

JOHN F. X. LEYDON, JR. *

*ALSO ADMITTED IN NEW YORK

**LAW OFFICE OF
JOHN F. X. LEYDON, JR., LLC**

350 BEDFORD STREET, SUITE 403
STAMFORD, CONNECTICUT 06901

PHONE: (203) 487-3995

CELL PHONE: (203) 253-0489

FAX: (305) 993-2741

E-MAIL: jleydon@jleydon.com

October 7, 2022

VIA EMAIL AND HAND DELIVERY

Ms. Vineeta Mathur
Associate Planner
Zoning Board
City of Stamford
Stamford Government Center
888 Washington Boulevard, 7th Floor
Stamford, CT 06901

Re: Deras LLC
Application for Approval of Site and Architectural Plans
and/or Requested Uses and Special Permit
60 Strawberry Hill Avenue, Unit L1

Dear Ms. Mathur:

In regard to the above-reference matter, enclosed please find an original and 23 copies of the following:

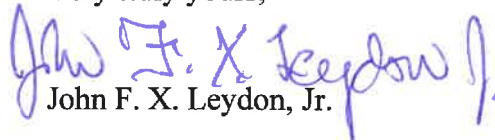
1. Application for Special Permit;
- ~~2. Application for Approval of Site and Architectural Plans and/or Requested Uses;~~
3. Check made payable to the City of Stamford in the amount of \$1,000.00 for the Public Hearing Fee;
4. Check made payable to the City of Stamford in the amount of \$460.00 for the Application Fee;
5. Agent authorization letter;
6. Project Description;
7. Statement of Findings;
8. Legal Description;

9. A sixteen-page plan prepared by Marinelli Architects Planners, LLC each dated June 14, 2022 indicated as follows:
- i) CV101 is entitled "Cover Sheet + Location Plan";
 - ii) GN101 is entitled "General Notes";
 - iii) GN102 is entitled "General Conditions";
 - iv) GC101 is entitled "Fire Safety Egress Plan";
 - v) GC102 is entitled "ADA Standards + Requirements";
 - vi) A101 is entitled "Demolition + Partition Plan + Notes";
 - vii) A201 is entitled "Reflected Ceiling Plan + Power-Voice-Data Plan";
 - viii) A301 is entitled "Medical Equipment Location Plan + Access./Plumbing Plan";
 - ix) A501 is entitled "Enlarged Bathroom Plan + Elevations";
 - x) A601 is entitled "Wall Types + Details + Wall Schedule";
 - xi) A602 is entitled "Mounting Heights;
 - xii) A603 is entitled "Miscellaneous Details";
 - xiii) A701 is entitled "Interior Elevations";
 - xiv) A801 is entitled "Millwork Details";
 - xv) A901 is entitled "Finish Plan + Floor Transition Details"; and,
 - xvi) FP101 is entitled "Mechanical Duct Layout Plan + Fire Protection Plan".
10. Aerial Photograph of Site (note as " Royal Pavillion Association Inc" in center) and Surrounding Area; and,
11. Zoning Data Chart.

Please forward and process the applications and supporting documents appropriately and include this matter on the next available Zoning Board agenda.

Please contact me if you are in need of any further information. Thank you for your assistance.

Very truly yours,


John F. X. Leydon, Jr.

JFXL/dr

Enclosures

cc: Ms. Suyen Deras (w/enclosures via email)
Mr. John Marinelli (w/enclosures via email)



APPLICATION FOR SPECIAL PERMIT

Complete, notarize, and forward **thirteen (13) hard copies and (1) electronic copy in PDF format** to Clerk of the Zoning Board with a **\$1,000.00 Public Hearing Fee** and the required application filling fee (see **Fee Schedule below**), payable to the City of Stamford.

NOTE: Cost of required advertisements are payable by the Applicant and performance of required mailing to surrounding property owners is the sole responsibility of the applicant. **LAND RECORDS RECORDING FEE:** \$60.00 for First page - \$5.00 for each additional page)

Fee Schedule

Special Permit 20,000 sq. ft. or less	\$460.00
Special Permit more than 20,000 sq. ft.	\$460.00 + \$30 per 1,000 sq. ft. or portion thereof in excess of 20,000 sq. ft.

APPLICANT NAME (S): Deras LLC

APPLICANT ADDRESS: 60 Strawberry Hill Avenue, Unit L1, Stamford, Connecticut 06902

APPLICANT PHONE #: (203) 685-9788

IS APPLICANT AN OWNER OF PROPERTY IN THE CITY OF STAMFORD? Yes

LOCATION OF PROPERTY IN STAMFORD OWNED BY APPLICANT(S): 60 Strawberry Hill Avenue, Unit L1

ADDRESS OF SUBJECT PROPERTY: 60 Strawberry Hill Avenue, Unit L1

PRESENT ZONING DISTRICT: R-H

TITLE OF SITE PLANS & ARCHITECTURAL PLANS: See Schedule A attached hereto and made a part hereof.

REQUESTED SPECIAL PERMIT: (Attach written statement describing request)
 See Schedule B attached hereto and made a part hereof.

LOCATION: (Give boundaries of land affected, distance from nearest intersecting streets, lot depths and Town Clerk's Block Number)
 See Schedule C attached hereto and made a part hereof

NAME AND ADDRESS OF OWNERS OF ALL PROPERTY INVOLVED IN REQUEST:

<u>NAME & ADDRESS</u>	<u>LOCATION</u>
DERAS LLC 60 Strawberry Hill Avenue, Unit L1 Stamford, Connecticut 06902	60 Strawberry Hill Avenue, Unit L1 Stamford, Connecticut 06902

DOES ANY PORTION OF THE PREMISES AFFECTED BY THIS APPLICATION LIE WITHIN 500 FEET OF THE BORDER LINE WITH GREENWICH, DARIEN OR NEW CANAAN? NO (If yes, notification must be sent to Town Clerk of neighboring community by registered mail within 7 days of receipt of application – PA 87-307).

DOES THE PROJECT RESULT IN THE CREATION OF 10 OR MORE UNITS OR 10,000 SF OR MORE IN FLOOR AREA OR DISTURBANCE OF 20,000 SF OR MORE IN LAND AREA, THROUGH NEW DEVELOPMENT, RECONSTRUCTION, ENLARGEMENT OR SUBSTANTIAL ALTERATIONS? NO (If yes, then complete the Stamford Sustainability Scorecard per Section 15.F).



City of Stamford
Zoning Board · Land Use Bureau
Government Center · 888 Washington Boulevard · Stamford, CT 06904-2152
Phone: 203.977.4719 · Fax: 203.977.4100

DATED AT STAMFORD, CONNECTICUT, THIS 5 DAY OF October, 2022

DERAS LLC

SIGNED: By

Suyen Deras
Suyen Deras, a member

NOTE: Application cannot be scheduled for Public Hearing until 35 days have elapsed from the date of referral to the Stamford Planning Board. If applicant wishes to withdraw application, please notify the Zoning Board at least three (3) days prior to Public Hearing so that the Board may have sufficient time to publicize the withdrawal.

acknowledgement attached
Revised 09/02/2020

Schedule A

A sixteen-page plan prepared by Marinelli Architects & Planners, LLC each dated June 14, 2022 indicated as follows:

- i) CV101 is entitled "Cover Sheet + Location Plan";
- ii) GN101 is entitled "General Notes";
- iii) GN102 is entitled "General Conditions";
- iv) GC101 is entitled "Fire Safety Egress Plan";
- v) GC102 is entitled "ADA Standards + Requirements";
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- xiv) A801 is entitled "Millwork Details";
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- xvi) FP101 is entitled "Mechanical Duct Layout Plan + Fire Protection Plan".

SCHEDULE B

SPECIAL PERMIT

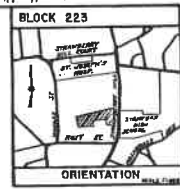
Special Permit under Section 9.K.4.b to allow a Professional Office use on the ground floor.

SCHEDULE C

ALL THAT CERTAIN piece or parcel of real property, together with all the buildings and improvements thereon standing, being a part of the condominium known as ROYAL PAVILION declared under the "Common Interest Ownership Act", Chapter 828 of the Connecticut General Statutes as amended, known and designated as UNIT NO. L-1, 60 Strawberry Hill Avenue, Stamford, Connecticut 06902, together with an undivided interest in the common elements, facilities and limited common elements (which include parking space(s) 77 & 178, 192 & 193) of the Condominium as the same is defined in the Amended Declaration of Condominium by HOTEL HOLDINGS (STAMFORD) LTD. dated October 13, 1986 and recorded in the Stamford Town Clerk's Office on May 5, 1987 at 3:55 p.m., and as amended thereafter.

Said condominium unit is located in the building depicted in the area marked "No. 60" "Area = 1.110 Acres" on a certain map entitled "70 STRAWBERRY HILL CONDOMINIUM a condominium declared by BAKER – STAMFORD LIMITED PARTNERSHIP STAMFORD, CONN. SCALE 1"=40' MAR. 10, 1981" prepared by Arthur Miller Associates, which map is on file in the Stamford Town Clerk's Office as Map No. 10712A a copy of which is attached hereto and made a part hereof.

The site is approximately 440 feet from the intersection of Strawberry Hill Avenue and Hoyt Street Extension. The lot depth is approximately 235 feet. The site is within Town Clerk Block Number 223.



NOTES
1) REFERENCE IS MADE TO S.L.R. MAP 10008.

N/F
HIGH CLEAR ASSOCIATES
MAP 100 & 741

N/F
HAMPSHIRE HOUSE INC.
MAP 3407

N/F
MEDICAL ARTS BUILDING
MAP 1919

N/F
THE HOYT BEDFORD CO.
PARCEL "A"
MAP 0470

APPROVED BY THE STAMFORD PLANNING BOARD
FOR FILING PURPOSES, NOT A SUBDIVISION.
[Signature]
APPROVED FOR SUBMISSION AND FILING
[Signature] V.P.
[Signature] Sign Road

"LEASE HOLD LINE"

DRIVEWAY EASEMENT TO TO STRAWBERRY HILL
CONDOMINIUM.

Received on File
In Town Clerk's Office
Stamford, Conn.
June 18, 1981
Attest: *[Signature]*
Asst. Town Clerk

70 STRAWBERRY HILL CONDOMINIUM
A CONDOMINIUM DECLARED BY
BAKER - STAMFORD LIMITED PARTNERSHIP
STAMFORD, CONN.
SCALE 1" = 40'
MAR. 10, 1981



SHEET 1 OF 2

I hereby certify that this map and survey
were prepared in accordance with the standards
of a Class A-C survey as defined in the Code of
Practices for Standards of Accuracy of Survey
and Maps, adopted Dec. 15, 1978 as amended by
the Conn. Association of Land Surveyors, Inc.

Date: *[Signature]*
ARTHUR MULLER ASSOCIATES



ARTHUR MULLER ASSOCIATES
Professional Engineering and Land Surveying
33 HOOE STREET STAMFORD, CONN.
203-328-7083

State: *[Signature]*
Date: *[Signature]*
ARTHUR MULLER ASSOCIATES
Professional Engineering and Land Surveying
33 HOOE STREET STAMFORD, CONN.
203-328-7083

10712 A

10712 A

10712 A

10712 A

DERAS LLC
60 Strawberry Hill Avenue, Unit L1
Stamford, Connecticut 06902

Mr. Ralph Blessing
Land Use Bureau Chief
City of Stamford
Stamford Government Center
888 Washington Boulevard, 7th Floor
Stamford, CT 06901

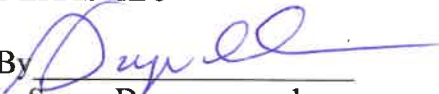
October 5, 2022

Re: Application for Approval of Site and Architectural Plans
and/or Request Uses and Special Permit
60 Strawberry Hill Avenue, Unit L1

Dear Mr. Blessing:

Please be advised that the Law Office of John F. X. Leydon, Jr., LLC may serve as the agent in regard to the above-referenced matters.

Very truly yours,
DERAS LLC

By 
Suyen Deras, a member

October 5, 2022

60 STRAWBERRY HILL AVENUE, UNIT L1 PROJECT DESCRIPTION

1. Introduction

The applicant is the owner of the property commonly known as 60 Strawberry Hill Avenue, Unit L1. This property lies within Master Plan Category 5 (Residential-High Density Multi Family) in the R-H Zone (Multiple Family Design District High Density). The property is approximately 1063 square feet and is located on the ground floor of a 13 story high-rise residential condominium building located across the street from Stamford High School and approximately 1000 feet south of The Tully Health Center. The applicant purchased the property in October of 2019. At the time a doctor had been operating his practice from that location for approximately 15 years to the best of the applicant's knowledge. If approved, the applicant will fit-out the space and one of its owners will operate his medical practice from the site. The applicant is submitting an application for special permit as follows:

Special Permit under Section 9.K.4.b to allow a Professional Office use on the ground floor.

2. Background

The applicant purchased the subject premises in October of 2019 with the intent of operating a medical practice from the site. The purchase was made with the assumption that such a practice could be operated at the site as one had been operating there for 15 years. Unfortunately for the applicant when it took out its application for a building permit to do its fit-out it was advised by the Land Use office that the prior owner did not have a zoning permit or some other authority to operate from the site. Obviously, the news was unsettling to the applicant. Fortunately, this special permit mechanism exists which would allow a medical practice to operate from the unit with the authority of the City of Stamford if the application is approved.

3. Description of the Surrounding Area

The subject premises is located on the east side of Strawberry Hill Avenue across from Stamford High School. Significantly, the site is in proximity to The Tully Health Center and is within a neighborhood with hundreds of condominium and/or apartment units. As the proposed use is small (approximately 1,063 square feet) and is being proposed in space that had for many years been utilized similarly it is anticipated that the use would have no adverse impact on the neighborhood.

4. Description of the Project Area/Proposed Development Site

The site is identified by Tax ID 17039. The existing building on the site has existed for decades and is an integrated part of the neighborhood. The building is 13 stories high and pursuant to the zoning regulations the ground floor on which the subject unit is located is the only floor on which a medical office can operate.

5. Conformity of the Proposed Development with the Master Plan

The property is located in Master Plan Category 5 (Residential /High Density Multi-Family). The proposed development is consistent a goal of this category as the proposed development is located on a significant corridor on which other medical uses are located. Specifically, the development would support Policy 7G: create compact and complete communities and Strategy 7G.1 encourage active ground floors for developments along pedestrian routes by providing a pedestrian friendly medical office along a corridor along which hundreds of residential units are located.

6. Description of the Proposed Development

The floor plan has been submitted with this application. The subject doctor operates an internal medicine and a pediatric general medicine practice. He has operated in Westchester County in New York but currently resides in Stamford and would like to establish a practice here in this Strawberry Hill neighborhood. Dr. Rivas has been in practice for 22 years and hopes to provide his services to patients including those residing in the building and/or neighboring buildings.

7. Action(s) Necessary to Facilitate the Project

The applicant is concurrently submitting an Application for Site and Architectural Plans and/or Requested Uses.

8. Conclusion

The applicant seeks to fit-up space that has been used for many years as a medical office. A principal of the applicant is the doctor who would like to operate from the site. He is eager to do so and welcomes the opportunity to become a well-regarded member of the neighborhood in which the unit is located. The applications are consistent with the land use and development goals of the City and, if approved, and fit-out as planned, will provide a positive contribution to the neighborhood.

October 5, 2022

Statement of Findings

a. Special permits shall be granted by the reviewing board only upon a finding that the proposed use or structure or the proposed extension or alteration of an existing use or structure is in accord with the public convenience and welfare after taking into account, where appropriate:

(1) *the location and nature of the proposed site including its size and configuration, the proposed size, scale and arrangement of structures, drives and parking areas and the proximity of existing dwellings and other structures.*

1. As described in the Project Description submitted herewith, the site is located on Strawberry Hill Avenue--a corridor which connects the Downtown to areas in the northeastern portion of Stamford. The subject premises is located within walking distance of The Tully Health Center and other medical offices. The proposed use, if approved, would provide a medical services amenity for tenants of the building in which it is located and others located in this fairly densely populated neighborhood which has multiple high-rise residences. The proposed use would be located within an existing building and therefore would not be disruptive to the neighborhood.

(2) *the nature and intensity of the proposed used in relation to its site and the surrounding area. Operations in connection with special permit uses shall not be injurious to the neighborhood, shall be in harmony with the general purpose and intent of these Regulations, and shall not be more objectionable to nearby properties by reason of noise, fumes, vibration, artificial lighting or other disturbances to the health, safety or peaceful enjoyment of property than the public necessity demands.*

2. The proposed development is consistent with the Zoning Regulations and the Master Plan as it would provide a pedestrian-friendly ground floor medical services amenity. It is anticipated that residents of the building within which it is proposed would patronize this medical office as would other neighbors residing in nearby buildings.

(3) *the resulting traffic patterns, the adequacy of existing streets to accommodate the traffic associated with the proposed use, the adequacy of proposed off-street parking and loading, and the extent to which proposed driveways may cause a safety hazard, or traffic nuisance.*

3. The condominium unit in which the medical office is proposed includes four parking spaces which will satisfy the parking needs of the practice. It is anticipated that the doctor/owner of the owner of the unit will have one staff assistant.

(4) *the nature of the surrounding area and the extent to which the proposed use or feature might impair its present and future development.*

4. As the applicant simply proposes to fit-up an existing space the proposed development would not negatively impact the prospective development of any nearby sites most of which are currently fully developed.

(5) *the Master Plan of the City of Stamford and all statements of the purpose and intent of these regulations.*

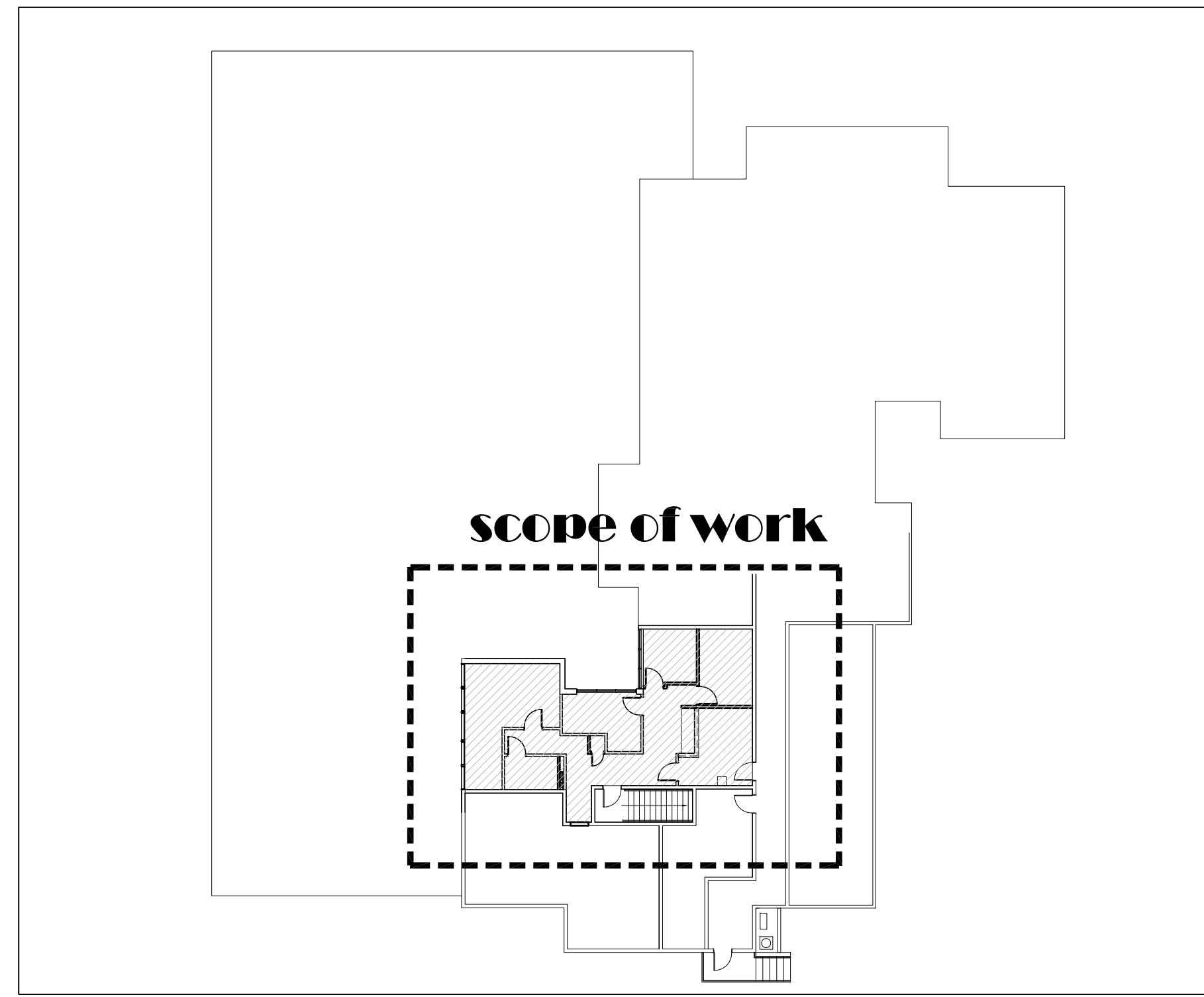
5. The proposed use would have minimal/negligible impact to the area but would provide a useful service for its residents.

