpose of this district is to promote the preservation and development of sustainable, transit-oriented and pedestrian friendly "Main Streets" for neighborhood centers. Although the impact of the applicant proposed work is very limited, the proposed facade design is consistent with the district architectural guidelines.

City Of Stamford
Zoning Board-Land Use Bureau
Government Center - 888 Washington Boulevard
Stamford CT 06904-2152

January 05,2022

Re: Project Description - 953 HOPE STREET

Dear Zoning Board,

On the existing convenience store building located on 953 Hope Street, we are proposing a facade upgrade. The proposed work includes :


- New composite metal panel rain screen over the exiting brick facade on North, West and South Elevations.
- New metal panel lap siding with wood grain texture and color on the S-W corner and West facade.
- New 8'x8' Opening on the West facade facing Hope street.
- Paint and/or reclad existing storefront.
- Paint East facade

There is no proposed change in use or bulk.

All new signage will be filed under separate application.

Proposed interior upgrades are being filed with the building department under B21-1065 application.

Your sincerely,

A large, stylized handwritten signature in black ink, consisting of a long horizontal stroke and a vertical stroke that loops back over the horizontal one.

Pablo De Miguel AIA

ATLANTIS FRESH MARKET

MINOR INTERIOR AND FACADE UPGRADES

953 Hope Street Stamford CT 06907

LIST OF ABBREVIATIONS

@	- At	INCL.	- Include/Including
A.C.T.	- Acoustical Ceiling Tile	INFO.	- Information
A.F.C.	- Above Finished Ceiling	INSUL.	- Insulate, Insulating, Insulation
A.F.F.	- Above Finished Floor	INT.	- Interior
AIA	- American Institute of Architects	JAN.	- Janitor
AIEE	- American Institute of Electrical Engineers	K.D.	- Knock Down
AISC	- American Institute of Steel Contractors	K.O.	- Knock Out
ALUM.	- Aluminum	KW.	- Kilowatt
ALT.	- Alternate	L.	- Length
AMP.	- Ampere	LAV.	- Lavatory
APT.	- Apartment	LB.	- Pound
ARCH.	- Architect or Architectural	L.H.	- Left Hand
ASHRAE	- American Society of Heating, Refrigerating, & Air Conditioning Engineers	L.H.R.	- Left Hand Reverse
		LIN.	- Linear
ASME	- American Society of Mechanical Engineers	LT.	- Light
ASTM	- American Society of Testing Engineers	MANUF.	- Manufacturer
ASSOC.	- Associated, Association	MAT.	- Material
AWG	- American Wire Gauge	MAX.	- Maximum
BD.	- Board	MECH.	- Mechanical
B.L.	- Building Line	MED.	- Medium
BLDG.	- Building	MEZZ.	- Mezzanine
BLK.	- Block	MIN.	- Minimum
BM.	- Beam	MISC.	- Miscellaneous
B.O.	- By Others	MTL.	- Metal
BOT.	- Bottom	N.	- North
B.O.S.	- Bottom of Steel	NEC	- National Electrical Code
BTU	- British Thermal Unit	NEMA	- National Electrical M Assoc
CAB.	- Cabinet	N.I.C.	- Not in Contract
CLG.	- Ceiling	NO.	- Number
C.T.	- Ceramic Tile	N.T.S.	- Not to Scale
CFM	- Cubic Feet Per Minute	OA.	- Overall
C.H.	- Ceiling Height	O.A.D.	- Overall Dimension
CL.	- Centerline	O.C.	- On Center
CLKG.	- Caulking	O.D.	- Outside Diameter
CLO.	- Closet	OFF.	- Office
CLR.	- Clear	PA.	- Public Assembly
COL.	- Column	PCF	- Pounds Per Cubic Foot
CONC.	- Concrete	PERF.	- Perforated
CONST.	- Construction	PERM.	- Permanent
CONT.	- Continuous	PERP.	- Perpendicular
CONTR.	- Contractor	PH.	- Phase
CORR.	- Corridor	P.LAM.	- Plastic Laminate
COV'G.	- Covering	PLMB.	- Plumbing
CPT.	- Carpet	PLYWD.	- Plywood
CS.	- Countersink	PNL.	- Panel
CTR.	- Center	POL.	- Polished
CU. FT.	- Cubic Feet	POS.	- Positive
CU. IN.	- Cubic Inch	PSF	- Pound Per Square Foot
CU. YD.	- Cubic Yard	PSI	- Pound Per Square Inch
D.	- Depth or Deep	PTN.	- Partition
DB.	- Decibel	PT.	- Paint
DBL.	- Double	PTD.	- Painted
DEPT.	- Department	PR.	- Pair
DET.	- Detail	QUAL.	- Quality
D.F.	- Drinking Fountain	RAD.	- Radius
DIA.	- Diameter	RE.	- Refer
DIAG.	- Diagonal	REC'D.	- Received
DIM.	- Dimension	RECP.	- Receptacle
DIV.	- Division	REF.	- Refrigerator
DN.	- Down	R.H.	- Right Hand
DR.(S)	- Door(s)	R.H.R.	- Right Hand Reverse
DWG.	- Drawing	REQ.	- Required
ELEV.	- Elevation or Elevator (context determines)	RM.(S)	- Room(s)
ELEC.	- Electrical	S.S.	- Stainless Steel
ENAM.	- Enamel	S.C.	- Solid Core
ENGR.	- Engineer	SECT.	- Section
EQ.	- Equal	SEP.	- Separate
EQUIP.	- Equipment	SIM.	- Similar
E.W.C.	- Electric Water Cooler	SPEC.(S)	- Specification(s)
EXH.	- Exhaust	SPKR.	- Speaker
EXIST.	- Existing	SPKLR.	- Sprinkler
EXP.	- Exposed	SQ.	- Square
EXTR.	- Extruded	SQ. FT.	- Square Foot
EXT.	- Exterior	SR.	- Senior
F.D.	- Fire Damper	STD.	- Standard
F.H.	- Full Height	STL.	- Steel
FIN.	- Finish	STRUC.	- Structural
FL.	- Floor	SUPT.	- Superintendent
FT.	- Foot	SUSP.	- Suspended
FIG.	- Figure	TEL.	- Telephone
FIN.	- Finish	THK.	- Thick/Thickness
FFRF.	- Fireproof	TYP.	- Typical
FIX.	- Fixture	U.L.	- Underwriter's Laboratories
F.P.S.C.	- Fireproof Self Closing	U.O.N.	- Unless Otherwise Noted
FT. LB.	- Foot Pound	UR.	- Urinal
FTG.	- Footing	V.C.T.	- Vinyl Composition Tile
GA.	- Gauge	VERT.	- Vertical
GAL.	- Gallon	V.I.F.	- Verify In Field
GALV.	- Galvanized	VS.	- Versus
G.C.	- General Contractor	VOL.	- Volume
GL.	- Glass	W.	- Width
G.P.M.	- Gallons per Minute	W/	- With
GYP.	- Gypsum	W.C.	- Water Closet
HC.	- Handicapped	WD.	- Wood
HGT.	- Height	W/O	- Without
HDW.	- Hardware	WP.	- Waterproof
H.M.	- Hollow Metal	WT.	- Weight
HOR.	- Horizontal	YD.	- Yard
HR.	- Hour		
H.R.	- Handrail		
H.W.	- Hot Water		
HVAC	- Heating, Ventilation & Air Conditioning		
I.D.	- Inside Diameter		
IN.	- Inch		

SYMBOLS USED AS ABBREVIATIONS

⊕	- Centerline
#	- Pound or Number

GENERAL CONSTRUCTION NOTES

- INFORMATION SHOWN ON THESE DRAWINGS IS FOR DESIGN INTENT ONLY. VERIFY EXISTING CONDITIONS AND DIMENSIONS IN FIELD. COORDINATE DISCREPANCIES WITH THE ENGINEER. DO NOT SCALE DRAWINGS TO DETERMINE DIMENSIONS.
- ESTABLISH LINES, GRADES, AND BENCHMARKS NECESSARY FOR PROPER WORK. FURNISH GIVEN SURVEY DATA.
- BE RESPONSIBLE FOR QUANTITIES OF WORK. FURNISH LABOR, MATERIALS, AND EQUIPMENT REQUIRED TO COMPLETE WORK.
- PROVIDE PROOF OF WORKMAN'S COMPENSATION INSURANCE AND DISABILITY INSURANCE COVERAGE REQUIRED BY GOVERNING STATE LAW PRIOR TO START OF WORK.
- COORDINATE DRYWALL WORK WITH THAT OF OTHER TRADES IF DRYWALL IS IN CONFLICT WITH DUCTWORK, PLUMBING LINES, ETC.
- PROVIDE NECESSARY BRIDGING AND BRACING REQUIRED TO SECURE DRYWALL AND MAINTAIN FIRE AND SOUND RATING WHERE INDICATED ON THE DRAWINGS.
- PROVIDE METAL CORNER BEADS AT VERTICAL AND HORIZONTAL OUTSIDE CORNERS AND METAL J MOLDS AT EXPOSED EDGES, SPACKLE AND FINISH TO FORM STRAIGHT AND SMOOTH WALLS.
- PROVIDE WATER RESISTANT GYPSUM BOARD FOR PARTITIONS ADJACENT TO PLUMBING LINES OR FIXTURES.
- BUILT-IN CABINET WORK SHALL BE ENCASED IN LAMINATE CLASS B FINISH COMPLETELY. ANY EXPOSED FACE CABINET SHALL UTILIZE FIRE RETARDANT WOOD MATERIAL. WOOD BLOCKING SHALL BE PRESSURE TREATED WITH A FIRE RETARDANT AND PROVIDED WITHIN LIGHT GAUGE STEEL FRAMING TO RECEIVE MILLWORK. PROPERLY SEAL AND PRIME NEW WOOD SURFACES TO RECEIVE FINISH COAT.
- PROVIDE FIRE RETARDANT PLYWOOD PANELS SECURED AND ANCHORED ACROSS 3-STUDS WITHIN LIGHT GAUGE STEEL FRAMING WHEN NECESSARY TO ACCEPT PLASMA TV STEEL MOUNTING BRACKET ASSEMBLY.
- SET CEILING HEIGHTS AS INDICATED ON THE DRAWINGS MEASURED FROM FINISH FLOOR UNLESS OTHERWISE NOTED. SEE FINISH SCHEDULE.
- NOTIFY THE ARCHITECT IMMEDIATELY AND PRIOR TO PROGRESS OF WORK IF UNUSUAL FIELD CONDITIONS ARISE WHICH WOULD PREVENT THE CEILING AND/OR LIGHT FIXTURES FROM BEING INSTALLED AT THE INDICATED HEIGHT.
- IN GENERAL, EXECUTE THE CEILING WORK TO PROVIDE A SMOOTH, CONTINUOUS, MATCHING, TIGHT, AND ALIGNING CEILING. THE FINAL CEILING INSTALLATION SHALL BE FREE OF VISUAL DEFECTS. REPAIR/REPLACE WHERE DAMAGED BY OTHER TRADES.
- DO NECESSARY CUTTING FOR AND/OR BRIDGING REQUIRED FOR LIGHT FIXTURES, AIR DIFFUSERS, ETC.
- INSTALL RESILIENT BASES STRAIGHT AND TRUE, TERMINATING THEM AGAINST OUTER EDGES OF DOOR FRAMES. FURNISH AND INSTALL RESILIENT BASE CORNER SECTIONS SHALL BE PROVIDED IN LENGTHS NOT LESS THAN 1'-0" MEASURED FROM THE CORNER.
- COMPLETELY SEAL ABOVE CEILING PENETRATION CORES THROUGH FLOOR AND ROOF DECKS TO MAINTAIN EXISTING FIRE RATINGS, TYPICAL UTILIZE 3M FIRE STOPPING PRODUCTS AND ASSEMBLIES.
- WHERE DUCTS OR PART OF DUCTS ARE RUNNING PARALLEL OVER FIRE RATED PARTITIONS, EXTEND PARTITIONS AROUND DUCTS TO EFFECT COMPLETE FIRE RATED ASSEMBLIES.
- WHERE DUCTS PENETRATE A FIRE RATED PARTITION AT AN ANGLE, SO THAT A FIRE DAMPER CANNOT BE INSTALLED AT CENTERLINE OF RATED PARTITION, EXTEND A HOUSING FRO THE RATED PARTITION TO THE FIRE DAMPER. COMPLETELY ENCLOSE THE DUCTS WITH MATERIAL EQUAL TO THAT OF THE PARTITION FIRE RATING. COMPLETE PARTITION FIRE RATING SHALL BE MAINTAINED.
- WHERE PIPES, CONDUITS, OR LOW TENSION WIRING PENETRATE FIRE RATED OR SOUND RATED ENCLOSURES SUCH AS WALL OR SLAB, THE SPACES AROUND SUCH PENETRATIONS SHALL NOT EXCEED 1/8". PACK SPACES SOLID WITH MINERAL WOOL OR APPROVED EQUAL ON BOTH SIDES OF THE RATED ENCLOSURE TO ENSURE FULL FIRE/SOUND RATING IN COMPLIANCE WITH THE LOCAL BUILDING CODE.
- FURNISH AND INSTALL 24 HOUR TEMPORARY LIGHTING INCLUDING TEMPORARY LIGHTING FRO INSTALLATION OR DELIVERY OF GOODS OR MATERIAL ON WEEKENDS.
- PARTITION THICKNESS SHOWN ON CONSTRUCTION PLANS OR ENLARGED PLANS ARE NOMINAL DIMENSIONS FROM FINISH FACE OF GYPSUM BOARD TO FINISH FACE OF GYPSUM BOARD UNLESS OTHERWISE NOTED. SEE PARTITION TYPE DETAIL FOR ACTUAL DIMENSIONS.
- ALIGN AND SAND SMOOTH GYPSUM BOARD SURFACES.
- WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE AND IN PROPER ALIGNMENT.
- FULLY PACK AND SEAL EXISTING AND NEW FLOOR PENETRATIONS FOR PIPING IN ACCORDANCE WITH THE GOVERNING BUILDING LAWS.

