

March 18, 2022

VIA E-MAIL & HAND DELIVERY

Ms. Vineeta Mathur
Senior Planner
City of Stamford
888 Washington Blvd.
Stamford, CT 06901
vmathur@stamfordct.gov

**RE: Signage Details & Updated Site Plan
Application for Special Permit Modification
Proposed “Hybrid Retailer” Cannabis Establishment
12 Research Drive, Stamford, Connecticut (the “Property”)**

Dear Ms. Mathur:

On behalf of the owner of the Property, Stamford Research Drive LLC, and tenant and operator FFD West LLC (collectively, the “Applicants”), enclosed please find additional materials for the Zoning Board in connection with modifying their Special Permit for a medical marijuana dispensary (“Dispensary”) (Appl. 221-08) to permit a “hybrid retailer” cannabis establishment (“Hybrid Retailer”) at the Property. Specifically enclosed are details related to the installation of additional signage in accordance with a concurrent text amendment application:

- Revised Schedule D: Statement of Findings;
- Signage plans titled “Fine Fettle Dispensary | 12 Research Drive, Stamford, Connecticut,” prepared by artfx, dated February 22, 2022.

In addition, while no new construction is proposed in connection with this pending application, the previously submitted Existing Site Plan has been updated to include bike racks. For the record, enclosed please find the following:

- Site and Architectural Plan set prepared by L’Arc Architects LLC, dated February 9, 2022, and titled as follows:
 - A-0.1 R3.0 – “Existing Site Plan”
 - A-1.0 R3.0 – “Existing Layout Plans”
 - A-2.0 R3.0 – “Existing Exterior Elevations”
 - A-0.5 R3 – “FFD Existing ADA Plan & FFD Existing Limited Access Plan”

Thank you again for your time and attention to this application. Do not hesitate to contact me for anything further.

Sincerely,

Meaghan Miles

Meaghan M. Miles

Enclosures.

cc: Development Team

SCHEDULE D STATEMENT OF FINDINGS

The specific Special Permit request detailed in Schedule C is integral to the development project as a whole. Thus, for purposes of demonstrating compliance with the standards and conditions below, the entire development proposal is considered.

A. Statement of Findings in Accordance with Section 19.C.2 of the Zoning Regulations

In accordance with Section 19.C.2 of the Zoning Regulations, the Applicant submits that the following standards and conditions have been satisfied:

Special Exceptions shall be granted by the reviewing board only upon a finding that the proposed use or structure or the proposed extension or alteration of an existing use or structure is in accord with the public convenience and welfare after taking into account, where appropriate:

1. *The location and nature of the proposed site including its size and configuration, the proposed size, scale and arrangement of structures, drives and parking areas and the proximity of existing dwellings and other structures.*

The Property is an ideal location in Stamford for a Hybrid Retailer. It is in the heart of an industrial zone and surrounded by a variety of industrial and commercial uses. It is far removed from sensitive receptors including schools, parks, and residential neighborhoods; moreover, it is further separated from such uses by train tracks and an established commercial corridor. The proposed use activates an industrial/commercial site that has been underutilized for some time, with a use that will provide increased tax revenue for the City of Stamford. Thus, the Applicant submits that the proposed building, including its proposed use, is appropriate for the surrounding neighborhood and this project is in accord with the public convenience and welfare.

2. *The nature and intensity of the proposed use in relation to its site and the surrounding area. Operations in connection with special exception uses shall not be injurious to the neighborhood, shall be in harmony with the general purpose and intent of these Regulations, and shall not be more objectionable to nearby properties by reason of noise, fumes, vibration, artificial lighting or other potential disturbances to the health, safety or peaceful enjoyment of property than the public necessity demands.*

The Property is in the M-G zone which is the most intense industrial zone in Stamford, and Master Plan Category 13, which contemplates a myriad of commercial and industrial uses. The proposed use is a retail use which is significantly less intense than other uses in the surrounding area and uses that are permitted as of right in the M-G zone. The proposed use poses no risk to nearby properties by reason of noise, fumes, vibration, artificial lighting or other potential disturbances to health, safety or peaceful enjoyment of property (particularly when contrasted against the risk of such nuisance factors created by existing surrounding uses and other permitted industrial uses). In addition, the Applicants' past experience with Hybrid Retailers in Massachusetts indicates this use is safe and secure, quiet, and a successful business that gives back to the community. In fact, studies from

across the country conclude that areas around dispensaries have less crime than they did prior to the opening of the dispensary, both medical and recreational. The project maintains the existing building, which is in harmony with the height and scale of surrounding buildings. Thus, the Applicant submits that the proposed development is appropriate for the neighborhood and will not be objectionable to nearby properties.

3. *The resulting traffic patterns, the adequacy of existing streets to accommodate the traffic associated with the proposed use, the adequacy of proposed off-street parking and loading, and the extent to which proposed driveways may cause a safety hazard, or traffic nuisance.*

Fine Fettle expects a level of site activity similar to that of its existing hybrid retailers in other states. There will typically be twelve (12) to fifteen (15) employees at a time, and approximately eight (8) deliveries a week. The use is comparable to that of most retail uses that would operate in a similar 12,000± SF building, and similar to existing operations in the area, and as such would not have an adverse impact on resulting traffic patterns. Thus, the Applicant submits that the area streets are more than adequate to support this project and traffic patterns should not be impacted. Likewise, an appropriate level of off-street parking is provided, as more parking spaces are provided than the number required under the zoning regulations for the proposed use.

If there is unusually high demand when the store initially opens, the Applicants will implement parking and traffic management measures to minimize any impact on the area, including an outsourced and professional parking management firm at its own expense. It has also offered employees \$200 per month to any employee who choose to carpool, cycle, or use public transportation for over 50% of his/her/their workdays in a given month. If public safety services are needed in the first thirty (30) days after opening, the Cannabis Bill authorizes the City to charge FFD up to \$50,000 for such costs incurred.

4. *The nature of the surrounding area and the extent to which the proposed use or feature might impair its present and future development.*

The proposed use is in harmony with the variety of industrial and commercial uses that surround the Property. In addition, the proposed use is safe and secure, quiet, and historically successful in other States, thereby having the potential to serve as a catalyst for further economic growth in the surrounding area and the provision of significant tax revenue (3% gross revenue) to the City of Stamford. The Property's location within the M-G zone and Master Plan Category 13 make this an ideal use for the Property.

5. *The Master Plan of the City of Stamford and all statements of the purpose and intent of these regulations.*

The Property is located in Master Plan Category 13 (General Industrial). The purpose of this category is to provide for and protect existing industrial development and preserve opportunities for new industrial uses, such other uses that are ancillary or subordinate to industrial activities, as well as promote their maintenance and viability. A Hybrid Retailer is an active and secure use, with little to no impact on the neighborhood, that will not

adversely affect industrial development; rather, the historic economic success of this use encourages further development and improvements to the area.

Accordingly, the proposed use is in accordance with the public convenience and welfare. The Applicant proposes to replace an underutilized industrial/commercial building with an active and secure commercial use, with corresponding economic benefits to the neighborhood. This project will increase the tax base and significantly improve this area of Stamford.

B. Statement of Findings in Accordance with Section 5.E of the Zoning Regulations

In accordance with Section 5.E of the Zoning Regulations governing medical marijuana dispensaries, the Applicant submits that the following standards and conditions have been satisfied:

- a. *Medical Marijuana Dispensaries must possess a current license from the State of Connecticut Department of Consumer Protection and comply with the Regulations of the State of Connecticut Department of Consumer Protection Concerning the Palliative Use of Marijuana, per the Connecticut General Statutes, Section 21a-408-1 to 21a-408-70, inclusive, as may be amended from time to time. Failure to maintain proper licenses shall be deemed an immediate violation of the City of Stamford Zoning Regulations.*

Like Dispensaries, use of the Property as a Hybrid Retailer is heavily regulated by the State and a license is required from the Connecticut Department of Consumer Protection (“DCP”) to operate. FFD will acquire and maintain all required licenses from DCP to operate a Hybrid Retailer facility at the Property. Because the Property already has a license from DCP to operate as a Dispensary, FFD has a statutory right to convert its Dispensary license to a Hybrid Retailer license and pay the required fee. The conversion period opens in February 2022, and it is anticipated that DCP will issue a Hybrid Retailer license to operate at this Property shortly thereafter.

- b. *No Medical Marijuana Dispensaries shall be located within a 3,000 feet radius of any other Dispensary;*

While this provision is specific to Dispensaries, the Applicants note that the only other medical marijuana dispensary in Stamford is located at 814 East Main Street. That site is 2.1 miles from the Property (or approximately 11,088 feet). This proposed Hybrid Retailer will be the first retailer of recreational adult-use cannabis in the City, and the Applicants submit that this industrial park is an ideal location in the City for such sales in addition to medical marijuana.

- c. *Signage for Dispensaries must comply with the following standards: (1) Signage shall be limited to a single Sign no larger than sixteen inches in height by eighteen inches in width; (2) There shall be no illumination of a Sign advertising a marijuana product at anytime; (3) There shall be no signage that advertises marijuana brand names or utilizes graphics related to marijuana or paraphernalia on the exterior of the Dispensary or the Building in which the Dispensary is located; (4) There shall be no display of marijuana or*

paraphernalia within the Dispensary which is clearly visible from the exterior of the Dispensary; and (5) There shall be no signage which advertises the price of its marijuana.

A concurrent text amendment application is pending with the Zoning Board to update this section to align its standards with current DCP guidance and permit an additional, freestanding sign near the entrance of facilities regulated as a Dispensary. A signage plan has been submitted that complies with this proposed text amendment and DCP guidance.

