



Wiss, Janney, Elstner Associates, Inc.
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August 4, 2022

Louis Casolo
City of Stamford
Engineering Bureau
888 Washington Boulevard
Stamford, CT 06901

NV @ Harbor Point, 100 Commons Park North, Stamford, CT: Visual Survey

WJE No. 2022.0759

Dear Mr. Casolo:

Pursuant with our proposal dated April 6, 2022, and at the request of the Mayor of Stamford, Connecticut's Office, Wiss, Janney, Elstner Associates, Inc. (WJE) has completed our limited assessment of the above referenced property. The following is our report on the matter.

BACKGROUND

Following the partial collapse of the 5th floor plaza slab at the Allure, the mayor of Stamford, Ms. Caroline Simmons, asked WJE to perform limited assessments of additional properties that have been developed by Building and Land Technology (BLT) in Stamford utilizing similar construction, similar designs and/or similar construction teams to the Allure. The scope of these assessments was outlined in a March 25, 2022 letter issued to BLT by Mayor Simmons.

DESCRIPTION OF STRUCTURE

NV @ Harbor Points, located at 100 Common Park North is a 16-Story residential structure with a single basement level. It was built ca. 2017. Levels Basement through Level 3 primarily consists of parking with some apartments and amenity spaces along the perimeter of all four elevations. Level 4 primarily consists of an exterior and interior amenities spaces including terraces with a pool and planters on the east and west sides. Apartments are provided along the north and south elevations. The overall dimensions of Levels B-4 are approximately 420 ft. north/south by 217 ft. east/west. Floor to floor heights are between 9.5 ft. and 12 ft. Above Level 4, two residential towers referred to as the north and south tower, continue up to Level 16. The towers each have overall plan dimensions of approximately 141 ft. north/south by 114 ft. east/west. Typical floor-to-floor heights of both towers are between 9.5 and 10 feet. At levels 5-7, a corridor with apartments connects the two towers. The corridor has overall dimensions of approximately 159 ft. north/south by 64 ft. east/west.

The building structure is founded on a conventionally reinforced 3 ft. thick mat foundation. Floor one consists of a 10 in. conventionally reinforced concrete flat plate¹ with areas thickened to 12 in. Top and

¹ A "flat plate" is a reinforced concrete slab of without beams or drop panels.

bottom mat reinforcing steel is provided in both directions. The columns consist of cast-in-place concrete and are conventionally reinforced. Column spacings vary from approximately 12 ft. to 28 ft. in the north/south direction and approximately 14.75 ft. to 28 ft. in the east/west direction. The second and third floor slabs consist of either 6.5 in. or 8 in. thick post-tensioned, cast-in-place, concrete flat plates. The flat plates have uniformly spaced draped² post tensioning monostrand tendons that typically span in the north/south direction at 3.5 ft. on center. Banded, draped monostrand tendons span in the east/west direction at the column lines. Conventional reinforcing is also provided with a continuous bottom mat in both directions and top bars in both directions at the columns. Additionally, stud rails³ are provided at some, but not all, columns. A 3 in. wide expansion joint separates the north side of the structure from the south side of the structure.

At the western end of the 4th floor level near the pool, the slab thickness increases to 12 in. where the pool and outdoor amenities terrace are located. At the remainder of the floor, where the residential apartments are located, the slab is generally 8 in. thick with isolated thicker areas. The flat plates at the 4th level have uniformly spaced, draped, monostrand tendons that typically span in the north/south direction at 3 ft. on center. Banded, draped, monostrand tendons span in the east/west direction at the column lines. Conventional reinforcing is also provided with a continuous bottom mat in both directions and top bars in both directions at the columns. Additionally, stud rails are provided at select columns. In order to allow for transitions between the occupied interior space and occupied amenities space, a step in the slab top surface is provided to allow for the installation of waterproofing and a pedestal paver system.

The remainder of the building (levels 5 to 16) have the same structural system with a slab thickness of 8 in. The flat plates have uniformly spaced draped tendons that typically span in the north/south direction at 3.5 ft. on center. The live end anchors are provided on both elevations based on the tendon layout. Draped banded tendons span in the east/west direction at the column lines. Conventional reinforcing is also provided with a continuous bottom mat in both directions and top bars in both directions at the columns. Additionally, stud rails are provided at select columns. Post-tensioned cantilever balconies are provided on the east and west elevations.

An expansion joint that spans in the east/west direction is provided at levels 1-8 separating the north and south towers.

The building is clad with an exterior insulation and finishing system (EIFS) and has a flat roof (Figures 1-4). The building was designed by EDI International (EDI), and the structural engineer of record is Weidlinger Associates, Inc. (WA).

² Draped tendons refers to the elevation profile of the strands which are typically located high in the slab at column lines and low in the slab at midspans.

³ Stud rails are welded assemblies of steel strips and headed studs that are positioned around columns to enhance the punching shear strength of the slabs

DOCUMENTS REVIEWED

The following documents were reviewed by WJE to gather a basic understanding of the building design and construction:

- Architectural As-Built Drawings issued by EDI dated April 25, 2018.
- Structural Drawings issued by WA for construction including revision number 1 dated September 28, 2016
- Post Tensioning Shop Drawings issued by CCL dated December 15, 2016
- Rebar Shop Drawings issued by Gerdau dated September 6, 2016.

WJE reviewed a report issued by Desimone Consulting Engineers entitled: *NV @ Harbor Point Garage-On-Site Structural Assessment* dated May 9, 2022. The following is described in the report:

- Desimone conducted a visual assessment.
- The exposed garage structure was found to generally be in good condition.
- Shrinkage cracks were observed but are not of structural concern.
- Based on the on-site visual observations, Desimone did not observe any items of structural concern.
- In general, the existing garage structure in its current condition appears structurally sound.
- Typical shrinkage cracks on the garage level slabs and foundation walls should be sealed as a general maintenance item and should be monitored on a regular basis to prevent future structural deterioration.
- Desimone apparently performed no calculations in support of their opinions.

OBSERVATIONS

On May 31, 2022, John Cocca, P.E., Hannah Rakowski, P.E., David Fagan and Tom Fayomi all from WJE, performed a limited visual review of the building. Prior to our site visit, we reviewed the drawings to look for areas of structural anomalies such as steps in the slabs, large openings or other features that could create design or construction issues. During our visit, WJE visually reviewed the exposed structure within the parking garage, the 4th floor terrace and amenity spaces and 12 apartments spread between the two towers which were all that were made available to WJE by the owner. Additionally, WJE reviewed various halls and stairwells in both towers. Field sheets indicating the areas surveyed are provided in Appendix A. The following conditions were noted:

Garage

- The lower level of the parking garage was observed to be in good condition at isolated locations, shrinkage cracks were noted in the slab-on-grade as well as at the underside of the 1st floor slab level. In some instances, efflorescence was observed emanating from the shrinkage cracks (Figures 5-7).
- Levels 1 through 3 of garage appear in good condition a few shrinkage cracks noted at isolated locations (Figures 8-11).
- WJE noted corrosion staining emanating from the expansion joints at multiple levels (Figure 12).