LEGAL DESCRIPTION

ALL THAT CERTAIN piece or parcel of real property, together with all the buildings and improvements thereon standing, being a part of the condominium known as ROYAL PAVILION declared under the "Common Interest Ownership Act", Chapter 828 of the Connecticut General Statutes as amended, known and designated as UNIT NO. L-1, 60 Strawberry Hill Avenue, Stamford, Connecticut 06902, together with an undivided interest in the common elements, facilities and limited common elements (which include parking space(s) 77 & 178, 192 & 193) of the Condominium as the same is defined in the Amended Declaration of Condominium by HOTEL HOLDINGS (STAMFORD) LTD. dated October 13, 1986 and recorded in the Stamford Town Clerk's Office on May 5, 1987 at 3:55 p.m., and as amended thereafter.



60 Strawberry Hill Avenue



Key Plan
N.T.S.



Location Plan
N.T.S.

Stamford Pediatric Care

60 Strawberry Hill Avenue
Stamford, Connecticut

Project Scope of Work

New Pediatric Physician Offices

ABBREVIATIONS:

ABV	ABOVE	COMB	COMBINATION	FBRK	FACE BRICK	LAV	LAVATORY	PLAM	PLASTIC LAMINATE	STRUCT	STRUCTURAL
AFF	ABOVE FINISHED FLOOR	CONC	CONCRETE	FT	FEET	LH	LEFT HAND	PL	PLATE	SUSP	SUSPENDED
ACT	ACOUSTICAL CEILING TILE	CMU	CONCRETE MASONRY UNIT	FIN	FINISH	LTG	LIGHTING	PWD	PLYWOOD	SYM	SYMMETRICAL
ADJ	ADJACENT	CONST	CONSTRUCTION	FF	FINISH FLOOR	LTG,STND	LIGHTING STAND	PT	POINT	TEL	TELEPHONE
AHU	AIR HANDLING UNIT	CJT	CONSTRUCTION JOINT	FINGR	FINISH GRADE	LW	LIGHT WEIGHT	POL	POLISHED	THK	THICK
ALT	ALTERNATE	CONT	CONTINUOUS	FE	FIRE EXTINGUISHER	LMS	LIMESTONE	LB	POUND	THRES	THRESHOLD
ALUM	ALUMINUM	CLL	CONTRACT LIMIT LINE	FECAB	FIRE EXTINGUISHER CABINET	MH	MANHOLE	PSF	POUNDS PER SQ FT	T&G	TONGUE & GROOVE
AB	ANCHOR BOLT	CNJT	CONTROL JOINT	FPL	FIREPLACE	MFR	MANUFACTURER	PSI	POUNDS PER SQ INCH	T&B	TOP AND BOTTOM
APPROX	APPROXIMATE	CO	CONVENIENCE OUTLET	FPR	FIREPROOF	MAR	MARBLE	PC	PRECAST	T.O.B.	TOP OF BLOCK
ARCH	ARCHITECT(URAL)	CFL	COUNTER FLASHING	FLG	FLOOR FLASHING	MAS	MASONRY	PROJ	PROJECTION	TC	TOP OF CURB
AT	ANGLE	CTS	COUNTERSINK	FLR	FLOOR	MO	MASONRY OPENING	PL	PROPERTY LINE	TOF	TOP OF FOOTING
AT	ANGLE	CRS, C	COURSE	FD	FLOOR DRAIN	MATL	MATERIAL	QT	QUARRY TILE	TSL	TOP OF SLAB
BSMT	BASEMENT	COV	COVER, COVERING	FL	FLUSH	MAX	MAXIMUM	RADN	RADIATOR, RADIATION	TST	TOP OF STEEL
BM	BEAM	DP	DAMP/PROOFING	FTG	FOOTING	MECH	MECHANICAL	RAD, R	RADIUS	TW	TOP OF WALL
BIT	BITUMINOUS	DTL	DETAIL	FDW	FOUNDATION	M	MEN	REQD	REQUIRED	TR	TREAD
BLK	BLOCK	DIAG	DIAGONAL	FUT	FUTURE	MTL	METAL	RVS	REVERSE	TD	TRENCH DRAIN
BLKG	BLOCKING	DIAM	DIAMETER	GALV	GALVANIZED	MWK	MILLWORK	RH	RIGHT HAND	TYP	TYPICAL
BD	BOARD	DIFF	DIFFUSER	GA	GAUGE	MIN	MINIMUM	ROW	RIGHT OF WAY	TBD	TO BE DETERMINED
BF	BOTH FACES	DIM, DIMS	DIMENSION(S)	GL	GLASS, GLAZING	MISC	MISCELLANEOUS	R	RISER	UL	UNLESS NOTED OTHERWISE
BS	BOTH SIDES	DO	DITTO	GR	GRADE	MOUNT	MOUNT(ED) (ING)	RD	ROOF DRAIN	UNFIN	UNFINISHED
BOT	BOTTOM	DR	DOOR	GRWB, GYP	GYPSUM, DRY WALL	NOM	NOMINAL	RFG	ROOFING	U.N.O.	UNDERWRITERS LABORATORIES
BRK	BRICK	HDV	HARDWARE	HWD	HARDWOOD	N	NORTH	RO	ROUGH OPENING	VB	VAPOR BARRIER
BLDG	BUILDING	HTG	HEATING	HTG	HEATING	NTS	NOT IN CONTRACT	SCHED	SCHEDULE	VNR	VENEER
BUR	BUILT-UP ROOFING	HVAC	HEATING/VENTILATION/AIR	HTG	HEIGHT	OC, O/C	ON CENTER	SEC	SECTION	VERT	VERTICAL
CAB	CABINET	EA	EACH	HTG	HOLLOW METAL	OPG	OPENING	SERV	SERVICE	VCT	VINYL COMPOSITE TILE
CPT	CARPET	E	EAST	HM	HORIZONTAL	OPP	OPPOSITE	SHTHG	SHEATHING	VNT	VINYL BASE
CI	CAST IRON	ELEC	ELECTRICAL/ELECTRIC	INCH	INCH	OD	OUTSIDE DIAMETER	SLDG	SLIDING	VWC	VINYL WALLCOVERING
CB	CATCH BASIN	ELEV, EL	ELEVATION	ID	INSIDE DIAMETER	SC	SOLID CORE	WF	WALL FABRIC	WSCOT	WAINSCOT
CLK	CAULK	EMER	EMERGENCY	INSUL	INSULATION	S	SOUTH	WF	WATERPROOFING	WVF	WIRE FABRIC
CEM	CEMENT	EST	ESTIMATE	INT	INTERIOR	SP	SQUARE	WVF	WIRE FABRIC	W	WOOD
C-C	CENTER TO CENTER	EST	ESTIMATE(D)	INT	INTERIOR	SQ	SQUARE	W	WOOD	W	WOOD
CL	CENTERLINE	EXTG	EXTENDING	INT	INTERIOR	SQ	SQUARE	W	WOOD	W	WOOD
CT	CERAMIC TILE	EXP	EXPANSION	INT	INTERIOR	SQ	SQUARE	W	WOOD	W	WOOD
CP	CLAY PIPE	EXT	EXTERIOR	INT	INTERIOR	SQ	SQUARE	W	WOOD	W	WOOD
CLR	CLEAR	EXT	EXTERIOR	INT	INTERIOR	SQ	SQUARE	W	WOOD	W	WOOD
CLOS	CLOSET	EXT	EXTERIOR	INT	INTERIOR	SQ	SQUARE	W	WOOD	W	WOOD

ARCHITECT:
MARINELLI ARCHITECTS + PLANNERS, llc
1372 SUMMER STREET
STAMFORD CONNECTICUT 06905
203 329-0521
CONTACT: JOHN MARINELLI

LIST OF DRAWINGS

ARCHITECTURAL DRAWINGS

CV101	COVER SHEET + LOCATION PLAN
GN101	GENERAL NOTES
GN102	GENERAL CONDITIONS
GC101	FIRE SAFETY EGRESS PLAN
GC102	ADA STANDARDS + REQUIREMENTS
A101	DEMOLITION + PARTITION PLAN + NOTES
A201	REFLECTED CEILING PLAN + POWER-VOICE-DATA PLAN
A301	MEDICAL EQUIPMENT LOCATION PLAN + ACCESS. / PLUMBING PLAN
A501	ENLARGED BATHROOM PLAN + ELEVATIONS
A601	WALL TYPES + DETAILS + DOOR SCHEDULE
A602	MOUNTING HEIGHTS
A603	MISCELLANEOUS DETAILS
A701	INTERIOR ELEVATIONS
A801	MILLWORK DETAILS
A901	FINISH PLAN + FLOOR TRANSITION DETAILS
FP101	MECHANICAL DUCT LAYOUT PLAN + FIRE PROTECTION PLAN

GRAPHIC LEGEND

OFFICE	ROOM NUMBER	EQUIPMENT TAG
REVISION MARK	WALL TYPE	
SECTION DETAIL	NEW WALLS	
DOOR NUMBER	EXISTING WALLS	
KEYNOTE	ELEVATION POINT	
INTERIOR ELEVATIONS	LIMIT LINE	
DETAIL		

SHEET NUMBER: A0.00
SERIES: DISCIPLINE

Copyright
THIS DRAWING IS THE PROPERTY OF MARINELLI ARCHITECTS + PLANNERS, LLC AND AS BEEN PREPARED SPECIFICALLY FOR THE OWNER AT THE PROJECT LISTED ON THIS DRAWING, AND IS NOT TO BE USED FOR ANY OTHER PURPOSE, LOCATION OR OWNER WITHOUT WRITTEN CONSENT FROM MARINELLI ARCHITECTS + PLANNERS, LLC. IF CHANGES ARE MADE TO THE DESIGN OR STRUCTURE WITHOUT WRITTEN CONSENT FROM JOHN MARINELLI, THE CONTRACTOR OR OWNER IS RESPONSIBLE IF THE FINAL PRODUCT IS UNSATISFACTORY TO THE OWNER OR THE BUILDING DEPARTMENT.

Key Plan

Issues / Revisions

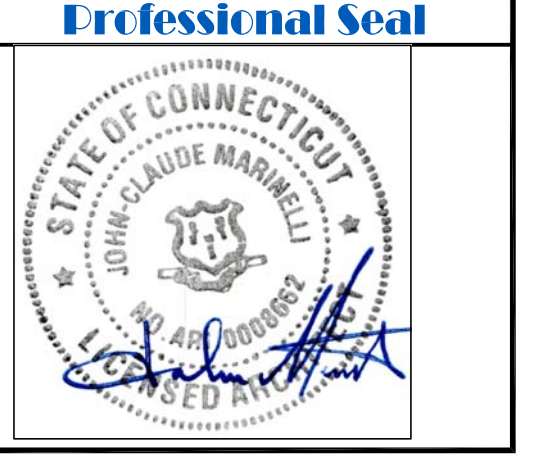
NO.	DATE	ISSUE FOR PERMIT/REVISION
06.14.22		ISSUE FOR PERMIT/BIDS

Project
Stamford Pediatric Care
60 Strawberry Hill Ave
Stamford, Connecticut

Drawing
Cover Sheet
+
Location Plan

Client
DERAS LLC
60 Strawberry Hill Ave
Stamford, Connecticut

Consultant



MARINELLI
Architects + Planners, llc
1372 Summer Street
Stamford, Connecticut 06905
(203) 329-0521
Email: Johnmarinelli@online.net
www.marinelliarchitects.com

DRAWN BY: JCM
DATE:
SCALE:
AS NOTED

DRAWING NUMBER:
CV101

DEMOLITION NOTES WHERE CONTRACTOR'S SCOPE INCLUDES DEMOLITION, THE FOLLOWING NOTES AND CONDITIONS SHALL APPLY:

- This work includes all labor, material, equipment, storage facilities, services and supervision necessary for the complete and satisfactory demolition work indicated on the drawings, specified herein and/or which interferes with new work.
- Protection of existing work to remain shall include the protection of all material, equipment and work liable to damage through operations under this contract. Contractor shall be responsible for all damages occurring from this work.
- All work shall be executed in an orderly and careful manner with due consideration for public safety, and in conformance with OSHA standards.
- During demolition operations, prevent dust, dirt and debris from rising or migrating to other areas. In addition, G.C. to protect existing HVAC units from contamination and replace filters upon completion of demolition.
- Removal of any material and equipment shall include all associated items such as supports, fastenings, conduits, flashing, adhesive, etc. Remove as it accumulates, all debris resulting from construction and demolition operations. Do not store or permit debris to accumulate on site. If contractor fails to remove excess debris properly or promptly, tenant or Landlord reserves right to cause same to be removed at contractor's expense.
- Existing equipment and materials to be reused, described by the term "reset" or "relocate" in the specs or on drawings, shall be disconnected, removed and stored.
- It shall be the G.C.'s responsibility to protect and maintain the integrity of existing finishes in all building core areas not scheduled for demolition work.
- Equipment and material to be disconnected and removed and not required to be reused, as determined by Architect or herein specified, or not shown on the drawings to be reset or retained by Tenant, shall become the property of Contractor and shall be removed from premises. Removed surplus serviceable materials to be retained by Tenant, shall be turned over to him for storage, and located as directed.

VOC LIMITS ALL PRODUCTS CONTAINING VOLATILE ORGANIC CHEMICALS (VOC) SHALL CONFORM TO THE FOLLOWING STANDARDS:

- Adhesives shall not exceed the VOC limit set in SCAQMD Rule #1168: 50 g/L for VCT and cove base adhesives.
- Paints and coatings shall not exceed the VOC content limits established in Green Seal Standard GS-11 (1993): Flats 50 g/L and Non-flats 150 g/L.
- Millwork finishes shall not exceed VOC content limits established in SCAMD Rule 1113 (2004): Clear wood varnish: 350 g/L, sealers: 200 g/L, shellac: 730 g/L (clear) or 550 g/L (pigmented), stains: 250 g/L.
- Floor coatings shall not exceed a VOC content limit of 100 g/L. All carpet installed shall meet the testing and product requirements of the Carpet and Rug Institute Greet Label Plus program. Carpet adhesive shall have a VOC limit of 50 g/L.
- Composite wood (plywood, MDF, particleboard, etc.) and agrifiber products, as well as laminating adhesives, shall contain no added urea-formaldehyde resins.

CONSTRUCTION NOTES

- All work shall be executed in accordance with the best accepted trade practices and industry standards. All products installed per manufacturer's recommendations (highest standard, lowest tolerance to rule) unless otherwise noted.
- Refer to reflected ceiling and partition plans for location of all partitions. Check and verify all dimensions at site and notify Architect of any discrepancies between drawings and field conditions before commencing any work and request clarification. Careful coordination in the fabrication/connection of the two is required.
- Architect shall approve partition layout prior to erection of studs. G.C. shall notify Architect when walls have been laid out on floors.
- G.C. to provide 10 lbs. A.B.C. type fire extinguishers in quantity and locations recommended per NFPA 10 and approved by the architect Fire Marshal during his initial inspection. Any additional life safety equipment required by the local Fire Marshal shall be installed at the approved unit prices.
- G.C. to install all required fire proof wood ground and blocking, electrical power and connections and plumbing roughing and connections for appliances, sinks and wall-hung cabinetry. Wood blocking to be provided inside all walls where millwork or furniture is to be installed. All wood blocking shall be fire treated for use in commercial space. G.C. to confirm locations with Architect and millwork / furniture installer.
- Walls shown aligned (except at columns) shall be finished flush and smooth with existing work.
- Partitions extending to slab shall be installed with acoustical tape or similar material between head track and underside of slab above. The intent is to acoustically seal the two together.
- Where applicable, all missing or damaged parts of peripheral window curtain wall and vertical window mullion covers shall be replaced with new matching parts. Walls abutting window mullions must not prevent window operation. All joints of sound baffle must be tightly sealed.
- Any existing walls to remain which abut or adjoin new construction shall be finished smooth and to match adjacent wall finish unless otherwise noted.
- All existing partitions shall be properly prepared, spackled and sanded, to provide a perfectly smooth finish and surface.
- Consult finish drawings to coordinate new with existing finishes and any joints resulting therewith. Architect to be notified prior to submission of bid of any condition not noted on plans which would result in two dissimilar materials butting without some method of transition between the two.
- G.C. to coordinate, for ease and rapidity of construction, the work of other trades. All slots, sleeves, and other openings to be coordinated. For locations and quantities architectural drawings supersede engineering drawings. G.C. to notify Architect of any discrepancies or missing information prior to construction.
- See individual drawings for additional notes on symbols used. The following items, but not limited to, are among those items that have long lead times. The G.C. shall be responsible for ordering these items promptly, and will pay any charges incurred as a result of neglect of timely order placement. Any delays will therefore be the G.C.'s responsibility unless the Architect is notified immediately that an item cannot be sourced to meet the schedule agreed upon:
 - Lighting fixtures and transformers
 - Doors, frames and hardware
 - Windows, frames
 - Flooring (including raised floor)
 - Special millwork, casework
 - Wallcovering, tile and stone
 - U.P.S. units
 - HVAC units, diffusers, grilles, ducts
 - Movable Partition
- G.C. is responsible to provide complete drawing sets as indicated on index, to each subcontractor providing a bid. All work shall be set in accordance with dimensions shown on drawings, legends, notes and details. Scaling of drawings is not acceptable. In all areas where demolition causes unevenness or voids in floor, the G.C. shall patch to level floor with existing slab and/or required surface to receive new finished floor.