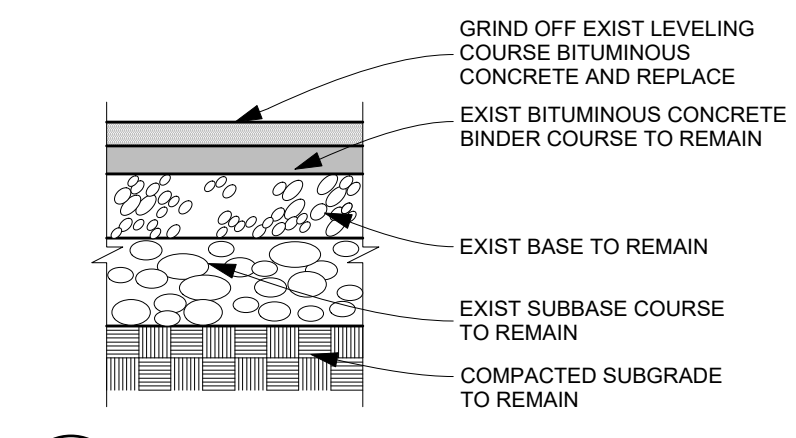
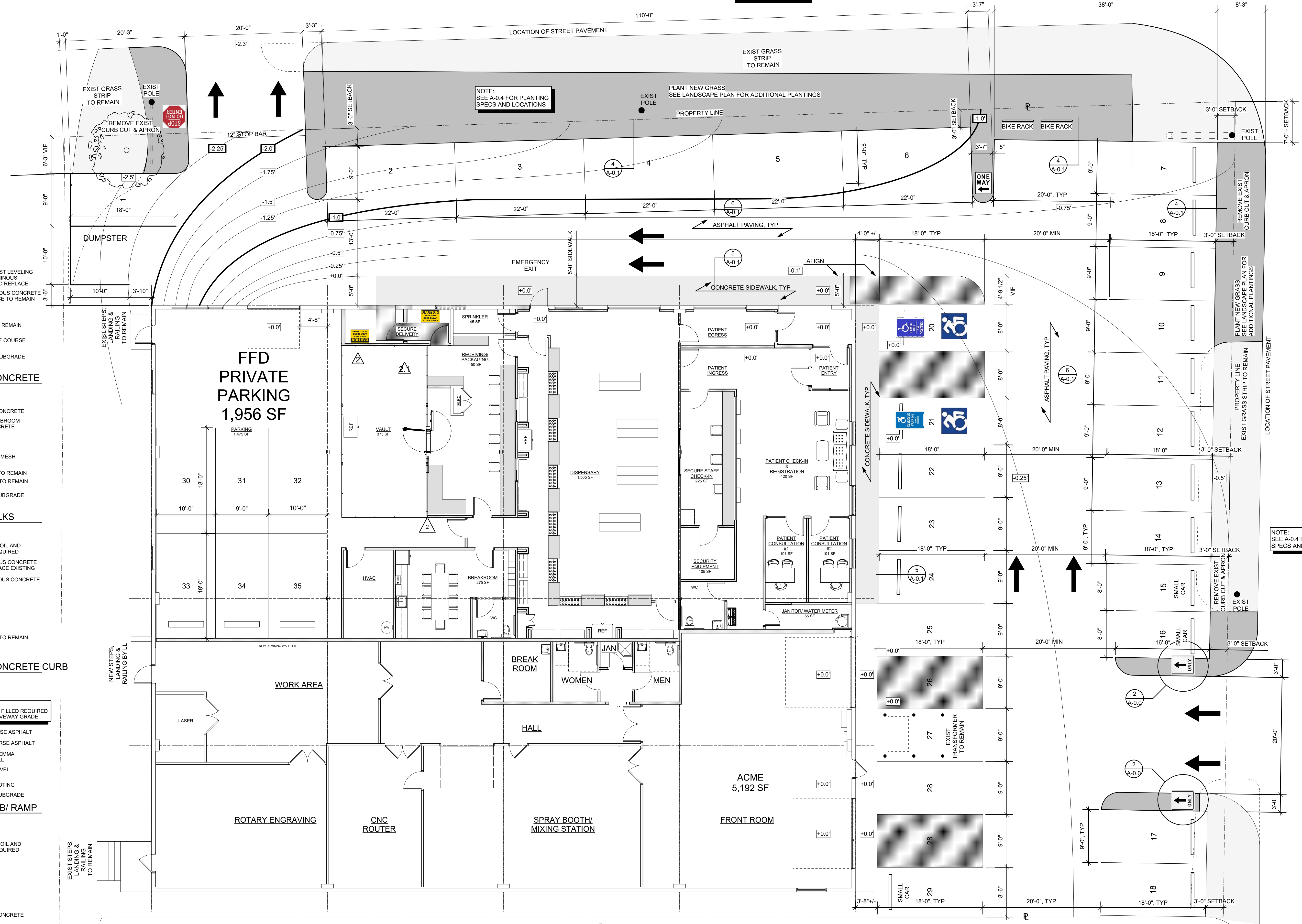
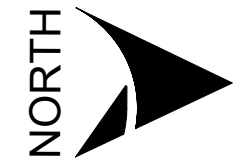
Additionally, any and all windows looking into the facility are 100% opaque in allowing site lines into the facility, whether into areas that hold marijuana or not.

- d. Parking shall be provided according to Section 12 of the Zoning Regulations, as follows: A Dispensary shall meet the parking standard for Retail Store.*

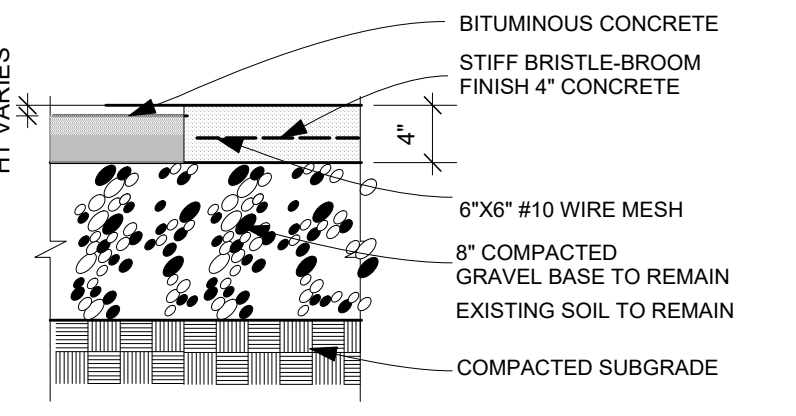
The proposed parking complies with Section 12 of the Zoning Regulations for a retail store. Specifically, the retail space area is 4,852± SF (including back of house areas). Assuming this entire area was used for retail, 20 spaces are required, and 27 are provided specifically for Fine Fettle. An additional eight (8) parking spaces are reserved for the other tenant of the building, ACME Sign Co.

RESEARCH DRIVE

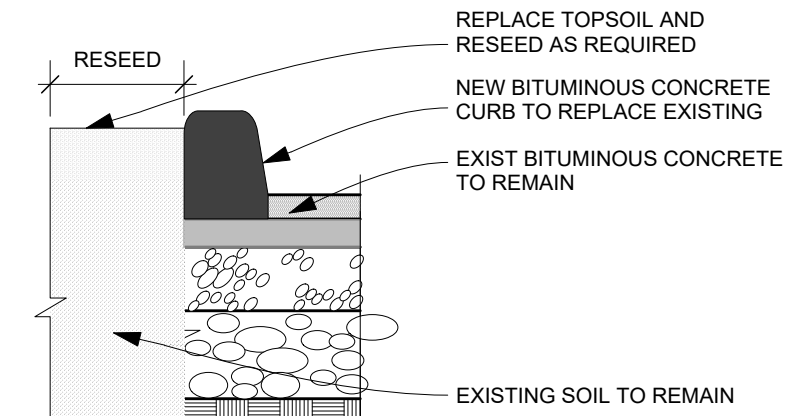
NOTE:
SEE A-0.5 FOR PLANTING
SPECS AND LOCATIONS



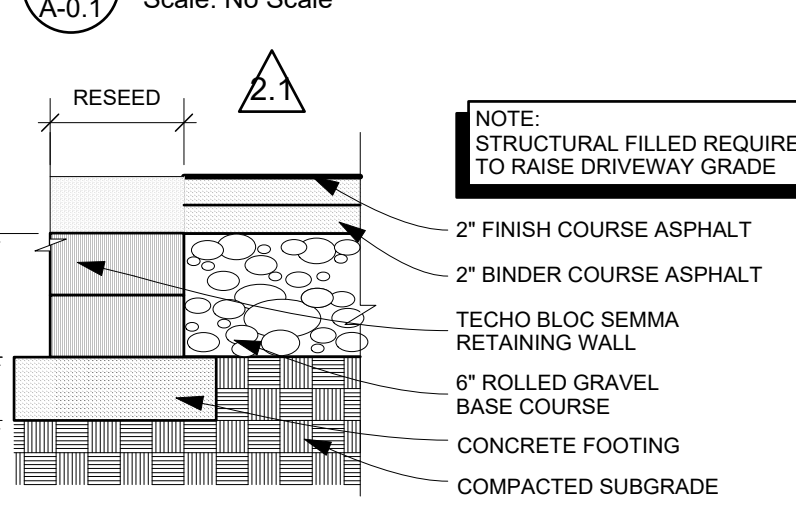
6 EXISTING BITUMINOUS CONCRETE
Scale: No Scale



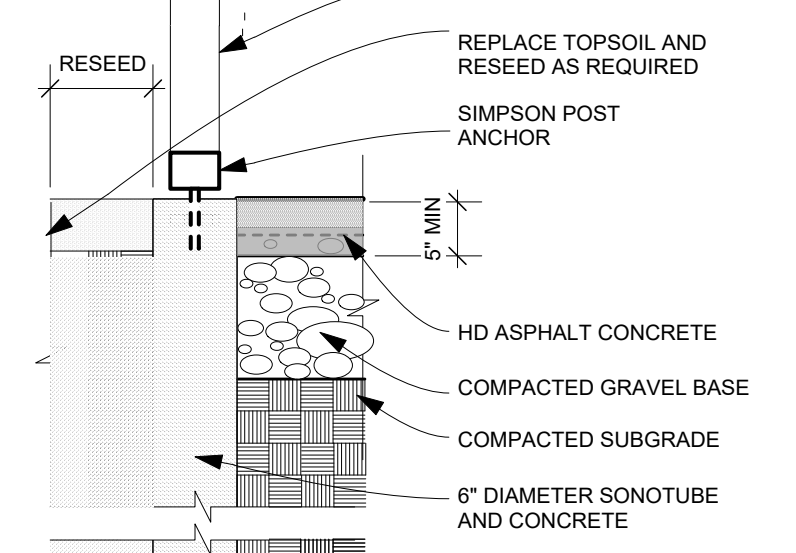
5 EXISTING CONCRETE WALKS
Scale: No Scale



4 EXISTING BITUMINOUS CONCRETE CURB
Scale: No Scale



3 EXISTING CONCRETE SLAB/RAMP
Scale: No Scale



2 EXISTING FENCE POST ANCHOR
Scale: No Scale

1 EXISTING SITE PLAN
Scale: 1/8" = 1'-0"

ARCHITECT:
LARC ARCHITECTS
14 COLTON STREET
FARMINGTON, CT 06032
PH: (860) 313-6007
HILARY@LARCARCHITECTS.COM



12 RESEARCH DRIVE
STAMFORD, CT

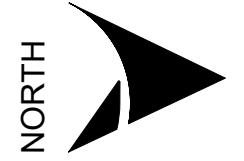
SD:	1.31.2021
DD:	
CD:	
BID:	
PERMIT:	6.9.2021
CONTRACT:	
CONST:	
REVISION:	
1 - FFD GARAGE DOOR	6.29.2021
2 - FFD COMMENTS	8.11.2021
DOOR/HDWE SCHED, VAULT	8.26.2021
2.1 - DIMENSIONS, GRADING	10.7.2021
MISC DETAIL COORDINATION	10.28.2021
2.2 - SURVEY UPDATE	11.5.2021
2.3 - SURVEY UPDATE	11.10.2021
3.0 - AS BUILT	2.9.2022