Terrace

- WJE visually reviewed the amenity terrace at the 5th Floor. WJE did not observe any cracking in finishes or excessive deflections that could be an indication of an underlying structural issue (Figures 13-14).

Tower/Interior Spaces

- At the time of our visit, WJE was provided access to 12 units within the two towers. WJE visually reviewed the 12 apartments and all accessible public and amenities spaces. As part of our review, WJE looked for cracks in the drywall finishes especially at doorways and floor to ceiling transitions that may be an indication of differential movement. Additionally, WJE also looked for separations in the trim or gaps in the trim that may indicate the presence of slab deflections. No distressed conditions were noted at the reviewed areas (Figures 15-18).
- Elevator lobbies and corridors at various levels were visually inspected for similar cracks and separations. No distressed conditions were noted at the reviewed areas (Figures 19).
- The north and south stair towers in each building were also partially examined. At these locations, painted concrete shear walls are exposed. No cracking or other signs of distress or significant deformation conditions were noted at the reviewed areas (Figure 20).

Exterior

- WJE visually reviewed the exterior elevations of the building from grade, select terraces of accessible apartments and from the 4th floor terrace. In general, Minor cracking in the EIFS was noted, however, its location and crack pattern is not indicative of an underlying structural issue.

CONCLUSIONS

Based on our limited review of the provided documents and our visual assessment of the building, WJE did not identify any additional conditions at the NV at Harbor Point that would be indicative of an underlying structural issue at the time of our inspections.

RECOMMENDATIONS

Based on our review, WJE would offer the following recommendations to the owner to prolong the life of the structure and help to limit future maintenance.

- WJE would recommend routing and sealing the shrinkage cracks to prevent the ingress of air and water which could result in corrosion of the underlying steel and/or post tensioning.
- The owner should consider applying a penetrating sealer to the parking levels top surfaces or installing a traffic coating on the parking levels top surfaces to protect the mild reinforcement from chloride laden water that is tracked into the garage from vehicles in the winter.
- Please note that expansion joints and surface treatments in parking garages are high maintenance items, requiring repair or replacement typically every 5 years.



Sincerely,

WISS, JANNEY, ELSTNER ASSOCIATES, INC.

A handwritten signature in black ink, appearing to read 'J. Cocca'.

John Cocca, P.E.
Associate Principal & Project Manager





Figure 1- South Elevation



Figure 2- West Elevation



Figure 3- North Elevation



Figure 4- East Elevation



Figure 5- Typical Lower Level of Garage



Figure 6- Typical Shrinkage Cracks at Underside of 1st Level. Note Efflorescence Emanating from Cracks

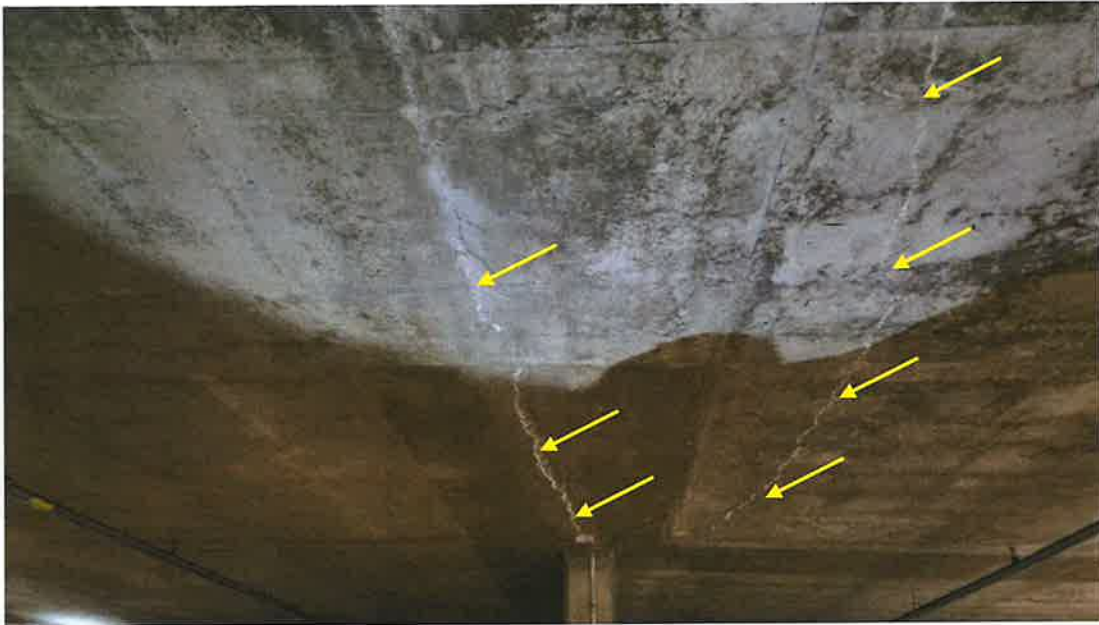


Figure 7- Typical Shrinkage Cracks at Underside of 1st Level. Note Efflorescence Emanating from Cracks



Figure 8- First Level of Garage. Note Shrinkage Cracks with Efflorescence at underside of 2nd Floor



Figure 9 - Shrinkage Cracks at Floor of Second Floor Level



Figure 10- Third Floor Level



Figure 11- Third Floor Level



Figure 12- Corrosion at Expansion Joint



Figure 13- Terrace at West Elevation



Figure 14- Terrace at East Elevation



Figure 15- Typical Apartment



Figure 16- Typical Apartment



Figure 17- Typical Apartment



Figure 18- Typical Apartment



Figure 19- Typical Corridor



Figure 20- Typical Staircase



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HARBOR POINT
 BLOCK C8
 STAMFORD, CT



GROUND FLOOR
 1/16" = 1' 0"
 A101

FLOOR PLAN LEGEND

	Area Visually Surveyed
	Cracks

RCF LEGEND

	RCF 1
	RCF 2
	RCF 3
	RCF 4
	RCF 5
	RCF 6
	RCF 7
	RCF 8
	RCF 9
	RCF 10
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	RCF 100

GENERAL PLAN NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODES (IMC/MEC).
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FLOOR PLAN KEYNOTES