FINISH NOTES

- All metal parts (i.e. door frames, doors, HVAC enclosures) to be painted with a semi-gloss Alkyd base paint color to be same as adjacent surfaces unless otherwise noted.
- All wall and floor finishes shall be applied and surfaces prepared in accordance with the manufacturer's specifications for the particular surface. Examine all finish material for defects and color variations prior to installation.
- An 18" x 18" sample of all finish materials to be submitted for approval by Architect prior to placing a order for material.
- All subcontractors to protect the work of other contractors when performing their work. G.C. is responsible for all damage caused by his subcontractors.
- Flame spread ratings for all interior finishes to be Class A. Provide written confirmation of flame spread testing to Building and Fire Departments.
- Flooring contractor shall flash patch areas where sub-floor is unacceptable for installation of finish flooring.
- Floor covering in closets shall be same as that of the space into which the closet doors open, unless otherwise noted.
- Where dissimilar floor types abut, a suitable transition strip shall be installed. Submit sample for approval to Architect. Where carpet seams occur in doorways, locate seam under center of doors. See transition details herein.
- Provide and install all resilient tile flooring in accordance with manufacturer's instructions. Resilient flooring shall be installed with grain running in one (1) direction unless otherwise noted.
- Resilient flooring to receive two (2) applications of sealer, thoroughly machine buffed, before cleaning.
- Contractor shall notify the Architects of any exposed surfaces not having a finish specified prior to submitting final bid.
- Before proceeding with his work, the contractor shall carefully inspect all surfaces to be painted or finished and shall notify the Architects of any defects, improper materials, workmanship or other conditions which in his opinion will affect the satisfactory completion and permanency of his work. The absence of any such notification will be construed as an acceptance by the Contractor of all such surfaces.
- Use products of same manufacturer furnishing first or primer sealer coats of that particular surface for succeeding coats, except where metal primer is used. Acceptable manufacturer is Benjamin Moore or approved equal.
- Colors and types of paint not listed or indicated on a color schedule on drawing will be selected by the Architects. The various surfaces shall be painted or finished with one (1) primer coat and sufficient finish coat(s) to cover material uniformly and completely.
- All drywall surfaces shall be prepared to receive wall finish. All scratches, cracks, holes or similar defects shall be properly cut out and filled with spackling compound, or other patching material as may be required.
- Patched portions shall be given a coat of primer sealer in addition to all other special coats.
- Wall to be matte finished, rolled. Access doors, bucks and other metal work to be semi-gloss finish and to be same color as wall in which they occur. If wall is finished in wallcovering or cloth, match color as closely as possible. Ceiling and soffit finish flat typically.
- All walls to receive new 4" high rubber base unless otherwise noted. Firmly cement base to walls and other surfaces with manufacturers approved adhesive.
- General remove all debris and remnants after installation by third parties.
- At completion of work, all subcontractors to remove from the premises, surplus materials and debris. Contractor to clean his work of any packing material and construction dirt caused by his work.
- Window treatment to be installed in accordance with Manufacturers instructions and in compliance with Building Management requirements.
- All doors to be finished as per Architect's sample. To match sample, apply a minimum of two (2) coats of finish to cover properly and to provide a smooth finish.
- Subcontractors to pack and label all attic stock as called for on the Architects' drawings. Owner to provide location for subcontractor to deliver attic stock to be stored. Paint, wallcover, carpet, tile, marble, VCT and ceiling tile are materials which shall be stocked.
- Provide cove type base for areas where resilient flooring is specified; straight base at carpeted area. Base color and height shall be specified. The contractor is to verify with the designer if no specification is noted flooring contractor.
- All carpet not previously treated to be treated for static resistance of 3KV or less using topical anti-static carpet spray "Ramsey" or equal.
- All cabinetwork shall comply with Premium Grade requirements of Architectural Woodwork Quality Standards, Guide Specifications and Quality Certification Program, Latest Addition.
- Flooring subcontractor to submit schedule and maintenance requirement to tenant for all installed floor covering. Also, submit maintenance proposal for 1 year service contract.
- If a range of variations in textures, grain, color or other characteristics may be anticipated in finished materials, assemblies or elements of the Work, a sufficient number of samples of such materials or products shall be submitted to indicate the full range of characteristics which will be present in the materials or products proposed for the Work. Any such materials or products delivered or selected prior to the Architect's review and approval of the full range of Samples shall be subject to rejection, all at the sole cost and expense of the Contractor and without additional costs, of any kind or nature, to the Owner.
- Samples shall be submitted from the same source, color and lot which shall actually supply the Project. Samples shall be of adequate size to show quality, type, range, finish, texture and other specified characteristics.

DOOR / HARDWARE NOTES

- All doors and frames to be installed plumb and level. Accurately aligned and securely anchored. Adjust doors and hardware for smooth operation.
- All door finishes to be approved by Architect.
- All veneer to run from top to bottom of door and to be free from any imperfections. "Patching" will not be accepted.
- Submit door and hardware schedule to Architect for review prior to ordering or fabrication.
- All solid core veneer doors to be constructed in accordance with A.W.I. quality standards Sec. 1300-6-3 Type PC-5 Type construction using 5-ply hot process acceptable manufacturers:
 - Algoma Hardwoods
 - Eggers Industries
 - Weyerhaeuser Co.
- Consult tenant regarding additional information about security system and keying. All locks to be keyed to base building grand master system. See door schedule for additional information.
- All hardware is to be installed with concealed fasteners.
- Provide temporary hardware if delays in acquiring finish hardware will prevent installation of doors on time. Patch any damage from temporary hardware.
- All lock and latchsets and pulls to be mounted with a 2 3/4" backset (U.N.O.).
- Consult door schedule for door types, finish and hardware specifications.
- Provide two (2) keys for all specified locksets and turn over to new tenant prior to move-in.

ELECTRICAL NOTES

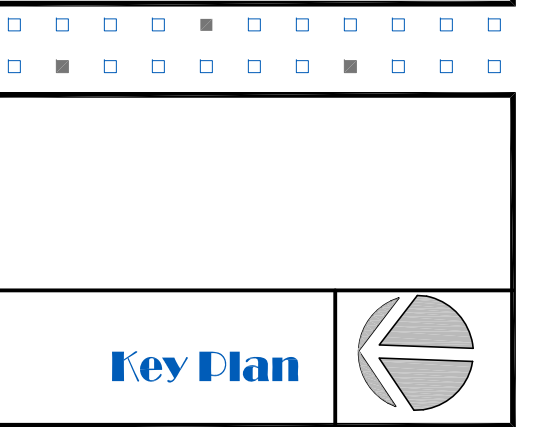
- G.C. shall be responsible for circuiting, performance and Code compliance of electrical system.
- Electrical outlet placement is for location only, refer to electrical drawings for circuiting and loads.
- Install outlets at 18" A.F.F. except where otherwise noted, or match existing height where new and existing are in same space.
- All floor outlets shall be installed as close to dimensioned location as possible, tolerance of 6". If installation cannot be implemented within the allowable tolerance then the Architect must be notified to select best alternate placement.
- Power and signal service to furniture panel system electrified raceway shall be routed through nearest drywall column enclosure, partition or perimeter chase space. Where none of the above elements abut panel systems, the electrical, telephone and/or signal cable shall be installed in hung ceiling space of floor below, and stubbed up through slab coring in building standard manner in approved locations to be determined from electrical engineering drawings. All new power junction boxes shall be provided by the electrical contractor. Furniture dealer shall supply electrical whip connector for furniture systems. Final connection of electrical whip to furniture system and installation of receptacles to be by electrical contractor. Quantity of duplex receptacles in furniture raceway as shown on plan.
- Electrical panels and doghouses shall be fully labeled with circuit and location identification numbers as indicated on drawings.
- All new switches to be "ganged" whenever more than one switch is to be installed. All new fluorescent fixtures to be supplied with energy efficient ballasts and warm white tubes unless noted otherwise.
- During the entire period of construction all existing exits, exit lighting, fire protective devices and fire alarms shall be maintained.
- Use architectural plans for lighting quantities and locations, use engineering drawings for circuiting.
- All corridors and open areas to be circuited as per engineering drawings.
- All wiring per code - no Romex allowed.
- Provide dimable ballast fot lights in exam room and offices.

MECHANICAL NOTES

- Complete HVAC design and installation to meet or exceed design criteria established on base building engineering design standards.
- At completion of installation, test and balance all controls and systems. Correct any deficiencies and submit balancing report to engineer and architect. Balancing report to be by accredited independent firm.
- G.C. shall be responsible for HVAC system performance and Code compliance.
- Architect's drawings are prepared assuming that building standard, or available mechanical and electrical facilities are sufficient for the given project.
- Verification of existing capacities in relationship to client needs is the responsibility of the Mechanical and Electrical Engineer. This includes checking volume and temperatures of air being supplied to the area prior to any ductwork design. Architect to be notified if quantities are inadequate.
- It shall be assumed that the submission of the G.C.'s proposal indicates positive confirmation of the adequacy of the building mechanical and electrical services available for a specific project.
- The licensed engineer and his subcontractors are to provide complete engineering services and drawings, for tenant HVAC, Fire Protection, plumbing and electrical systems. Services to include, but not be limited to:
 - Shop drawings
 - Preparation and sealing of required drawings
 - Unit and equipment design
 - Ductwork sizing and layout
 - Fire damper locations
 - Diffuser and register locations
 - Testing and balance report
 - As-built drawings
- G.C.'s engineering services to include balancing of air conditioning within altered spaces. Balancing to be within base building engineering design standards. Balancing report to be submitted to Architect and Building Management for records.
- All engineering drawings and shop drawings shall be submitted to Engineer and Architect for review prior to fabrication. Review shall be for conformance to design layout and aesthetic consideration only. All submissions will be expedited as quickly as possible.
- All HVAC, plumbing and electrical design work shall conform to industry standards and shall be in compliance with local and state laws and the building code of regulatory agencies having jurisdiction. (Reference highest standard and lowest tolerance).
- Architect shall have final approval of all wall-mounted control equipment locations including but not limited to thermostats, horn/strobes, sensors, pull stations and card readers.
- Existing mechanical and plumbing service to be restored to original condition after construction is complete.

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Key Plan

Issues / Revisions

NO.	DATE	ISSUE FOR PERMIT/REVISION
	06.14.22	ISSUE FOR PERMIT/BIDS

Project

Stamford Pediatric Care
60 Strawberry Hill Ave
Stamford, Connecticut

Drawing

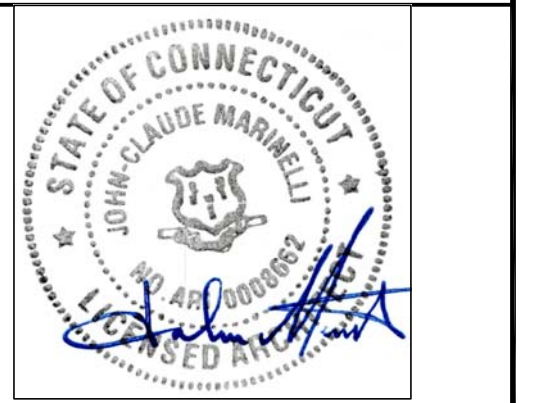
General Notes

Client

DERAS LLC
60 Strawberry Hill Ave
Stamford, Connecticut

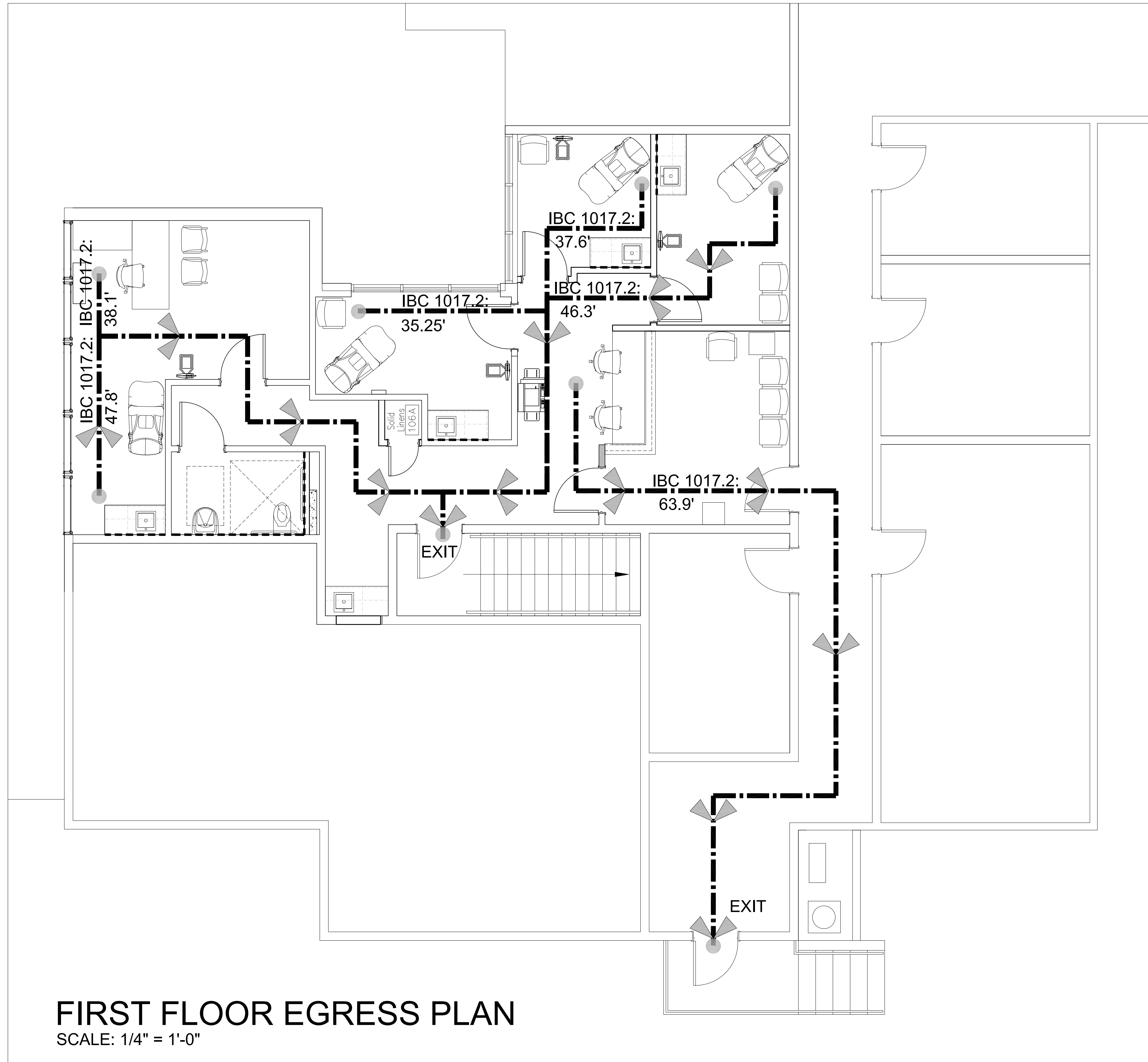
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Professional Seal




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DRAWN BY: JCM	DRAWING NUMBER GN101
DATE	
SCALE: AS NOTED	



FIRST FLOOR EGRESS PLAN
SCALE: 1/4" = 1'-0"

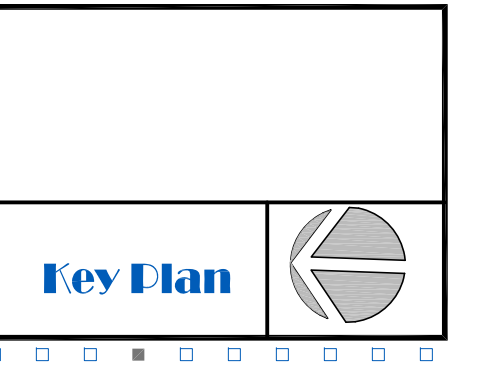
BUILDING DATA + CODES

- I USE GROUP: BUSINESS
USE GROUP - NFPA 101
 - II CONSTRUCTION CLASSIFICATION: IA NON-COMBUSTIBLE
 - III SPRINKLERS: NON-SPRINKLED (EXISTING)
 - IV INTERIOR FINISHES: ALL FINISHES SHALL BE CLASS A AND CLASS I IN ACCORDANCE WITH TABLE A 10.2.2 OF NFPA 101, 2012 EDITION OF THE LIFE SAFETY CODE
- A: 2015 INTERNATIONAL BUILDING CODE PORTION OF THE 2018 CONNECTICUT STATE BUILDING CODE
 - B: 2015 INTERNATIONAL PLUMBING CODE WITH 2018 CONNECTICUT STATE AMENDMENT
 - C: 2015 INTERNATIONAL MECHANICAL CODE WITH 2018 CONNECTICUT STATE AMENDMENT
 - D: 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH 2018 CONNECTICUT STATE AMENDMENT
 - E: INTERNATIONAL FIRE CODE
 - F: CONNECTICUT STATE FIRE PREVENTION CODE
 - G: 2018 FGI GUIDELINES FOR DESIGN AND CONSTRUCTION OF OUTPATIENT FACILITIES
 - H: 2010 ADA (AMERICAN WITH DISABILITIES ACT)
 - I: 2009 INTERNATIONAL CODE COUNCIL ANSI A117.1 ACCESSIBLE AND USABLE BUILDING AND FACILITIES CODE WITH 2018 CONNECTICUT STATE AMENDMENT
 - J: 2008 CONNECTICUT PUBLIC HEALTH CODE
 - K: 2014 U.L. VOLUME 1, 2A, 2B AND 3
 - L: 2011 OSHA
 - M: 2015 NATIONAL FIRE PROTECTION ASSOCIATION
 - N: 2012 NFPA 1- FIRE PROTECTION ASSOCIATION
 - O: 2013 NFPA 10- EDITION STANDARD FOR PORTABLE FIRE EXTINGUISHERS
 - P: 2013 NFPA 13- INSTALLATION OF SPRINKLER SYSTEMS
 - Q: 2017 NFPA 70- NATIONAL ELECTRICAL CODE WITH 2018 CONNECTICUT STATE AMENDMENT
 - R: NFPA 54- NATIONAL FUEL GAS CODE
 - S: 2017 NFPA 70- NATIONAL ELECTRICAL CODE WITH 2018 CONNECTICUT STATE AMENDMENT
 - T: 2013 NFPA 72- NATIONAL FIRE ALARM AND SIGNALING CODE
 - U: 2015 NFPA 99- HEALTH CARE FACILITIES CODE
 - V: 2015 NFPA 101- LIFE SAFETY CODE
 - W: 2013 NFPA 241- STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS
 - X: TOWN AND LOCAL ORDINANCES

- THESE DOCUMENTS ARE THE SOLE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED FOR CONSTRUCTION ON ANY OTHER SITE WITHOUT WRITTEN PERMISSION OF THE ARCHITECT
 - SHOWN ABOVE ARE THE APPLICABLE CODES BUT NOT LIMITED TO THOSE LISTED
- AREA OF TENANT SPACE: 1,063 S.F.
 OCCUPANCY LOAD FOR 100 S.F. PER PERSON GROSS
 EXITING per IBC Table BUSINESS PROPOSE SPACE :
 1004.1.2: 1,063 / 100= 11 OCCUPANTS

- EGRESS WIDTH PER OCCUPANT SERVED: per IBC 1005.3.1+1005.3.2 STAIRS = 0.3, OTHER = 0.2
 11 X 0.2 = 2.2" MIN.
- EXITS OR EXIT ACCESS DOORWAYS FROM SPACES PER IBC SECTION 1006: (2) EXITS PROVIDED
- EXIT ACCESS TRAVEL DISTANCE PER IBC SECTION 1017.2: 200' NON-SPRINKLER SYSTEM
- DEAD END CORRIDORS PER IBC SECTION 1020.4: 20'-0" WITH NON-SPRINKLER
- MINIMUM CORRIDOR WIDTH PER IBC TABLE 1020.2: 44" MINIMUM REQUIRED OPEN AREA
- FIRE EXTINGUISHER LOCATIONS per NFPA 10-5.2.1: 75' MAX DISTANCE