- FIELD CONDITIONS MAY REQUIRE MODIFICATIONS IN THE DETAILS OF THE DRAWINGS AND QUANTITIES OF WORK INVOLVED. THE WORK SHALL BE CARRIED OUT TO MEET THESE FIELD CONDITIONS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- NEW WALLS AND PARTITIONS, WITHIN AREA OF WORK SHALL RECEIVE A PRIMER AND (2) FINISH COATS OF SCHEDULED FINISH PAINT. INTERIOR TRIM (DOORS, FRAMES, ETC.) SHALL RECEIVE A PRIMER AND (2) FINISH COATS OF SEMI-GLOSS PAINT. COLORS ARE TO CONFORM TO THE FINISH SCHEDULE OR WILL BE SELECTED BY THE ARCHITECT.
- ELEVATION 0'-0" IS A REFERENCE OF THE EXISTING FINISHED FLOOR HEIGHT. NOTATION TO HEIGHTS WILL BE FROM THIS ELEVATION, UNLESS OTHERWISE NOTED. SURFACES ABOVE RAISED FLOOR ARE TAKEN FROM FINISHED RAISED FLOOR HEIGHT AND NOTED (A.R.F.)
- SEAL PENETRATIONS THROUGH NEW FIRE RATED WALLS, CEILING, ETC. WITH ARCHITECT APPROVED 3M FIRE STOPPING PRODUCTS. FIRE STOPPING PERIMETER OF DUCT/CONDUIT PENETRATIONS. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- LARGE SCALE DRAWINGS TAKE PRECEDENT OVER SMALL SCALE DRAWINGS. DETAIL DRAWINGS TAKE PRECEDENT OVER LARGE AND SMALL SCALE DRAWINGS.
- IN THE EVENT OF DISCREPANCY BETWEEN DRAWINGS AND SPECIFICATIONS OR BETWEEN DRAWINGS BRING THE DISCREPANCY TO THE ARCHITECT'S ATTENTION IMMEDIATELY, IN WRITING, FOR CLARIFICATION. THE GREATER MONETARY VALUE SHALL TAKE PRECEDENCE IN THE EVENT THE CONTRACTOR NEGLECTS TO OBTAIN CLARIFICATION.
- THE CONTRACTOR SHALL TAKE NO ADVANTAGE OF ANY APPARENT ERROR OR OMISSION IN THE CONTRACT DOCUMENTS. IN THE EVENT THE CONTRACTOR DISCOVERS SUCH AN ERROR, OR OMISSION IN THE CONTRACT DOCUMENTS, HE SHALL IMMEDIATELY NOTIFY THE ARCHITECT. THE ARCHITECT WILL THEN MAKE SUCH CORRECTIONS AND INTERPRETATIONS AS MAY BE DEEMED NECESSARY FOR FULFILLING THE INTENT OF THE CONTRACT DOCUMENTS.
- VERIFY FIELD CONDITIONS AND NECESSARY DIMENSIONS PRIOR TO BEGINNING WORK AT THIS SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION AND AMENDMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL TRADES UNLESS A CONSTRUCTION MANAGER IS PRESENT.
- THE CONTRACTOR SHALL COORDINATE WITH THE MECHANICAL AND ELECTRICAL DRAWINGS FOR ROUGH/FINISH CARPENTRY REQUIRED FOR INSTALLATION OF THEIR WORK. THIS INCLUDES, BUT IS NOT LIMITED TO, THE FRAMED OPENINGS OF DUCTWORK, TRANSFER GRILLES, PIPING, ACCESS DOORS, CHOPPING FOR DRAINS, FIRE/SMOKE DAMPERS, ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ANY MECHANICAL, ELECTRICAL, PLUMBING, OR UTILITY SERVICE EQUIPMENT FROM DAMAGE DURING CONSTRUCTION.
- WORK DESCRIBED BY THESE DOCUMENTS SHALL BE PERFORMED IN FULL ACCORDANCE WITH THE CURRENT VERSION OF ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO THE FOLLOWING CODES: UNIFORM BUILDING CODE, UNIFORM MECHANICAL CODE, UNIFORM FIRE CODE, NFPA STANDARDS, NATIONAL ELECTRICAL CODE, UNIFORM PLUMBING CODE, ALL AS ADOPTED BY MT. VERNON, STATE OF NEW YORK.
- CONTRACTOR SHALL REVIEW THESE PLANS THOROUGHLY, MAKE A DETAILED SITE VISIT, AND SHALL IMMEDIATELY BRING ANY INCONSISTENCY, SITE LAYOUT PROBLEM, OR ANY OTHER REQUEST FOR CLARIFICATION TO THE ARCHITECT FOR RESOLUTION PRIOR TO THE DELIVERY OF ANY BID OR WORK. FAILURE TO DO SO SHALL CAUSE THE CONTRACTOR TO BE INELIGIBLE FOR EXTRAS RELATING TO SUCH MATTERS.
- CONTRACTOR SHALL SUBMIT REPRODUCIBLE SHOP DRAWINGS TO ARCHITECT FOR OWNER'S, ARCHITECT'S, AND ENGINEER'S APPROVAL.
 - CONTRACTOR SHALL COORDINATE WITH ALL TRADES TO PROVIDE COMPLETE WORKING SYSTEMS. CONTRACTOR SHALL LAY OUT HIS WORK AND SHALL PROVIDE DIMENSIONS AND LAYOUT IN ADVANCE FOR ALL OTHER TRADES (PLUMBING, ELECTRICAL, STRUCTURAL, MECHANICAL, ETC.) AND IMMEDIATELY NOTIFY ARCHITECT OF CONFLICT BEFORE PROCEEDING.
 - DRAWINGS OF EXISTING FACILITIES ARE, IN GENERAL, DIAGRAMMATIC. EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR FROM FIELD MEASUREMENTS TAKEN BY CONTRACTOR'S PERSONNEL. ACTUAL ARRANGEMENT OF THE WORK SHALL FOLLOW LOCATIONS SHOWN ON THE DRAWINGS WITHIN THE CONSTRAINTS OF EXISTING EQUIPMENT AND CONSTRUCTION. DIMENSIONS SHALL GOVERN THESE DRAWINGS AND THEY ARE NOT TO BE SCALED. DRAWING AND NOTES TO DRAWINGS ARE CORRELATIVE AND HAVE EQUAL AUTHORITY AND PRIORITY. SHOULD THERE BE DISCREPANCIES IN THEMSELVES OR BETWEEN THEM, CONTRACTOR SHALL BASE BID PRICING ON THE MOST EXPENSIVE COMBINATION OF QUALITY AND/OR QUANTITY OF THE WORK INDICATED. IN THE EVENT OF DISCREPANCIES, THE APPROPRIATE METHOD OF PERFORMING THE WORK AND/OR ITEMS TO BE INCORPORATED INTO THE SCOPE OF THE WORK SHALL BE DETERMINED BY THE ARCHITECT OR ENGINEER.

DELIVERY, STORAGE, & HANDLING

- DELIVER, STORE, AND HANDLE PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, USING MEANS AND METHODS THAT WILL PREVENT DAMAGE, DETERIORATION, AND LOSS, INCLUDING THEFT.
 - CONTROL DELIVERY SCHEDULES TO MINIMIZE LONG-TERM STORAGE AT THE SITE AND PREVENT OVERCROWDING OF CONSTRUCTION SPACES. IN PARTICULAR, COORDINATE DELIVERY AND INSTALLATION TO INSURE MINIMUM HOLDING OR STORAGE TIMES FOR ITEMS KNOWN OR RECOGNIZED TO BE FLAMMABLE, HAZARDOUS, EASILY DAMAGED, OR SENSITIVE TO DETERIORATION, THEFT AND THEIR SOURCES OF LOSS.
 - DELIVER PRODUCTS TO THE SITE IN THE MANUFACTURER'S SEALED CONTAINER OR OTHER PACKAGING SYSTEM, COMPLETE WITH LABELS AND INSTRUCTIONS OR HANDLING, STORING, UNPACKING, PROTECTING, AND INSTALLING.
 - STORE PRODUCTS AT THE SITE IN A MANNER THAT WILL FACILITATE INSPECTION AND MEASUREMENT OF QUANTITY OR COUNTING OF UNITS.
 - STORE HEAVY MATERIALS AWAY FROM THE PROJECT STRUCTURE IN A MANNER THAT WILL NOT ENDANGER THE SUPPORTING CONSTRUCTION.

REMOVAL PERFORMANCE DISCLAIMER

THE ARCHITECT AND ARCHITECT'S CONSULTANTS DO NOT ASSUME RESPONSIBILITY FOR THE MEANS BY WHICH THE REMOVAL IS PERFORMED. THE CONTRACTOR SHALL REMOVE AND/OR PERFORM THE ITEMS NOTED AS SUCH IN THESE DOCUMENTS IN A PROFESSIONAL MANNER IN ACCORDANCE WITH "GOOD GENERAL PRACTICES".

NOTE:

THE DUTIES OF THE ARCHITECT AND HIS EMPLOYEES OR AGENTS SHALL TERMINATE WITH THE COMPLETION AND DELIVERY OF WORKING DRAWINGS. THE ARCHITECT IS NOT RESPONSIBLE OF SUPERVISION OF CONSTRUCTION OF THE PROJECT, NOR DOES THE ARCHITECT HAVE AUTHORITY TO ACT ON BEHALF OF THE OWNER OR THE CONTRACTOR UNLESS NOTED OTHERWISE IN WRITING.

THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR OR ANY SUB-CONTRACTOR OR ANY OF THE CONTRACTOR'S OR SUB-CONTRACTOR'S EMPLOYEES OR AGENTS, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.

SYMBOL LEGEND

	COLUMN LINE
	DETAIL/DWG.
	ELEVATION/ SECTION/DETAIL
	INTERIOR ELEVATION
	SPOT ELEVATION, DATUM
	REVISION - ADDENDUM
	ROOM NAME, NUMBER AND SQ. FT.
	FINISH TYPE
	PARTITION TYPE
	STOREFRONT TYPE
	DOOR NUMBER

DRAWING LIST

Number	Name	Scale
A-000.00	Cover and Drawing List	NTS
A-101.00	As Built/Demo and Proposed Construction Plans	1/4"=1'-0"
A-102.00	Equipment / Power Plans	1/4"=1'-0"
A-201.00	Proposed Building Elevations	1/4"=1'-0"

BUILDING DATA:

USE GROUP: B	TYPE OF CONSTRUCTION: TYPE IIIB	STORIES: 1
FLOOR AREA:	1,890 SF	
EXISTING OCCUPANCY: 40 OCCUPANTS	PROPOSED OCCUPANCY: 40 OCCUPANTS	
SALES FLOOR: 1042 SF / 30 = 34.7 (35 OCCUPANTS)	ATTENDANT AREA: 2515F / 100 = 2.51 (3 OCCUPANTS)	
STORAGE: 258 SF / 200 = 1.29 (2 OCCUPANTS)		

BUILDING DEPARTMENT NOTES:

THE RENOVATION WORK DESCRIBED HEREIN SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL BUILDING CODES AND REPRESENTS:

NO CHANGE IN USE
NO CHANGE OCCUPANCY
NO CHANGE IN EGRESS
NO CHANGE IN ZONING

BUILDING CODE:

BASED ON THE 2018 CONNECTICUT STATE BUILDING CODE, WHICH IS BASED ON THE FOLLOWING NATIONAL MODEL CODES:

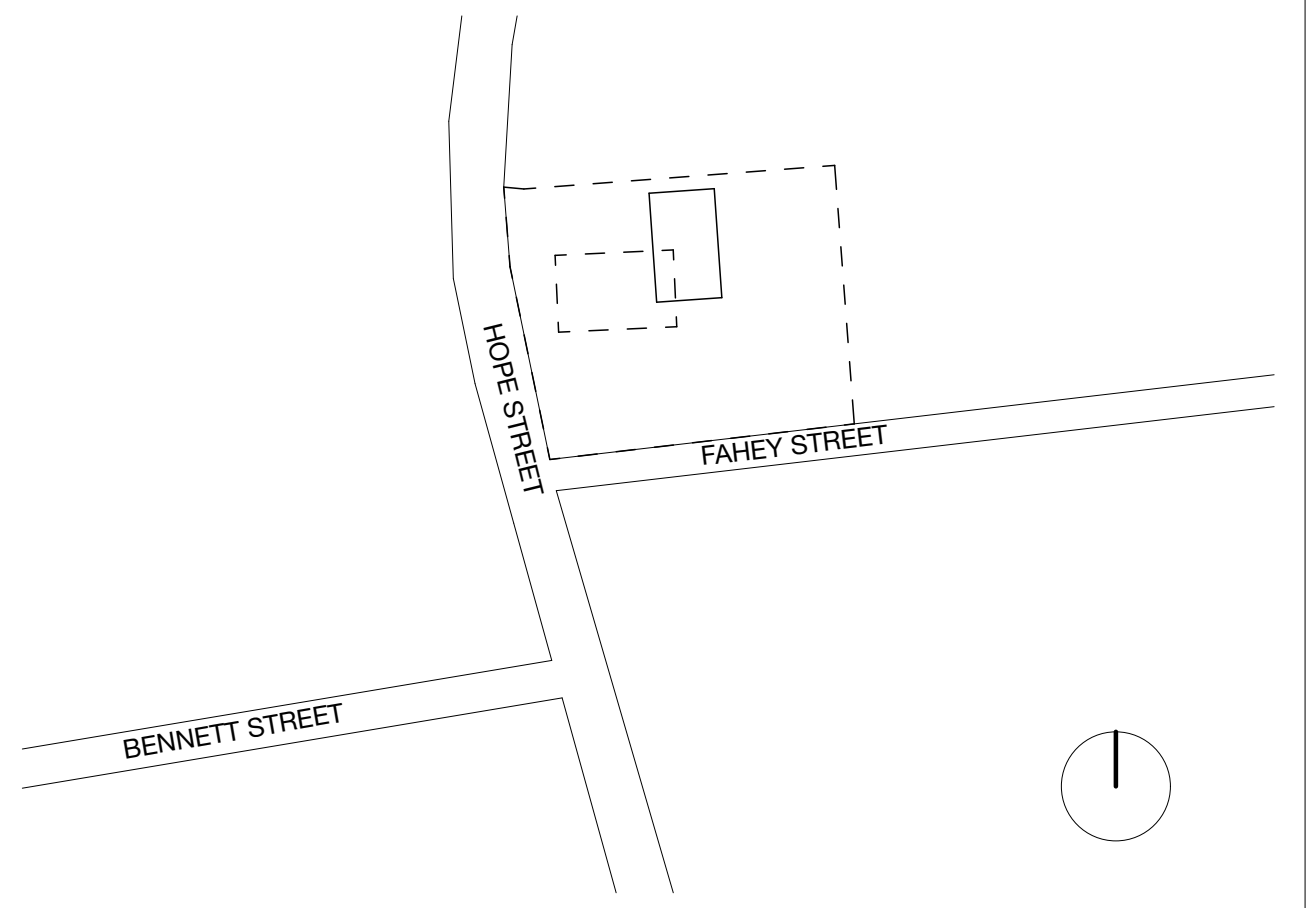
2015 INTERNATIONAL BUILDING CODE
2015 INTERNATIONAL EXISTING BUILDING CODE
2015 INTERNATIONAL PLUMBING CODE
2015 INTERNATIONAL MECHANICAL CODE
2015 INTERNATIONAL ENERGY CONSERVATION CODE
2017 NFPA 70, NATIONAL ELECTRICAL CODE
2009 ICC/ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

ADA STATEMENT:

I HEREBY CERTIFY THAT THE PLANS AND DRAWINGS FOR THIS PROJECT WERE DRAWN IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS, INCLUDING, BUT NOT LIMITED TO THE AMERICANS WITH DISABILITIES ACT (THE "ADA"), THE ADA ACCESSIBILITY GUIDELINES AND ANY STATE OR LOCAL ACCESSIBILITY CODES, REGULATIONS, OR STANDARDS.