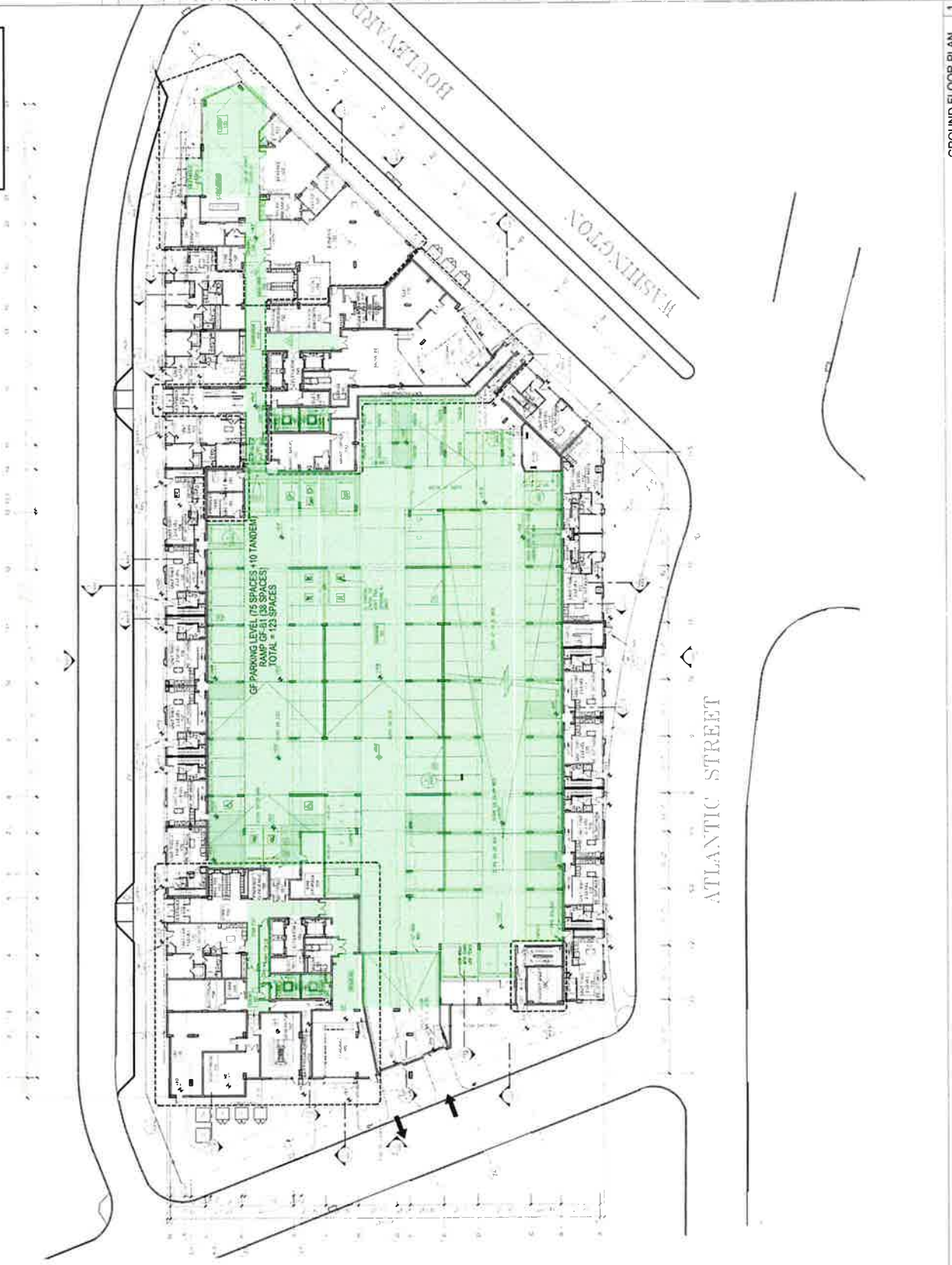
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WJE LEGEND
 Area Visually Surveyed
 Cracks

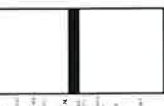




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 STAMFORD, CT**



ROBERT J. LADD
 REGISTERED PROFESSIONAL ENGINEER
 No. 17142 (Mech. - Gen.)
 State of Connecticut
 EXPIRES 12/31/2014

**2ND FLOOR
 1/18/11 1:00
 WJE/EDF**

A102

FLOOR PLAN LEGEND

	Area Visually Surveyed
	Cracks

RCP LEGEND

	RCP 1
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WJE LEGEND

Area Visually Surveyed

Cracks





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 TECHNOLOGY
 ENVIRONMENTAL
 SERVICES

**HARBOR POINT
 BLOCK C8
 STAMFORD, CT**



3RD FLOOR PLAN
 SHEET NUMBER
A103

FLOOR PLAN LEGEND

- Area Visually Surveyed
- Cracks

RCP LEGEND

GENERAL PLAN NOTES

FLOOR PLAN KEYNOTES

REVISIONS



WJJE LEGEND

- Area Visually Surveyed
- Cracks





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 Fax: 860.389.1001
 www.edf.com

CONTRACTOR
 CONSTRUCTION MANAGEMENT
 ASSOCIATES, LLC

GENERAL CONTRACTOR
 KAWNEER, INC.

ARCHITECT
 PERKINS+WILL

OWNER
 EDWARDS & KELCEY
 1000 Main Street
 Stamford, CT 06901

PROJECT
 HARBOR POINT
 BLOCK C8
 STAMFORD, CT



DATE
 11/15/17

SCALE
 AS SHOWN

PROJECT NO.
 17-001

CLIENT NO.
 17-001

PROJECT NO.
 17-001

CLIENT NO.
 17-001

PROJECT NO.
 17-001

CLIENT NO.
 17-001

4TH FLOOR
 1/16" = 1'-0"

A104

FLOOR PLAN LEGEND

	Area Visually Surveyed
	Cracks

RCP LEGEND

REPAIRS TO CONCRETE
 REPAIRS TO MASONRY
 REPAIRS TO METALS

GENERAL PLAN NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.

2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.

FLOOR PLAN KEYNOTES

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2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.



WJE LEGEND

Area Visually Surveyed

Cracks



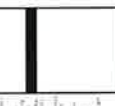


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CONTRACT NO. 10000
 PROJECT NO. 10000
 SHEET NO. 10000

DATE: 10/10/10
 DRAWN BY: J. W. J. / J. W. J.
 CHECKED BY: J. W. J. / J. W. J.
 APPROVED BY: J. W. J. / J. W. J.

**HARBOR POINT
 BLOCK C8
 STAMFORD, CT**



5TH FLOOR
 11/14/10
 A105

FLOOR PLAN LEGEND

[Symbol]	Area Visually Surveyed
[Symbol]	Cracks

RCP LEGEND

[Symbol]	...
[Symbol]	...
[Symbol]	...