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Issues / Revisions

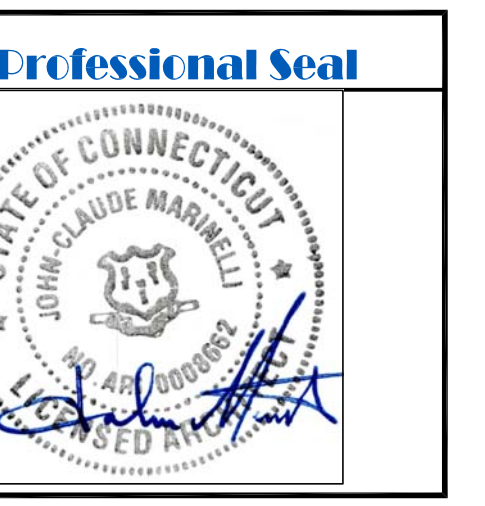
NO.	DATE	ISSUE FOR PERMIT/REVISION
	06.14.22	ISSUE FOR PERMIT/BIDS

Project
 Stamford Pediatric Care
 60 Strawberry Hill Ave
 Stamford, Connecticut

Drawing
 Fire Safety Egress Plan

Client
 DERAS LLC
 60 Strawberry Hill Ave
 Stamford, Connecticut

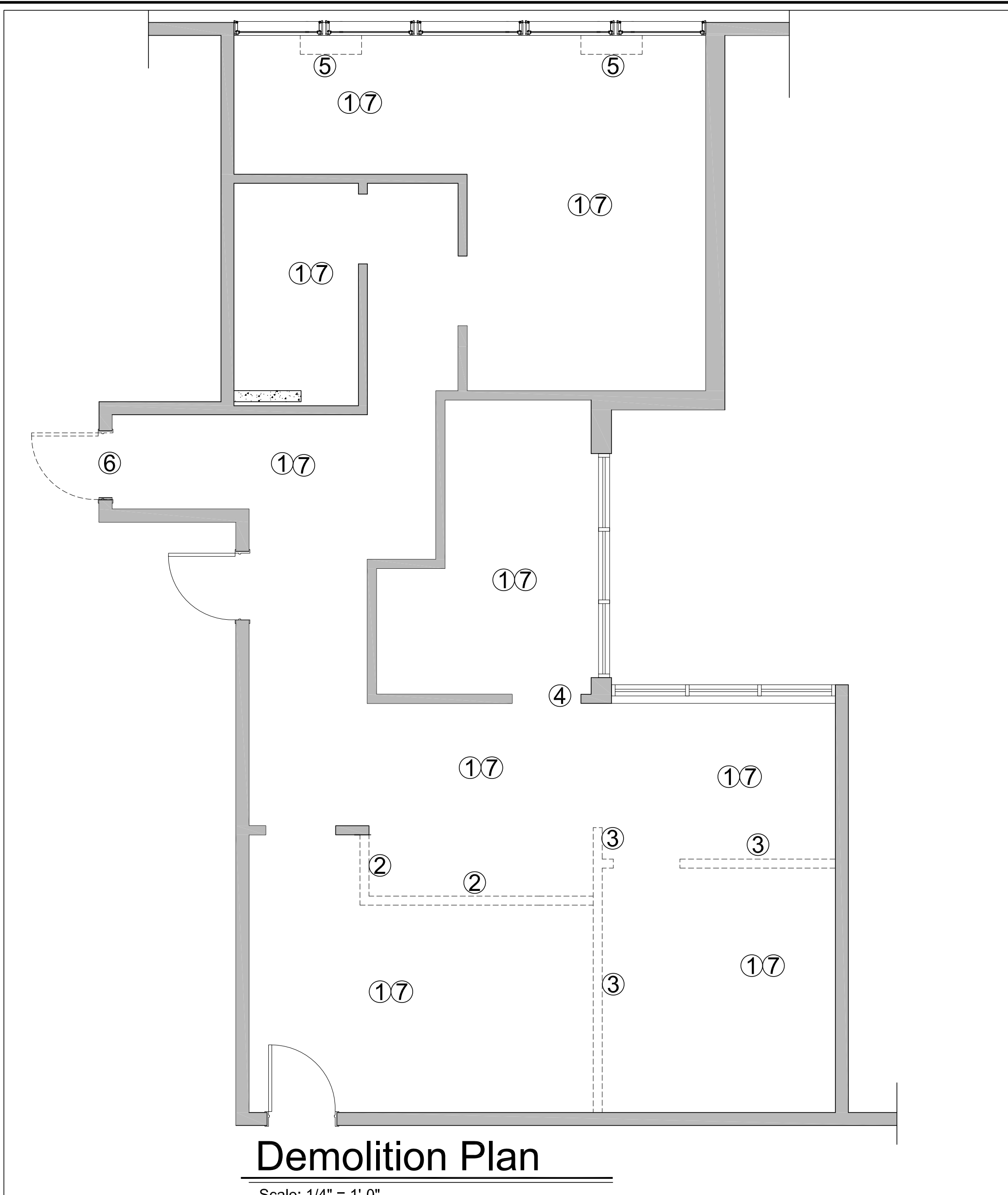
Consultant



Professional Seal

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DRAWN BY: JCM	DRAWING NUMBER GC101
DATE:	
SCALE: AS NOTED	



Demolition Plan

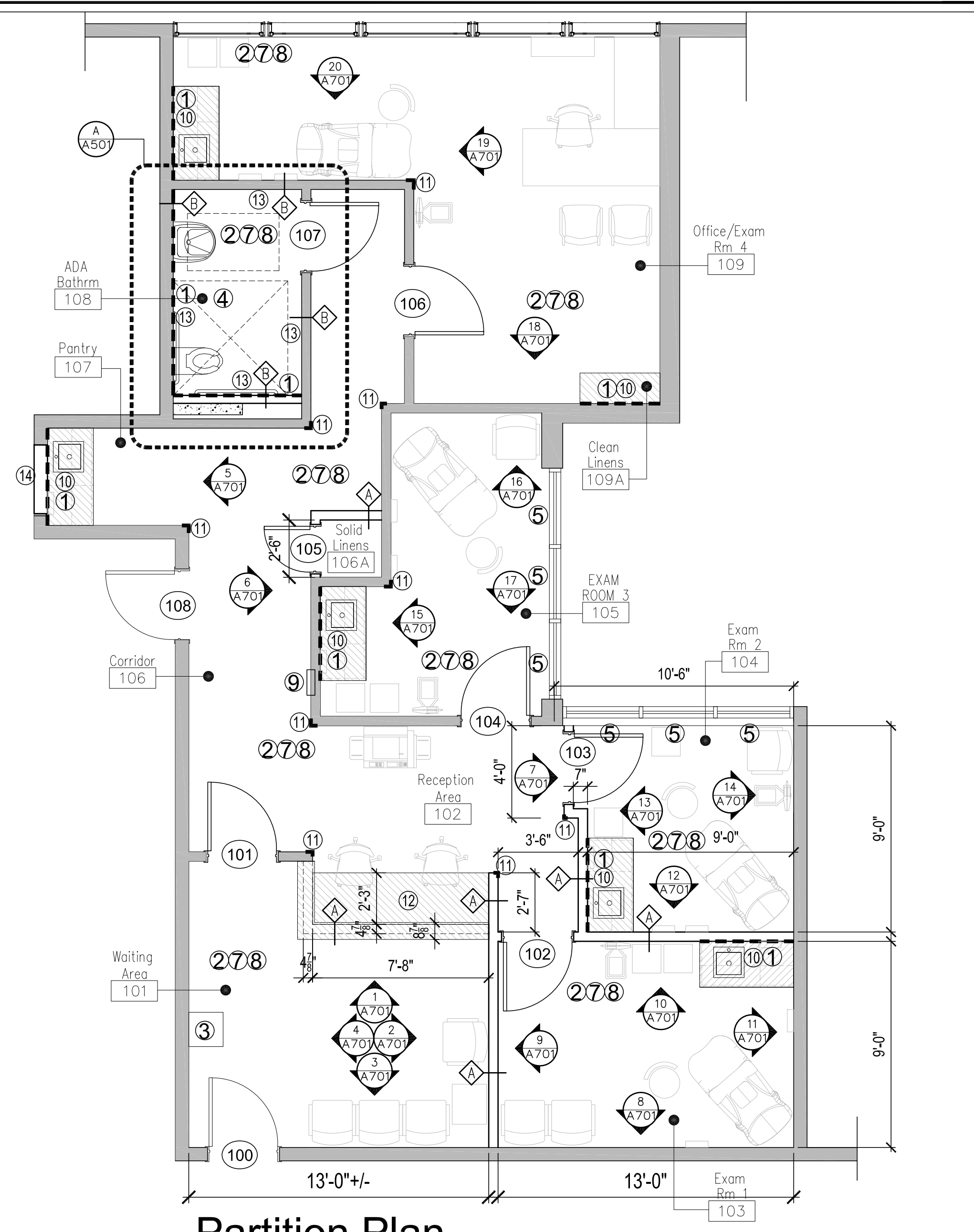
Scale: 1/4" = 1'-0"

DEMOLITION LEGEND

	DENOTES AREA NOT IN CONTRACT
	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED

- KEY NOTES**
- PATCH EXISTING CONCRETE SLAB FLOOR AS REQUIRED TO RECEIVE NEW FLOORING
 - MODIFY EXISTING HALF WALL AS REQUIRED TO ALLOW FOR NEW 42" TOP OF COUNTER HEIGHT. SEE MILLWORK DRAWINGS
 - DEMOLITION OF EXISTING GYPSUM BOARD AND STUD WALL
 - MOVE EXISTING OPENING AS REQUIRED TO WORK WITH NEW LAYOUT. REFER TO PARTITION PLAN
 - REMOVE EXISTING PTAC UNITS AND REPLACE WITH NEW UNITS. REFER TO MECH. DRAWINGS FOR SPECIFICATIONS
 - DEMOLITION OF EXISTING DOOR AND FRAME. PATCH OPENING TO MATCH EXISTING CONDITIONS. REFER TO PARTITION PLAN FOR ADDITIONAL INFORMATION
 - REMOVE / RELOCATE EXISTING PLUMBING, ELECTRICAL AND MECHANICAL AS REQUIRED TO WORK WITH NEW LAYOUT

- NOTES**
- SEE GENERAL NOTES AND CONDITIONS FOR FURTHER INFO AND SPECIFICATIONS.
 - THIS WORK INCLUDES ALL LABOR, MATERIAL, EQUIPMENT, STORAGE FACILITIES, SERVICES AND SUPERVISION NECESSARY FOR THE COMPLETE AND SATISFACTORY DEMOLITION WORK INDICATED ON THE DRAWINGS, SPECIFIED HEREIN AND/OR WHICH INTERFERES WITH NEW WORK.
 - ALL WORK SHALL BE EXECUTED IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATION FOR PUBLIC SAFETY. WORK TO COMPLY WITH OSHA STANDARDS AND BUILDING MANAGEMENT RULES AND REGULATIONS.
 - G.C. TO BECOME FAMILIAR WITH ENTIRE SCOPE OF PROJECT PRIOR TO COMMENCING WITH DEMOLITION WORK. G.C. SHALL ALSO COORD. WORK W/LANDLORD AND/OR TENANT PRIOR TO BEGINNING.
 - DURING DEMOLITION OPERATIONS, PREVENT DUST, DIRT AND DEBRIS FROM RISING OR MIGRATING TO OTHER AREAS. IN ADDITION, G.C. TO PROTECT EXISTING HVAC UNITS FROM CONTAMINATION AND REPLACE FILTERS UPON COMPLETION OF DEMOLITION.
 - REMOVE AS IT ACCUMULATES. ALL DEBRIS RESULTING FROM CONSTRUCTION AND DEMOLITION OPERATIONS. ALL PRODUCTS OF DEMOLITION & REMOVALS TO BE DISPOSED OF LEGALLY. DO NOT STORE OR PERMIT DEBRIS TO ACCUMULATE ON SITE. IF CONTRACTOR FAILS TO REMOVE EXCESS DEBRIS PROPERLY OR PROMPTLY, TENANT OR LANDLORD RESERVES RIGHT TO CAUSE SAME TO BE REMOVED AT CONTRACTOR'S EXPENSE.
 - THE PROTECTION OF EXISTING WORK TO REMAIN SHALL INCLUDE ALL MATERIAL, EQUIPMENT AND WORK LIABLE TO BE DAMAGED THROUGH OPERATIONS UNDER THIS CONTRACT. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGES OCCURRING FROM THIS WORK. G.C. TO PATCH AND/OR REPAIR ANY DISTURBED ADJACENT CONSTRUCTION AS REQUIRED THAT IS TO REMAIN.
 - IT SHALL BE THE G.C.'S RESPONSIBILITY TO PROVIDE ADEQUATE MATERIAL PROTECTION AND MAINTAIN THE INTEGRITY AND CONDITION OF EXISTING FINISHES IN ALL BUILDING AREAS NOT SCHEDULED FOR DEMOLITION WORK.
 - UNLESS NOTED OTHERWISE REMOVAL TO INCLUDE ITEMS SHOWN ON PLAN & ALL RELATIVE SUPPORTS, CONDUITS, FLASHING, ADHESIVES, CEILING LIGHTING, BULKHEADS, FLOORING, MIRRORS, WALL FINISHES, DOORS, FRAMES, AND ASSOCIATED WORK. COORDINATE DEMO WITH WORK SHOWN ON OTHER PLANS & SPECS.
 - EXISTING EQUIPMENT AND MATERIALS TO BE REUSED, DESCRIBED BY THE TERM "RESET" OR "RELOCATE" IN THE SPECIFICATIONS OR ON DRAWINGS. SHALL BE DISCONNECTED, REMOVED AND STORED FOR FUTURE USE.
 - EQUIPMENT AND MATERIAL TO BE DISCONNECTED AND REMOVED AND NOT REQUIRED TO BE REUSED AS SPECIFIED, OR NOT SHOWN ON THE DRAWINGS TO BE RESET OR RETAINED BY TENANT, SHALL BECOME THE PROPERTY OF CONTRACTOR OR BUILDING OWNER AND SHALL BE REMOVED FROM PREMISES. THE DISPOSITION OF REMOVED SURPLUS SERVICEABLE MATERIALS TO BE DETERMINED BY THE TENANT.
 - IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS OR VOIDS IN FLOOR, THE G.C. SHALL PATCH TO LEVEL FLOOR WITH EXISTING SLAB AND/OR REQUIRED SURFACE TO RECEIVE NEW FINISHED FLOOR.



Partition Plan

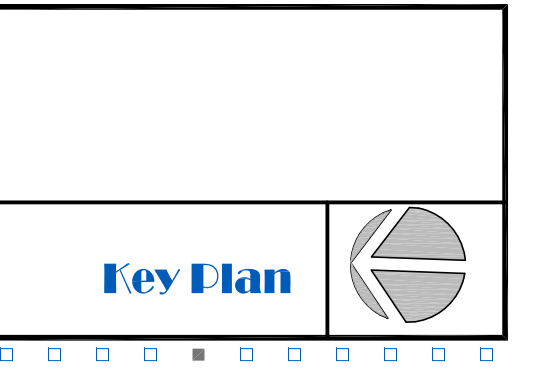
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PARTITION LEGEND

	DENOTES AREA NOT IN CONTRACT
	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
	SEE PARTITION DRAWING FOR PARTITION TYPES.
	GLASS WALL OR PARTITION WITH GLAZING - SEE ELEVATIONS AND DETAILS SHEETS FOR WALL TYPES CONSTRUCTION.
	FIRE RETARDANT BLOCKING - COORDINATE WITH MILLWORK, EQUIP., OR ANY OTHER ITEMS THAT REQUIRE BLOCKING
	DENOTES NEW MILLWORK
	FIRE EXTINGUISHER FULLY RECESS CABINET BY LARSEN ARCHITECTURAL SERIES (RECESS) FS-SS240R2-VERTICAL DUO. VERTICAL, BLACK LETTERING. FS-SS240R2-VERTICAL DUO FOR 1HR AND 2HR FIRE RATED WALLS. SEE GENERAL NOTES FOR EXTINGUISHER REQUIREMENTS.
	SINGLE SWING DOOR - SEE DOOR SCHEDULE
	DOUBLE SWING DOOR - SEE DOOR SCHEDULE
	REFER TO DRAWING A101 FOR DOOR NUMBERS
	OFFICE ROOM NAME ROOM NUMBER
	DETAIL NUMBER DRAWING NUMBER
	ELEVATION NUMBER DRAWING NUMBER
	SECTION CUT

- KEY NOTES**
- PROVIDE FIRE RATED WALL BLOCKING AT ALL WALLS TO RECEIVE MILLWORK, FURNITURE SYSTEMS AND WALL MOUNTED BATHROOM SINKS AND WALL MOUNTED ACCESSORIES
 - REFER TO FINISHES PLAN AND ELEVATIONS FOR ADDITIONAL INFORMATION
 - WATER FILTRATION COOLER PURE AND NATURAL PWC-1500F
 - REFER TO DETAIL BATHROOM PLAN AND EQUIPMENT/MILLWORK PLAN FOR EQUIPMENT LOCATIONS DRAWING A/A
 - PROVIDE NEW 3M FILM OVER EXISTING EXTERIOR WINDOWS CONTRACTOR TO SUBMITTAL SAMPLES FOR CLIENTS APPROVAL
 - RESERVED
 - CLEAN AND PREP EXISTING FLOOR AS REQUIRED THROUGH-OUT TO RECEIVE NEW FLOORING MATERIAL REFER TO FINISHES PLAN FOR ADDITIONAL INFORMATION
 - PATCH AND REPAIR EXISTING GYPSUM WALLS TO REMAIN TYP. THROUGH (1) COAT PRIMER, (2) COATS FINISH PAINT. SEE FINISHES PLAN.
 - FIRE EXTINGUISHER FULLY RECESS CABINET BY LARSEN ARCHITECTURAL SERIES (RECESS) FS240R2-VERTICAL DUO. VERTICAL, BLACK LETTERING. FS-SS240R2-VERTICAL DUO FOR 1HR AND 2HR FIRE RATED WALLS. SEE GENERAL NOTES FOR EXTINGUISHER REQUIREMENTS.
 - MILLWORK. REFER TO (A700 SERIES DRAWING) ELEVATIONS AND (A800 DRAWINGS) MILLWORK FOR ADDITIONAL INFORMATION
 - CORNER GUARDS, CIS ACROLYN SURFACE MOUNTED CORNER GUARD 2" SSM-20 AT ALL CORRIDORS. REFER TO ELEVATIONS FOR HEIGHTS.
 - SOLID SURFACE COUNTERTOP WITH HALELE HEAVY DUTY COUNTERTOP BRACKETS
 - REMOVE EXISTING LAYER OF GYPSUM BOARD AT BATHROOM WALLS AND REPLACE WITH 1/2" W.R. GYPSUM BOARD AND SOUND ATTENUATION. REFER TO WALL TYPE B ON DRAWING A801
 - FILL IN EXISTING OPENING WITH 1/2" F.R. GYPSUM BOARD AT EACH SIDE TO MATCH EXISTING CONDITIONS