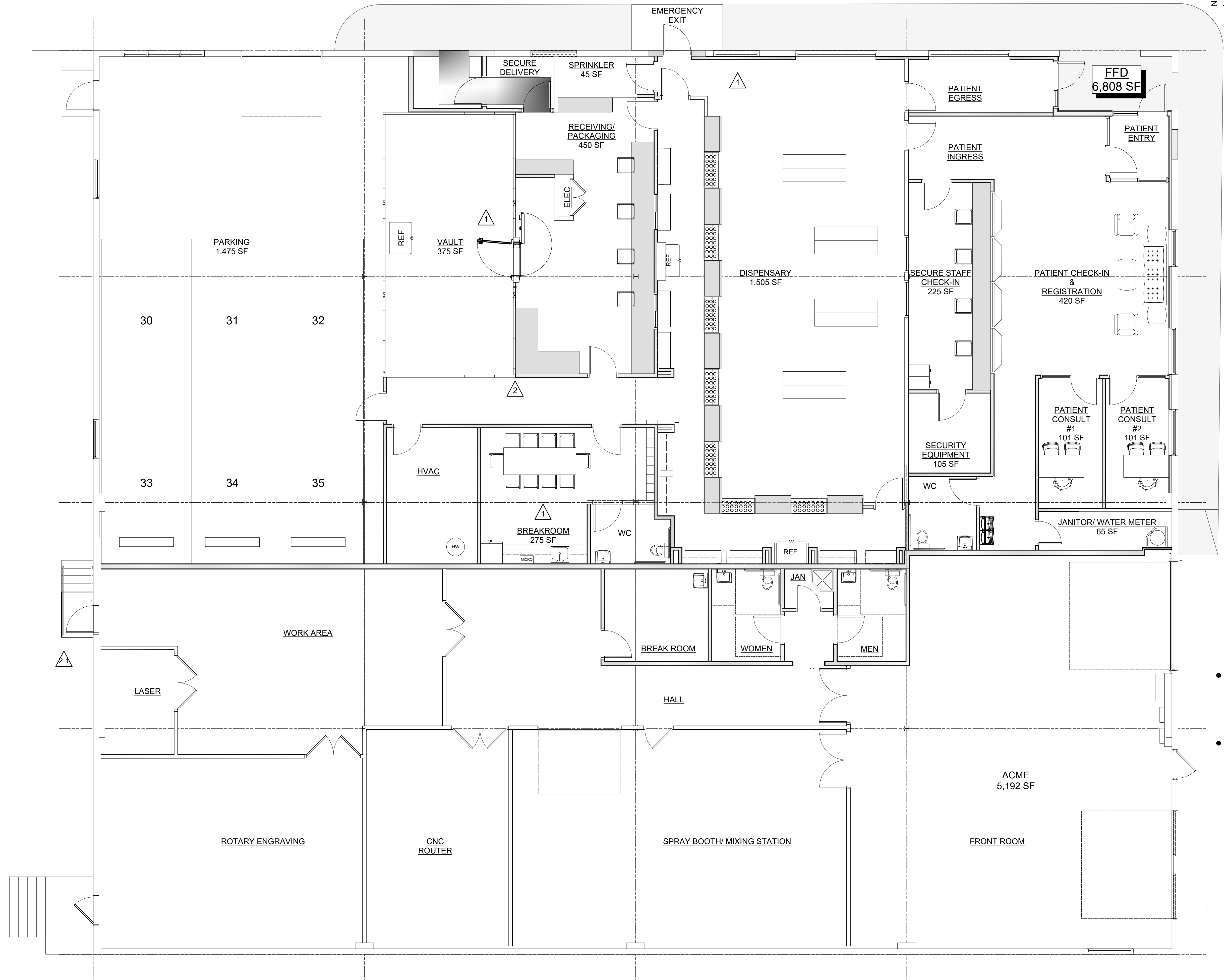
EXISTING
SITE PLAN

A-0.1
R3.0





PROPERTY LINE



ARCHITECT
LARC ARCHITECTS
1000 STATE STREET
FARMINGTON, CT 06032
PH: (860) 338-9807
WWW.LARCARCHITECTS.COM
HLARY@LARCARCHITECTS.COM

FINE FETTER
DISPENSARY
12 RESEARCH DRIVE
STAMFORD, CT

SD:	1.31.2021
DD:	2.28.2021
RF:	
PERMIT:	6.8.2021
CONTRACT:	
CONRT:	

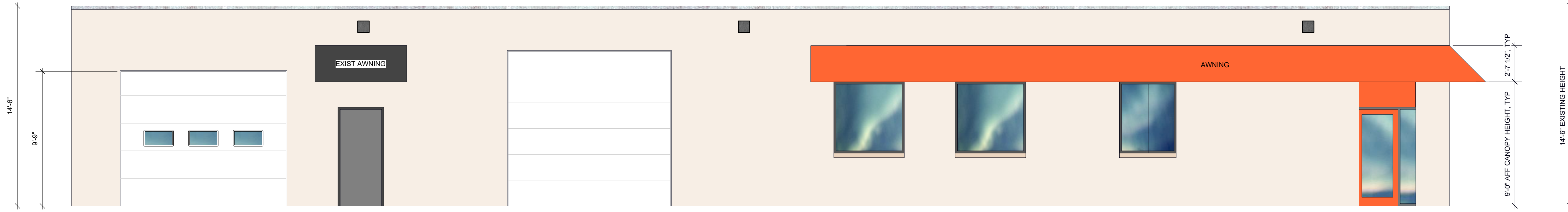
REVISION	
1 - FD COMMENTS	7.19.2021
2 - DOOR/HARDWARE SCHED	8.11.2021
2.1 - MISC DETAIL COORDINATION	10.28.2021
2.2 - DOOR 24 RELOCATED	12.15.2021
2.3 - FFD SF	1.17.2022
3.0 - AS BUILT	2.9.2022



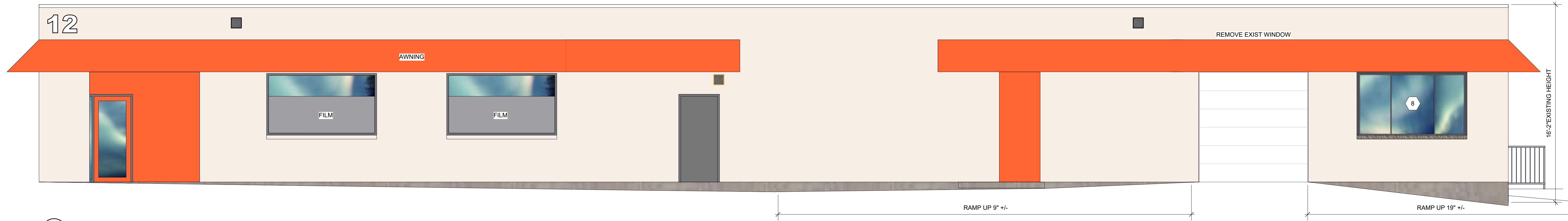
EXISTING LAYOUT PLANS

1 EXISTING LAYOUT PLANS
A-1.0 Scale: 3/16" = 1'-0"

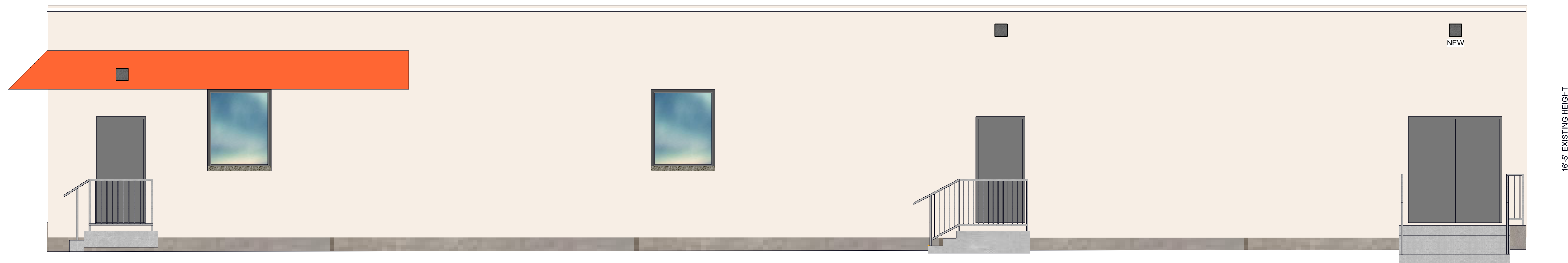
A-1.0
R3.0



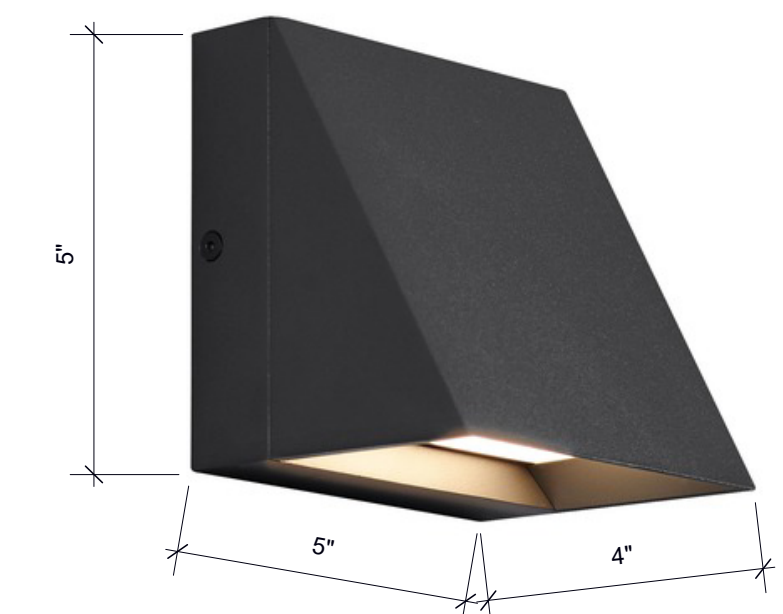
1 EXISTING NORTH ELEVATION
Scale: 1/4" = 1'-0"



2 EXISTING EAST ELEVATION
Scale: 1/4" = 1'-0"

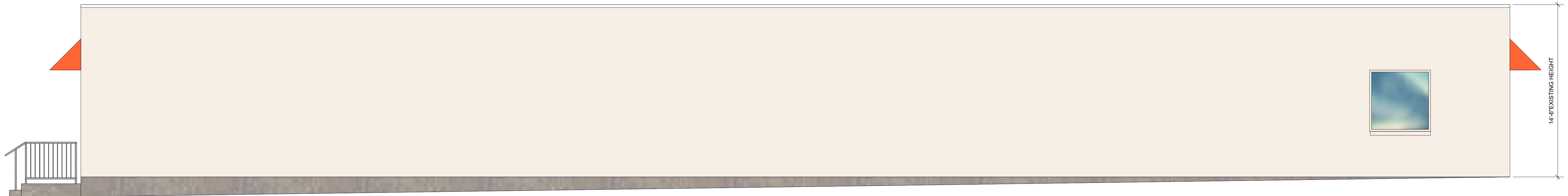


3 EXISTING SOUTH ELEVATION
Scale: 1/4" = 1'-0"



TECH LIGHTING
PITCH OUTDOOR LED WALL MOUNT
700WSPIT S H LED827
TYP ALL LOCATIONS (NEW & EXIST)