GENERAL PLAN NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

FLOOR PLAN KEYNOTES

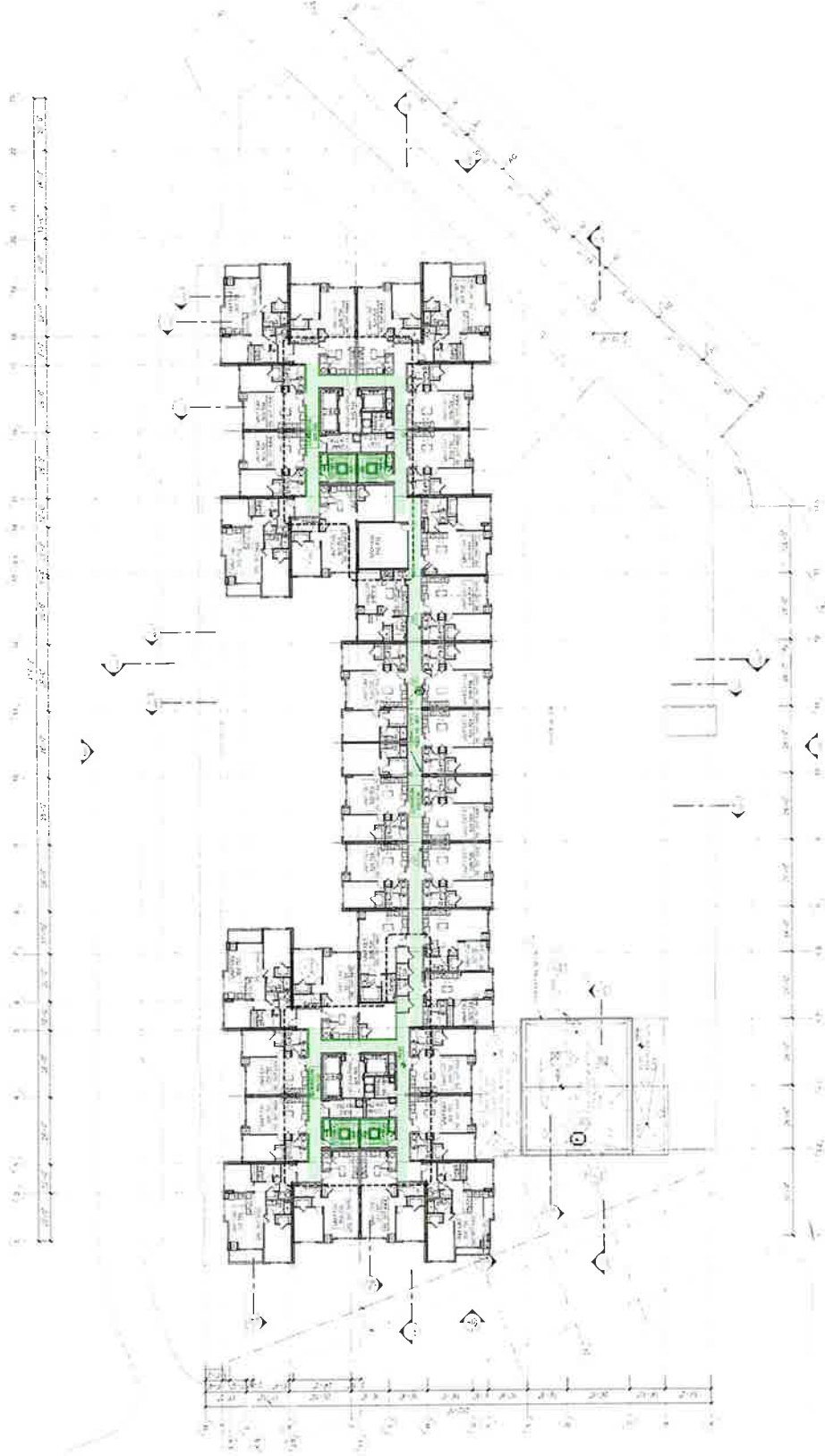
1. CRACKS ARE INDICATED BY RED LINES ON THIS PLAN.

2. VISUALLY SURVEYED AREAS ARE SHOWN IN GREEN.



5th Floor Plan

WJJE LEGEND
 Area Visually Surveyed
 Cracks



6th Floor Plan

FLOOR PLAN LEGEND



RCP LEGEND



GENERAL PLAN NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.

2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNALING CODE (NFPA).

3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND PLUMBING CODE (IMC) AND THE INTERNATIONAL PLUMBING AND MECHANICAL CODE (IPMC).

4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ROOFING AND FLASHING CODE (IRFC) AND THE INTERNATIONAL ROOFING AND FLASHING CODE (IRFC).

5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SCHEDULING AND CONTROL CODE (ISCC) AND THE INTERNATIONAL SCHEDULING AND CONTROL CODE (ISCC).

FLOOR PLAN KEYNOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.

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REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	08/15/2018
2	REVISIONS TO PERMIT	08/20/2018
3	REVISIONS TO PERMIT	09/05/2018
4	REVISIONS TO PERMIT	09/15/2018
5	REVISIONS TO PERMIT	09/25/2018
6	REVISIONS TO PERMIT	10/05/2018
7	REVISIONS TO PERMIT	10/15/2018
8	REVISIONS TO PERMIT	10/25/2018
9	REVISIONS TO PERMIT	11/05/2018
10	REVISIONS TO PERMIT	11/15/2018
11	REVISIONS TO PERMIT	11/25/2018
12	REVISIONS TO PERMIT	12/05/2018
13	REVISIONS TO PERMIT	12/15/2018
14	REVISIONS TO PERMIT	12/25/2018
15	REVISIONS TO PERMIT	01/05/2019
16	REVISIONS TO PERMIT	01/15/2019
17	REVISIONS TO PERMIT	01/25/2019
18	REVISIONS TO PERMIT	02/05/2019
19	REVISIONS TO PERMIT	02/15/2019
20	REVISIONS TO PERMIT	02/25/2019
21	REVISIONS TO PERMIT	03/05/2019
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47	REVISIONS TO PERMIT	11/25/2019
48	REVISIONS TO PERMIT	12/05/2019
49	REVISIONS TO PERMIT	12/15/2019
50	REVISIONS TO PERMIT	12/25/2019

REVISIONS

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**HARBOR POINT
 BLOCK C8
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FLOOR PLAN LEGEND

Area Visually Surveyed
 Cracks

RCP LEGEND

GENERAL PLAN NOTES

FLOOR PLAN KEYNOTES

5TH - 7TH FLOOR PLAN

1

7th Floor Plan

5TH - 7TH FLOOR PLAN

1





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FLOOR PLAN LEGEND

Area Visually Surveyed
Cracks

RCP LEGEND

REPAIRABLE
REPAIRABLE

GENERAL PLAN NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.

FLOOR PLAN KEYNOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.