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Issues / Revisions

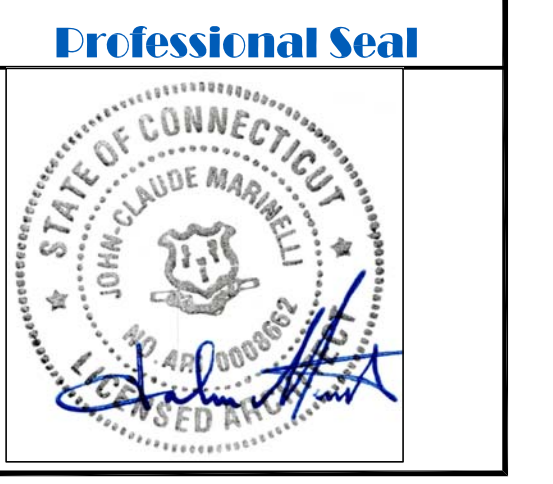
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	08.14.22	ISSUE FOR PERMIT/BIDS

Project
 Stamford Pediatric Care
 60 Strawberry Hill Ave
 Stamford, Connecticut

Drawing
 Demolition + Partition Plan
 + Notes

Client
 DERAS LLC
 60 Strawberry Hill Ave
 Stamford, Connecticut

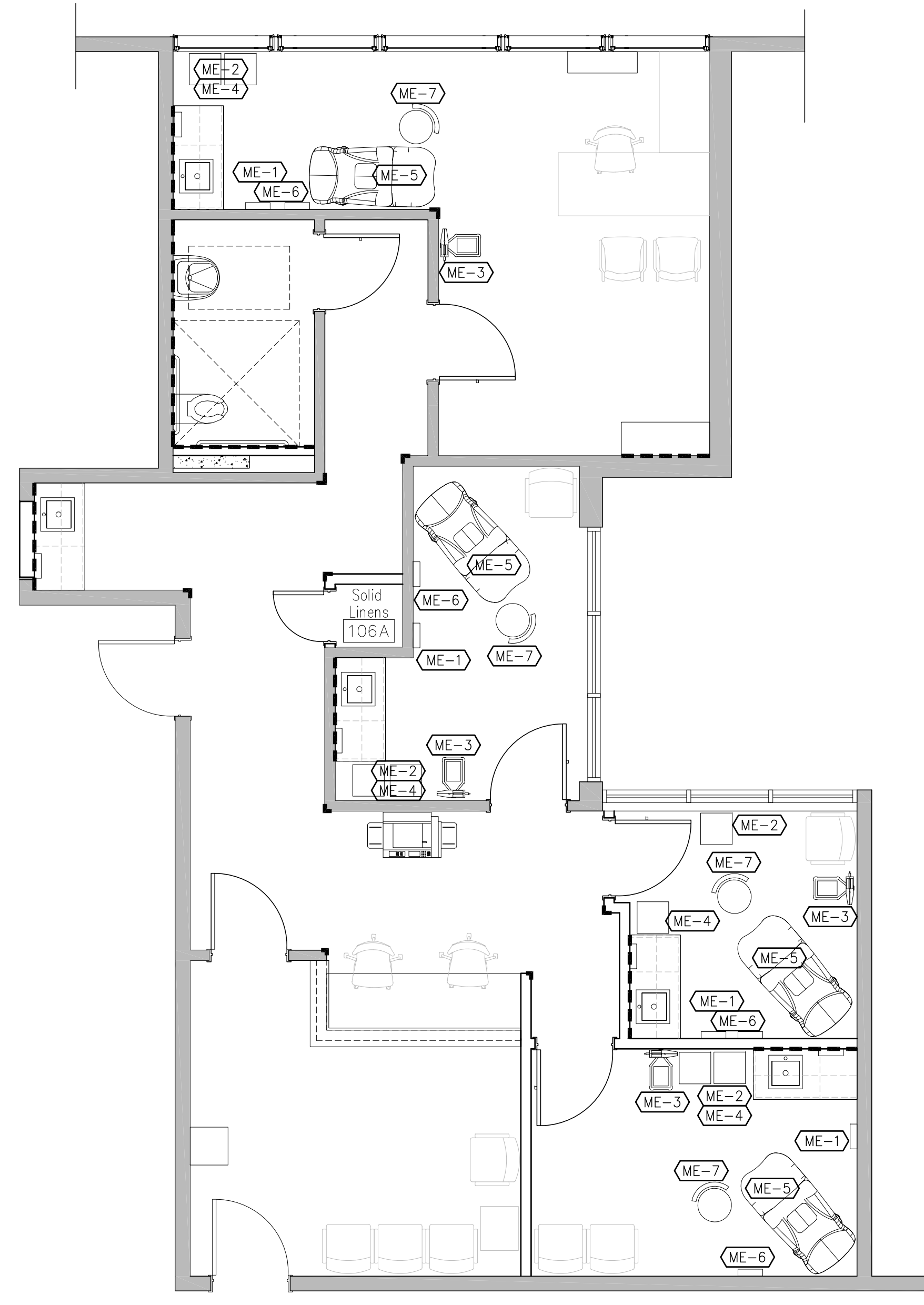
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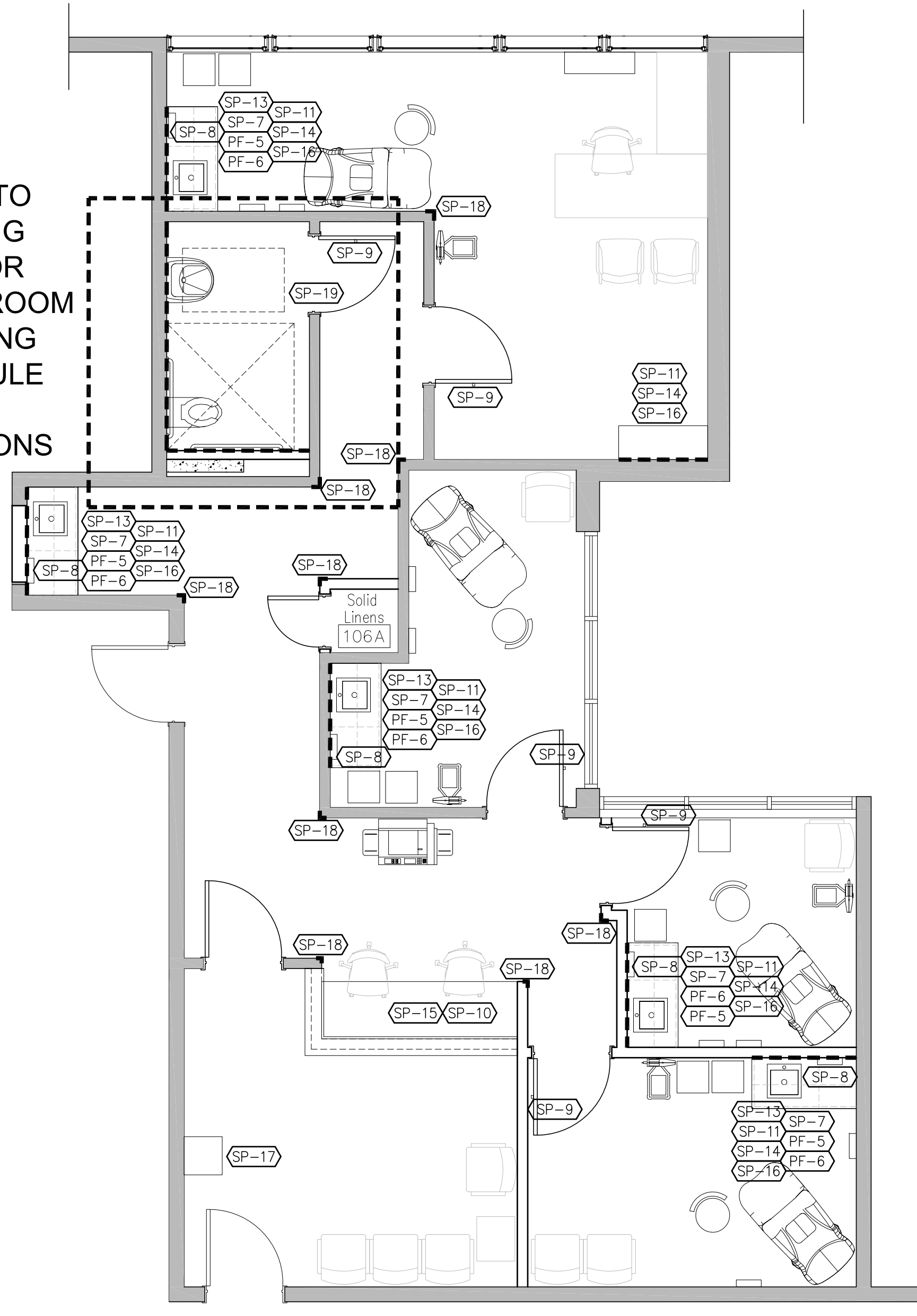
DRAWING NUMBER:
A101



Medical Equipment Location Plan

Scale: 1/4" = 1'-0"

REFER TO DRAWING A501 FOR BATHROOM PLUMBING SCHEDULE AND LOCATIONS



Plumbing + Access. Location Plan

Scale: 1/4" = 1'-0"

MEDICAL EQUIPMENT SCHEDULE

No.	Description	Manufacturer	Model	Supplied By	Installed By	Remarks
ME-1	SHARPS/GLOVES RECEPTACLE	KENDALL	T.B.D.	CLIENT	G.C.	
ME-2	WASTE RECEPTACLE	RUBBERMAID	SLIMJ UNI1883459			
ME-3	SCALE	HEALTH O METER	PEL500KL			EYE LEVEL DIGITAL SCALE
ME-4	BIOHAZARD WASTE RECEPTACLE	RUBBERMAID	RED AND BEIGE CANS			
ME-5	EXAM TABLE	MIDMARK	204			
ME-6	DX INTEGRATED DIAG. SYSTEM	WELSH ALLYN	WA77791-1MPX			
ME-7	ROLLING STOOL WITH BACK	MIDMARK	273-001-232			

ACCESSORIES / SPECIALTIES SCHEDULE

No.	Description	Manufacturer	Model	Remarks
SP-1	DISPENSER, TOWEL WITH WASTE RECEPTACLE	BOBRICK	CONTURA SERIES B-369	STAINLESS STEEL SATIN FINISH
SP-2	DISPENSER, TOILET PAPER	BOBRICK	CONTURA SERIES B-2888	STAINLESS STEEL SATIN FINISH
SP-3	SEAT COVER DISPENSER	BOBRICK	CONTURA SERIES B-4221	STAINLESS STEEL SATIN FINISH
SP-4	MIRROR	KENTWOOD MIRRORS.COM	POLISHED EDGES	BASED ON 345 RECTANGLE FRAMELESS FROSTED EDGE MIRROR, SCREWED TO WALL
SP-5	GRAB BARS	BOBRICK	CLASSIC SERIES B-6806	STAINLESS STEEL SATIN FINISH REFER TO PLANS FOR LOCATIONS AND SIZES
SP-6	BABY CHANGING TABLE HORIZONTAL	LOALA KARA	LOALA KARA KB110-SSRE	STAINLESS STEEL SATIN FINISH REFER TO PLANS FOR LOCATIONS
SP-7	UNDERSINK PIPING COVER	IPS CORP.	LAV. GUARD 2	
SP-8	PAPER TOWEL DISPENSER	BOBRICK	B-2621	
SP-9	COAT HOOK	DOUG MOCKETT & COMPANY	CH5-SINGLE HOOK COAT HOOK	HAT AND COAT HOOK LOCATE AT INSIDE OF ROOM
SP-10	GROMMET CAP AND SLEEVE	MOCKETT	EDIF FLIP TOP 2 1/2" HOLE	
SP-11	CABINET LOCK SYSTEM	OLYMPUS LOCK INC.	SMALL PIN TRUMBLER CABINET LOCKS	
SP-12	HAND SANITIZER	PURELL	278012	SUPPLIED AND INSTALLED BY HOSPITAL
SP-13	DRAWER SLIDE	ACCURIDE	3832CSC	MEDIUM DUTY SLIDE
SP-14	HINGE	BLUM	MODUL SYSTEM	
SP-15	COUNTER/SHELF SUPPORT	HAFELE	WORK SURFACE BRACKET	
SP-16	CABINET PULLS	HAFELE	115.21.003	DECORATIVE MATT STAINLESS STEEL FIN.
SP-17	WATER FILTRATION COOLER	PURE AND NATURAL	PWC-1500F	PROVIDE COLD WATER SUPPLY REFER
SP-18	CORNER GUARDS	PRO-TEK PAWLING CORP.	CG-20R, 2" WINGS	COLOR TO BE SELECTED BY ARCHITECT
SP-19	CALL FOR AID	EDWARDS SIGNALING & SECURITY SYSTEMS	7008N-N5I6537	

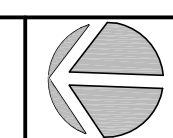
PLUMBING FIXTURES SCHEDULE

No.	Description	Manufacturer	Model	Remarks
PF-1	TOILET	AMERICAN STD.	3641.511	BISQUE FINISH
PF-2	FLUSH VALVE SEAT	SELELECTRONIC	6065.111.002	BISQUE FINISH
PF-3	LAVATORY FAUCET	AMERICAN STANDARD	5905.100	BISQUE FINISH
PF-4	LAVATORY SINK	BRADLEY 1200 SERIES S53-315		BISQUE FINISH
PF-5	LAVATORY CARRIER FLOOR MTD. CONCEALED ARM "TRACK" LAVATORY CARRIER	AMERICAN STD.	COMRADE 0124.131	
PF-6	EXAM RM. FAUCET	WATTS WATER TECHNOLOGIES	TCA-411	
PF-7	EXAM RM. SINK	AMERICAN STD.	MONTERREY 7500 SERIES ELUHAD1212 ADA 5 1/2" DEEP	ADA SERIES 4" SPREAD
PF-8	EXAM ROOM SINK	ELKAY	ADA 5 1/2" DEEP	ADA 5 1/2" DEEP BOWL DROP IN SINK / 4" SPREAD

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Key Plan



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Project

Stamford Pediatric Care
60 Strawberry Hill Ave
Stamford, Connecticut

Drawing

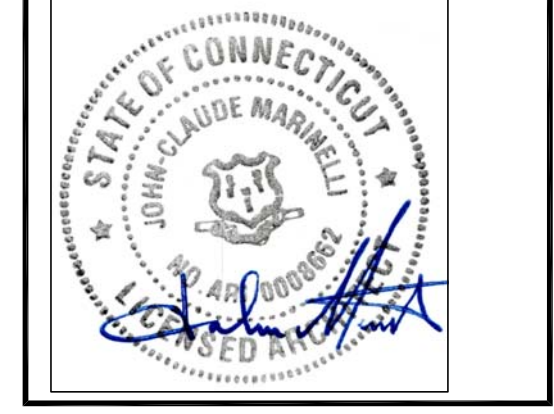
Medical Equipment Location Plan +
Access. / Plumbing Plan

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DERAS LLC
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Stamford, Connecticut

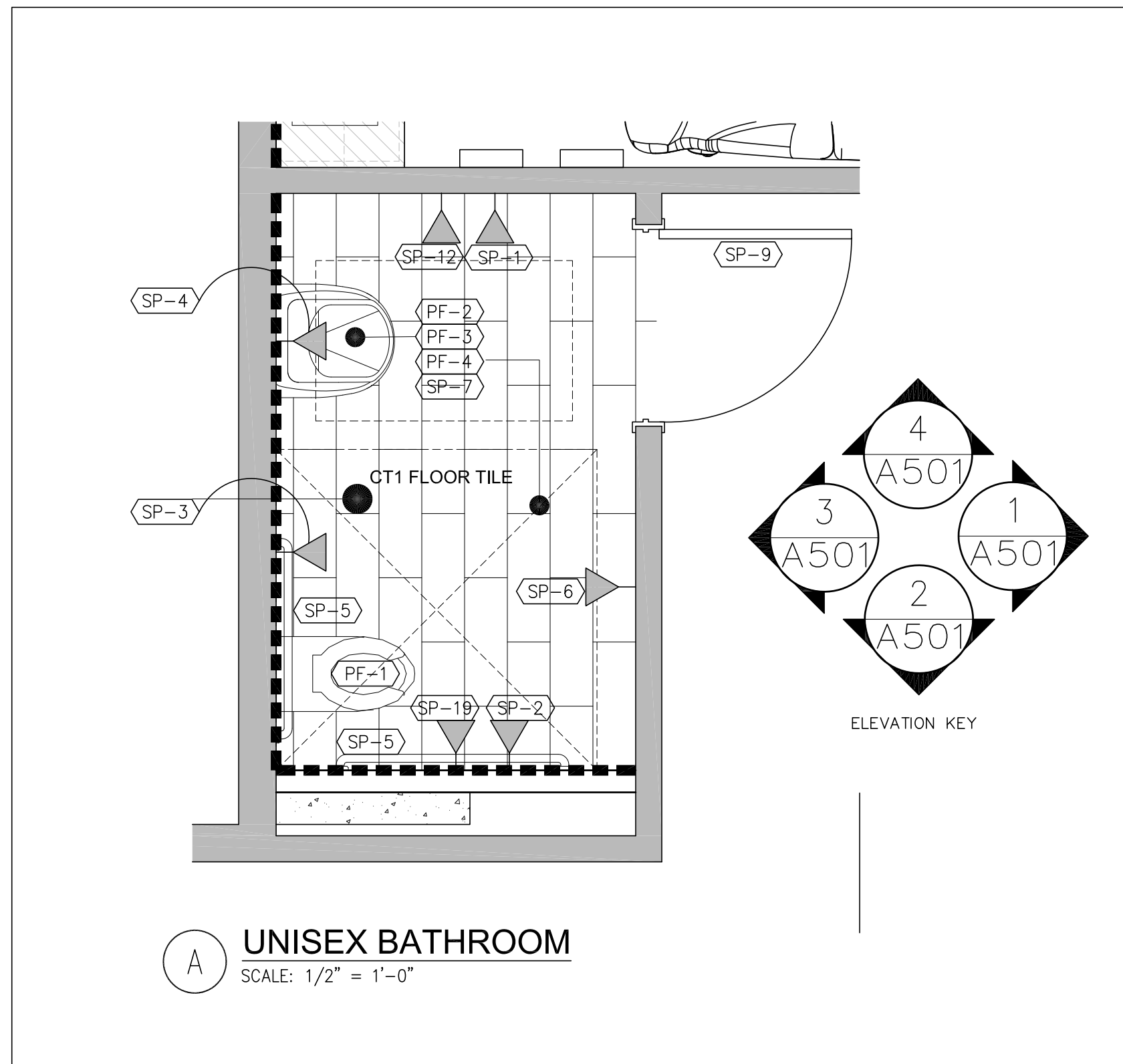
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ACCESSORIES / SPECIALTIES SCHEDULE

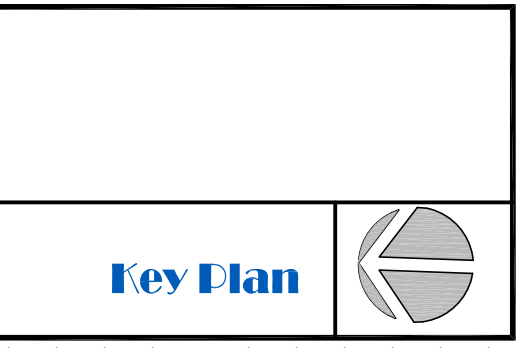
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PF-4	LAVATORY SINK	BRADLEY 1200 SERIES S53-315		
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PF-8	EXAM ROOM SINK	ELKAY	ADA 5 1/2" DEEP	ADA 5 1/2" DEEP BOWL DROP IN SINK / 4" SPREAD