5 TYP EXTERIOR FIXTURE
A-2.0



4 EXISTING EAST ELEVATION
Scale: 1/4" = 1'-0"

ARCHITECT:
LARC ARCHITECTS
14 COLTON STREET
STAMFORD, CT 06032
PH (860) 313-8807
SHELDON@LARCARCHITECTS.COM
HILARY@LARCARCHITECTS.COM

FINE FETTER DISPENSARY
12 RESEARCH DRIVE
STAMFORD, CT

SD:	1.31.2021
DD:	4.28.2021
CD:	
BID:	
PERMIT:	6.9.2021
CONTRACT:	
CONST:	

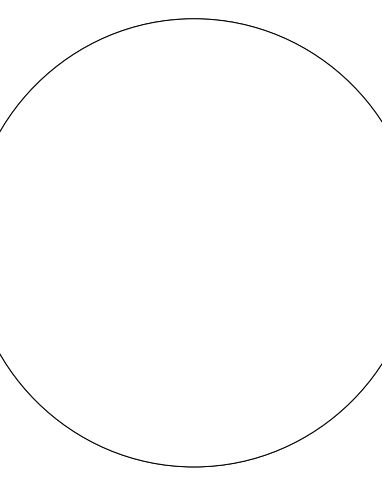
REVISION		
1 - FD COMMENTS	7.19.2021	
2 - DOOR HARDWARE SCHED	8.11.2021	
2.1 - SITE PLAN	8.11.2021	
2.2 - EXTERIOR LIGHTING	12.1.2021	
3.0 - AS BUILT	2.9.2022	



EXISTING
EXTERIOR
ELEVATIONS

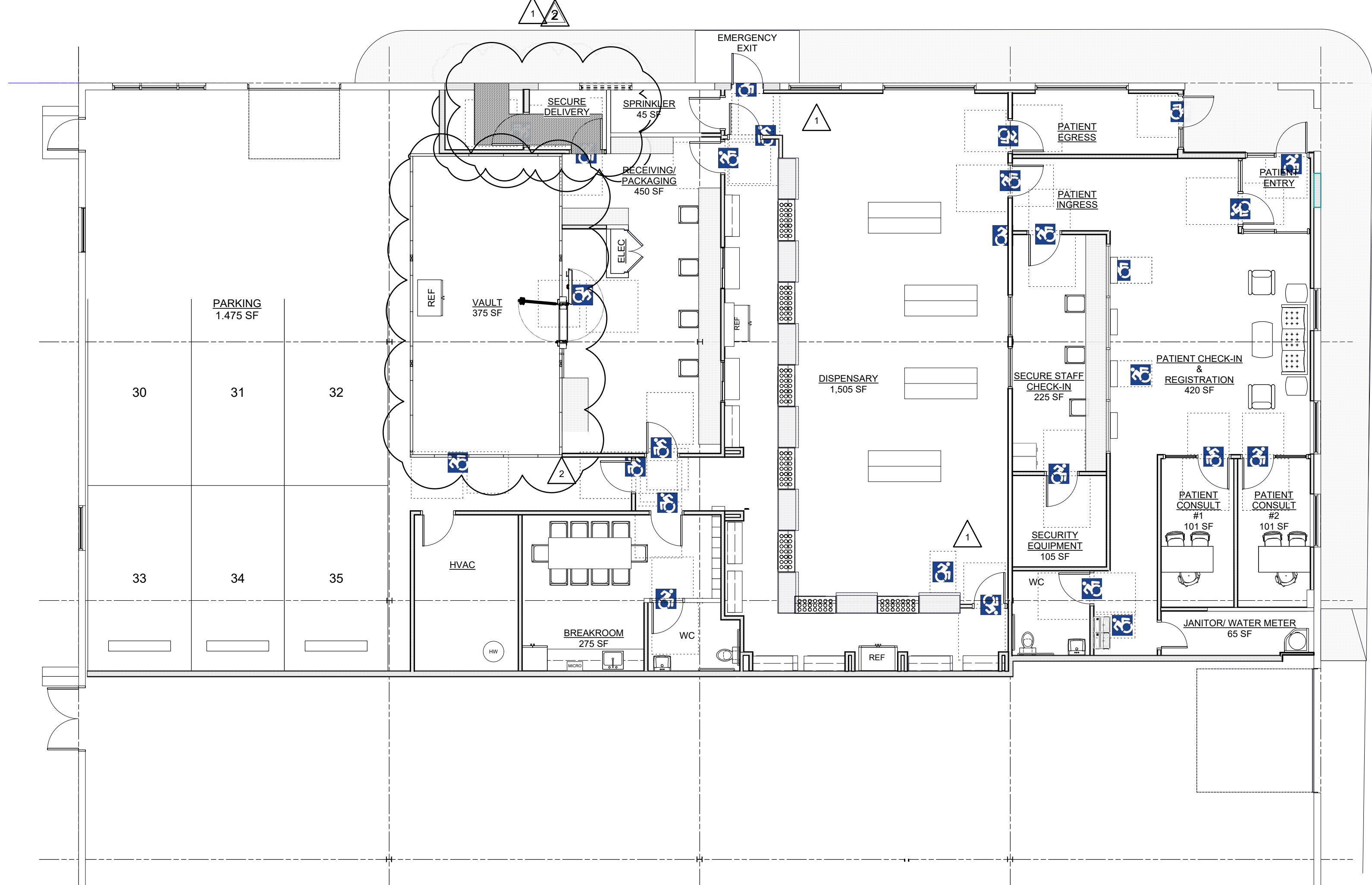
A-2.0
R3.0

SD:	1.16.2021
DD:	
CD:	
BID:	
PERMIT:	
CONTRACT:	
CONST:	
REVISION	
R1 - SETBACKS, PARKING	2/25/21
FD COMMENTS	7/19/2021
R2 - DOOR HARDWARE SCHED	
FD COMMENTS	8/11/2021
VAULT	8/26/2021
R3 - AS BUILT	2/9/2022