SITE PLAN:

SCALE: 1"=100'



ATLANTIS FRESH MARKET MINOR INTERIOR AND FACADE ALTERATIONS

953 Hope Street
Stamford CT 06907

OWNER:

Atlantis Management Group
555 S Columbus Ave #201
Mt. Vernon NY 10550
contact: Jose Montero
T. 914-699-9500 E. Josem@atlantismgmt.com

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W. www.pablodemiguel.com

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KEY PLAN

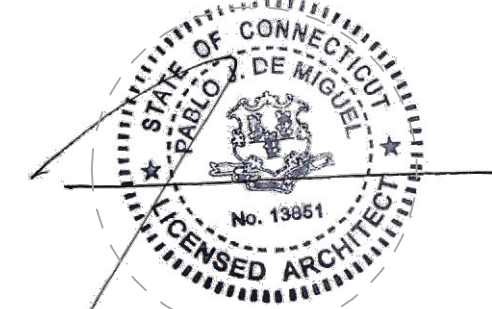
BUILDING PERMIT APP# B-21-1065

6	12/02/2021	Issued w/ revisions
5	6/10/2021	Issued w/ revisions
4	4/19/2021	Issued for Filing
3	3/23/2021	Issued for Review
2	12/22/2020	Issued for Review
1	12/21/2020	Issued for Review

ISSUE	DATE	DESCRIPTION

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SEAL & SIGNATURE



Pablo de Miguel AIA

SHEET NAME:

COVER SHEET

DATE: 12/2/21	SCALE: 1/4" = 1'-0", 1" =100'
PROJECT No.: 1721	PAGE: 30 of 35

DRAWING No.:

A.001.00

953 Hope Street
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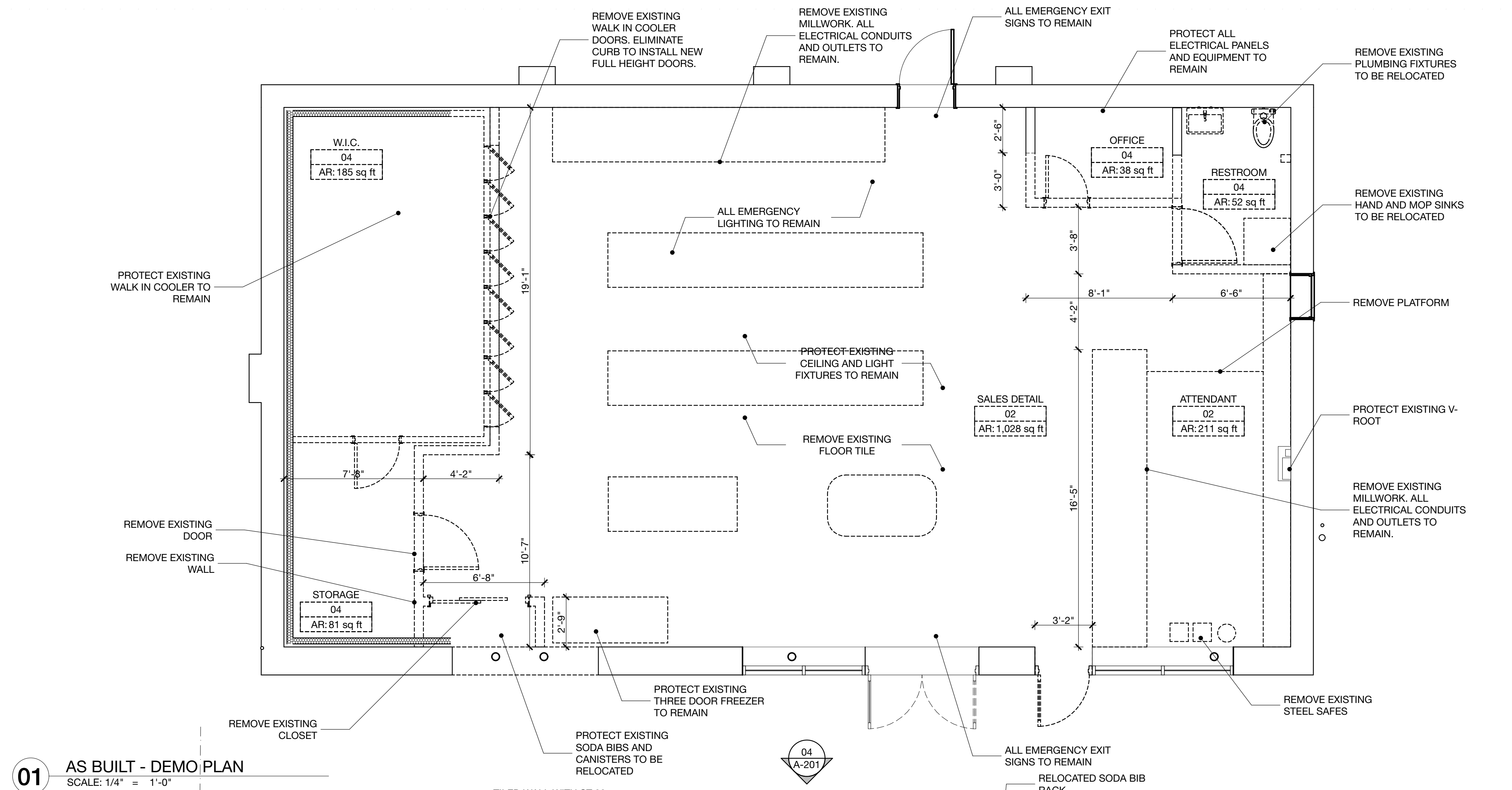
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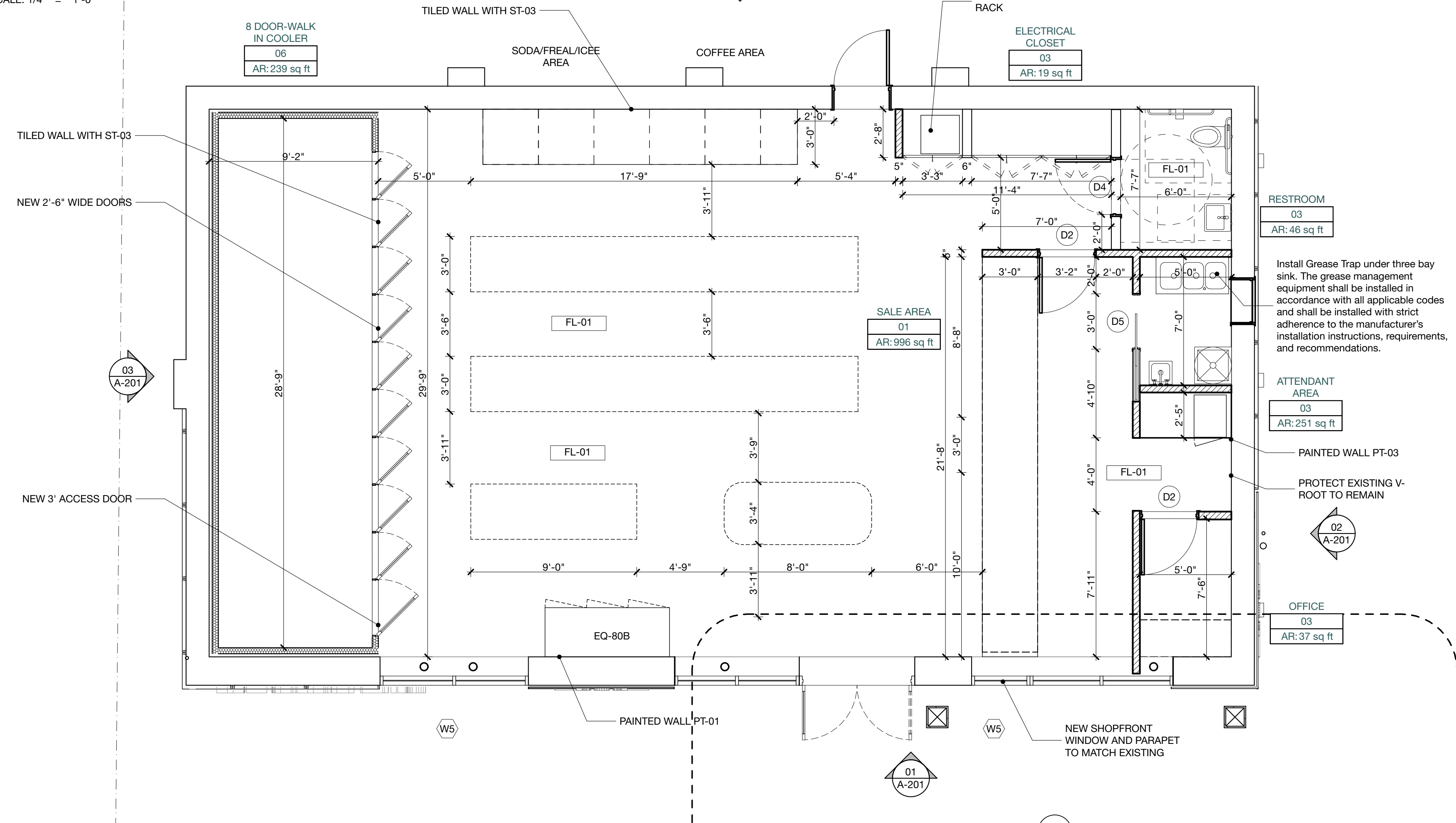
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KEY PLAN



01 AS BUILT - DEMO PLAN
SCALE: 1/4" = 1'-0"



02 GROUND FLOOR CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

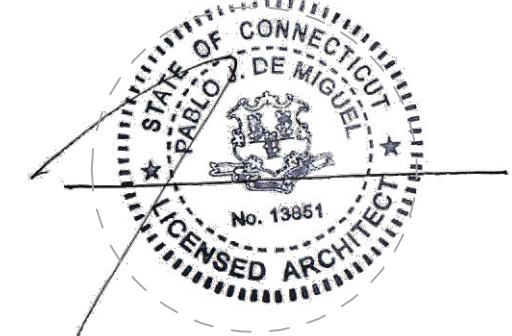
FINISH SCHEDULE				
ITEM CODE	LOCATION	DESCRIPTION	MANUFACTURER	PRODUCT #/ FINISH
FL-01	SALE FLOOR, ATTENDANT AREA, OFFICE, UTILITY ROOM, RESTROOM	24"X48" FIELD TILE 3/8" THICK	DAL TILE	HAUT MONDE - EMPIRE BLACK HM06 UNPOLISHED
PT-01	ALL WALLS AND GYP SUSPENDED CEILING	PAINT	BERH ULTRA SATIN	FLAT PAINT, COLOR WHITE 0983-7750 CUSTOM COLOR MATCH
PT-02	ACCENT AREAS, CORRIDOR, DOORS	PAINT	BENJAMIN MOORE	GRAPHITE 1603
PT-03	INTERIOR WALLS AS INDICATED ON PLANS	PAINT	BERH ULTRA SATIN	FLAT PAINT, COLOR 420B-5 SWEET MIDORI GREEN. 0983-BASE 7753
ST-01	SALE FLOOR	STONE COUNTERTOP	SILESTONE	SILVER NUBE
ST-02	RESTROOM	PORCELAIN MOSAIC TILE	SUBWAY TILE	WHITE GLOSSY 3X6
ST-03	SALE FLOOR / WALK-IN COOLER EXTERIOR	PORCELAIN MOSAIC TILE	MERGLA TILE METRO SUBWAY GLOSSY WHITE 11-3/4 IN. X 11-3/4 IN. X 5 MM	MODEL NUMBER: FXLMSSW
GR-01	RESTROOM	GROUT	POLYBLEND	CHARCOAL
GR-02	SALE AREA	GROUT	POLYBLEND	WHITE
WD-01	SALE FLOOR	POWDER COATED METAL CABINETS	TBD	RAL 7022
WD-02	GENERAL SALES AREA	RECLAIMED WOOD GLAZING	BY OWNER	BY OWNER
RB-01	SALE FLOOR, ATTENDANT AREA, OFFICE, UTILITY ROOM	BASEBOARD	ROPPE 700 SERIES	RUBBER- COLOR DARK GREY T8D WITH CONCRETE FLOOR

BUILDING PERMIT APP#
B-21-1065

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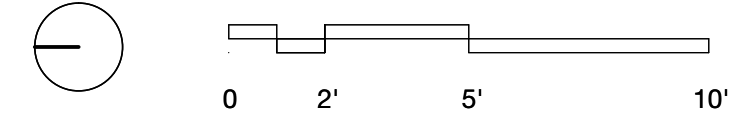
SHEET NAME:

AS BUILT AND PROPOSED
CONSTRUCTION PLANS

DATE: 12/2/21 SCALE: 1" = 1'-0"
PROJECT No.: 1721 PAGE: 31 of 35

DRAWING No.:

A.101.00



NOTE: DIMENSIONS FOR GENERAL INFORMATION ONLY
ALL DIMENSIONS TO BE VERIFIED IN FIELD.

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KEY PLAN

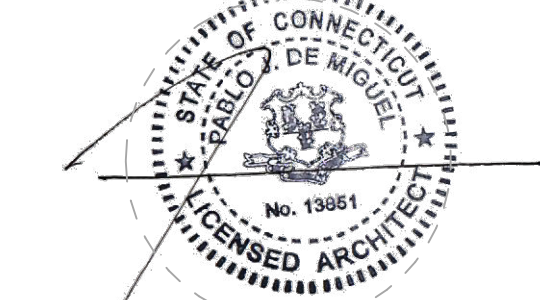
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ISSUE DATE DESCRIPTION

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Pablo De Miguel AIA

SHEET NAME:

EQUIPMENT PLAN AND
SCHEDULE

DATE: 12/21/21 SCALE: 1/4" = 1'-0", 1"
PROJECT No.: 1721 PAGE: 32 of 35

DRAWING No.:

A.102.00

ITEM #	DESCRIPTION	MANUFACTURER	MODEL #	DIMENSION (IN)	PLUMBING WATER WASTE	ELECTRICAL AMP VOLTAGE	REMARKS
EQ-1	ROLLER GRILL	STAR ROLLER	STAR GRILL MAX 50 SCF	20.63 35.75 9.81		12.8 120	CUT SHEET
EQ-2	BUN WARMER	STAR ROLLER	STAR UNHEATED BUN WARMER 55120	20.63 35.75 6.25		0.4 120	CUT SHEET
EQ-3	ROLLER GRILL SNEEZE GUARD CONVECTION OVEN	STAR ROLLER	STAR 5515 10 SINGLE DOOR HOT DOG TURBO CHEF BULLET ENC3	27.5 21.19 23		N/A N/A	CUT SHEET
EQ-4	HOT FOOD WARMER	VENDO SANDEN	OPTION A VENDO HOT FOOD DISPLAY CASE HFD 00007 - 160321 - OPTION B HFDHC 42.7 WIDE	19.7 35.3 27.6		9.5 110	CUT SHEET
EQ-5	BREAKFAST SANDWICH WARMER	HATCO	FDWD-1X ONE DOOR MINI DISPLAY WARMER	16.5 15.75 25.13		3.9 110	CUT SHEET
EQ-7	MICROWAVE	SOLIHAVE	MW100555 STAINLESS STEEL STEEL MICROWAVE	18.5 20 12		8.3 120	CUT SHEET
EQ-8	SANDWICH COOLER	FEDERAL GR HUSSMAN	XXXXXXX	96 48 59.875		16.29 2 X 220	DIFFERENT SIZES DEPENDING ON LOCATION
EQ-9	INTERACTIVE POSTMARK IC3 DRINK DISPENSER	CORNELIUS	621058656 IDC PRO	34.5 30 39.316		8.5 120	CUT SHEET NEMA L6-20R CO2
EQ-10	MANUAL FULL COASTAL EXT HDL. FROZEN	BUNN	621058656 IDC PRO	28.2 16 31.9		12 120	CUT SHEET NEMA L6-20R CO2
EQ-11A	DISPENSED BEVERAGE MACHINE	ICEE	MODEL 772 DOUBLE BARREL MULTIFLAVOR	32.5 17 41.4 3/8"		20 NEMA L6-20R	CUT SHEET NEMA L6-20R CO2
EQ-11B	FROZEN BEVERAGE MACHINE	ICEE	MODEL 773 SINGLE BARREL MULTIFLAVOR	32.5 20.3 41.4 3/8"		30 NEMA L6-20R	CUT SHEET NEMA L6-20R CO2
EQ-11C	FROZEN BEVERAGE MACHINE	ICEE	MODEL 774 FOUR BARREL MULTIFLAVOR	32.5 26 34.5 3/8"		30 NEMA L6-20R	CUT SHEET NEMA L6-20R CO2
EQ-12	SHAKE MACHINE	FREAL	B6 BLENDER	25" 15.25" 42" 1/4" 3/4"	15	120	15 AMP REQUIRED. REFER TO SPECS. FROZER SETS UNDER COUNTER UNDER THE SHAKE MACHINE
EQ-13	FREEZER FOR SHAKE MACHINE	FREAL	SINGLE DOOR FREEZER	30.49 27.87 32.5	15	120	7 BUNKER WHEN POSSIBLE
EQ-14	ICE CREAM FREEZER	NOVELTY	RS-90	25.59 68.9 30.16		120	LOCATE AT END OF GONDOLA
EQ-15	RED BULL COOLER	IMBERA	VRI0-R2		3.2	110	LOCATE AT END OF GONDOLA
EQ-16	MONSTER COOLERS	IDW	GCG-10		4	110	CATS CABLE NEEDED. CUT SHEET
EQ-17	ATM MACHINE	HYOSUNG	HALO II MONMAX 2800	23.4 17.7 54.2	2	110	CUT SHEET ATTENDANT SIDE. ADD CASTERS TO OVERALL H DIMENSION
EQ-18	UNDER COUNTER FREEZER	LOTTO	TUC-27 FHC	27 30 29.75	3.9	115	NEMA-4-158 3 OUTLETS
EQ-19	LOTTO SMALL MACHINE	LOTTO				110	2 OUTLETS
EQ-20	LOTTO COINTEGR MACHINE	LOTTO				110	DEDICATED
EQ-21	CASH REGISTER	VERIFONE	TOPAZ XL COMMANDER	15 13 14		110	4 QUAD NEEDED. DEDICATED OUT SHEET ATTENDANT AREA. CUT SHEET
EQ-22	FINGER PRINT MACHINE	EASY CLOSING	EC200 - BASIC			110	ATTENDANT AREA SAFE/ ELECTRICAL DEDICATED
EQ-23	SAFE #1	ARMOR SAFE TECHNOLOGIES	MESA DOUBLE DOOR	20 20 30		110	OFFICE SAFE OFFICE SAFE
EQ-25	SAFE #2	MODERN	ROUTER			110	
EQ-26	SAFE #3	MODERN	ROUTER			110	
EQ-27	SAFE #4	MODERN	ROUTER			110	
EQ-28	SAFE #5	MODERN	ROUTER			110	
EQ-29	SAFE #6	MODERN	ROUTER			110	
EQ-30	SAFE #7	MODERN	ROUTER			110	
EQ-31	SAFE #8	MODERN	ROUTER			110	
EQ-32	SAFE #9	MODERN	ROUTER			110	
EQ-33	SAFE #10	MODERN	ROUTER			110	
EQ-34	SAFE #11	MODERN	ROUTER			110	
EQ-35	SAFE #12	MODERN	ROUTER			110	
EQ-36	SAFE #13	MODERN	ROUTER			110	
EQ-37	SAFE #14	MODERN	ROUTER			110	
EQ-38	SAFE #15	MODERN	ROUTER			110	
EQ-39	LONG DOOR WALK-IN DISPLAY COOLERS FLOORLESS	BUSH REFRIGERATION/ COOLERS	DIMENSIONS AS PER PLANS			3.4 120	UNIT MUST BE DIRECT WIRE TO A HARB 110V A.C. GROUNDED CIRCUIT FOR LIGHT SWITCH AND DIGITAL THERMOMETER
EQ-40	WALK-IN COOLER X DOORS (NUMBER AS PER PLAN)	ANTHONY INT.	401 NT HNG 30079-LED BLACK 2 FRAME ARIZON GAS FLEED HEAT REFLECTIVE HX INSULATED GLASS DISPLAY DOORS. HEATED FRAME WITH CONTROL TECH. HINGED W/ LED LIGHTS			30.25 79	HINGE AS PER PLANS. (7) SHIELDS PER DOOR BLACK/REFER TO CUT SHEETS
EQ-41	WALK-IN FREEZER	BUSH REFRIGERATION/ COOLERS	DIMENSIONS PER PLAN				
EQ-42	WALK-IN COOLER X	ANTHONY INT.	BLACK WIRE				
EQ-43	WALK-IN COOLER X	FLEX ROLLER	FRWDL-070-0660 BLK				
EQ-44	WALK-IN COOLER X	HUSKY	HOME DEPOT	24 77 72			
EQ-45	OFFICE CHAIR	MADIX	USF			110	PROVIDE OUTLETS AT EACH END OF THE GONDOLA
EQ-46	GONDOLA						INCLUDED IN CABINET DESIGN
EQ-47	GARBAGE CAN #1 UNDERCOUNTER	ROYSTON					INCLUDED IN CABINET DESIGN
EQ-48	GARBAGE CAN #2 ATTENDANT AREA	ROYSTON					INCLUDED IN CABINET DESIGN
EQ-49	GARBAGE CAN #4 ATTENDANT AREA	ROYSTON					INCLUDED IN CABINET DESIGN
EQ-50	GARBAGE CAN #5 ATTENDANT AREA	ROYSTON					INCLUDED IN CABINET DESIGN
EQ-51	WIRE SHELVES UNDER-COUNTER	ROYSTON					INCLUDED IN CABINET DESIGN
EQ-52	CIGARETTES DISPLAY RACK	IMAGEWORKS	ENHANCED CIGARETTE RACK	4 (4' 0") WIDE STANDARD PROFILE ENHANCED METAL RACK DISPLAY (W/D-LB) (ITEM # 8584)	13.9 48 92.5	110	DIMENSIONS CAN CHANGE WITH LOCATION
EQ-53	CIGARS DISPLAY RACK	IMAGEWORKS	ENHANCED CIGARS RACK	4 (4' 0") WIDE STANDARD PROFILE ENHANCED METAL RACK DISPLAY (W/D-LB) (ITEM # 8584)	13.9 48 61	110	DIMENSIONS CAN CHANGE WITH LOCATION
EQ-54	HAND SANITIZER	PURELLLO 171X	TOUCH FREE DISPENSER - DOVE	2720-12			MOUNTED 84" MAX. A.F.F. TO OPERABLE PARTS
EQ-55	COLLAR FILTERS FOR COKE MACHINE	ECOLAB	CRTG-ECO-TD14 PRO6GL & CRTG-ECO-TD18 PRO6GL				FOR COKE MACHINE
EQ-56	FOOD THERMO	LAWTOOLS	JAVELIN PRO DUO				
EQ-57	FOOD TONGS	CAL-MIL	CAL-MIL MODEL 2042	17 1/4" 10" 14 3/4"		N/A N/A	
EQ-58	CONDIMENT HOLDER	BUNN	ITC8-DV-DRC w/ Integrated Fro Tray	20.8" 11.5" 34.4"		15 1/2	
EQ-59	ICE COFFEE BREWER	BUNN	2SH SOFT HEAT STAND, INF SERIES	20.2" 11.8" 9.3"			
EQ-60	COFFEE BREWER	BUNN	ICB TWIN SH. BLACK STAINLESS	23.4" 21.9" 32.9" 20.90		25 1/2	CUT SHEET
EQ-61	COFFEE DISPENSER	BUNN	THERMOFRESH BRIESIES CIBC-SINGLE			1.5 120	
EQ-62	COFFEE MAKER	FRANKE	A600	23.6 13.4 28.7 3/8"		2x1" 3/4" vent	20-24 200-220
EQ-63	REFRIGERATED LIQUID DISPENSER	COLD STAR	NDR9	20 3/4" 10.5" 22"		1.2 120	
EQ-64	CAPPUCCINO	PRIMO	GR PRIMO CAPPUCCINO DISPENSING SYSTEMS	11.25 23.25 30		3/8" WITH 1/4" FITTING	15 120
EQ-65	COFFEE MAKER	FRANKE	A400	23.6 13.4 28.7 3/8"		2x1" 3/4" vent	20-24 200-220
EQ-66	COFFEE MAKER	FRANKE	A800	23.6 13.4 28.7 3/8"		22.4 4.2	200-220
EQ-67	REFRIGERATION SYSTEM FOR A600	FRANKE	SUOS CM	21.3 10.6 18.7		15 110-120	TO BE USED WITH EQ-66
EQ-68	ICE DOOR FREEZER	TRUE	GDM-49NT-LD	30 1/8" 54 76 1/2"			
EQ-69	ICE DOOR UNDERCOUNTER REFRIGERATOR	AWATOC	A SERIES-48-R4C	29.5 47.25 35.25		2.7 115V	
EQ-70	ICE DOOR UNDERCOUNTER REFRIGERATOR	GHEL'S		17 9 23		1.7 120V/250W	
EQ-71	ICE DOOR UNDERCOUNTER REFRIGERATOR	GHEL'S		17 9 23			SEE TOTAL SIZE WITH BACK BELOW SIZE INCLUDES DISPENSER
EQ-72	ICE DOOR UNDERCOUNTER REFRIGERATOR	GHEL'S		17 9 23			
EQ-73	ICE DOOR UNDERCOUNTER REFRIGERATOR	ROYSTON	ESS-33-PARC. CDB352320-08-L1-T5U-NPK.B.SF.3630	16.5 18.12 54			NEED CUT SHEET ONLY USED WHEN CO STORE DOES NOT INCLUDE DD
EQ-74	ICE DOOR UNDERCOUNTER REFRIGERATOR	TURBO AIR	MODEL: M3F19-1	31.5" 25 1/4" 18"		5.3 115/60/1	20 CU
EQ-75	ICE DOOR UNDERCOUNTER REFRIGERATOR	ROYSTON	SLOB.GRGO. 54.00X18.14X16.50. MTL. UP	24 36			INCLUDE EXTRA SHELF
EQ-76	ICE DOOR UNDERCOUNTER REFRIGERATOR	BRONSTER	BRONSTER VENTLESS FRYER #2	19-1/8 18-3/8 24-1/8		27-23 120/209-249	INCLUDE ACCESSORY KIT
EQ-77	ICE DOOR UNDERCOUNTER REFRIGERATOR	TITAN	UNDERCOUNTER 3 DOOR FREEZER XTUF72	30.5" 72" 33"		8.2 115	
EQ-80A	SWING DOOR REFRIGERATOR	MASTER BUILT	1.2 OR 3 DOORS	32" 27" 54" 61"		7 115/60/1	
EQ-80B	SWING DOOR REFRIGERATOR	MASTER BUILT	1.2 OR 3 DOORS	32" 27" 54" 61"		10 115/60/1	
EQ-81	SWING DOOR REFRIGERATOR	PERRETS	WH-PPSD-S-MD-CTL	11.5 12.5 19.75		3 110	
EQ-82	SWING DOOR REFRIGERATOR	GOOD WEST	3 PORT MODEL RGV-38LK	21.5 13.5 24.25		15 11/12	
EQ-83	SWING DOOR REFRIGERATOR	MASTER BUILT	2 OR 3 DOORS	37.38 29 102			
EQ-84A	B-I-B RACK	B-I-B	ONE WIDE SLANTED B-I-B RACK 18FJ	17 15 12			
EQ-84B	B-I-B RACK	B-I-B	TWO WIDE SLANTED B-I-B RACK 28FJ	17 27 12			
EQ-84C	B-I-B RACK	B-I-B	THREE WIDE SLANTED B-I-B RACK 38FJ	17 39 12			

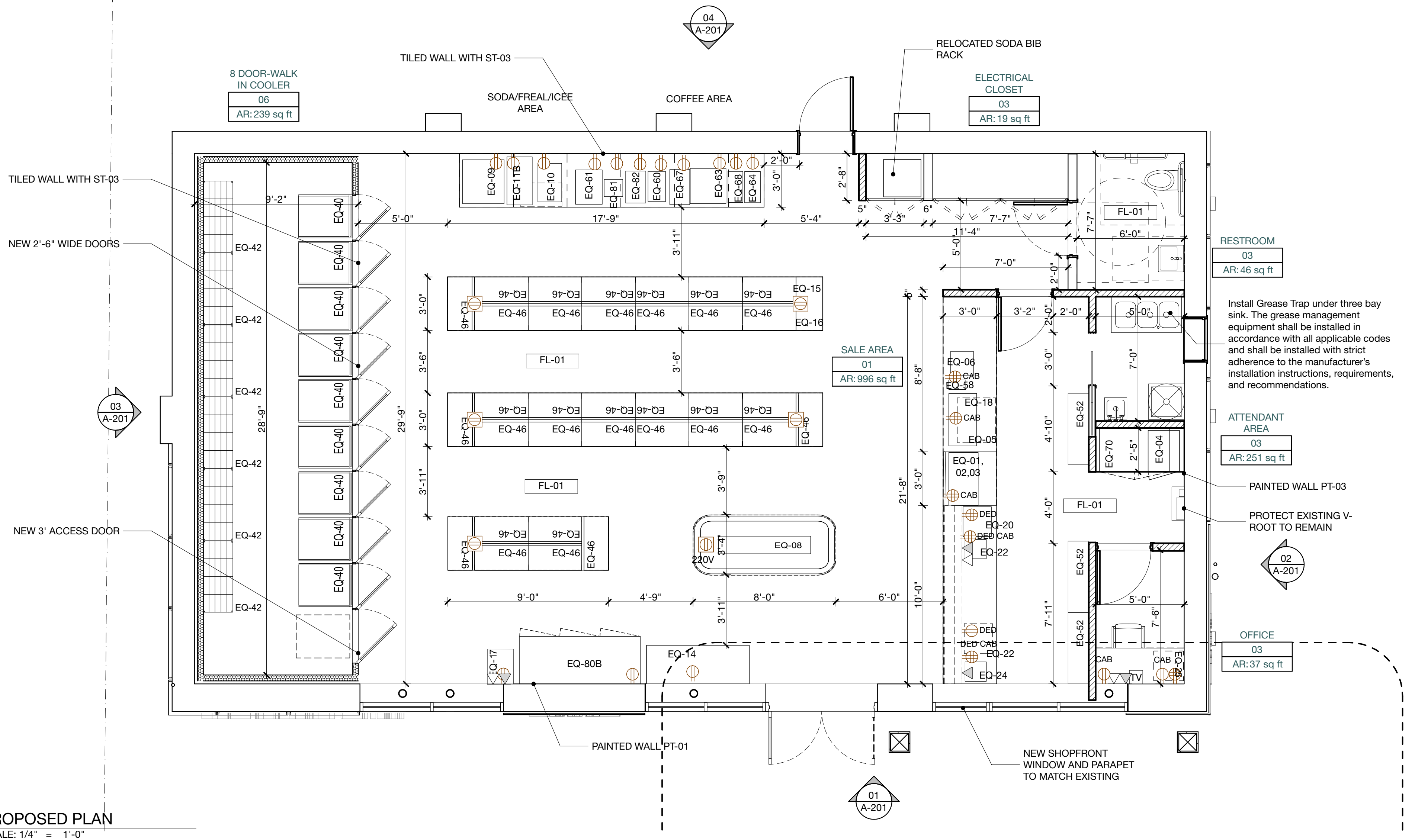
SYMBOL LEGEND

DOOR NUMBER	(XX)
FINISH TAG	(XX-01)
PARTITION TYPE	(1)
EXISTING CONST. TO REMAIN	(---)
NEW CONSTRUCTION	(---)
CEILING HEIGHT	(XX)
WALL MOUNT FLR / CNG MOUNT	
SINGLE RECEPTACLE	(○)
DUPLEX RECEPTACLE	(○)
QUADRUPEX RECEPTACLE	(○)
TELEPHONE OUTLET	(▽)
DATA OUTLET	(▽)
TELEVISION OUTLET	(TV)
THERMOSTAT	(⊖)
SENSOR	(⊖)
HUMIDISTAT	(⊖)
BELL	(⊖)
SPEAKER	(⊖)
ELECTRIC HEATER	(WV)
SWITCH	(3)
3-WAY SWITCH	(3)
4-WAY SWITCH	(4)
SWITCH & SINGLE RECEPTACLE	(○)
SWITCH & DUPLEX RECEPTACLE	(○)
JUNCTION BOX	(⊙)

GREASE INTERCEPTOR SIZING CALCULATION:

- 3 COMPARTMENT SINK: 24" L x 18" W x 14" D x 3 = 18,144 CU. IN.
 - CONVERT TO GALLONS: 18,144 ÷ 231 = 78.5 GAL.
 - REQUIRED FLOW RATE TO DRAIN SINKS IN 1 MIN.: 78.5 GAL / 1 MIN. = 78.5 GPM
 - ADJUST FOR DISPLACEMENT: 78.5 GPM x 0.75 USABLE = 58.9 GPM
 - RETENTION CAPACITY: 2 LBS. PER GPM: 58.9 GPM x 2 = 118 LB. CAPACITY
- PROVIDE GREASE INTERCEPTOR WITH FLOW RATE OF 58.9 GPM OR GREATER AND GREASE CAPACITY OF 118 LBS OR GREATER.