WJE LEGEND

Area Visually Surveyed
Cracks



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WJE LEGEND
 Area Visually Surveyed
 Cracks

FLOOR PLAN LEGEND

WALLS
 PARTITIONS
 DOORS
 WINDOWS
 STAIRS
 ELEVATORS
 MECHANICAL
 ELECTRICAL
 PIPING

RCP LEGEND

ROOF CURB
 ROOF DRAIN
 ROOF FLASHING
 ROOF PENETRATION

GENERAL PLAN NOTES

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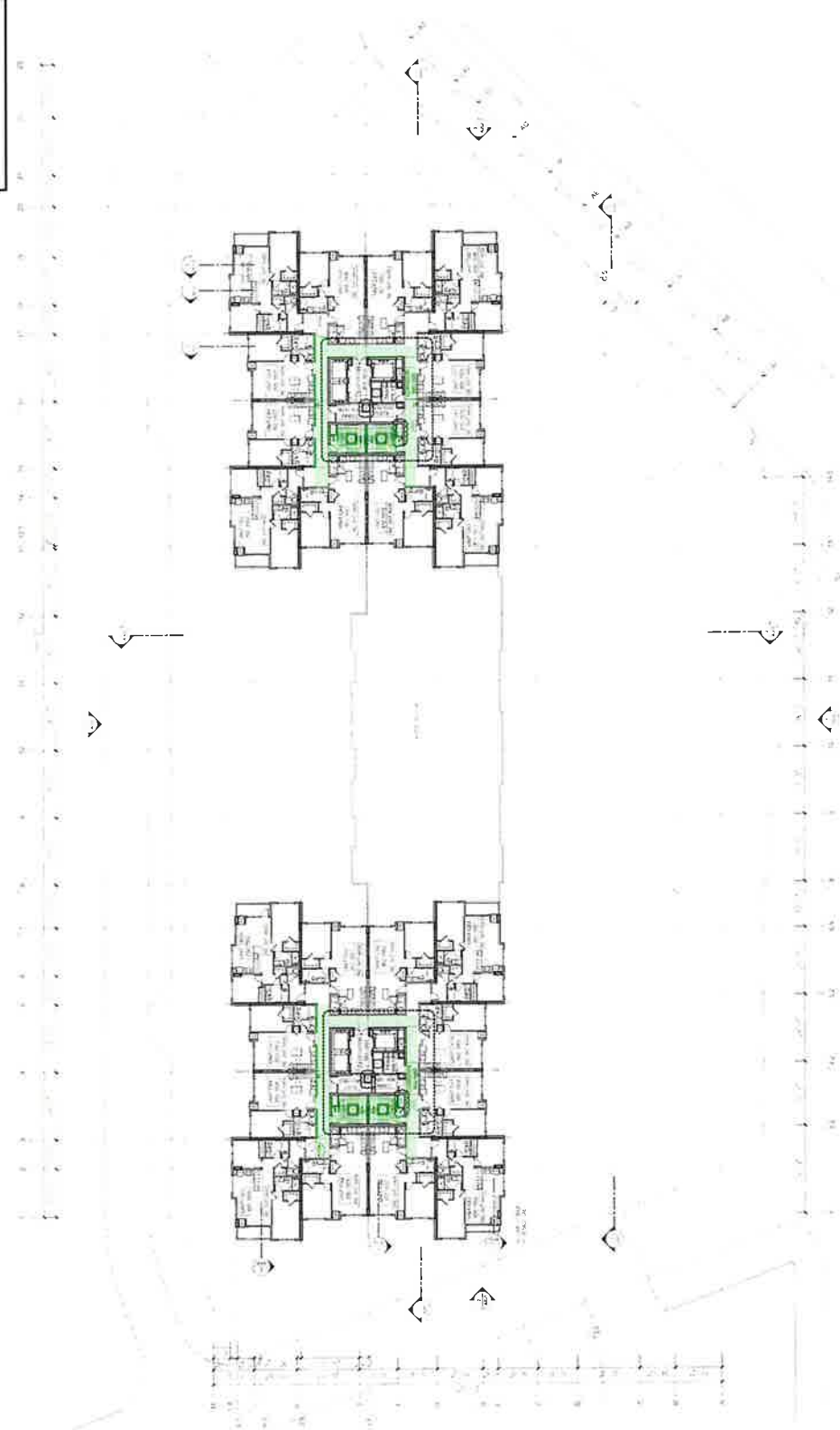
3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

FLOOR PLAN KEYNOTES

1. SEE ARCHITECTURAL DRAWINGS FOR ROOM SCHEDULES AND FINISHES.

2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.

9th Floor Plan



9th Floor Plan

**HARBOR POINT
 BLOCK C8
 STAMFORD, CT**



**9th FLOOR CODE PLAN
 1/10/2018**

A109



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JOHN J. ...
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HARBOR POINT
 BLOCK C8
 STAMFORD, CT



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9TH FLOOR
 11/15/10

A109

FLOOR PLAN LEGEND
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RCP LEGEND
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GENERAL PLAN NOTES
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FLOOR PLAN KEYNOTES
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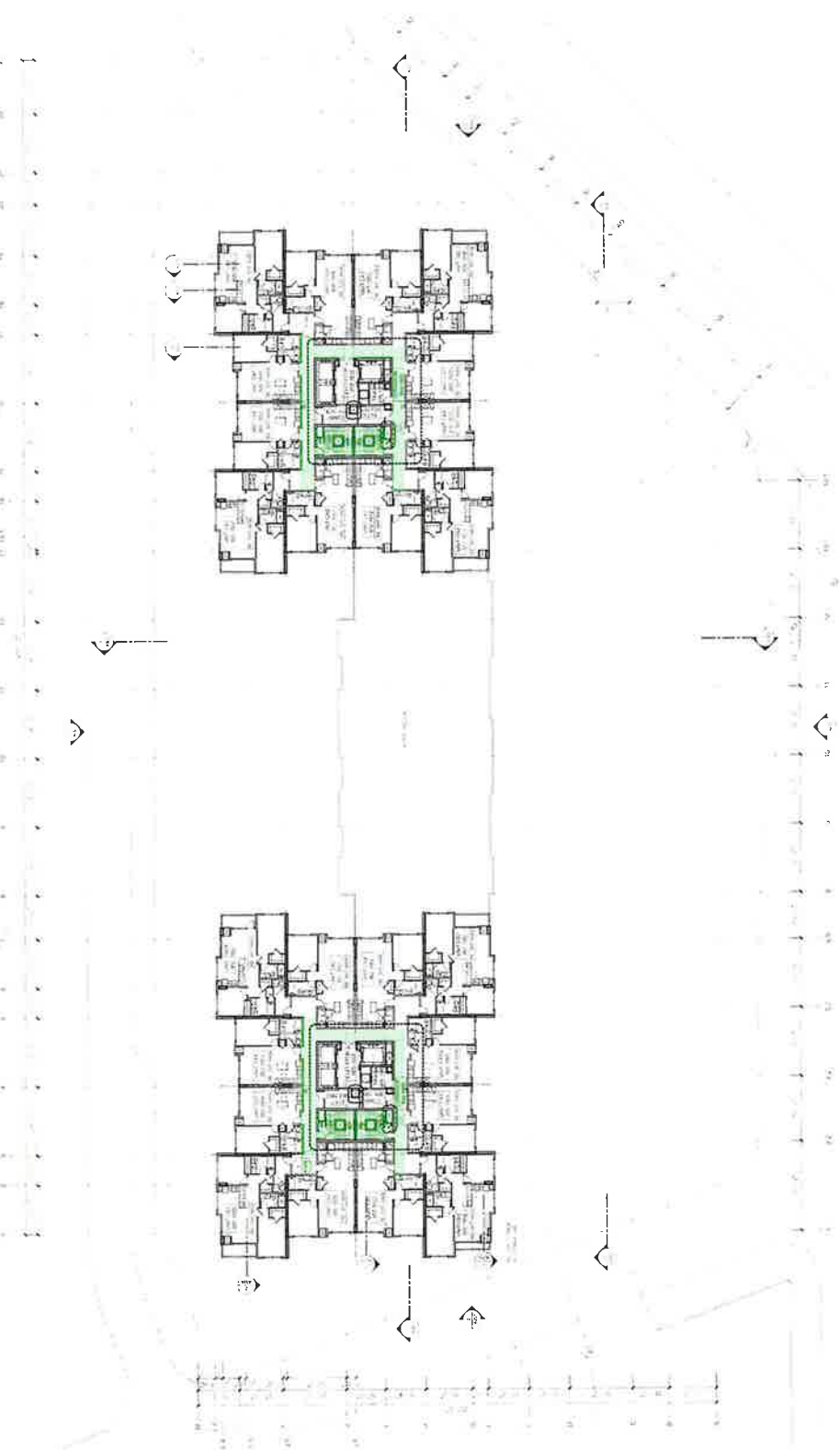
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WJE LEGEND
 Area Visually Surveyed
 Cracks