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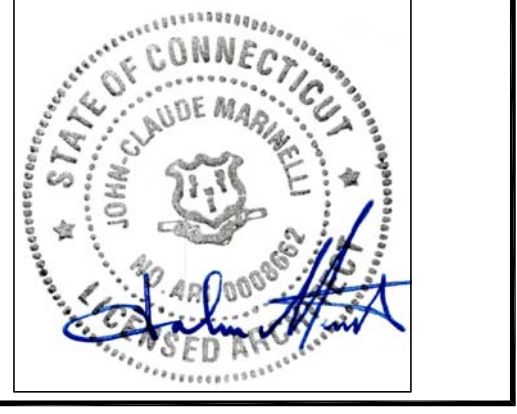
Enlarged Bathroom
Plan + Elevations

Client

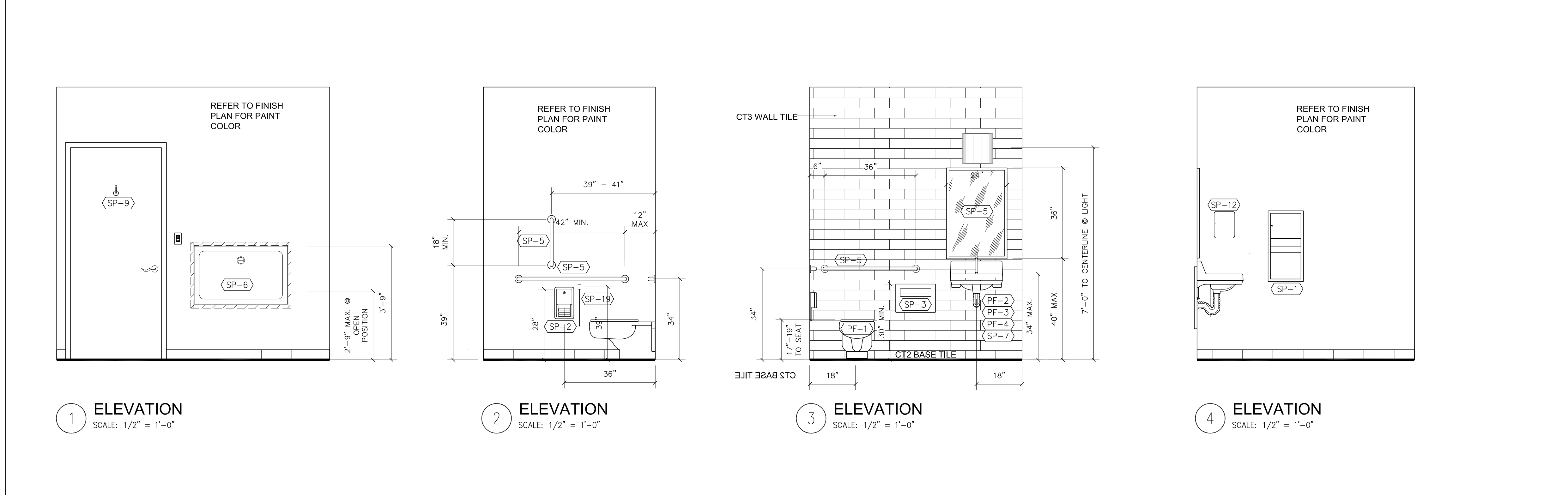
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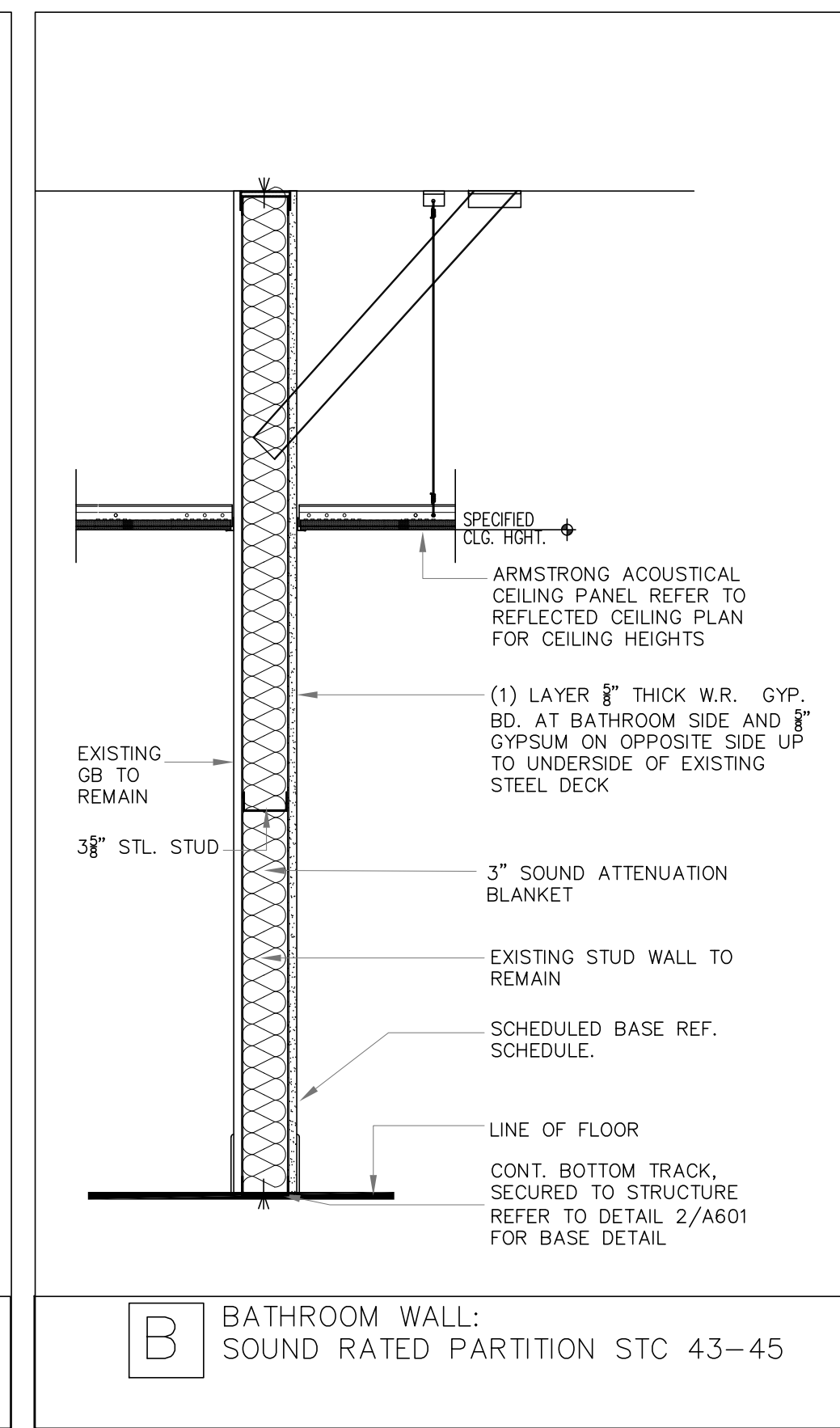
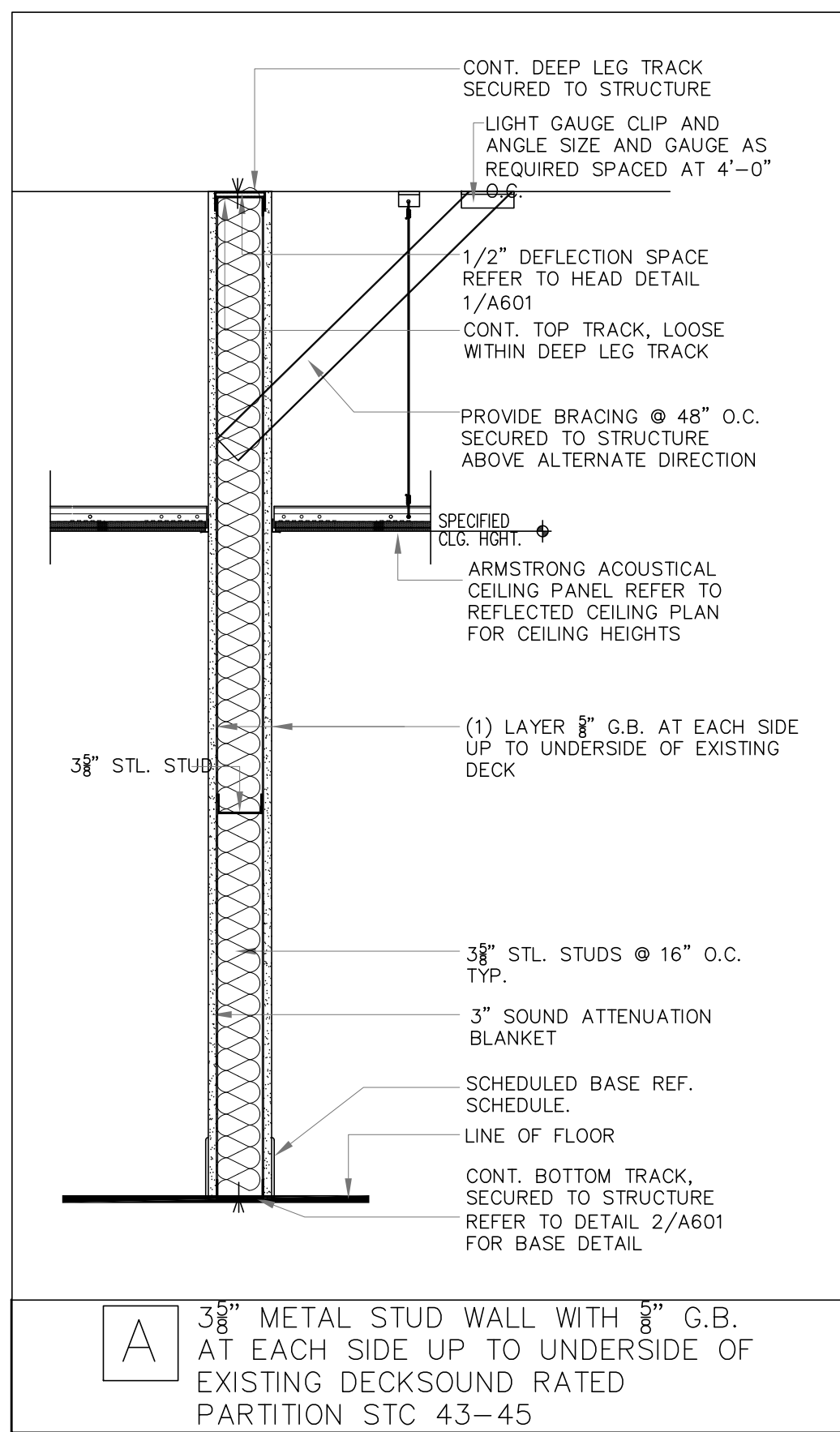
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DATE:	
SCALE: AS NOTED	



PARTITION NOTES:

- PARTITION WALL TYPES NOTED ON PARTITION PLAN A100.
- AT STUD PARTITIONS AND FURRED WALLS, PROVIDE MOISTURE RESISTANT GYPSUM WALL BOARD AT ALL TOILET ROOMS, SHOWERS, CUSTODIAL CLOSETS, SOILED UTILITY ROOMS, HOUSE KEEPING CLOSET, MECHANICAL EQUIPMENT ROOMS, AND WITHIN TEN FEET OF ANY PLUMBING FIXTURE LOCATION UNLESS OTHERWISE NOTED, EXCEPT WHERE TILED WALL FINISHES WHERE NOTE # 3 BELOW APPLIES.
- AT STUD PARTITIONS AND FURRED WALLS, PROVIDE SUITABLE TILE BACKING BOARD (TYPE "X" AT RATED WALLS) OVER MINIMUM 0.0312" THICK METAL STUD FRAMING BEHIND CERAMIC, PORCELAIN AND STONE TILE WALL FINISHES. REFER TO FINISH SCHEDULE.
- MATERIAL AND CONSTRUCTION OF FIRE RATED PARTITIONS INCLUDING TAPING AND FINISHING OF GYPSUM BOARD FOR FULL HEIGHT, SHALL BE IN ACCORDANCE WITH DESIGNATED FIRE TEST AND MANUFACTURER'S DIRECTION TO ACHIEVE FIRE RESISTANCE RATING INDICATED. SEAL PERIMETERS AND ALL PENETRATIONS THROUGH FIRE RATED PARTITIONS WITH SPECIFIED FIRE RESISTANT RATED MATERIAL. REFER TO DRAWING A/A601 FOR TYPICAL THROUGH PENETRATION FIRE STOP SYSTEMS AND FIRE RESISTIVE JOINT SYSTEMS.
- ALL PARTITIONS SHALL BE SEALED AIR TIGHT FOR FULL HEIGHT INCLUDING PERIMETER AND ALL PENETRATIONS, TAPE AT BOTH FACES AND FINISH GYPSUM WALL BOARD JOINT AND FASTENERS.
- SEE DOOR AND FRAME DETAILS FOR TYPICAL NOTES AND DETAILS ON FRAMING AND ANCHORING REQUIREMENTS.
- PROVIDE CONTROL JOINTS IN ALL PARTITIONS:
 - 30"-0" O.C. MAX FOR GYPSUM WALL BOARD PARTITIONS
 - PROVIDE RATED CONTROL JOINTS IN ALL RATED PARTITIONS.

THROUGH-PENETRATION FIRE-STOPPING SYSTEM SCHEDULE

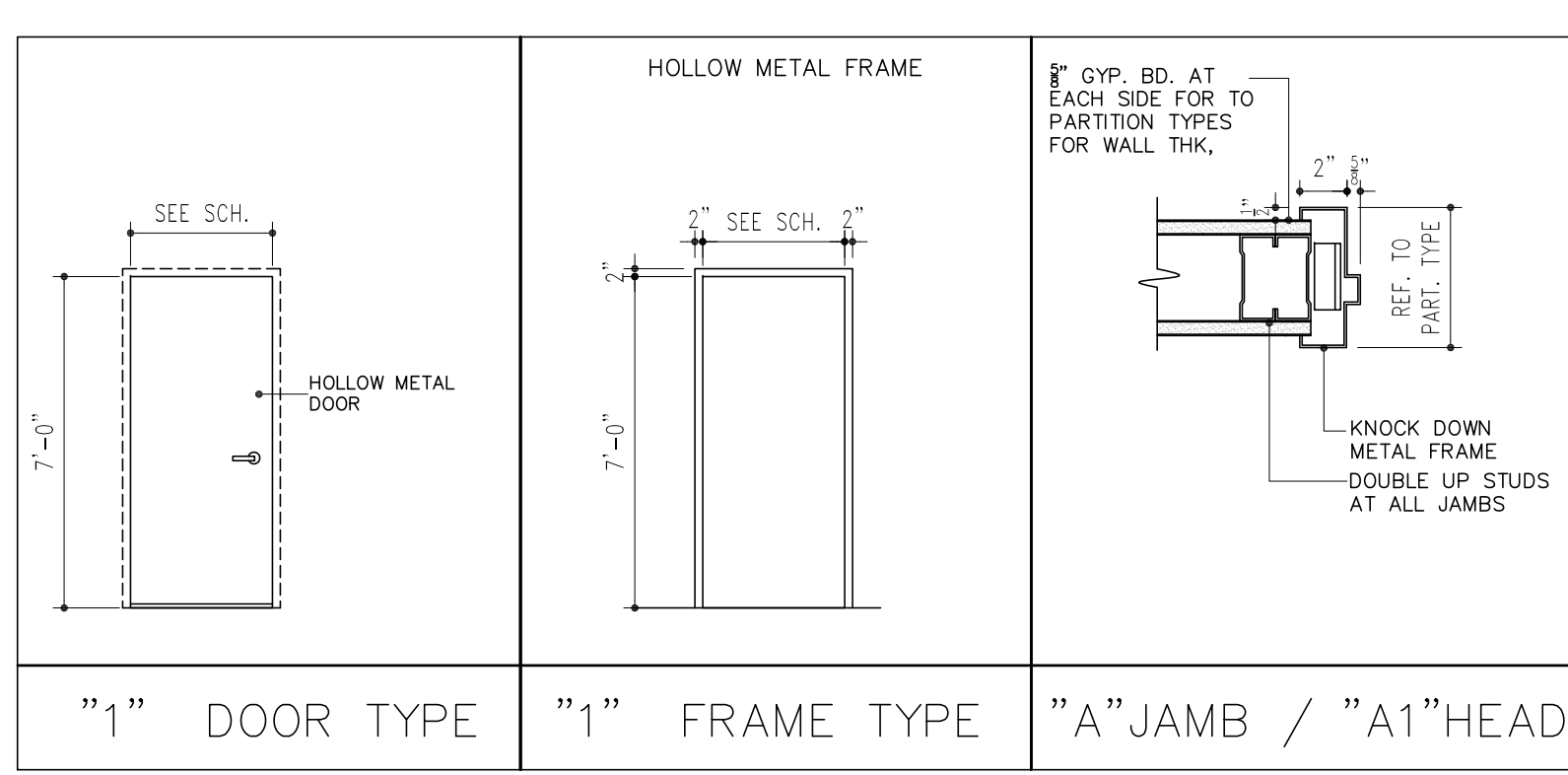
PENETRATIONS THROUGH GYPSUM BOARD WALL ASSEMBLIES			PENETRATIONS THROUGH CONCRETE WALLS OR CONCRETE MASONRY WALLS		
TYPE OF PENETRATION	F-RATING (HR)	UL-CLASSIFICATION SYSTEM	TYPE OF PENETRATION	F-RATING (HR)	UL-CLASSIFICATION SYSTEM
METAL PIPES OR CONDUITS	2 1	W-L-1054, W-L-1164, W-L-1170, W-L-1297 W-L-1054, W-L-1164, W-L-1170, W-L-1297	SINGLE METAL PIPES OR CONDUITS	1 2	REFER TO NOTES 1 AND 4 C-AJ-1435, NOTE 2
NON-METALLIC PIPE OR CONDUIT	1 2	W-L-2078, W-L-2098, W-L-2406 W-L-2078, W-L-2098, W-L-2406	SINGLE NON-METALLIC PIPE OR CONDUIT (I.E. PVC, CPVC, ABS, FRP)	1 2	REFER TO NOTES 1 AND 4 W-L-2109, C-AJ-2488, NOTE 2
SINGLE OR W-L-3282 BUNDLED CABLES	1	W-L-3065, W-L-3112, W-L-3122, W-L-3224, W-L-3272	SINGLE OR BUNDLED CABLES	1 2	REFER TO NOTES 2 AND 4 C-AJ-3216
CABLE TRAY	2	W-L-4011, W-L-4060 W-L-4011, W-L-4060	CABLE TRAY	1 2	REFER TO NOTES 1 AND 4 C-AJ-4701, NOTE 2
SINGLE INSULATED METAL PIPES	1 2	W-L-5028, W-L-5029, W-L-5096 W-L-5028, W-L-5029, W-L-5096	SINGLE INSULATED METAL PIPES	1 2	NOTES 1 AND 4 C-AJ-5091, C-AJ-5096, NOTE 2
NON-INSULATED MECH. DUCT WITHOUT DAMPERS	2 1	W-L-7040, W-L-7042, W-L-7059 W-L-7040, W-L-7042, W-L-7059	ELECTRICAL BUS-WAY	1 2	REFER TO NOTES 1 AND 4 REFER TO NOTE 2
MULTIPLE PENETRATIONS	1 2	W-L-1095, W-L-1389, W-L-8013, W-L-8065 W-L-1095, W-L-1389, W-L-8013, W-L-8065	NON-INSULATED MECH. DUCT WITHOUT DAMPERS	1 2	REFER TO NOTES 1 AND 4 C-AJ-7085, NOTE 2
FLEXIBLE ALUMINUM OR STEEL CONDUIT, FLEXIBLE STEEL GAS PIPE	1 2	W-L-1243 W-L-1243	MULTIPLE PENETRATIONS	1 2	REFER TO NOTES 1 AND 4 C-AJ-8143, C-AJ-8148, NOTE 2
OPTICAL FIBER RACEWAY OR ENT PIPE	1 2	W-L-2165 W-L-2165	FLEXIBLE ALUMINUM OR STEEL CONDUIT, FLEXIBLE STEEL GAS PIPE	1 2	REFER TO NOTES 1 AND 4 C-AJ-1346
SINGLE PLASTIC PEX TUBING	1 2	W-L-2186 W-L-2186	MULTIPLE PLASTIC CONDUITS OR EMT PIPES	1 2	REFER TO NOTES 1 AND 4 C-AJ-1513
FLOWGUARD GOLD BLAZEMASTER CPVC PIPE	1 2	W-L-2377 W-L-2377	SINGLE PLASTIC PEX TUBING	1 2	REFER TO NOTES 1 AND 4 C-AJ-2170
			FLOWGUARD GOLD BLAZEMASTER CPVC PIPE	1 2	REFER TO NOTES 1 AND 4 REFER TO NOTE 2