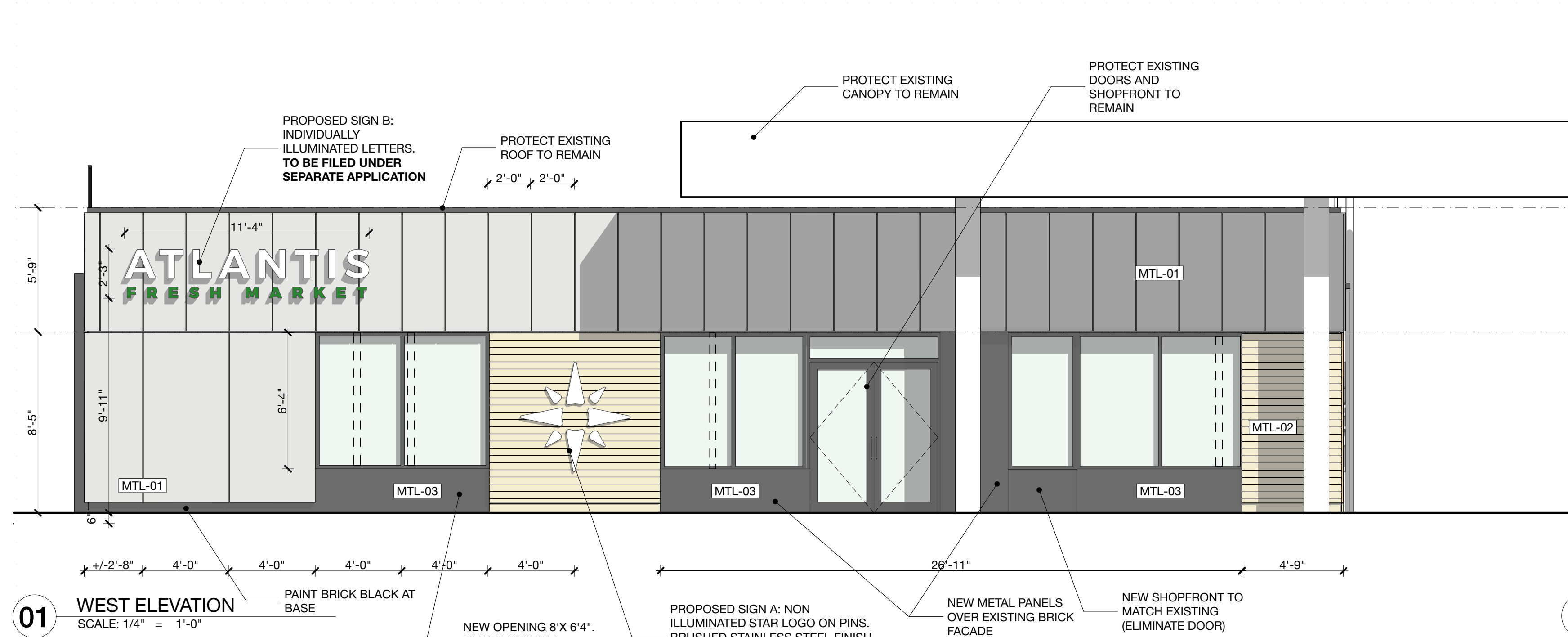
GREASE INTERCEPTOR REQUIRED FOR 3 BAY SINK
SEE INCLUDED SIZING CALCULATIONS



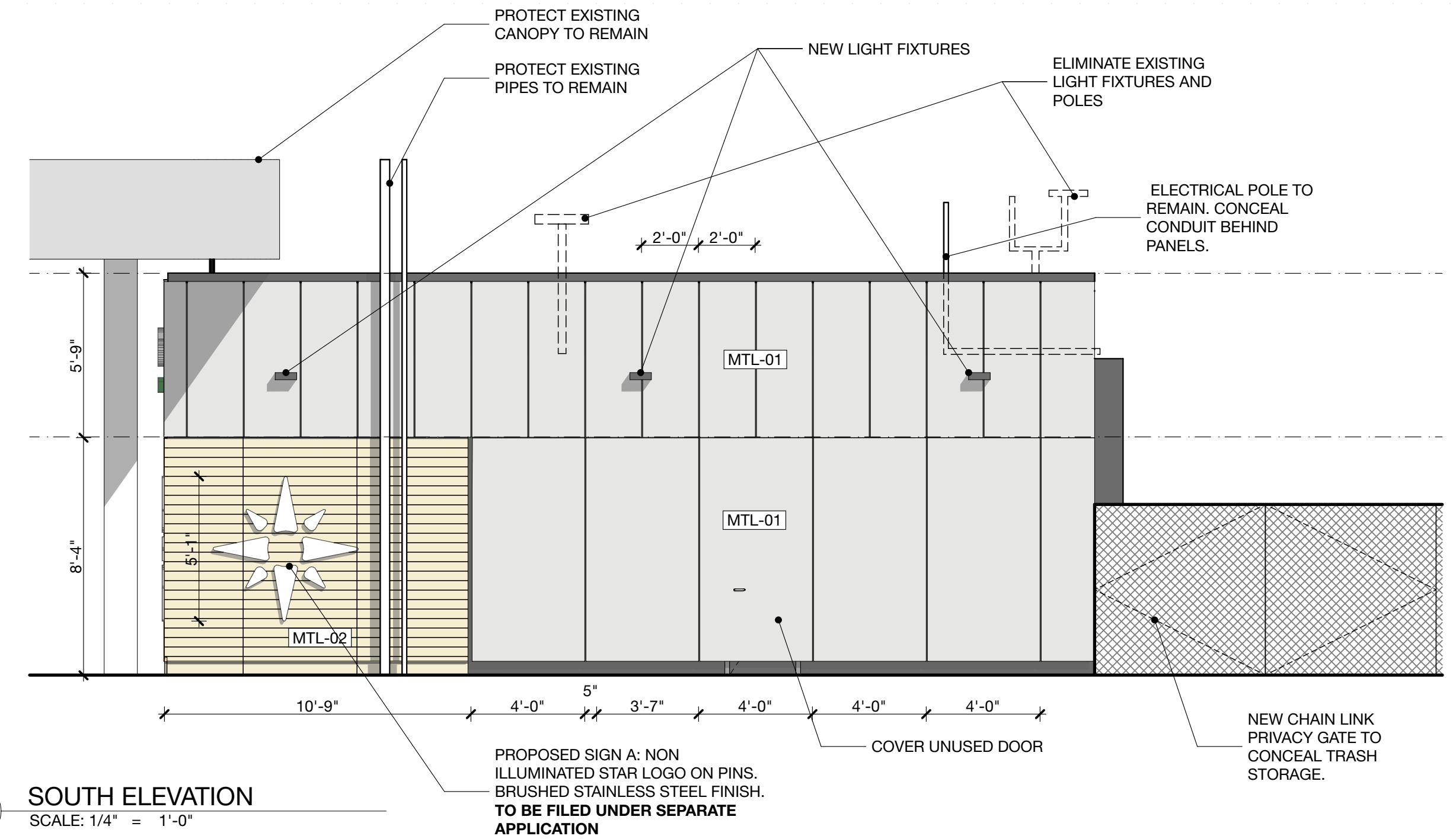
02 PROPOSED PLAN
SCALE: 1/4" = 1'-0"

PLUMBING / ACCESSORIES SCHEDULE

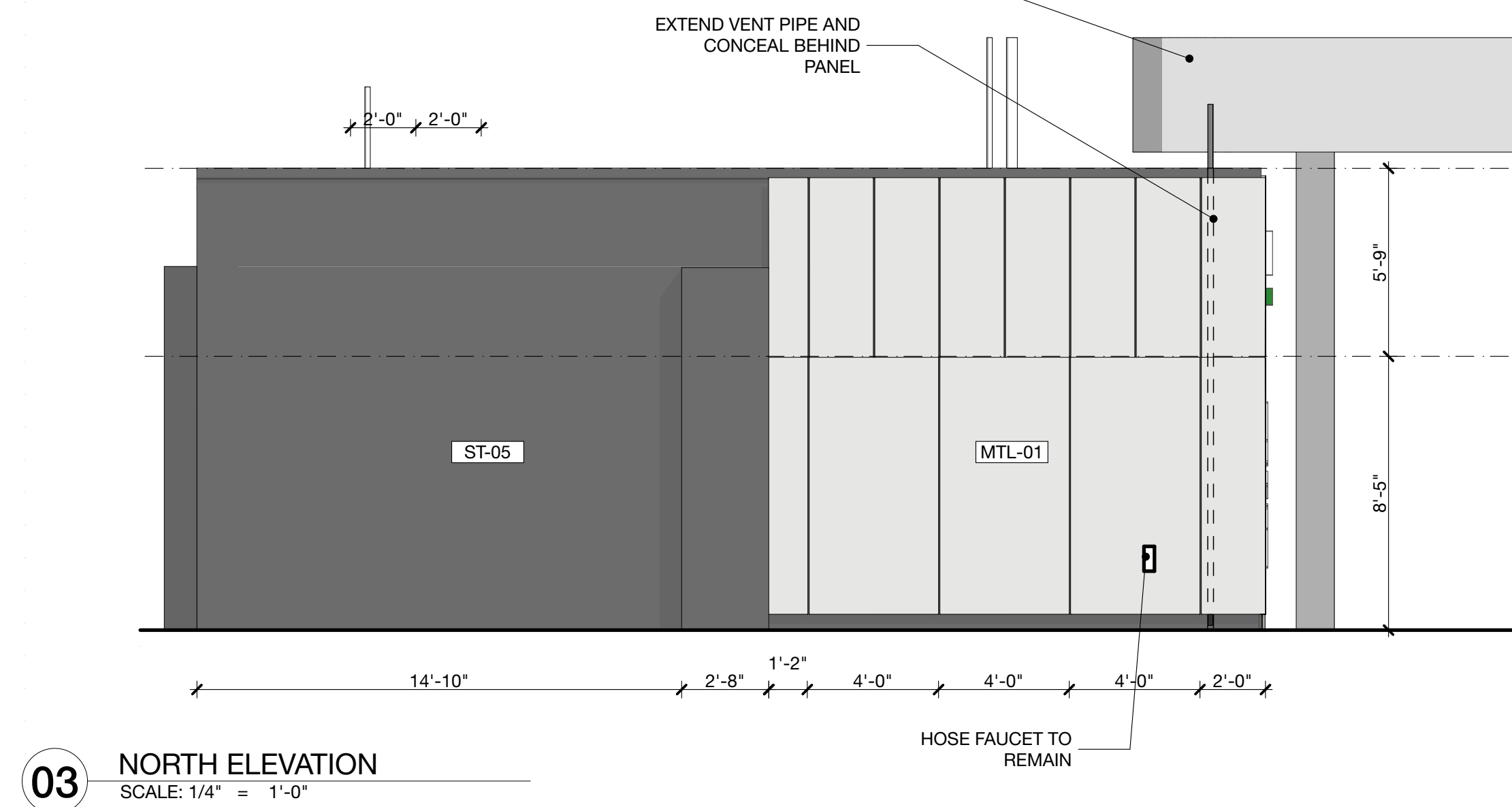
ITEM CODE	#	DESCRIPTION	MANUFACTURER	MODEL #	FINISH	REMARKS
PF-01	1	TOILET PAPER DISPENSER	BOBRICK	B-265	CHROME PLATE FINISH	MOUNTED AS PER ADA REQUIREMENTS. SEE DETAIL
PF-02	1	H.C. ACCESSIBLE TOILET	AMERICAN STANDARD	3351.576 Exposed Top Spool Bowl and Electronic Flush Valve	WHITE CERAMIC & CHROME PLATE FINISH	MOUNTED @ 17"-19" TO T.O. RIM
PF-03	1	H.C. ACCESSIBLE TILT MIRROR	BOBRICK	B-293 2436	Brushed S.S.	MOUNTED @ 40" A.F.F. TO BOTTOM. DIMENSIONS 24" X 36"
PF-04	1	FAUCET	CHICAGO	116.201.AB.1	CHROME PLATE FINISH	SINGLE HOLE. W/ DUAL BEAM INFRARED SENSOR
PF-05	1	H.C. ACCESSIBLE SINK	AMERICAN STANDARD	9024.001EC Center hole only (CHD)	WHITE CERAMIC	MOUNTED @ 34" A.F.F. PROVIDE ADJUSTABLE OFF-SET P-TRAP AND INSULATION WRAP ON SUPPLY AND DRAIN PIPING BELOW SINK PER ADA REQUIREMENTS. PIPE WRAP EQUAL TO "HAND LAY GUARD" AS MANUFACTURED BY TRIBURO INC.
PF-06	2	COAT HOOK	FMP	134-1039	POLISHED CHROME	ONE ON BATHROOM DOOR AND ONE ON OFFICE DOOR
PF-07	1	VERTICAL GRAB BAR	BOBRICK	B-5806 X 18	SATIN FINISH S.S.	MOUNT VERTICALLY @ 39"-41" A.F.F. TO BOTTOM
PF-08	1	GRAB BAR (REAR)	BOBRICK	B-5806 X 36	SATIN FINISH S.S.	MOUNTED @ 33"-36" A.F.F. TO CENTERLINE
PF-09	1	GRAB BAR (SIDE)	BOBRICK	B-5806 X 42	SATIN FINISH S.S.	MOUNTED @ 33"-36" A.F.F. TO CENTERLINE
PF-10	1	RESTROOM SIGNAGE				MOUNTED @ 60" A.F.F. TO CENTERLINE. SEE DETAIL A.0000XX
PF-11	2	DOOR STOP	CRL	DL2531A	Satin Chrome	Wall Mounted Heavy-Duty Door Stop with Hook and Holder
PF-12	0	FLOOR DRAIN				SEE PLUMBING DWGS.
PF-13	0	DRINKING FOUNTAIN	ELKAY	LZSTLRDWSLK		ONLY ON INDICATED LOCATIONS. W/ BOTTLE FILLER
PF-14	1	MOP SERVICE BASIN	MUSTEE	63 M	CERAMIC WHITE	OR APPROVED EQUAL BY OWNER
PF-15	1	HOT FOOD AREA SINK	ELKAY	S58345	BRUSHED S.S.	OR APPROVED EQUAL BY OWNER. 2 HOLE 4" CENTER
PF-16	1	HOT FOOD AREA FAUCET	CHICAGO	B05-317GN2AA BCP	CHROME	GC TO COORDINATE WITH PF-15.
PF-17	1	HAND WASH SINK W/ INTEGRATED FAUCET PACKAGE	ELKAY	CHSB1716C	CHROME / STAINLESS STEEL	WALL MOUNTED