10th Floor Plan



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**HARBOR POINT
 BLOCK C8
 STAMFORD, CT**



9TH-16TH FLOOR
 1187' x 110'
 11/15/2014

A109

FLOOR PLAN LEGEND

- Area Visually Surveyed
- Cracks

RCP LEGEND

GENERAL PLAN NOTES

FLOOR PLAN KEYNOTES

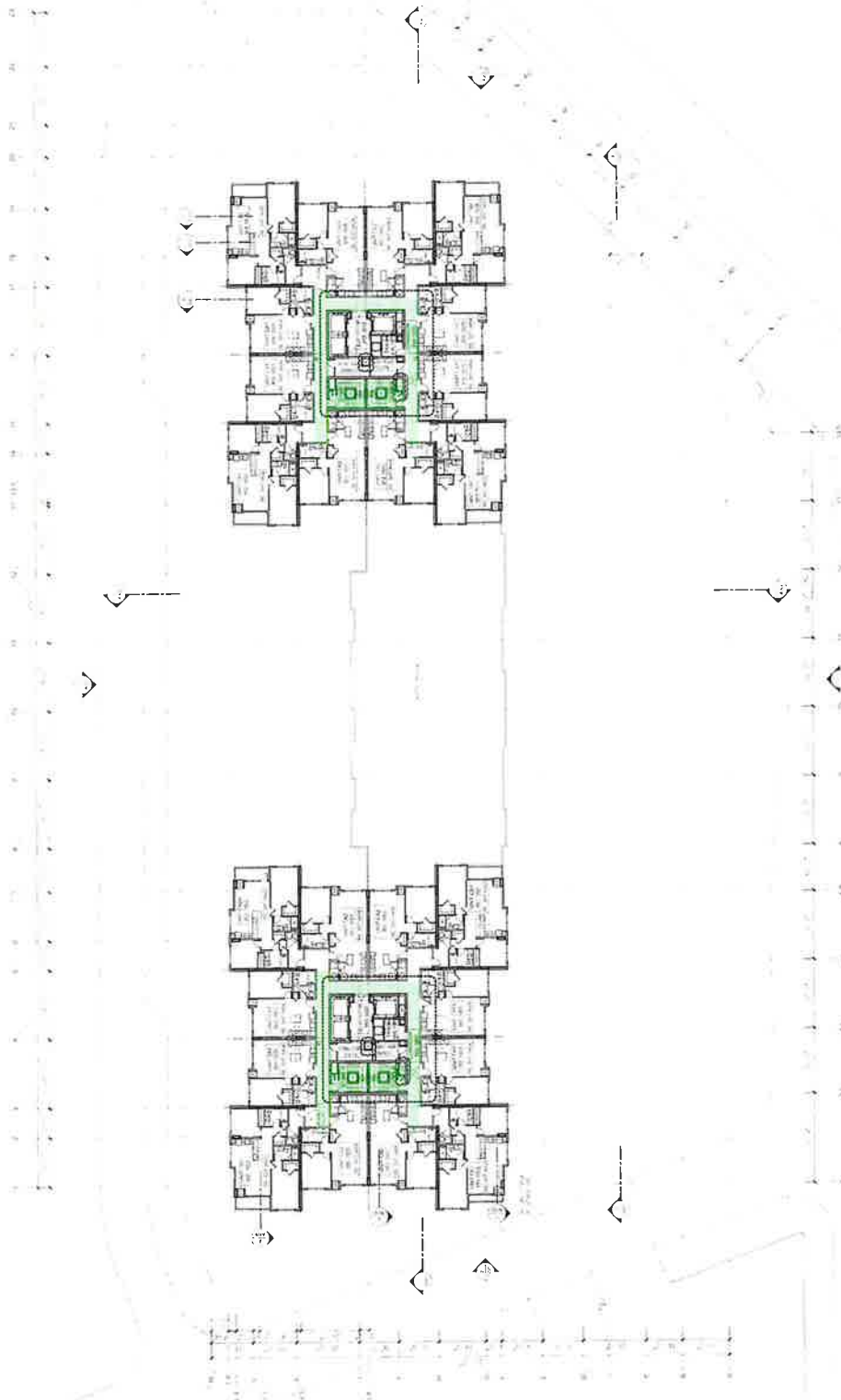
WJE LEGEND

- Area Visually Surveyed
- Cracks



11th Floor Plan

WJE LEGEND
 Area Visually
 Surveyed
 Cracks



12th Floor Plan

FLOOR PLAN LEGEND



RCP LEGEND



GENERAL PLAN NOTES

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 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT AND ENGINEER.

FLOOR PLAN KEYNOTES

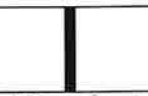
1. REFER TO THE GENERAL NOTES FOR ALL APPLICABLE REQUIREMENTS.
 2. ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED.
 3. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
 4. ANY CHANGES TO THE PLAN SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.



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 www.epi-intl.com

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**HARBOR POINT
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 STAMFORD, CT**