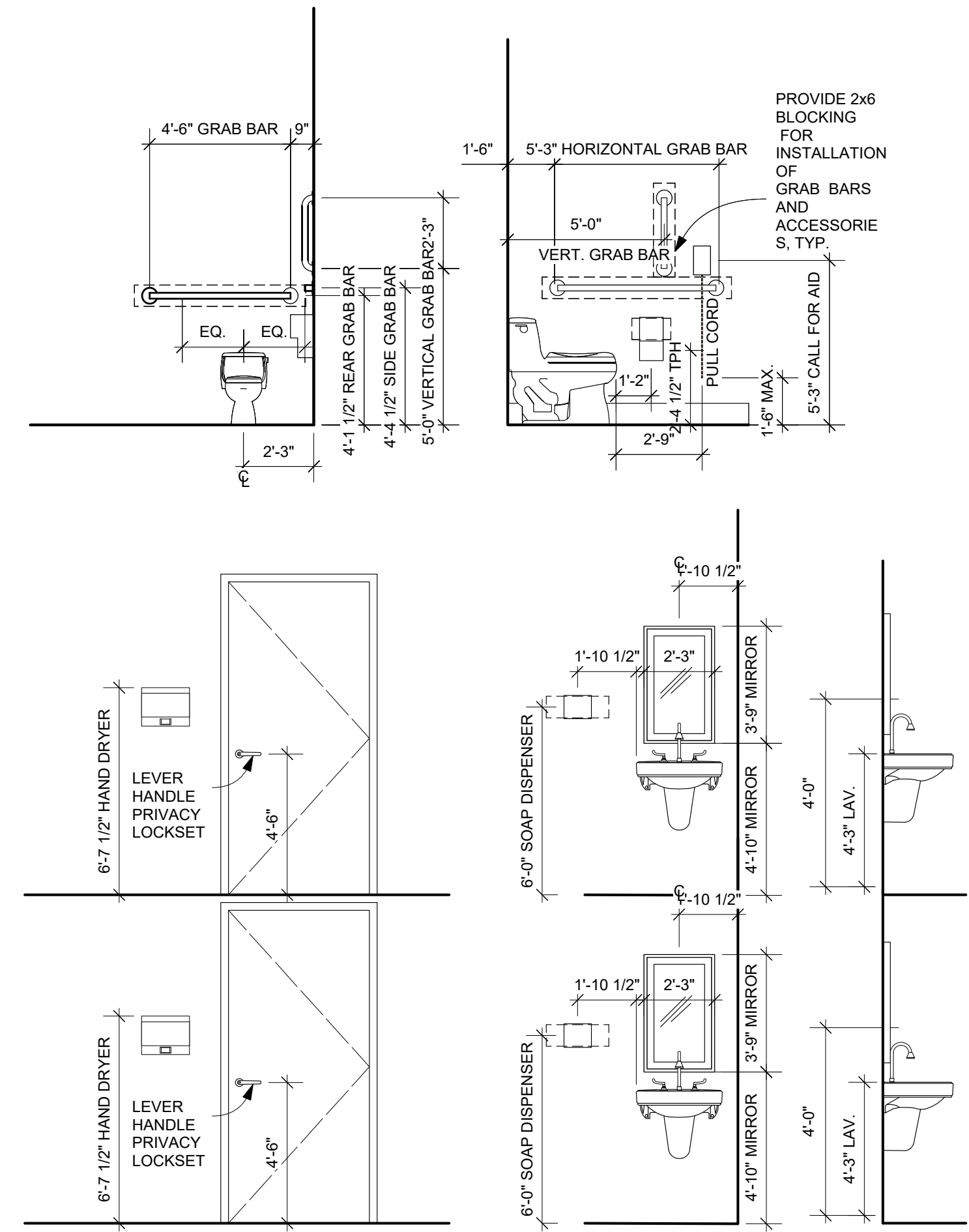


FFD EXISTING ADA PLAN & FFD EXISTING LIMITED ACCESS PLAN

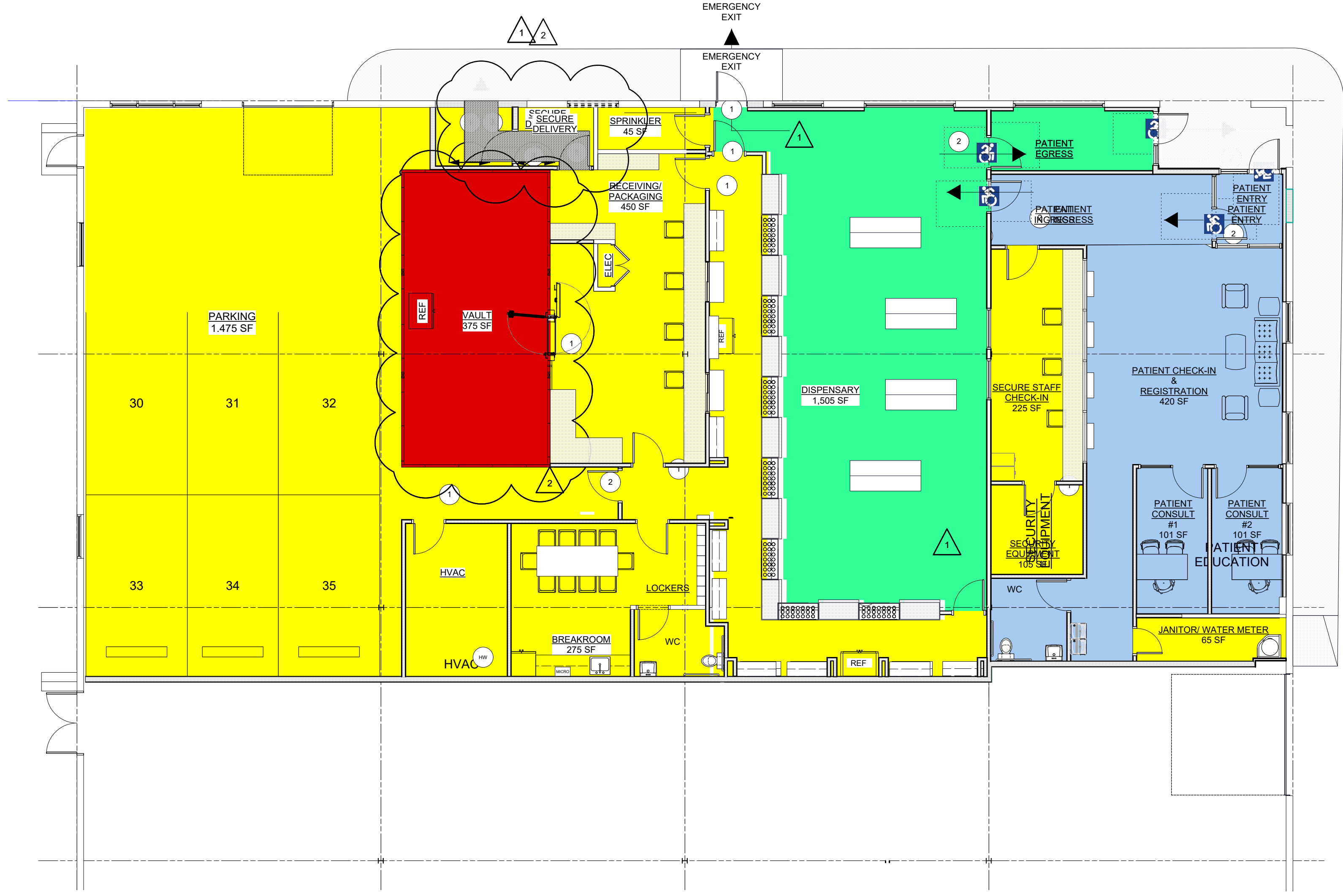
A-0.5 R3



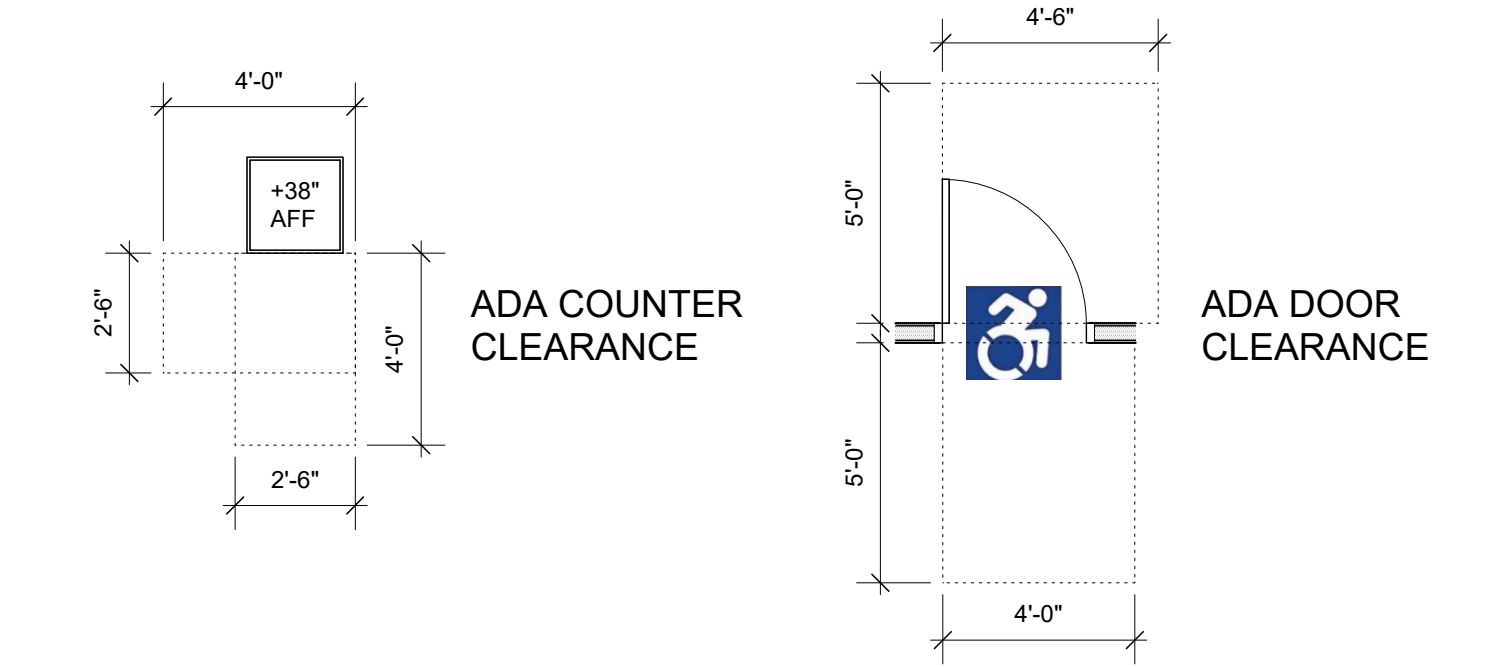
2 FFD - EXISTING ADA PLAN
A-0.5 Scale: 1/8" = 1'-0"



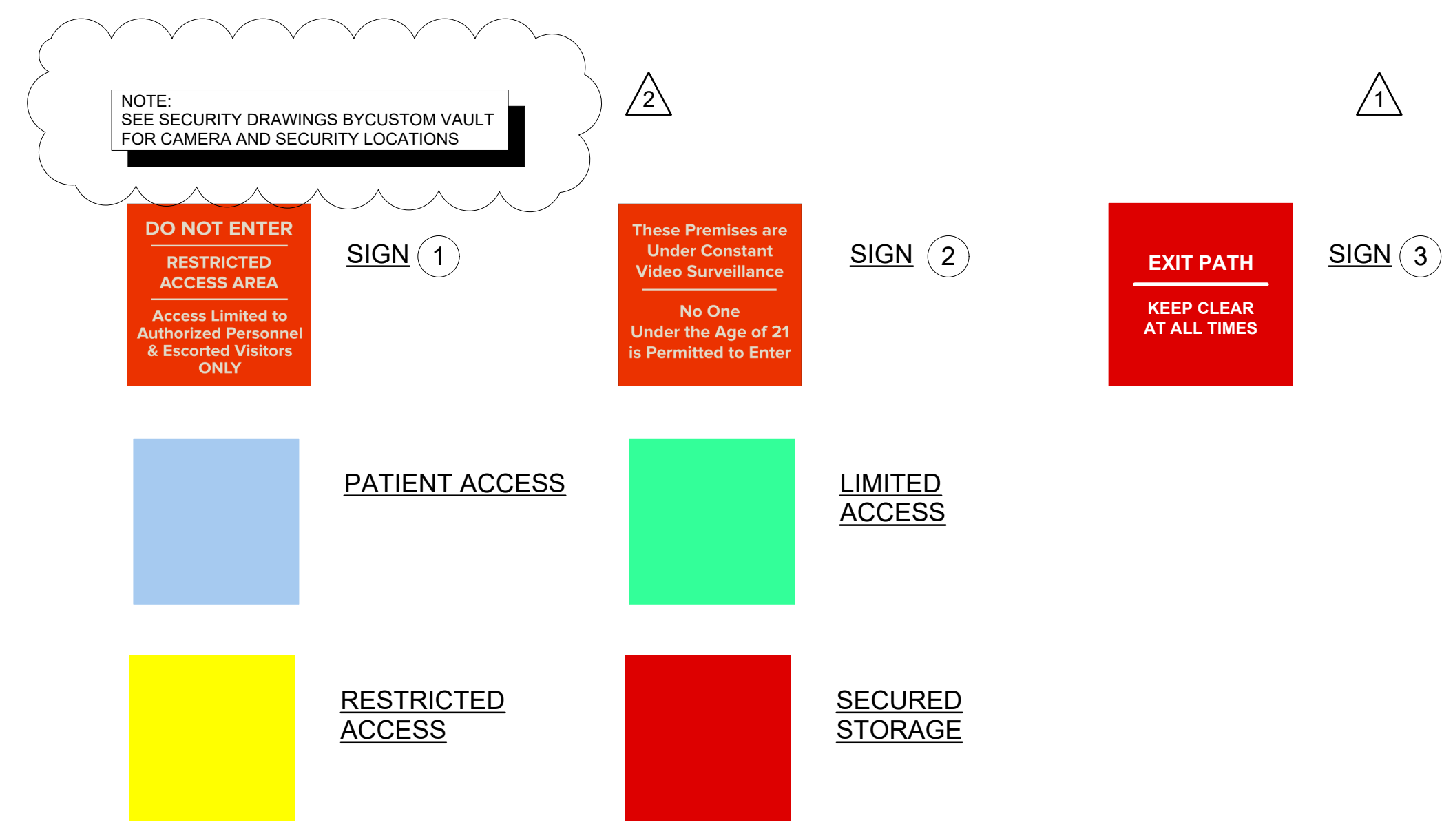
5 EXISTING ACCESSIBLE BATH DIMENSIONS
SD-4.3.3 Scale: 1/4" = 1'-0"