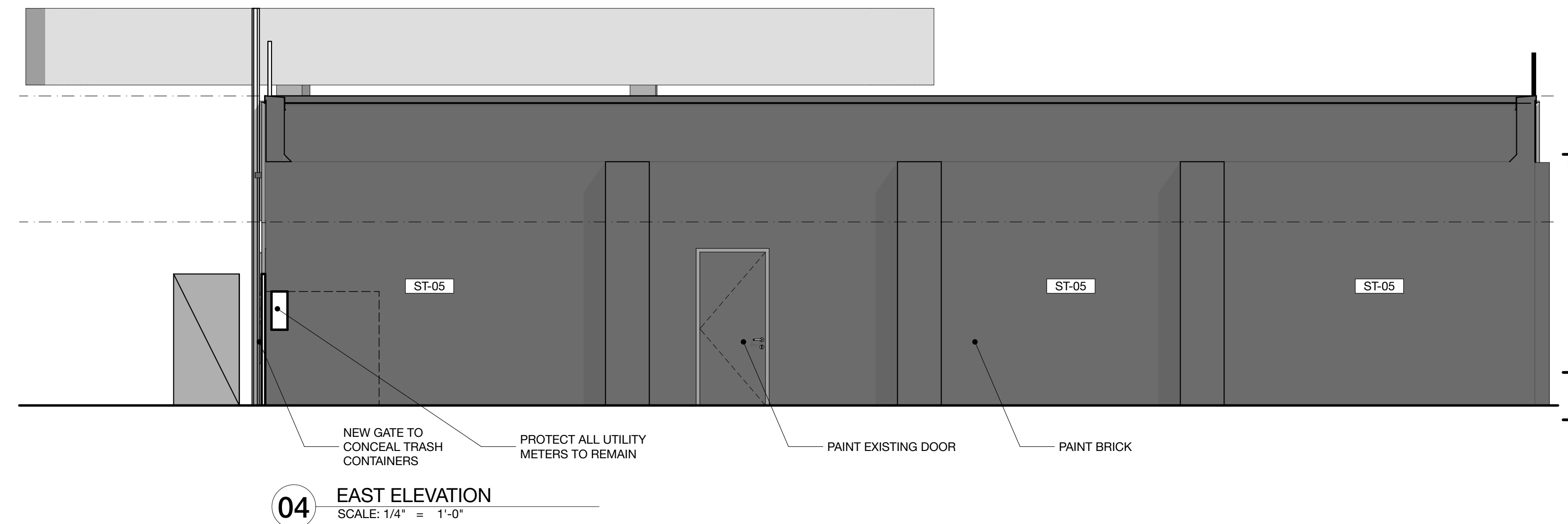
01 WEST ELEVATION
SCALE: 1/4" = 1'-0"



02 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



03 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



04 EAST ELEVATION
SCALE: 1/4" = 1'-0"



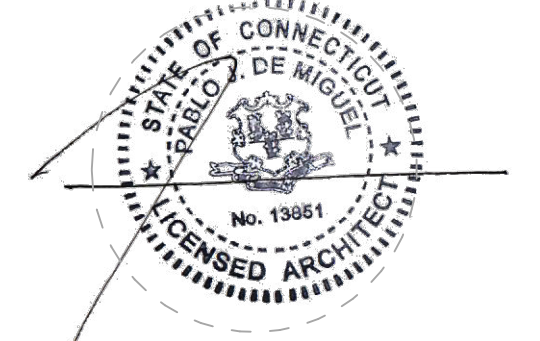
05 GENERAL VIEW
SCALE: 1:161,2224

ISSUE	DATE	DESCRIPTION
6	12/02/2021	Issued w/ revisions
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4	4/19/2021	Issued for Filing
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ISSUE	DATE	DESCRIPTION
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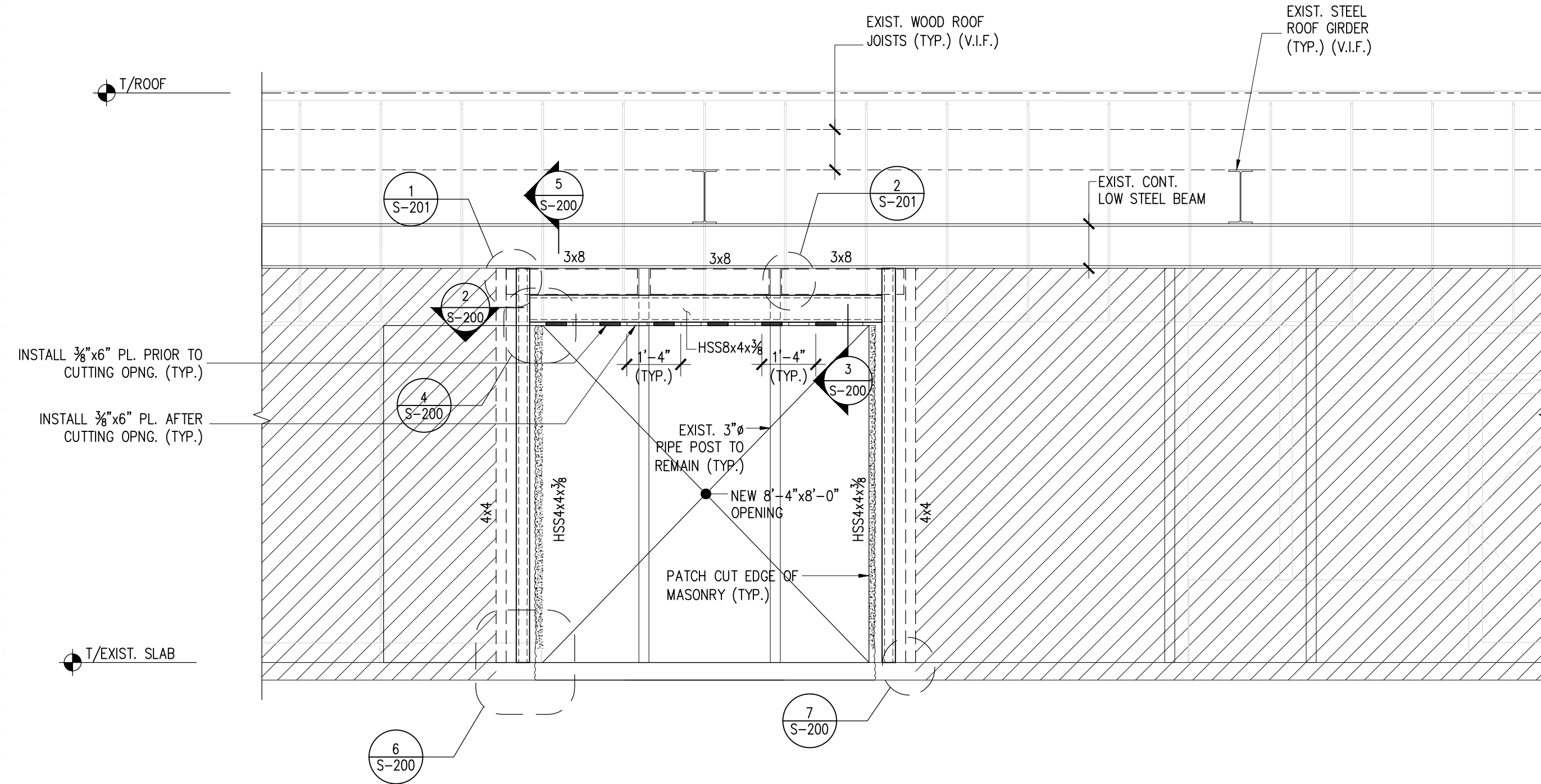
Pablo De Miguel AIA

SHEET NAME:

BUILDING ELEVATIONS

FINISH SCHEDULE				
ITEM CODE	LOCATION	DESCRIPTION	MANUFACTURER	PRODUCT # / FINISH
MTL-01	FACADE	ALUMINUM PANEL	ALUCOBOND	CLASSIC-CHAMPAGNE METALLIC-PVDF-3/GLOSS 30
MTL-02	FACADE / CORRUGATED PANELS	ALUMINUM PANEL	PURE-FORM	WOOD PRINT, BALTIC ASH #VL012
MTL-03	CANTILEVER CANOPY & SIDE PANELS	ALUMINUM PANEL TRIMS	ALUCOBOND	CONTEMPORARY GRAPHITE MICA PVDF-3 / GLOSS 30
MTL-04	STOREFRONT	ALUMINUM FRAME		BLACK ANODIZED OR PAINTED
ST-05	PAINTED CMU	SIDE OF BUILDING PAINTED EXISTING AND NEW CMU EXTERIOR WALL	BENJAMIN MOORE	GRAPHITE 1603

DATE:	SCALE:
12/2/21	1" = 1'-0"
PROJECT No.: 1721	1/4" = 1'-0" (1/8" = 1'-0")
DRAWING No.:	PAGE: 33 of 35



- NOTES:**
- STEEL DETAILER SHALL VISIT THE SITE AS ALL EXISTING CONDITIONS ARE EXPOSED AND PREPARE SHOP DRAWINGS BASED ON EXISTING FIELD CONDITIONS.
 - ALL STRUCTURAL STEEL SHALL BE HOT DIP GALVANIZED. SEE STRUCTURAL STEEL NOTES.

1 ELEVATION DETAIL OF WALL OPENING
S-200 SCALE: 3/8"=1'-0"

GENERAL NOTES

- COMPLY WITH THE CONNECTICUT STATE BUILDING CODE LATEST AMENDED EDITION AND ALL OTHER GOVERNING CODES.
- ALL CONSTRUCTION METHODS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 33 OF THE CONNECTICUT STATE BUILDING CODE, "SAFEGUARDS DURING CONSTRUCTION OR DEMOLITION".
- THE CONTRACTOR SHALL DO THE FOLLOWING:
 - VERIFY ALL EXISTING CONDITIONS, SUCH AS THE LOCATIONS OF EXISTING STRUCTURAL AND ARCHITECTURAL ELEMENTS AND DIMENSIONS OF EXISTING CONSTRUCTION, DIMENSIONS SHOWN ARE PER INFORMATION PROVIDED BY THE LIMITED SITE OBSERVATIONS OR ARE ASSUMED.
 - SUBMIT TO THE ENGINEER FOR REVIEW A WRITTEN REPORT INDICATING ACTUAL FIELD CONDITIONS WHICH MAY VARY FROM INFORMATION INDICATED ON THE DRAWINGS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD BEFORE PROCEEDING.
 - COORDINATE THE EXISTING STRUCTURE WITH THE NEW STRUCTURAL ELEMENTS PRIOR TO DEMOLITION, FABRICATION AND CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACCURATE COORDINATION OF THE ARCHITECTURAL, STRUCTURAL, HVAC, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS.
 - REQUEST CLARIFICATION REGARDING DISCREPANCIES FOUND IN THE CONSTRUCTION DOCUMENTS. IN ANY CASE OF CONFLICT, BETWEEN THE NOTES, DETAILS, AND SPECIFICATIONS, THE MOST RIGID REQUIREMENTS SHALL GOVERN.
 - HIRE A CONNECTICUT REGISTERED PROFESSIONAL ENGINEER FOR THE DESIGN OF ALL SHORING, BRACING, UNDERPINNING, AND OTHER ELEMENTS USED TO SUPPORT THE STRUCTURE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING CONDITIONS OF PUBLIC AND WORKER SAFETY DURING EXECUTION OF THE WORK. THIS SHALL INCLUDE COMPLIANCE WITH ALL OSHA REGULATIONS, AND ALL STATE AND LOCAL LAWS WHICH MAY GOVERN THIS TYPE OF WORK.
- SUBMIT TO ENGINEER TWO COPIES EACH OF MATERIAL SPECIFICATIONS, ERECTION AND DETAIL DRAWINGS, ETC., OF ALL STRUCTURAL MATERIALS AND CONNECTIONS SUFFICIENTLY IN ADVANCE OF CONSTRUCTION TO PERMIT ADEQUATE TIME FOR REVIEW (10 WORKING DAYS MIN.). ENGINEER TO MARK UP ONE COPY AND FORWARD TO ARCHITECT.
- THE OWNER, THE ARCHITECT AND THE STRUCTURAL ENGINEER ARE NOT RESPONSIBLE FOR ACCURACY OF THE EXISTING CONDITIONS INFORMATION. EXISTING CONSTRUCTION AT AREAS WHERE NEW WORK IS NOT CONTEMPLATED MAY NOT BE COMPLETELY SHOWN.
- PATCH AND REPAIR EXISTING CONDITIONS DAMAGED DURING THE COURSE OF NEW CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.