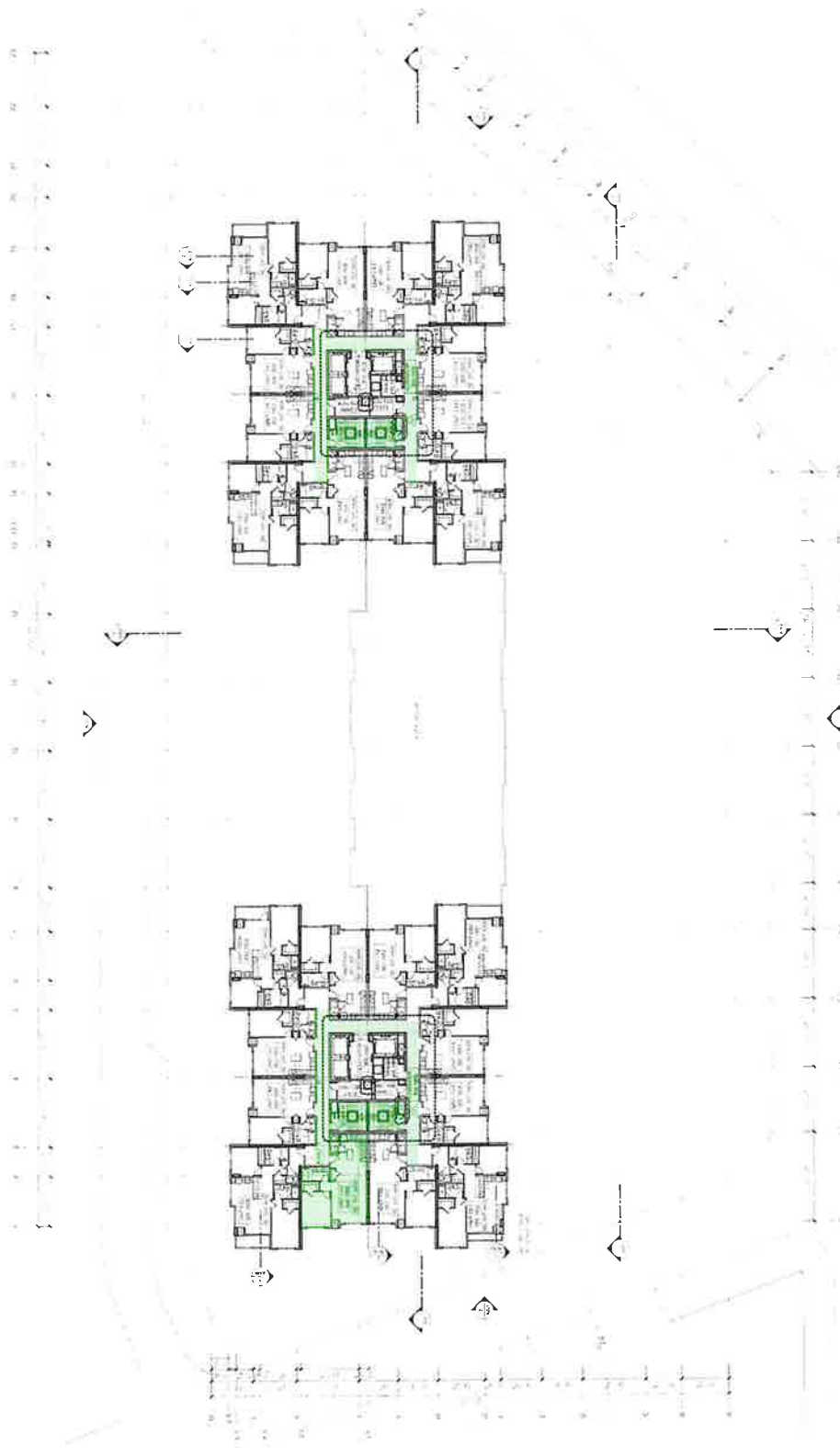


**9th FLOOR
 PLAN
 11/07/17**

A109

WJE LEGEND

- Area Visually Surveyed
- Cracks



13th Floor Plan

FLOOR PLAN LEGEND



RCP LEGEND



GENERAL PLAN NOTES

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4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.

5. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SAFETY AND SECURITY MEASURES THROUGHOUT THE PROJECT.

FLOOR PLAN KEY NOTES

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EDF
International, PC
1100 North 17th Street
Ft. Lauderdale, FL 33304
Tel: 954.473.3000
www.edf.com

WJJE LEGEND
Area Visually Surveyed
Cracks

FLOOR PLAN LEGEND
WALL
DOOR
WINDOW
CORNER
ELEVATION
ELECTRICAL
MECHANICAL
PLUMBING
FLOOR FINISH
CEILING FINISH
PARTITION
CLOSET
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RCP LEGEND
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RCP

GENERAL PLAN NOTES
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ALL APPLICABLE REGULATIONS.
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FLOOR PLAN KEYNOTES
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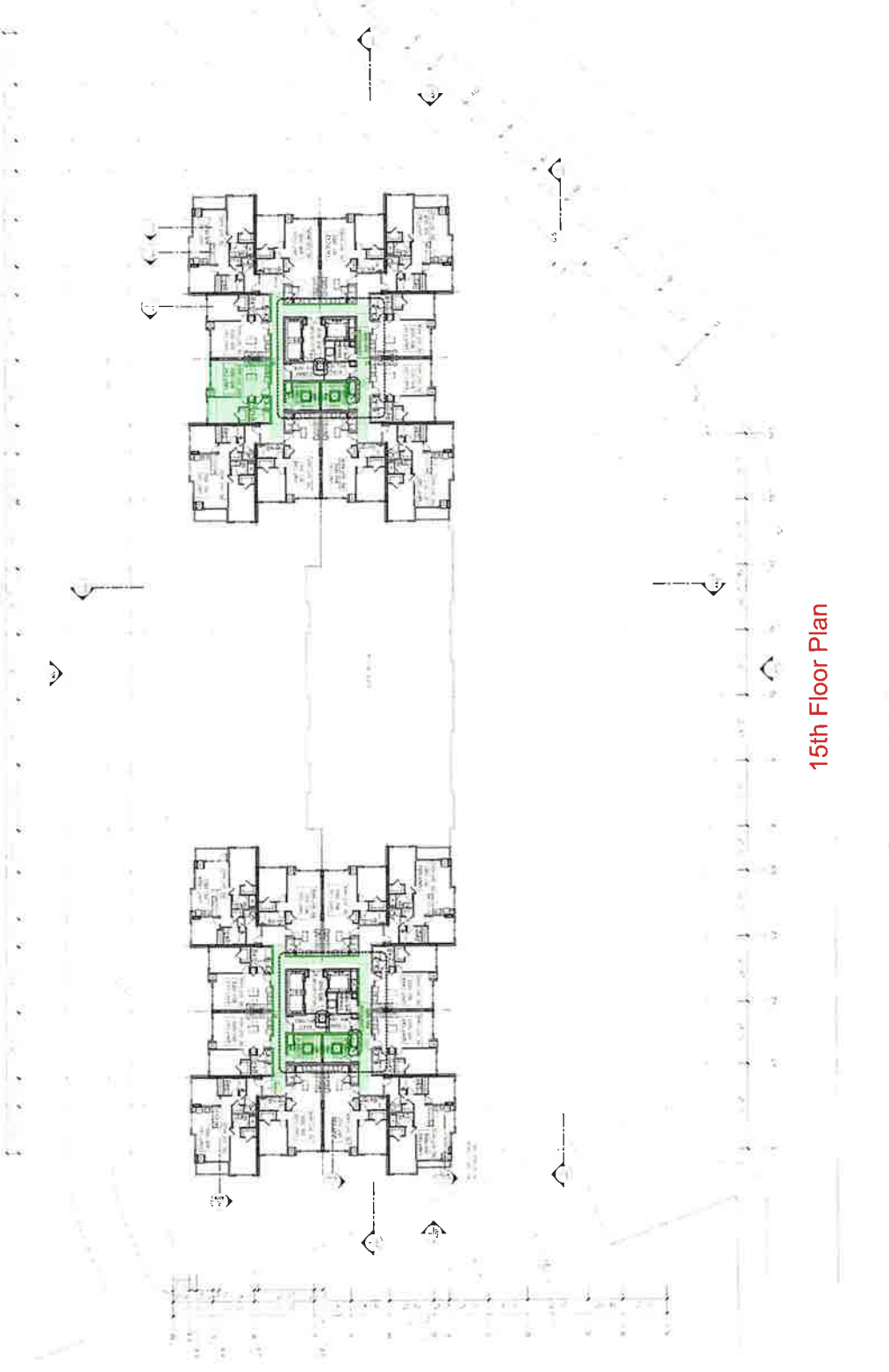
**HARBOR POINT
BLOCK C8
STAMFORD, CT**