1 FFD - EXISTING LIMITED ACCESS PLAN
A-0.5 Scale: 1/8" = 1'-0"



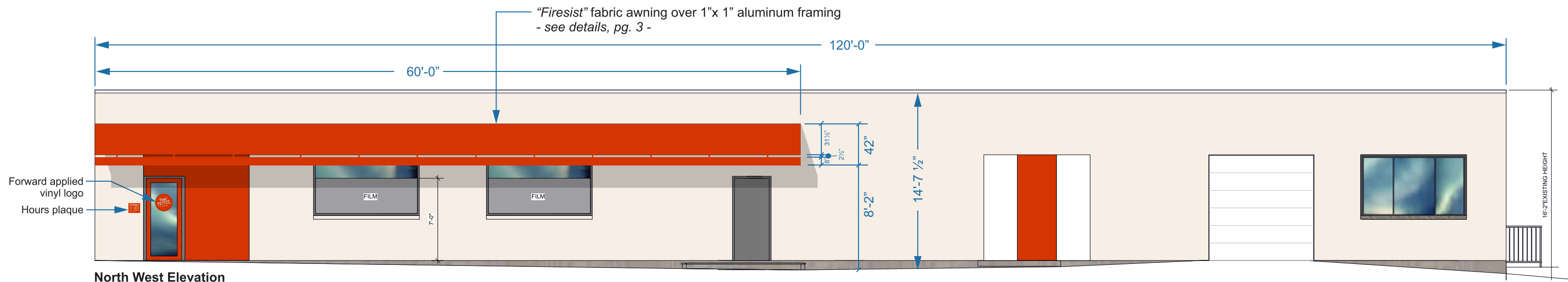
4 EXISTING ACCESSIBLE BATH DIMENSIONS
SD-4.3.3 Scale: 1/4" = 1'-0"



3 EXISTING SECURITY KEY
SD-4.3.3 Scale: 1/4" = 1'-0"

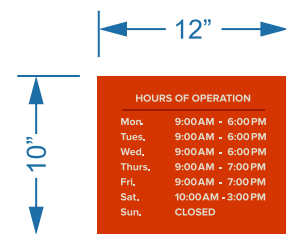
artfx

Fine Fettle Dispensary | 12 Research Drive, Stamford, CT
Zoning Compliant 2-25-22
February 25, 2022



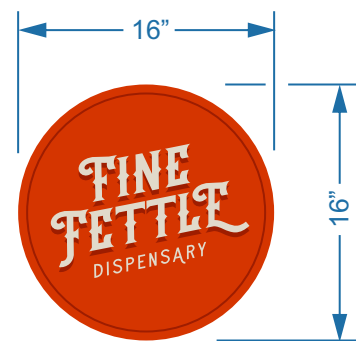
North West Elevation

Scale: 1/8" = 1'- 0"



3/16" Acrylic painted to match PMS #2349C, with digital printed copy
HOURS TO BE VERIFIED

Scale: 1" = 1'- 0"



Digital printed logo on adhesive vinyl with UV laminated

Scale: 1" = 1'- 0"



Photo Reference - NTS



27 Britton Drive, Bloomfield, CT 06002 | 860.242.0031 | 800.466.4278 | 860.242.2898 | artfxsigns.com
These plans are copyrighted by ARTfx. Unless purchased they are the exclusive property of ARTfx. They are submitted to you for the sole purpose of your consideration of whether to purchase from ARTfx, a sign or architectural product manufactured according to these plans. Distribution or exhibition of these plans beyond your company is forbidden. If you would like to obtain legal ownership of these plans, you may purchase a copyright release from ARTfx.

Project Name:

Fine Fettle Dispensary
12 Research Drive, Stamford, CT

Job#:

58558

Scale:

As Noted

Date:

2/25/22

Artist:

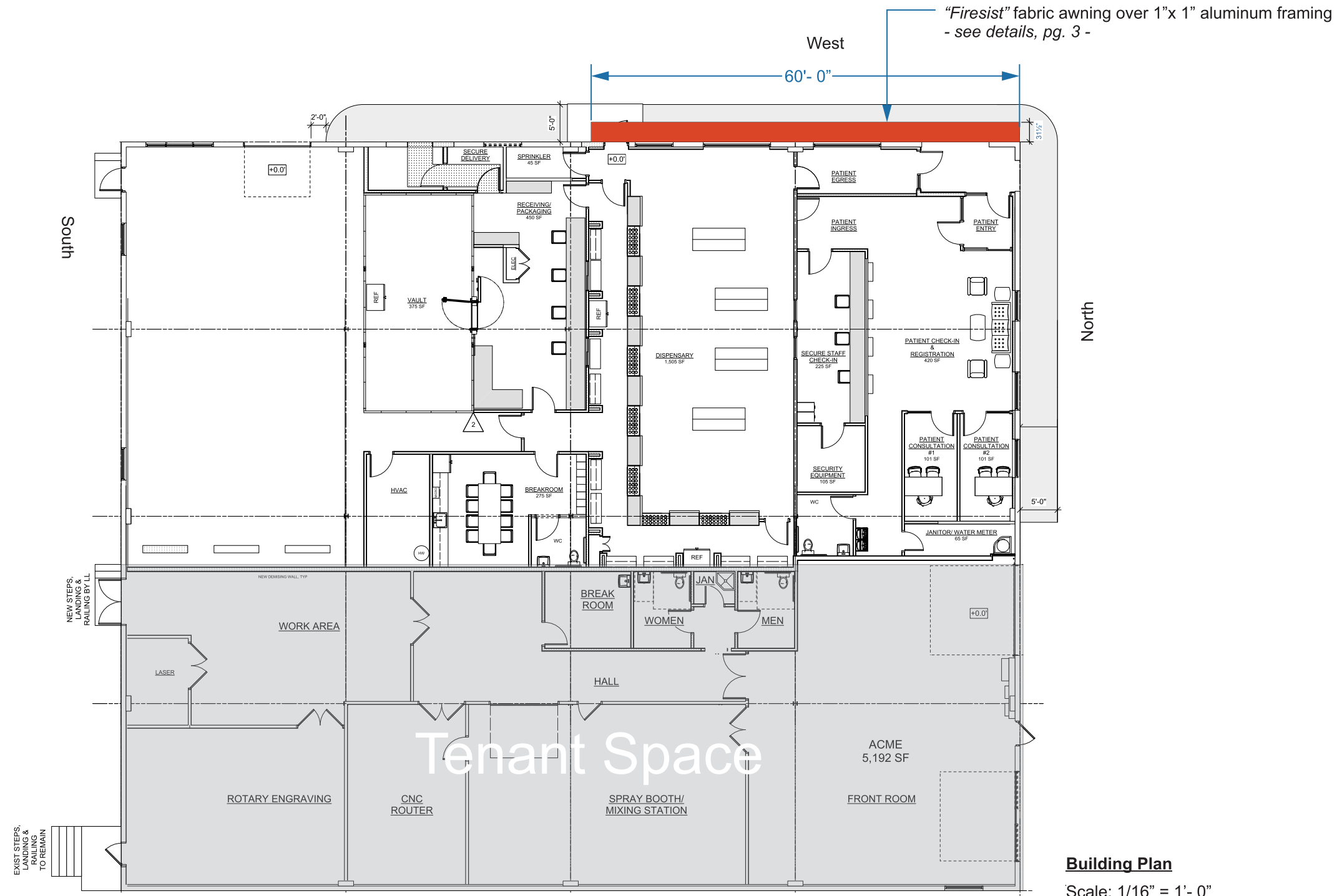
PNH

Sales Person:

LR

Page:

1



27 Britton Drive, Bloomfield, CT 06002 | 860.242.0031 | 800.466.4278 | 860.242.2898 | artfxsigns.com
 These plans are copyrighted by ARTfx. Unless purchased they are the exclusive property of ARTfx. They are submitted to you for the sole purpose of your consideration of whether to purchase from ARTfx, a sign or architectural product manufactured according to these plans. Distribution or exhibition of these plans beyond your company is forbidden. If you would like to obtain legal ownership of these plans, you may purchase a copyright release from ARTfx.

Project Name:

Fine Fettle Dispensary
 12 Research Drive, Stamford, CT

Job#:

58558

Scale:

As Noted

Date:

2/25/22

Artist:

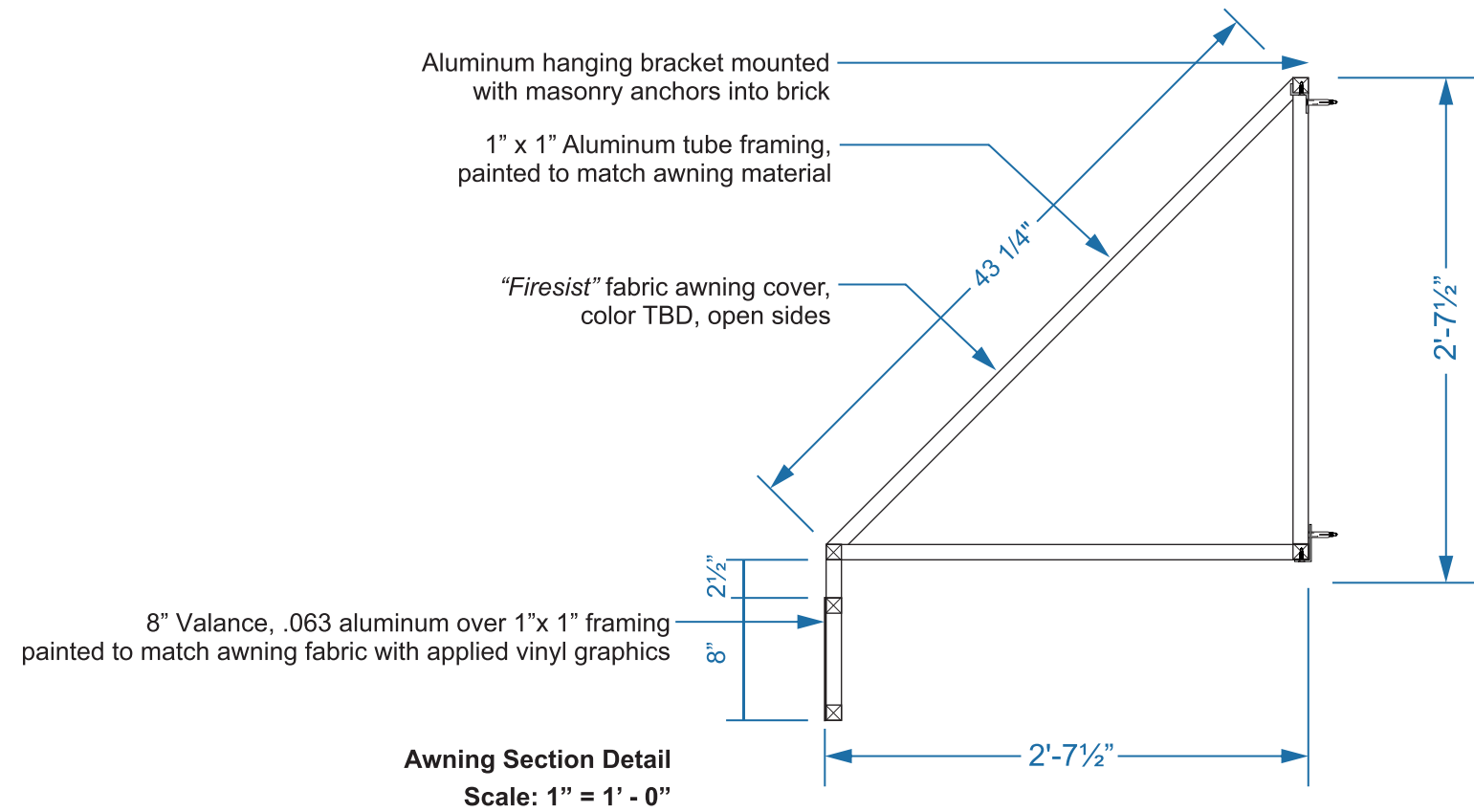
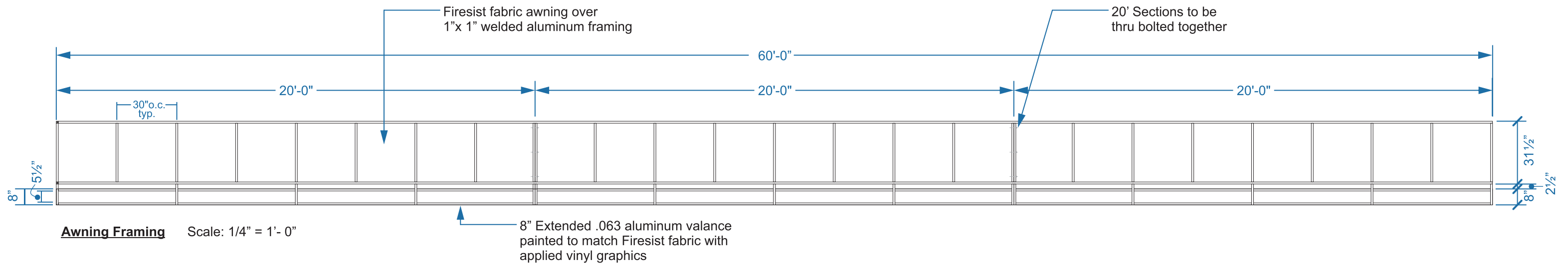
PNH