STRUCTURAL STEEL NOTES

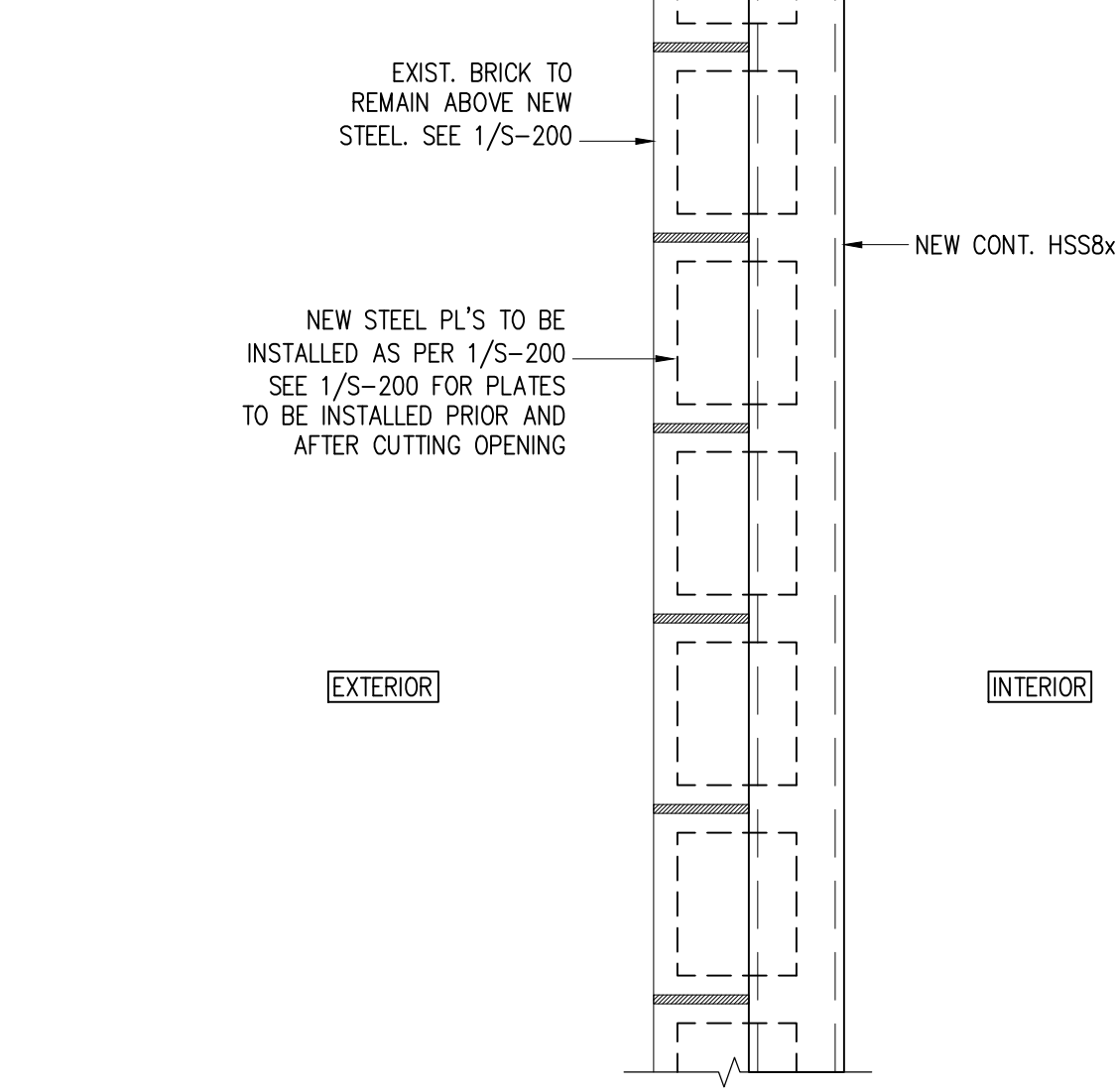
- ALL DETAILING, FABRICATION AND ERECTION SHALL CONFORM TO AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS" AND AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES", LATEST EDITIONS.
- ALL BOLTING SHALL CONFORM TO THE RESEARCH COUNCIL ON STRUCTURAL CONNECTIONS "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS", LATEST EDITION.
- ALL WELDING SHALL CONFORM TO THE AWS CODE D1.1 "STRUCTURAL WELDING CODE - STEEL", LATEST EDITION.
- THE FABRICATOR/ERECTOR SHALL SUBMIT TO THE ENGINEER OF RECORD, FOR REVIEW, ENGINEERED AND CHECKED DRAWINGS SHOWING SHOP FABRICATION DETAILS, FIELD ASSEMBLY DETAILS AND ERECTION DIAGRAMS FOR ALL STRUCTURAL STEEL.
- ALL STRUCTURAL STEEL SHALL COMPLY WITH THE FOLLOWING UNLESS OTHERWISE NOTED:

SQUARE OR ROUND TUBE	ASTM A500-GR B, Fy=46 KSI.
ANGLE AND CHANNEL	ASTM A36
ANCHOR BOLTS/RODS	ASTM F1554
PLATE	ASTM A36
- ALL WELDING SHALL BE PERFORMED BY AWS QUALIFIED WELDERS.
- MINIMUM FILLET WELD SIZES SHALL COMPLY WITH THE AISC, BUT SHALL NOT BE LESS THAN 1/4 INCH, UNLESS NOTED OTHERWISE.
- ALL FIELD WELDING ELECTRODES SHALL BE E70XX LOW HYDROGEN. SHOP WELDING ELECTRODES SHALL BE E70XX LOW HYDROGEN OR E70T-9 GRADE D. ALL FILLER METAL SHALL HAVE A MINIMUM CHARPY V-NOTCH (CVN) TOUGHNESS OF 20 FT. LBS. AT MINUS 20 DEGREES F.
- FABRICATE SIMPLY SUPPORTED BEAMS WITH NATURAL CAMBER UP, FABRICATE CANTILEVER BEAMS WITH NATURAL CAMBER DOWN, UNLESS NOTED OTHERWISE.
- GAS OR ARC CUTTING OF NEW OR EXISTING SECTIONS IS NOT ALLOWED. GAS OR ARC CUTTING TO ENLARGE EXISTING OR NEW BOLT HOLES IS NOT ALLOWED. GAS OR ARC CUTTING TO CREATE NEW HOLES IN EXISTING OR NEW STEEL IS NOT ALLOWED.
- FIELD FABRICATED BEAM SPLICES AND FIELD CUTTING OF STRUCTURAL STEEL MEMBERS ARE NOT ALLOWED WITHOUT PRIOR APPROVAL OF THE ENGINEER.
- ALL NEW HOLES IN EXISTING AND NEW STEEL SHALL BE DRILLED.
- ALL STEEL EXPOSED TO WEATHER OR AS INDICATED SHALL BE HOT DIP GALVANIZED PER ASTM A123, 2 OZ. PER SQ. FOOT MINIMUM DEPOSITION, INCLUDING STEEL LINTELS, SHELF ANGLES, LINTEL HANGERS, AND ALL OTHER STEEL FRAMING OUTSIDE THE BUILDING ENVELOPE.

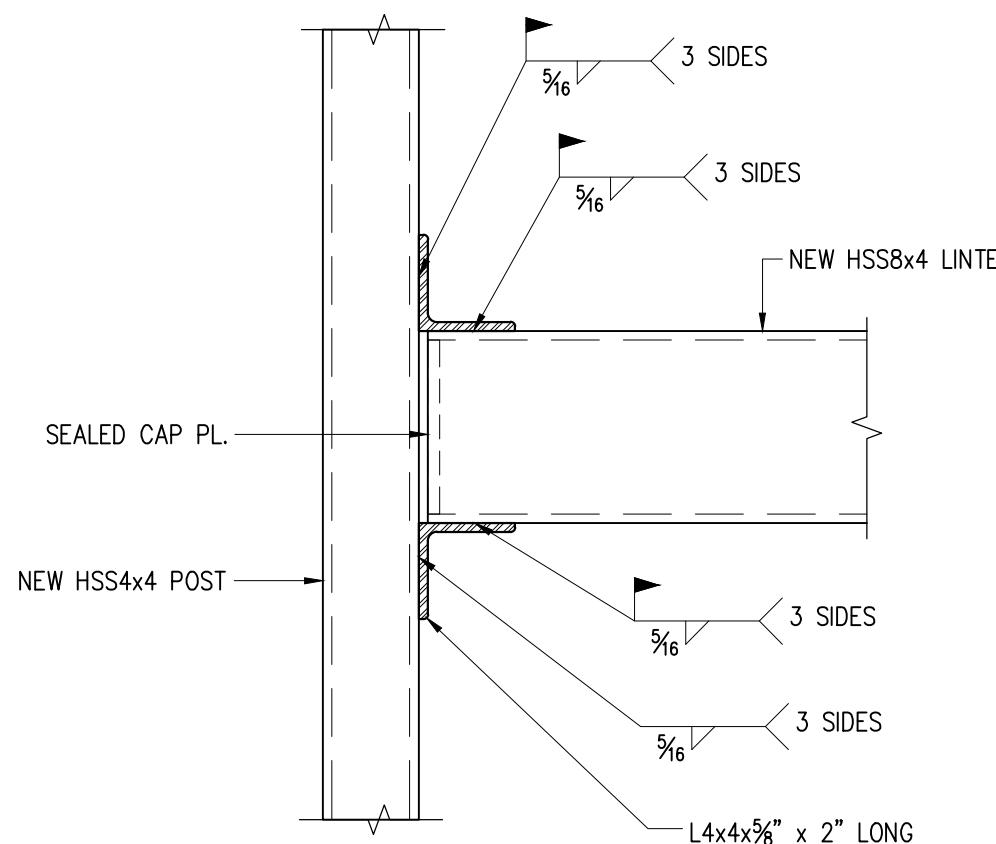
STRUCTURAL WOOD NOTES

- ALL DIMENSION LUMBER FOR WALL FRAMING, JOISTS AND RAFTERS SHALL BE KILN DRIED DOUGLAS FIR NO. 2 OR BETTER WITH THE FOLLOWING MINIMUM PROPERTIES:

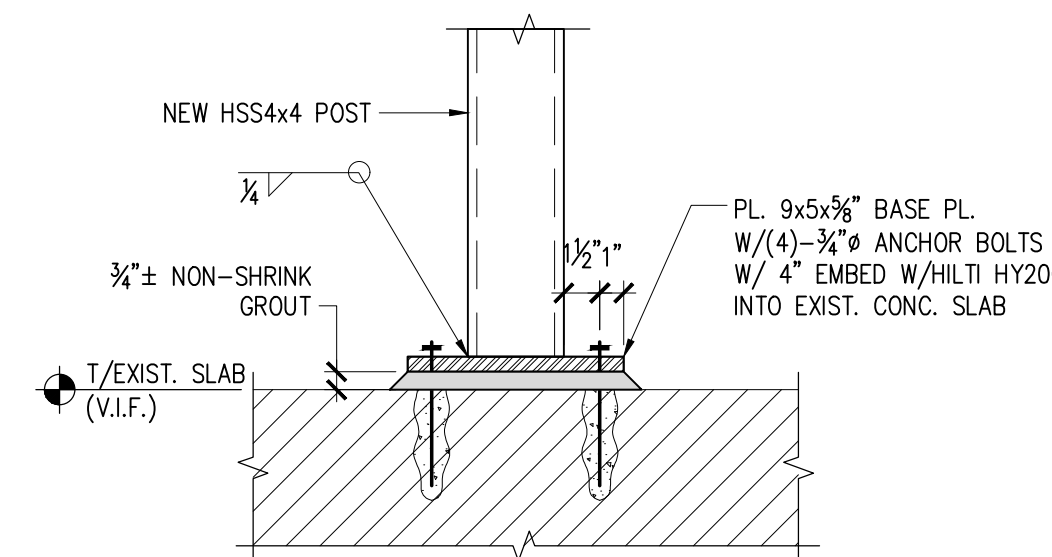
FB = 850 PSI
FV = 180 PSI
Fc = 1400 PSI
E = 1,600,000 PSI
- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "TIMBER CONSTRUCTION STANDARDS" OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, AND THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS)" OF THE AMERICAN FOREST & PAPER ASSOCIATION.
- ALL BOLTS SHALL BE A307 GRADE AND PROVIDED WITH WASHERS OR PLATES. STEEL PLATES AT CONNECTIONS SHALL BE 3/4" THICK A36 STEEL GRADE, UNLESS NOTED OTHERWISE. CONNECTIONS SHALL BE SNUGGED TIGHT BUT NOT CRUSH THE WOOD.
- ALL BOLT HOLES SHALL BE DRILLED NOT MORE THAN THE NOMINAL DIAMETER OF THE BOLT PLUS 16 BITS AND SLOW FEED RATES.
- UNLESS OTHERWISE NOTED, G-90 GALVANIZED STEEL CONNECTORS SUCH AS THOSE MANUFACTURED BY SIMPSON COMPANY, SHALL BE USED TO JOIN RAFTERS, TRUSSES, JOISTS, OR BEAMS TO OTHER MEMBERS AT FLUSH-FRAMED CONDITIONS. HANGERS SHALL BE OF A SIZE SPECIFICALLY DESIGNED FOR THE MEMBER SUPPORTED AND BE INSTALLED PER THE INSTALLATION GUIDELINES PROVIDED BY THE MANUFACTURER.
- ANY CONNECTORS SHOWN ARE MINIMUM REQUIREMENTS. PROPOSED SUBSTITUTIONS MUST BE SUBMITTED WITH DATA THAT PROVES EQUAL OR GREATER CAPACITY THAN SPECIFIED CONNECTOR. WHERE REACTIONS ARE SHOWN ON DRAWINGS, DURATION FACTOR = 1.0 U.O.N.



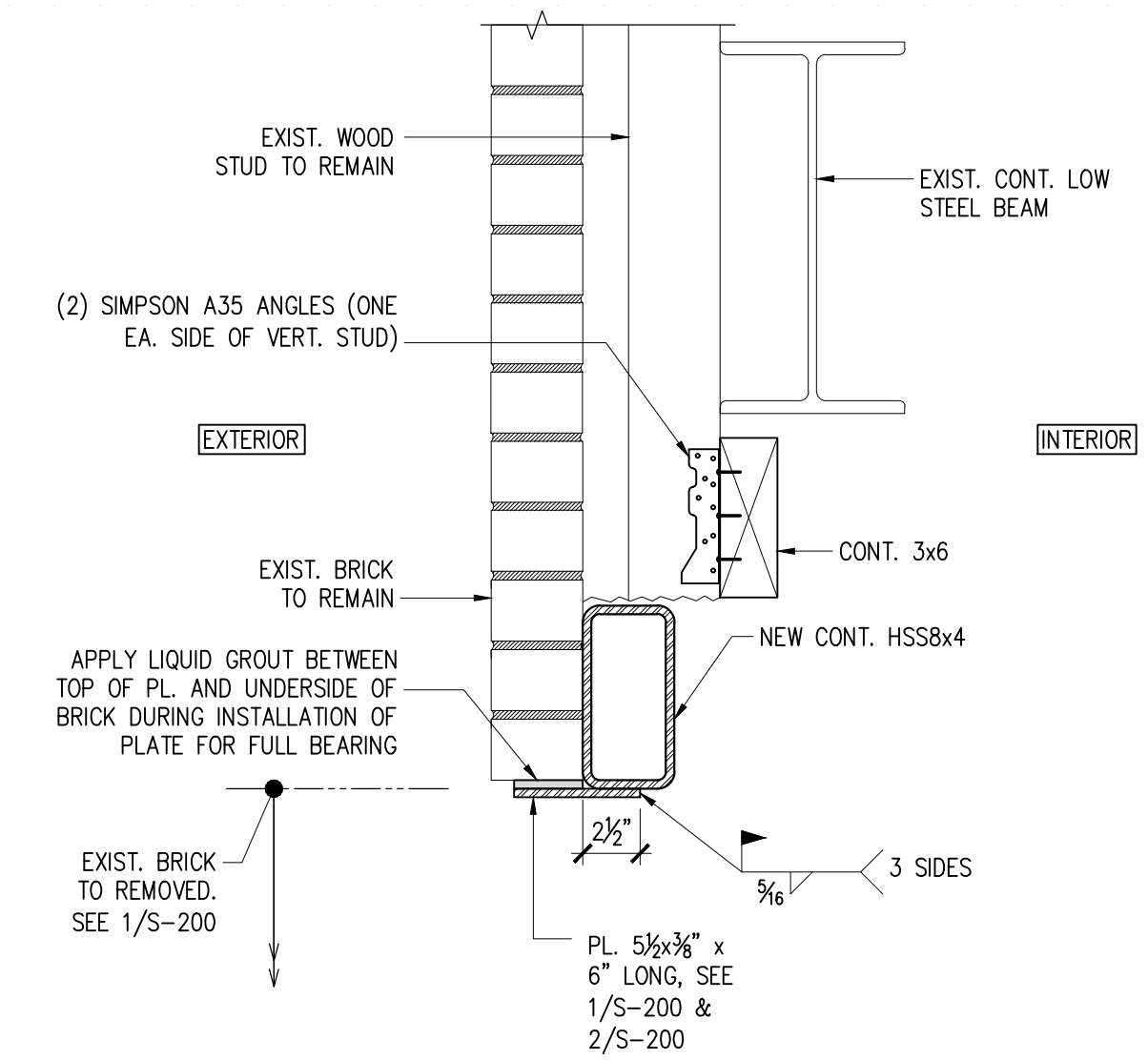
2 PLAN-DETAIL
S-200 SCALE: 1 1/2"=1'-0"