**15th FLOOR
PLAN
1/16" = 1'-0"**

A109

TYPICAL TOWER FLOOR PLAN

1



15th Floor Plan

WJE LEGEND

- Area Visually Surveyed
- Cracks



EDF International, PC
1000 WEST 10TH STREET
SUITE 1000
DENVER, CO 80202
TEL: 303.733.1000
WWW.EDFINTERNATIONAL.COM

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BUILDING & LAND
TECHNOLOGY
CORPORATION

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ENVIRONMENTAL ENGINEERS
LANDSCAPE ARCHITECTS
INTERIOR DESIGNERS
GENERAL CONTRACTORS
GENERAL BUILDING CONTRACTORS
MECHANICAL CONTRACTORS
ELECTRICAL CONTRACTORS
PLUMBING CONTRACTORS
MECHANICAL/ELECTRICAL/PLUMBING CONTRACTORS
GENERAL BUILDING CONTRACTORS
MECHANICAL CONTRACTORS
ELECTRICAL CONTRACTORS
PLUMBING CONTRACTORS
MECHANICAL/ELECTRICAL/PLUMBING CONTRACTORS

FLOOR PLAN LEGEND

- Area Visually Surveyed
- Cracks

RCP LEGEND

- Area Visually Surveyed
- Cracks

GENERAL PLAN NOTES

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FLOOR PLAN KEYNOTES

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**HARBOR POINT
BLOCK C8
STAMFORD, CT**



9TH FLOOR
SHEET 1 OF 1
A109



16th Floor Plan

WJE LEGEND

- Area Visually Surveyed
- Cracks

FLOOR PLAN LEGEND

Architectural symbols and notes for floor plans, including door types, window types, and wall types.

RCP LEGEND

Roofing and waterproofing symbols and notes.

GENERAL PLAN NOTES

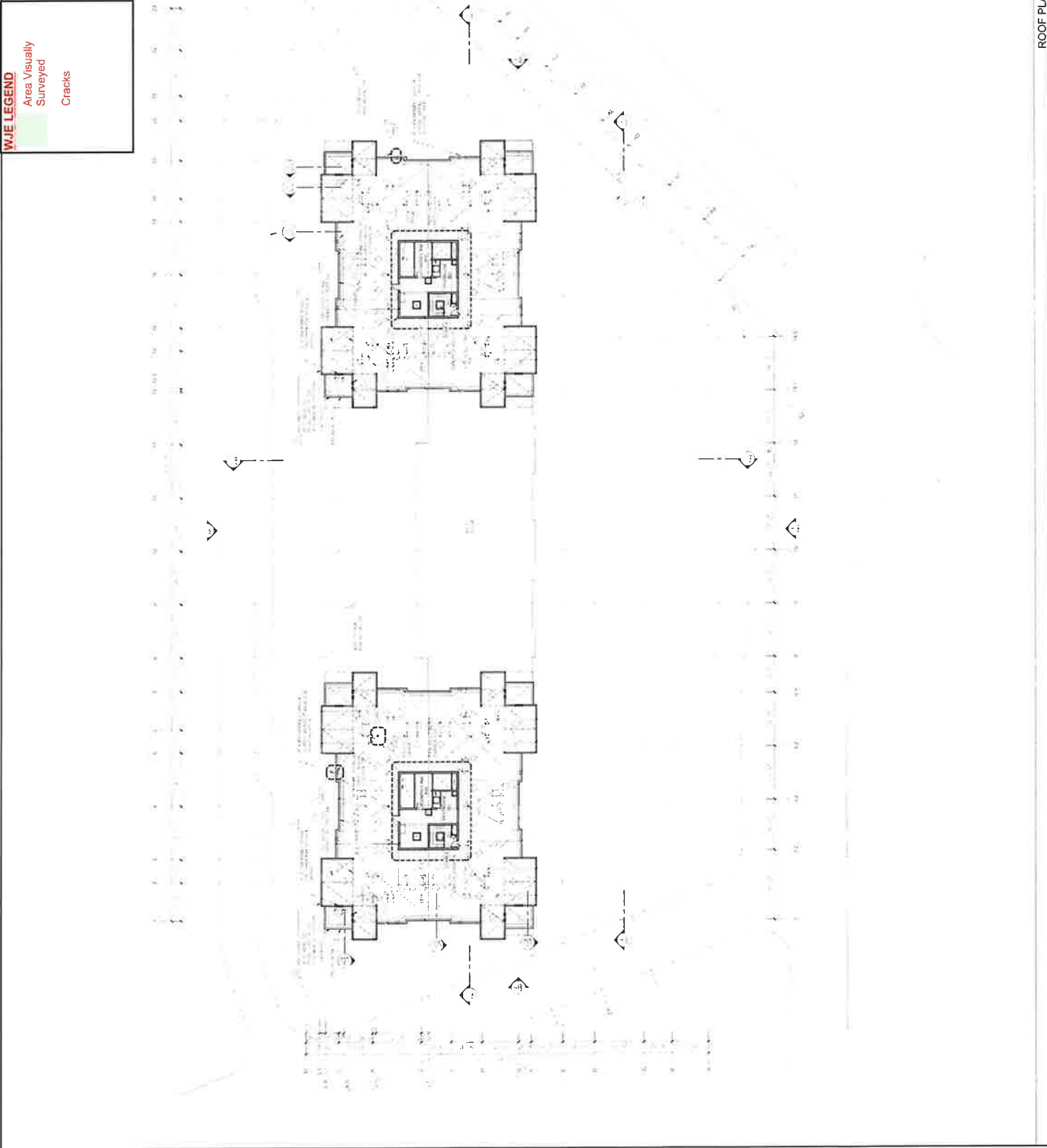
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.

FLOOR PLAN KEYNOTES

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North arrow and scale bar.



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Fax: 203.359.1001
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HARBOR POINT
STAMFORD, CT
BLOCK C8



PROFESSIONAL ENGINEER
STATE OF CONNECTICUT
No. 10000
Name: [Name]
Expiration Date: [Date]

ROOF PLAN
DATE: [Date]
SCALE: [Scale]
A110