FIRE STOPPING NOTES:

- JOBSITE CONDITIONS OF EACH THROUGH PENETRATION FIRE-STOP SYSTEM SHALL MEET ALL DETAILS OF THE UL-CLASSIFIED SYSTEMS SELECTED.
- IF THE JOBSITE CONDITIONS DO NOT MATCH THE SCHEDULED SYSTEMS, SUBMIT ALTERNATIVE SYSTEMS OR ENGINEERING JUDGEMENT DRAWING PREPARED BY THE FIRE-STOPPING MANUFACTURER.
- CONTRACTOR SHALL SELECT FROM THE UL-CLASSIFIED SYSTEMS AS LISTED IN THE SCHEDULE AND SELECT APPROPRIATE SYSTEMS FOR ASSEMBLY, OR OR SHALL PROVIDE ANOTHER THROUGH PENETRATION FIRE-STOP SYSTEM APPROVED BY THE ARCHITECT AND THE BUILDING OFFICIAL WHICH PROVIDES EQUAL OR BETTER THROUGH PENETRATION PROTECTION AND IS SUPPORTED BY ACCEPTABLE TESTING AND DOCUMENTATION.
- COORDINATE WORK WITH OTHER TRADE TO ASSURE THE PENETRATION OPENING SIZES AND LOCATIONS OF ITEMS WITHIN THE OPENING COMPLY WITH APPLICABLE REQUIREMENTS OF THE UL-CLASSIFIED SYSTEMS SELECTED.

DOOR SCHEDULE

REV	DR#	LOCATION	DOOR		FRAME							HARDWARE		MISC		REMARKS	
			SIZE	MAT	ELEV.	GLASS	MAT	ELEV.	WALLTYPE	JAMB	HEAD	SET	KEY	LABEL	DR.CONTACT		DR.STOPS
	100	ENTRY	ENTRY	EXTG	NA		EXTG	NA	NA	NA	NA	1	YES			409	
	101	INTERIOR CORRIDOR	3'0"X7'0"	H.M.	1		H.M.	1	GYP.BD.	A	A1	2				409	
	102	EXAM ROOM 1 (103)	3'0"X7'0"	H.M.	1		H.M.	1	GYP.BD.	A	A1	2				409	
	103	EXAM ROOM 2 (104)	3'0"X7'0"	H.M.	1		H.M.	1	GYP.BD.	A	A1	2				409	
	104	EXAM ROOM 3 (105)	3'0"X7'0"	H.M.	1		H.M.	1	GYP.BD.	A	A1	2				409	
	105	SOILED LINENS	2'0"X7'0"	H.M.	1		H.M.	1	GYP.BD.	A	A1	3	YES			409	
	106	EXAM ROOM 4 (109)	3'0"X7'0"	H.M.	1		H.M.	1	GYP.BD.	A	A1	4	YES			409	
	107	BATHROOM	3'0"X7'0"	H.M.	1		H.M.	1	GYP.BD.	A	A1	5	YES			409	
	108	EXIT STAIRS	3'0"X7'0"	EXTG	NA		EXTG	NA	NA	NA	EXTG	YES				409	



CYLINDER HARDWARE

LEVER DESIGN: ATHENS
FINISH: CHROME SATIN 626

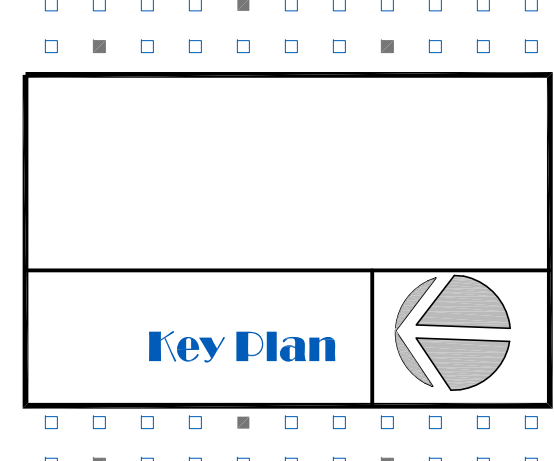
SET 1 - ENTRY/WAITING AREA CLASSROOM FUNCTION	"LOCKSET" SCHLAGE - ND70PD "HINGES" STANLEY - FBB191 X 4 1/2 X 4 X 1 1/2 PAIR "SILENCERS" ROCKWOOD 608 X 1 1/2 PAIR (METAL/WOOD) "DOOR STOP" ROCKWOOD DOOR STOP SEE SCHEDULE (S.S. SATIN / US32D) "CLOSER" LCN 4040 SUPER SMOOTHIE
SET 2 - EXAM ROOM PASSAGE FUNCTION	"LOCKSET" SCHLAGE - ND10S "HINGES" STANLEY - FBB191 X 4 1/2 X 4 X 1 1/2 PAIR "SILENCERS" ROCKWOOD 608 X 1 1/2 PAIR (METAL/WOOD) "DOOR STOP" ROCKWOOD DOOR STOP SEE SCHEDULE (S.S. SATIN / US32D) "COAT HOOK" HAFELE HAT/COAT HOOK 845.05.200
SET 3 - STORAGE / STOREROOM FUNCTION	"LOCKSET" SCHLAGE - ND80PD "HINGES" STANLEY - FBB191 X 4 1/2 X 4 X 1 1/2 PAIR "SILENCERS" ROCKWOOD 608 X 1 1/2 PAIR (METAL/WOOD) "DOOR STOP" ROCKWOOD DOOR STOP "CLOSER" 406 (S.S. SATIN / US32D SEE REMARKS) LCN 4040 SUPER SMOOTHIE
SET 4 - OFFICE	"LOCKSET" SCHLAGE - ND50PD "HINGES" STANLEY - FBB191 X 4 1/2 X 4 X 1 1/2 PAIR "SILENCERS" ROCKWOOD 608 X 1 1/2 PAIR (METAL/WOOD) "DOOR STOP" ROCKWOOD DOOR STOP SEE SCHEDULE (S.S. SATIN / US32D) "COAT HOOK" HAFELE HAT/COAT HOOK 845.05.200
SET 5 - BATHROOMS	"LOCKSET" SCHLAGE - ND40PD "HINGES" STANLEY - FBB191 X 4 1/2 X 4 X 1 1/2 PAIR "SILENCERS" ROCKWOOD 608 X 1 1/2 PAIR (METAL/WOOD) "DOOR STOP" ROCKWOOD DOOR STOP SEE SCHEDULE (S.S. SATIN / US32D) "CLOSER" LCN 4040 SUPER SMOOTHIE "COAT HOOK" HAFELE HAT/COAT HOOK 845.05.200

NOTES

- SEE GENERAL NOTES AND CONDITIONS FOR FURTHER INFO AND SPECIFICATIONS.
- ALL DOORS AND FRAMES TO BE INSTALLED PLUMB AND LEVEL. ACCURATELY ALIGNED AND SECURELY ANCHORED. ADJUST DOORS AND HARDWARE FOR SMOOTH OPERATION.
- ALL HARDWARE TO BE IN COMPLIANCE WITH APPLICABLE CODE AND REGULATIONS INCLUDING THE ADA.
- G.C. TO UNDERCUT DOORS AND FRAMES IF NECESSARY TO PROVIDE ALIGNMENT OF FRAMES AT HEAD.
- G.C. TO SUBMIT ALL DOOR, FRAME AND HARDWARE SCHEDULES AND SPECS INCLUDING CATALOG CUTS FOR ARCHITECT'S REVIEW.
- HOLLOW METAL STEEL DOOR AND FRAMES TO COMPLY WITH ANSI A250.8.
 - EXTERIOR DOORS: TO BE LEVEL 2 AND PHYSICAL PERFORMANCE LEVEL B (HEAVY DUTY), MODEL 1 (FULL FLUSH).
 - INTERIOR DOORS: TO BE LEVEL 1 AND PHYSICAL PERFORMANCE LEVEL C (STANDARD DUTY), MODEL 1 (FULL FLUSH).
 - EXTERIOR FRAMES: FABRICATE FRAMES WITH MITERED OR COPED AND WELDED FACE CORNERS AND SEAMLESS FACE JOINTS.
 - INTERIOR FRAMES:
 - FABRICATE KNOCKED-DOWN FRAMES WITH MITERED OR COPED CORNERS FOR FIELD ASSEMBLY WHERE INDICATED.
 - FRAMES FOR LEVEL 1 STEEL DOORS: 0.053 INCH (1.3mm) THICK STEEL SHEET, UNLESS OTHERWISE NOTED.
- SOLID CORE VENEER DOORS TO BE CONSTRUCTED IN ACCORDANCE WITH A.W.I. QUALITY STANDARDS SEC. 1300-6-3 TYPE PC-5 TYPE CONSTRUCTION USING 5-PLY HOT PROCESS ACCEPTABLE MANUFACTURERS:
 - ALGOMA HARDWOODS
 - EGGERS INDUSTRIES
 - WEYERHAUSER CO.
- STAIN GRADE DOORS TO BE SHOP FINISHED. SITE FINISHING IS NOT ACCEPTABLE UNLESS PREVIOUSLY APPROVED BY ARCHITECT.
- ALL VENEER TO RUN FROM TOP TO BOTTOM OF DOOR AND TO BE FREE FROM ANY IMPERFECTIONS. "PATCHING" WILL NOT BE ACCEPTED.
- PROVIDE TEMPORARY HARDWARE IF DELAYS IN ACQUIRING FINISH HARDWARE WILL PREVENT INSTALLATION OF DOORS ON TIME. PATCH ANY DAMAGE FROM TEMPORARY HARDWARE.
- ALL ITEMS MARKED "EX" ARE EXISTING TO REMAIN. G.C. SHALL MODIFY EXISTING ITEMS TO ACCOMMODATE ANY NEW SECURITY OR HARDWARE REQUIREMENTS OR REPLACE ITEM TO SATISFY THOSE REQUIREMENTS.
- G.C. TO COORDINATE POWER REQUIREMENTS FOR DOORS EQUIPPED WITH ELECTRICAL DEVICES. (ELECTRIC STRIKES AND RELEASES). G.C. TO PROVIDE REQUIRED POWER PER INSTRUCTIONS FROM CLIENT'S SECURITY VENDOR / CONSULTANT.
- ALL HARDWARE IS TO BE INSTALLED WITH CONCEALED FASTENERS.
- ALL LOCK AND LATCHSETS AND PULLS TO BE MOUNTED WITH A 2 3/4" BACKSET (U.O.N.). OTHERWISE NOTED.
- WHERE INDICATED, INSTALL 1-1/2" PAIR BUTT HINGES ON 7'-0" TALL DOORS AND 2 PAIRS AT 8'-0" TALL DOORS.
- PROVIDE 3/8" UNDERCUT AT ALL TYPICAL DOORS UNLESS NOTED OTHERWISE. SEE SCHEDULE FOR DOORS WITH THRESHOLDS.
- PROVIDE TWO (2) KEYS FOR ALL SPECIFIED LOCKSETS AND TURN OVER TO NEW TENANT PRIOR TO MOVE-IN.
- CONSULT TENANT REGARDING ADDITIONAL INFORMATION ABOUT SECURITY SYSTEM AND KEYING. ALL LOCKS TO BE KEYPED TO BASE BUILDING GRAND MASTER SYSTEM. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- ALL NEW HARDWARE FINISHES ARE TO BE BRUSHED CHROME - US26D OR EQUAL.
- ALL EXISTING WOOD AND HOLLOW METAL DOORS TO REMAIN OR TO BE RELOCATED ARE TO BE PAINTED, SEE FINISH PLAN.
- LEVER DESIGN : ATHENS / ATH (L-SERIES 07)

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Issues / Revisions

NO.	DATE	ISSUE FOR PERMIT/REVISION
	06.14.22	ISSUE FOR PERMIT/BIDS

Project

Stamford Pediatric Care
60 Strawberry Hill Ave
Stamford, Connecticut

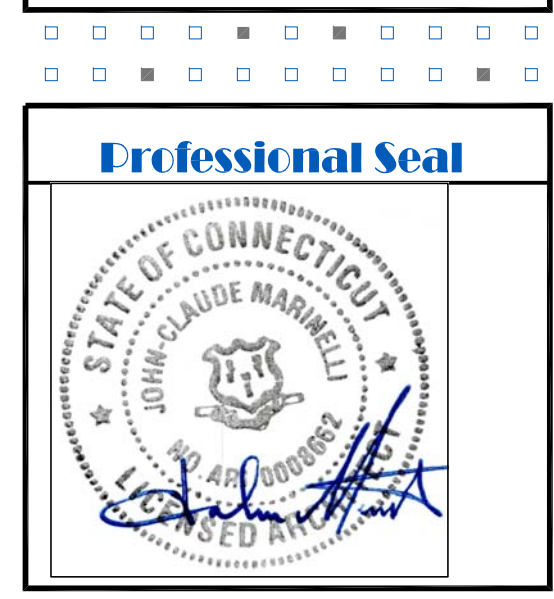
Drawing

Wall Types + Details +
Door Schedule

Client

DERAS LLC
60 Strawberry Hill Ave
Stamford, Connecticut

Consultant



Professional Seal

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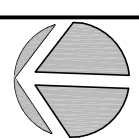
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AS NOTED

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A601

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Key Plan



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Project

Stamford Pediatric Care
60 Strawberry Hill Ave
Stamford, Connecticut

Drawing

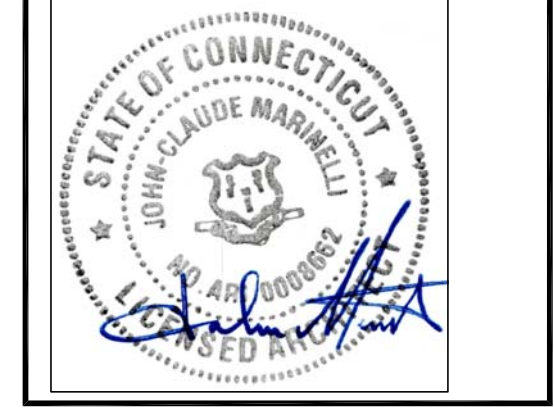
Mounting Heights

Client

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60 Strawberry Hill Ave
Stamford, Connecticut

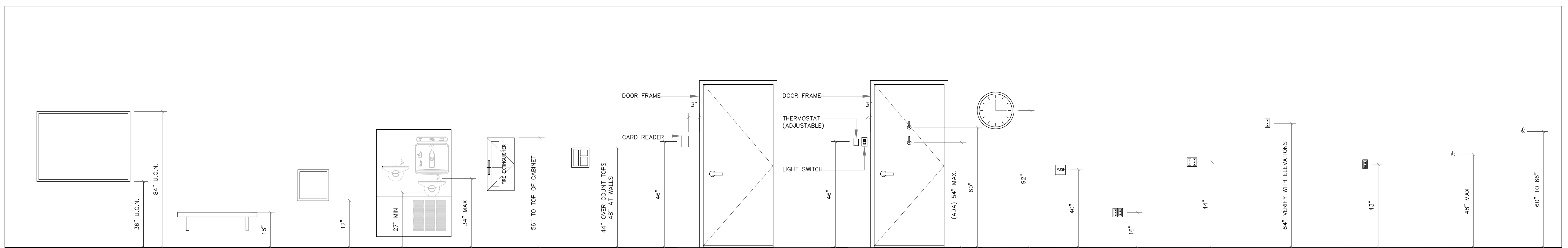
Consultant

Professional Seal



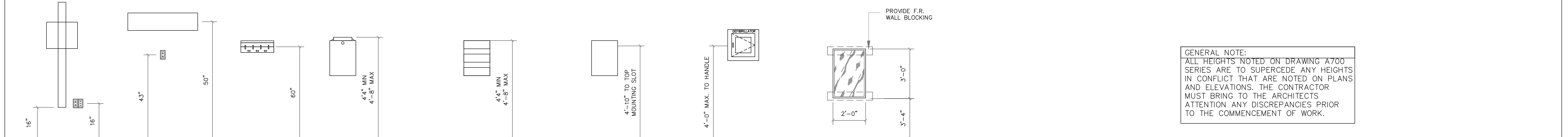
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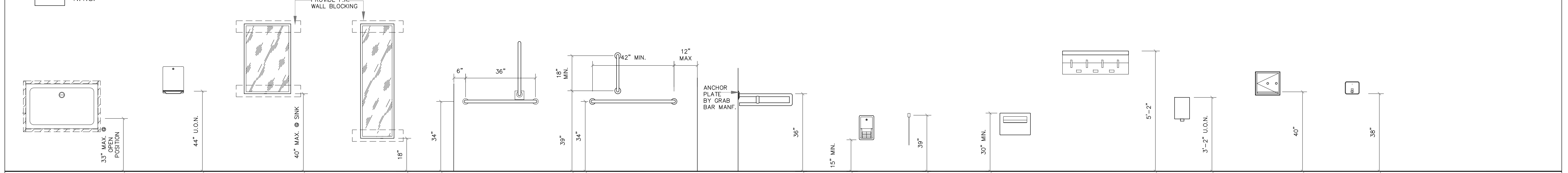
TACKBOARD, MARKER BOARD OR CHALKBOARD, VERIFY SIZES + LOCATIONS WITH DRAWINGS AND/OR SCHEDULE
WALL BENCH
ACCESS PANEL
TYPICAL HI-LO WATER FOUNTAIN/COOLER
FIRE EXTINGUISHER CABINET
PHONE
CARD READER
DOOR FRAME
THERMOSTAT (ADJUSTABLE)
LIGHT SWITCH
WALL CLOCK
PUSH TO OPEN PADDLE
TYPICAL WALL DATA / OUTLET
TYP. WALL OUTLETS ABOVE COUNTER TOPS / WORK STATIONS
TYP. WALL DATA / ELECTRICAL OUTLETS OPEN WALL CABINETS IN WORK ROOMS AND LABS. REFER TO PLAN AND ELEVATIONS FOR LOCATIONS
WALL OUTLET EXAM RM. DIAGNOSTICS UNIT
ADA COAT HOOK MOUNTING HGT
COAT HOOK MOUNTING HGT

A GENERAL MOUNTING HEIGHTS
N.T.S."