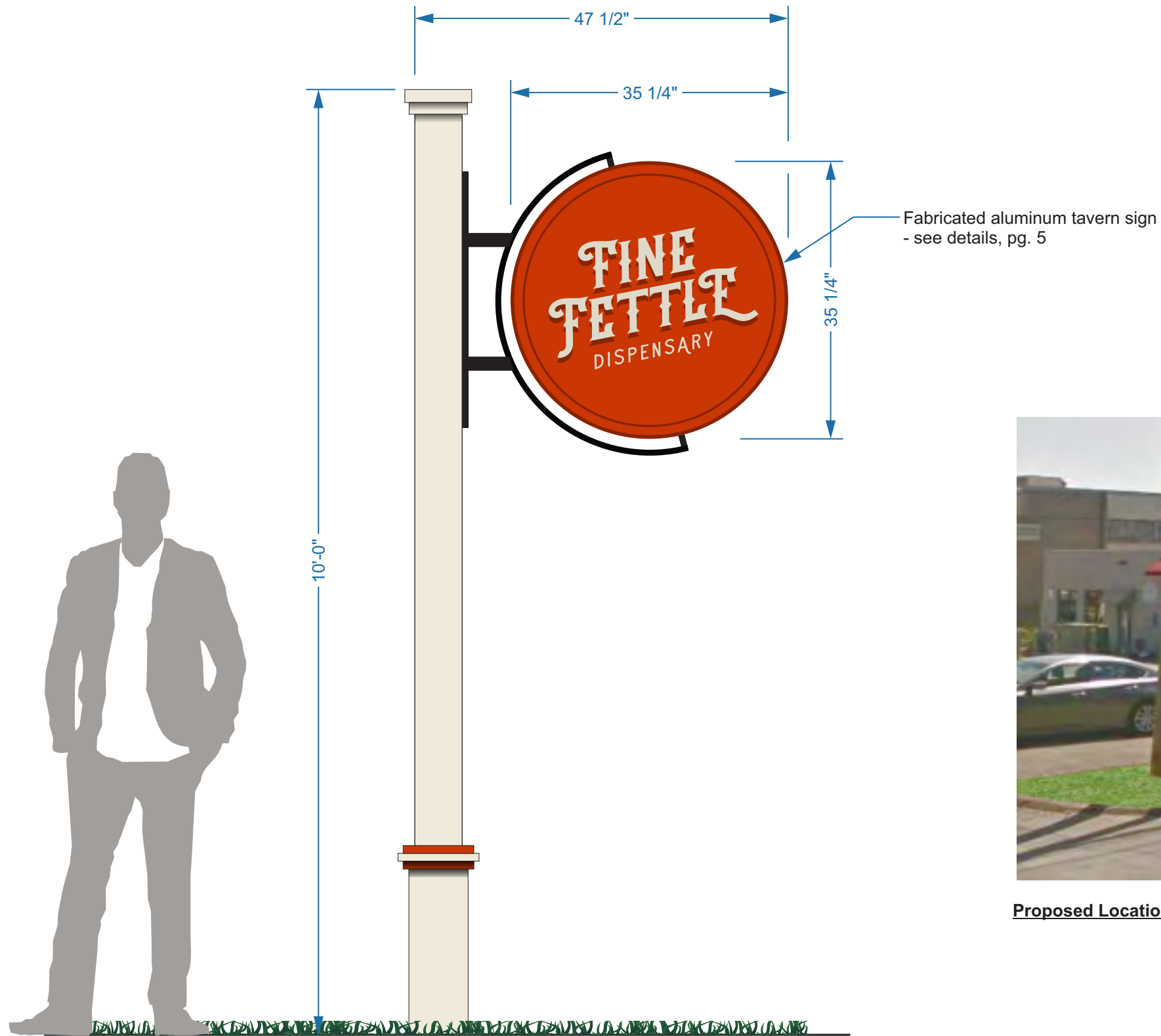
Sales Person:

LR

Page:

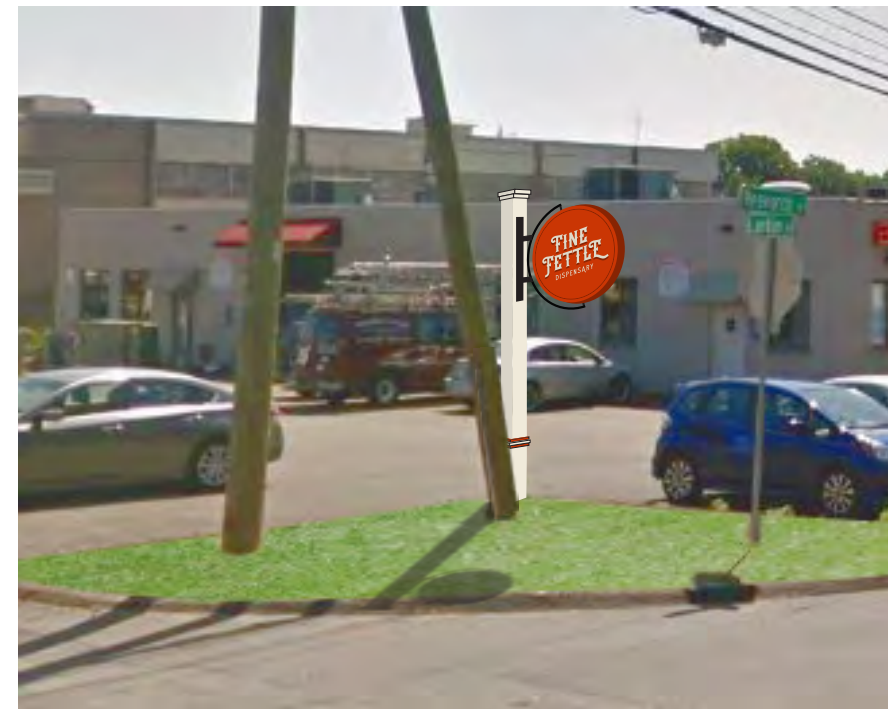
2





Non-Illuminated Tavern Sign

Scale: 3/4" = 1'- 0"



Proposed Location - NTS



Street Views of Corner - NTS



27 Britton Drive, Bloomfield, CT 06002 | 860.242.0031 | 800.466.4278 | 860.242.2898 | artfxsigns.com
 These plans are copyrighted by ARTfx. Unless purchased they are the exclusive property of ARTfx. They are submitted to you for the sole purpose of your consideration of whether to purchase from ARTfx, a sign or architectural product manufactured according to these plans. Distribution or exhibition of these plans beyond your company is forbidden. If you would like to obtain legal ownership of these plans, you may purchase a copyright release from ARTfx.

Project Name:

Fine Fettle Dispensary
 12 Research Drive, Stamford, CT

Job#:

58558

Scale:

As Noted

Date:

12\23\21

Artist:

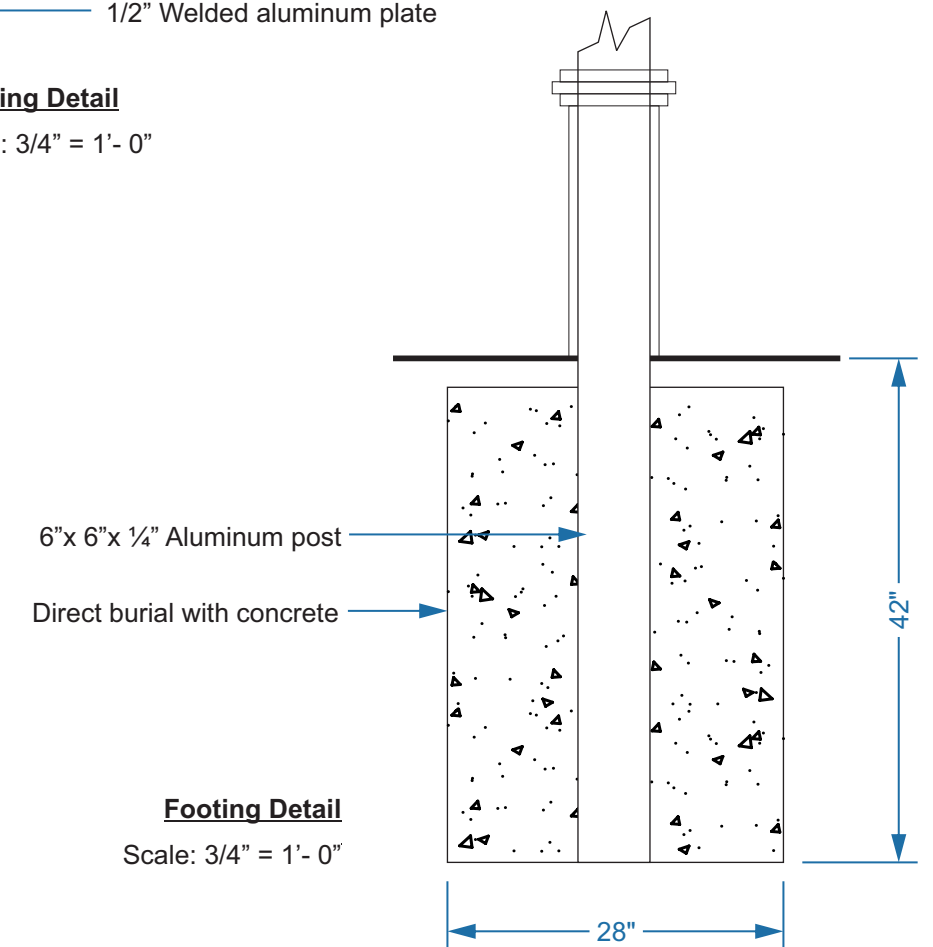
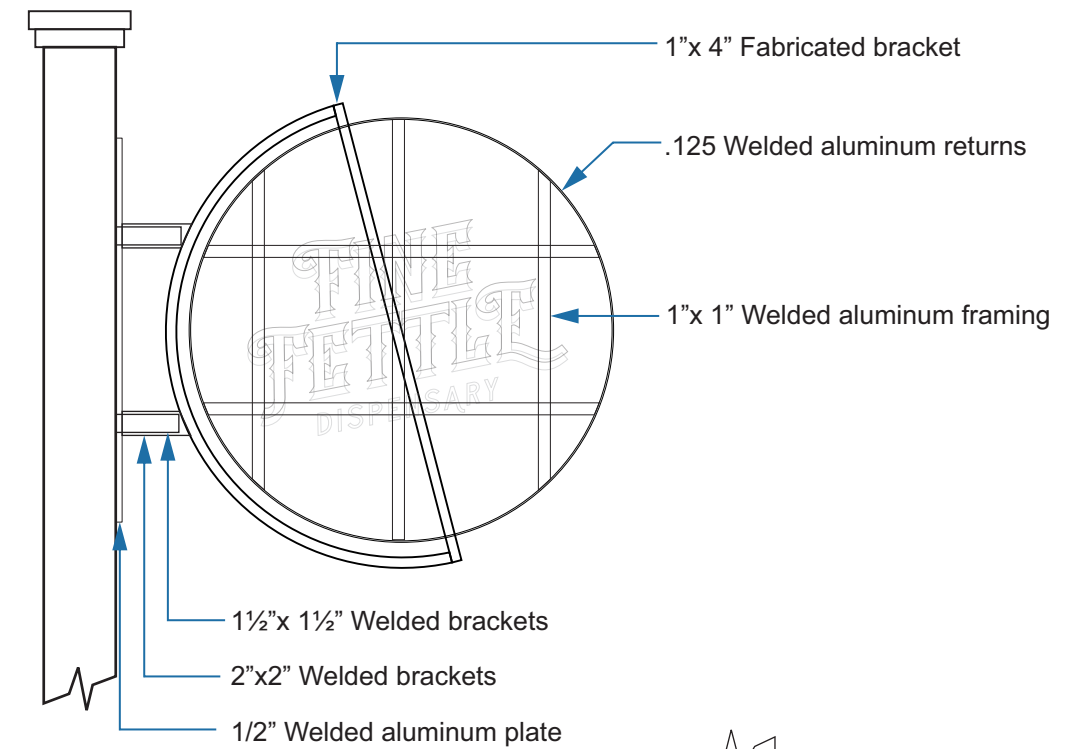
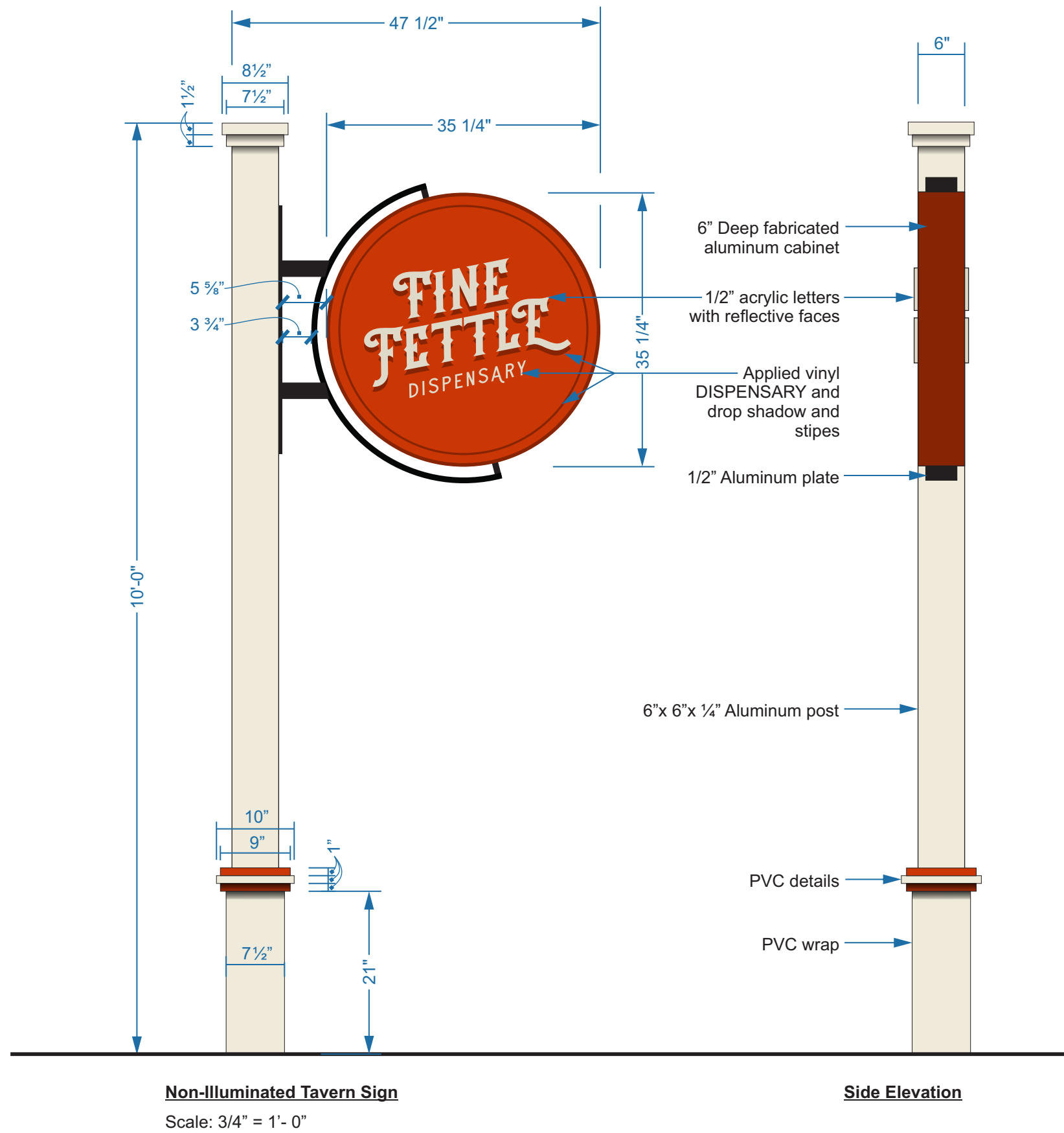
PNH

Sales Person:

LR

Page:

4



27 Britton Drive, Bloomfield, CT 06002 | 860.242.0031 | 800.466.4278 | 860.242.2898 | artfxsigns.com
 These plans are copyrighted by ARTfx. Unless purchased they are the exclusive property of ARTfx. They are submitted to you for the sole purpose of your consideration of whether to purchase from ARTfx, a sign or architectural product manufactured according to these plans. Distribution or exhibition of these plans beyond your company is forbidden. If you would like to obtain legal ownership of these plans, you may purchase a copyright release from ARTfx.

Project Name:

Fine Fettle Dispensary
 12 Research Drive, Stamford, CT

Job#:

58558

Scale:

As Noted

Date:

12\23\21

Artist:

PNH

Sales Person:

LR

Page:

5

ADA SIGNS ▪ AERIAL SERVICES ▪ ART & CONSULTING ▪ AWNINGS ▪ BANNERS ▪ BLADE SIGNS ▪ CAD-CAM ▪ CANOPIES ▪ CAST PLAQUES
CHANNEL LETTERS ▪ CORPORATE ART ▪ CRANE SERVICE ▪ CRATING ▪ CUSTOM LIGHTING ▪ CUT METAL LETTERS ▪ CUT PLASTIC LETTERS
DECORATIVE GLASS ▪ DECORATIVE IRONWORK ▪ DISPLAY PRODUCTS ▪ DONOR WALLS ▪ EDGE LIGHTING ▪ ELECTRONIC MESSAGE CENTERS
ETCHED PLAQUES ▪ EXHIBITION GRAPHICS ▪ FAUX FINISHES ▪ FEATURE WALLS ▪ FLAGS ▪ FOUNDATIONS ▪ GLASS SIGNS ▪ GOOSE NECK
LIGHTS ▪ HIGH RISE WORK ▪ LARGE FORMAT PRINTING ▪ LED ARCHITECTURAL LIGHTING ▪ LED RETROFITS ▪ LIGHTING SYSTEMS ▪ LOGOS
MARQUEES ▪ MASONRY WORK ▪ MENUS ▪ MONUMENT SIGNS ▪ MURALS ▪ MUSEUM DISPLAYS ▪ NATIONAL SIGN PROGRAMS ▪ NEON ▪ PAINTING
PARKING LOT LIGHTS ▪ PENNANTS ▪ PERMITS ▪ PRIVACY BANDS ▪ PUSH THROUGH LETTERS ▪ PYLON SIGNS ▪ RENDERINGS ▪ RESTORATION
ROPE LIGHTING ▪ SAND BLASTING ▪ SCULPTURE ▪ SCREEN PRINTING ▪ SHIPPING ▪ SIGN CABINETS ▪ SIGN SERVICES ▪ SIGNAGE SYSTEMS
SPRAY PAINTING ▪ STORE FRONT RENOVATION ▪ STOREFRONT DESIGN ▪ STRUCTURAL ENGINEERING ▪ SURVEYS ▪ TAVERN SIGNS ▪ TIMELINES
VEHICLE GRAPHICS ▪ VIDEO MENUS ▪ VINYL LETTERS ▪ WASH LIGHTING ▪ WAY-FINDING SYSTEMS ▪ WINDOW GRAPHICS ▪ WOODWORK



SIGNS & AWNINGS | ARCHITECTURAL FABRICATION | ART & DESIGN

27 Britton Drive Bloomfield, CT 06002 | 800.466.4278 | 860.242.0031 | artfxsigns.com