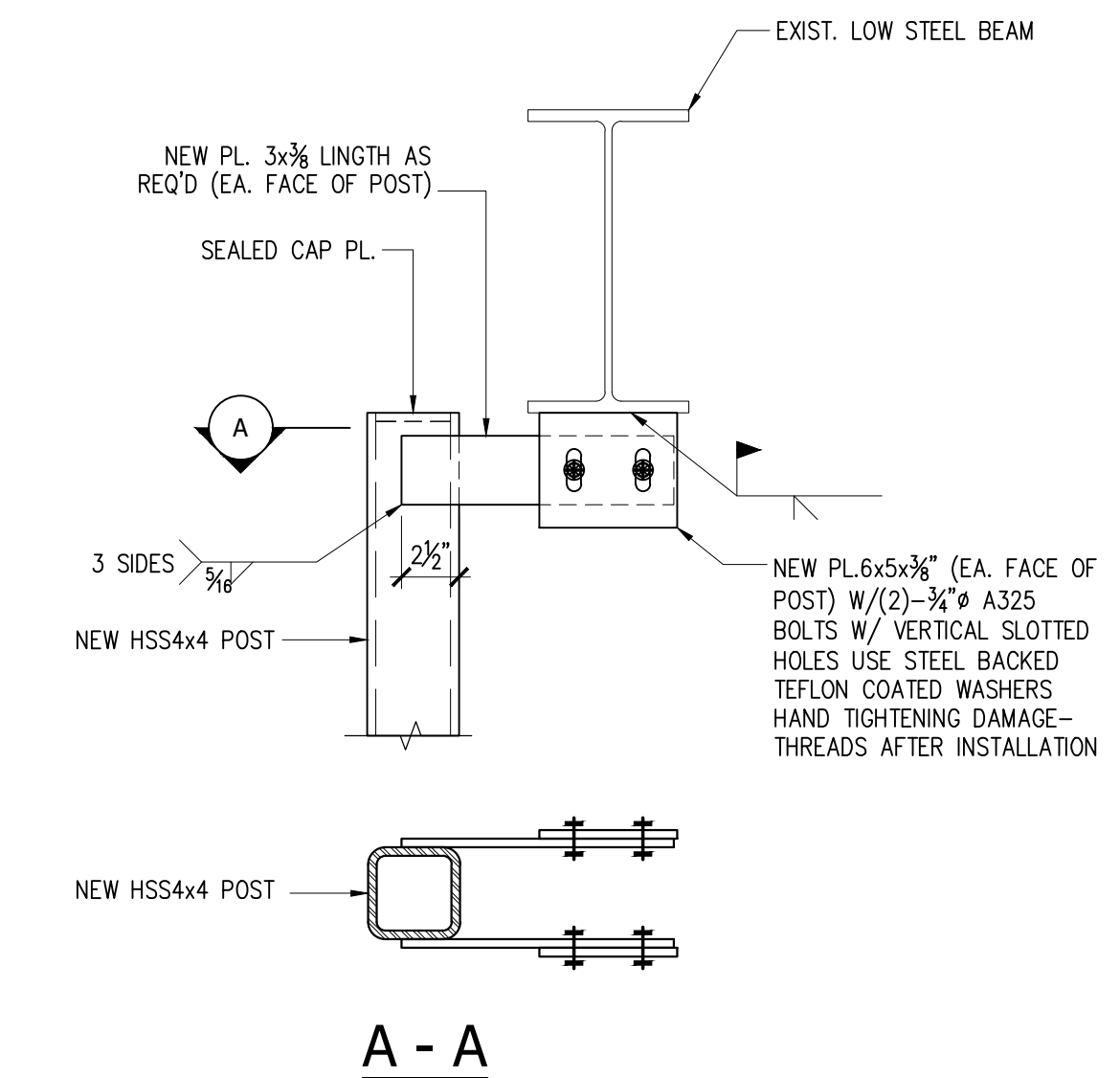
4 HSS LINTEL CONNECTION
S-200 SCALE: 1 1/2"=1'-0"



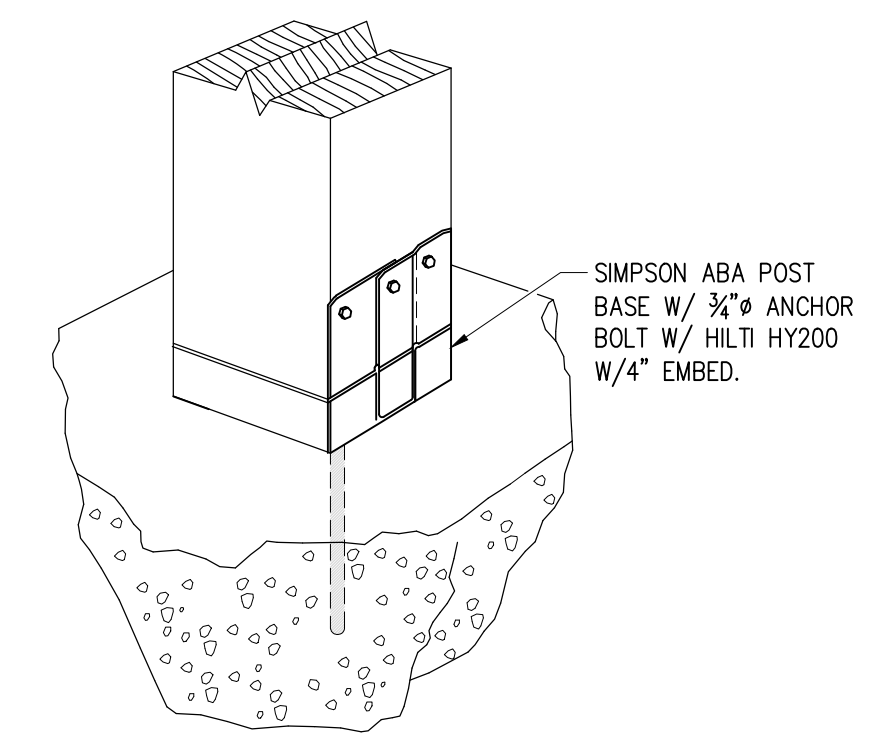
6 BASE PL. CONNECTION
S-200 SCALE: 1 1/2"=1'-0"



3 SECTION
S-200 SCALE: 1 1/2"=1'-0"



5 CONNECTION OF TOP OF POST TO EXIST. LOW ROOF BEAM DETAIL
S-200 SCALE: 1 1/2"=1'-0"



7 BASE OF WOOD POST DETAIL
S-200 SCALE: 1"=1'-0"

953 Hope Street
Stamford CT 06907

OWNER:

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555 S Columbus Ave #201
Mt. Vernon NY 10550
contact: Jose Montero
T. 914-699-9500 E. Josem@atlantismgmt.com

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Brooklyn NY 11215
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STRUCTURAL ENGINEER:

Gilanz Murray Steffek LLP
700 Canal Street, 1st Floor
Stamford, CT 06902
contact: Ken Oen PE
T. 917 428 7716 E. ken.oen@GMSLLP.com
W. www.gmsllp.com

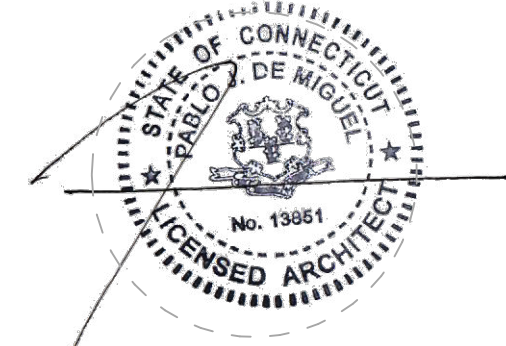
KEY PLAN

BUILDING PERMIT APP#
B-21-1065

ISSUE	DATE	DESCRIPTION
6	12/02/2021	Issued w/ revisions
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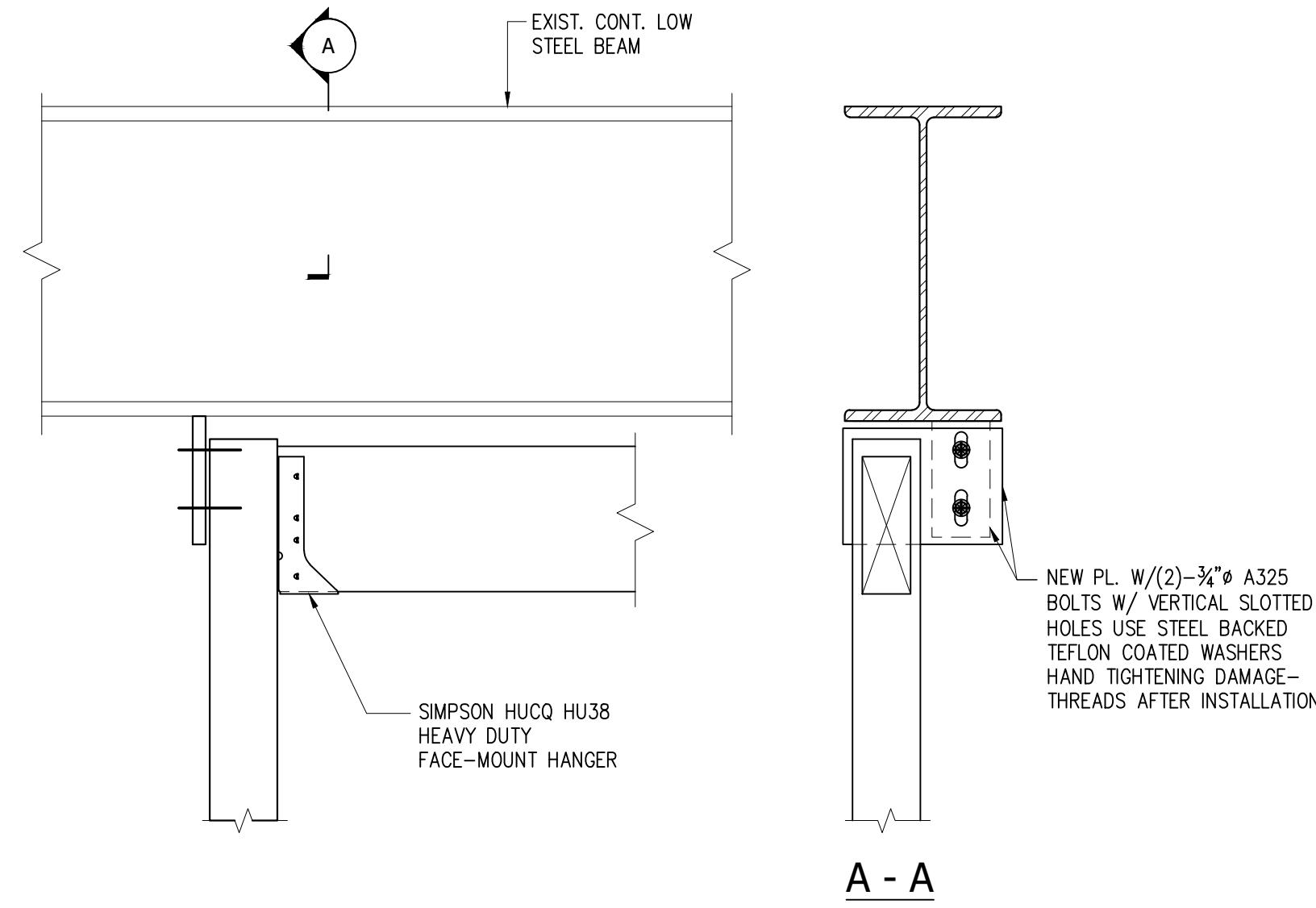
NEW OPENING STRUCTURE 1

DATE:	SCALE:
12/2/21	1" = 1'-0"

PROJECT No.:	PAGE:
1721	34 of 35

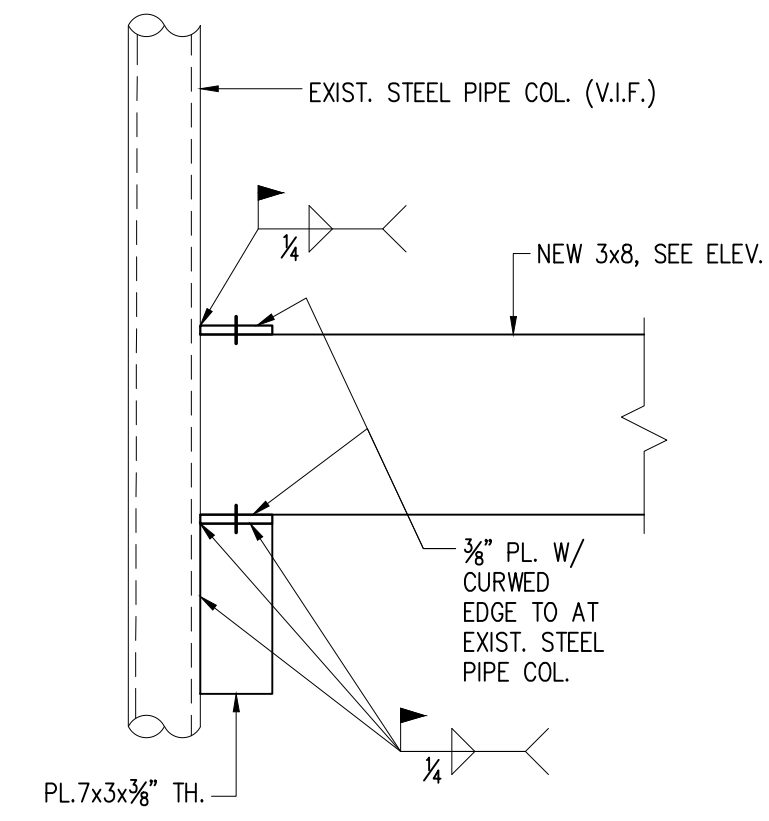
DRAWING No.:

S-200.00



A - A

NEW PL. W/(2)-3/4" A325 BOLTS W/ VERTICAL SLOTTED HOLES USE STEEL BACKED TEFLON COATED WASHERS HAND TIGHTENING DAMAGE-THREADS AFTER INSTALLATION



PL.7x3x3/8" TH.

3/8" PL. W/ CURVED EDGE TO AT EXIST. STEEL PIPE COL.

1 DET. AT WOOD HEADER TO WOOD POST CONN.

S-201 SCALE: 1 1/2"=1'-0"

2 CONN. OF WOOD HEADER TO EXIST. STEEL PIPE COL.

S-201 SCALE: 1 1/2"=1'-0"

KEY PLAN

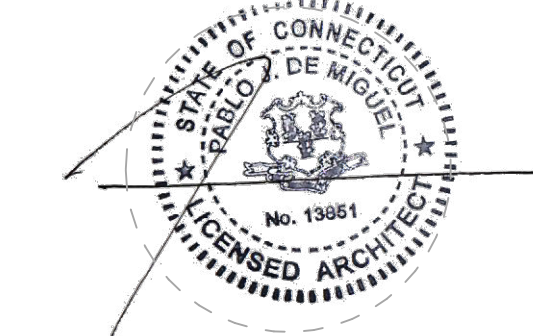
BUILDING PERMIT APP#
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SHEET NAME:

NEW OPENING
STRUCTURE 2

DATE: 12/2/21 SCALE: 1" = 1'-0"

PROJECT No.: 1721 PAGE: 35 of 35

DRAWING No.:

S-201.00