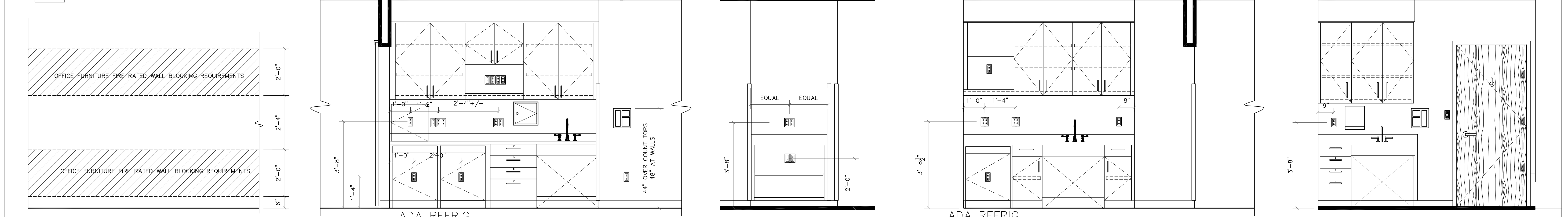
PATIENT WALL MOUNTED MONITOR AND OUTLET LOCATION
WALL MOUNTED DIAGNOSTICS UNIT
LEAD APRON RACK
BIO HAZARD WASTE NEEDLER AND GLOVE DISPENSER
MULTI GLOVE DISPENSER
KRONOS CLOCK
AED CABINET
EXAM ROOM WALL MOUNTED FRAME MIRROR

B SPECIALTY EQUIPMENT MOUNTING HEIGHTS
N.T.S."



RECESSED BABY CHANGING STATION
SURFACE MOUNTED PAPER TOWEL DISPENSER MOUNTED
FRAMELESS WALL MOUNTED BATHROOM MIRROR
FULL LENGTH MIRROR
36" GRAB BAR BACK WALL
42" GRAB BAR SIDE WALL
SWING UP GRAB BAR
TOILET PAPER DISPENSER
CALL FOR HELP PULL STRING
TOILET SEAT COVER DISPENSER
S.S. UTILITY SHELF WITH MOP/BROOM HOLDER
HAND SANITIZER DISPENSER
SPICEMEN PASS-THRU
SURFACE MOUNTED SOAP DISPENSER

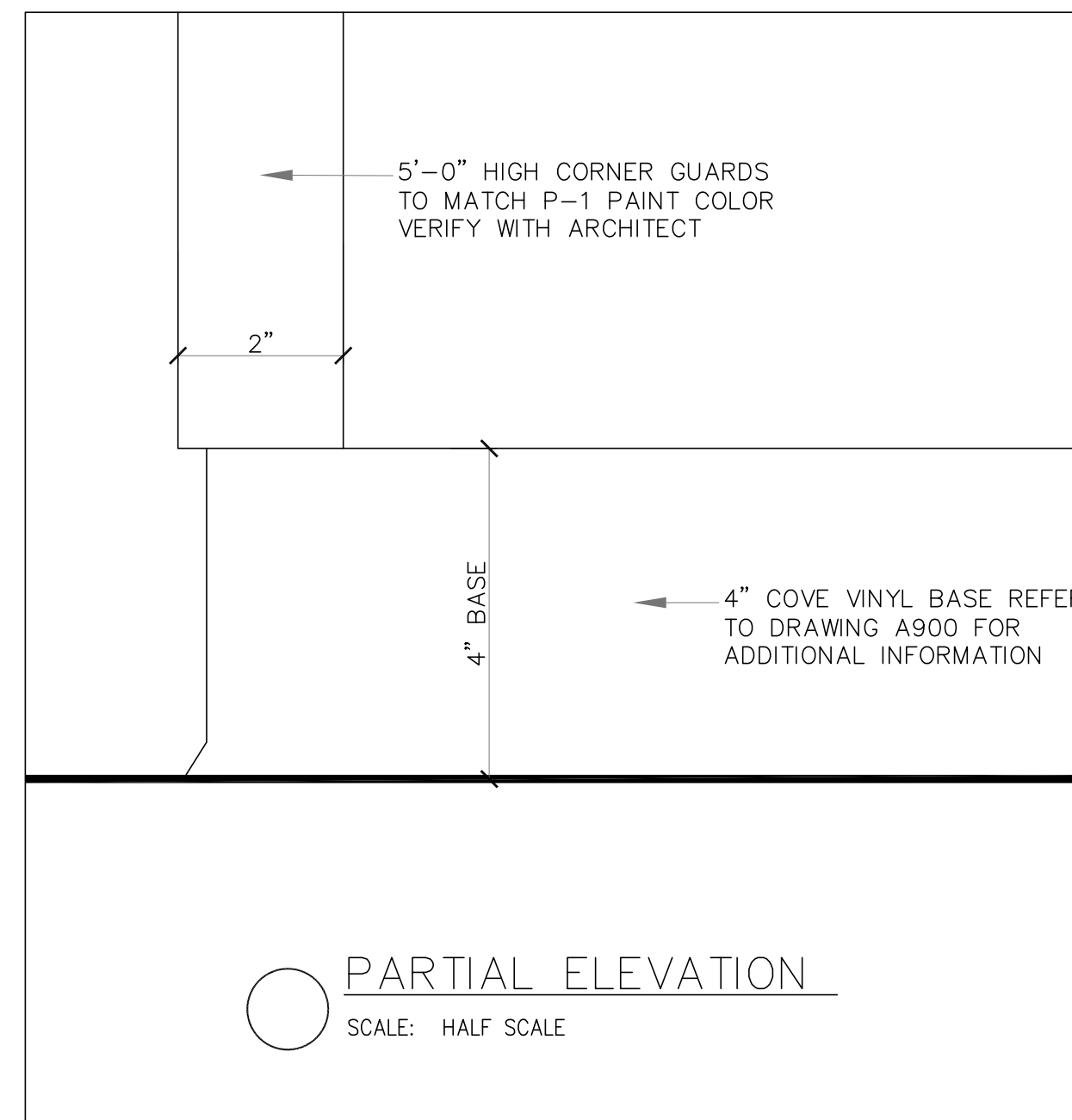
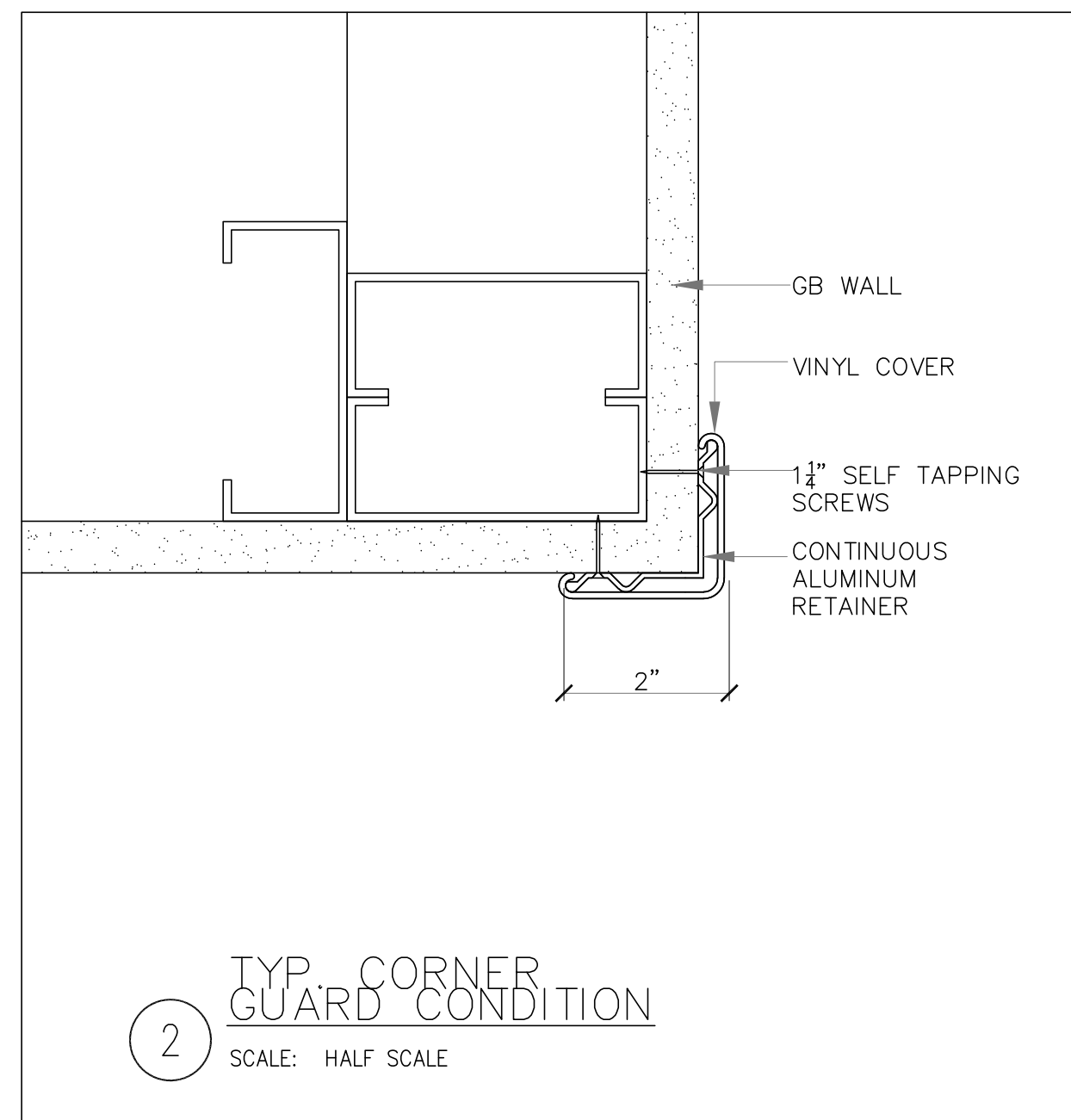
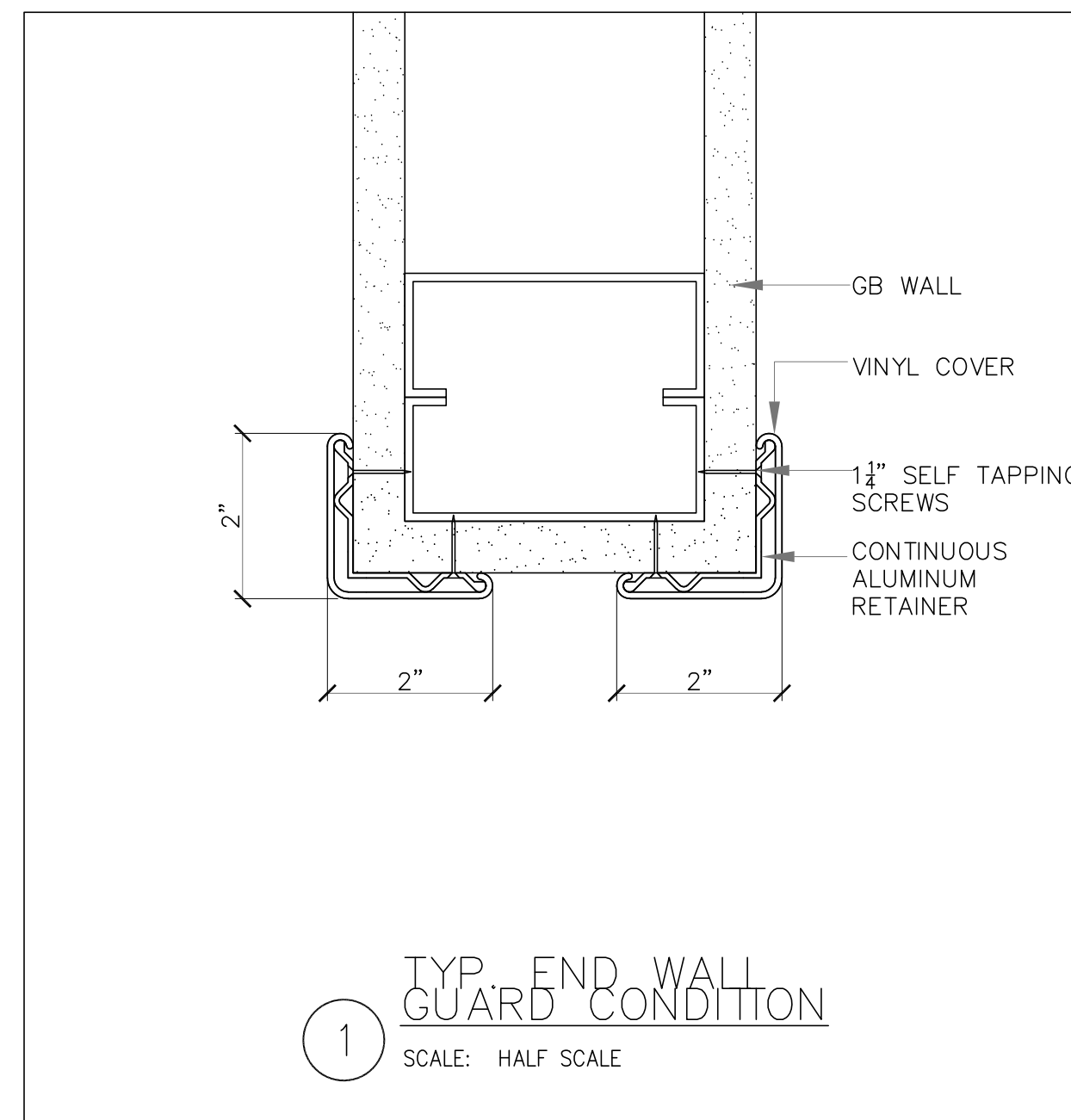
C TOILET ACCESSORIES MOUNTING HEIGHTS



D OFFICE FURNITURE FIRE RATED WALL BLOCKING REQUIREMENTS
N.T.S."

ADA REFRIG
TYPICAL LAB COUNTERTOP PVD LOCATION HEIGHTS
TYPICAL MED. STATION PVD HEIGHTS
ADA REFRIG
TYPICAL PANTRY PVD HEIGHTS
TYPICAL EXAM ROOM COUNTERTOP OUTLET HEIGHTS

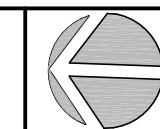
GENERAL NOTE:
ALL HEIGHTS NOTED ON DRAWING A700 SERIES ARE TO SUPERCEDE ANY HEIGHTS IN CONFLICT THAT ARE NOTED ON PLANS AND ELEVATIONS. THE CONTRACTOR MUST BRING TO THE ARCHITECTS ATTENTION ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.



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Key Plan



Issues / Revisions

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	06.14.22	ISSUE FOR PERMIT/BIDS

Project

Stamford Pediatric Care
60 Strawberry Hill Ave
Stamford, Connecticut

Drawing

Miscellaneous Details

Client

DERAS LLC
60 Strawberry Hill Ave
Stamford, Connecticut

Consultant

Professional Seal



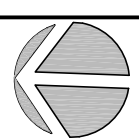
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Project

Stamford Pediatric Care
60 Strawberry Hill Ave
Stamford, Connecticut

Drawing

Interior Elevations

Client

DERAS LLC
60 Strawberry Hill Ave
Stamford, Connecticut

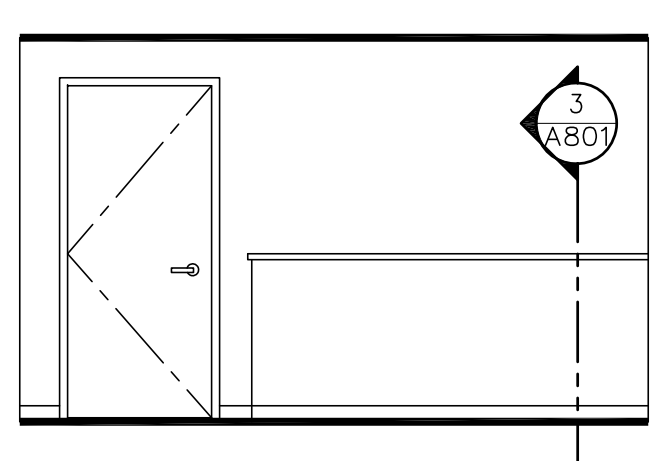
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Professional Seal

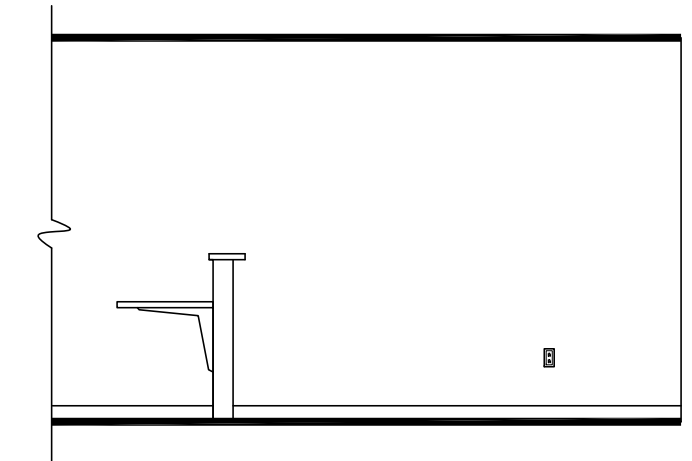


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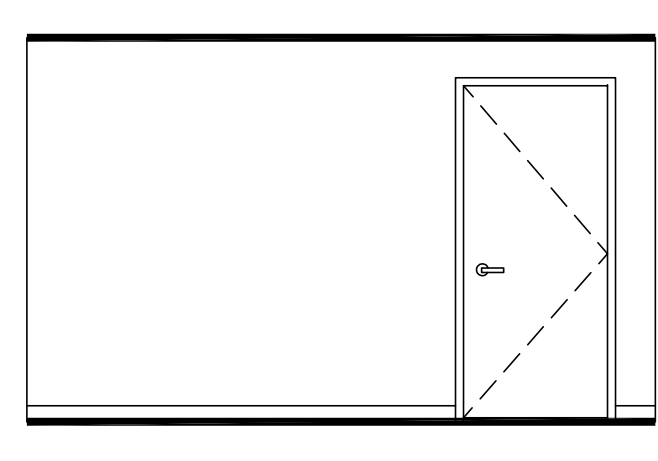
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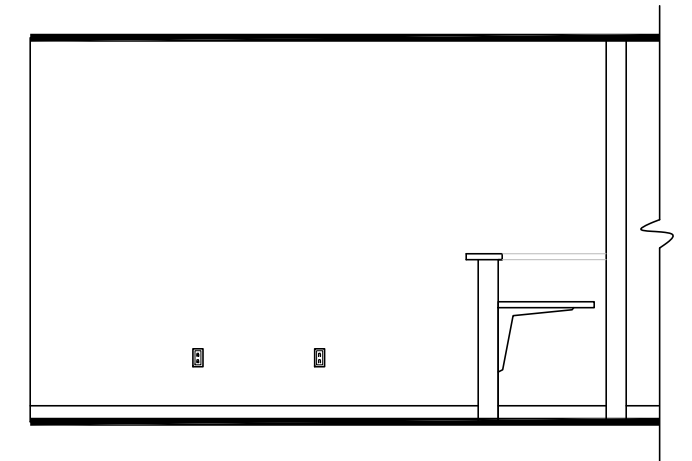
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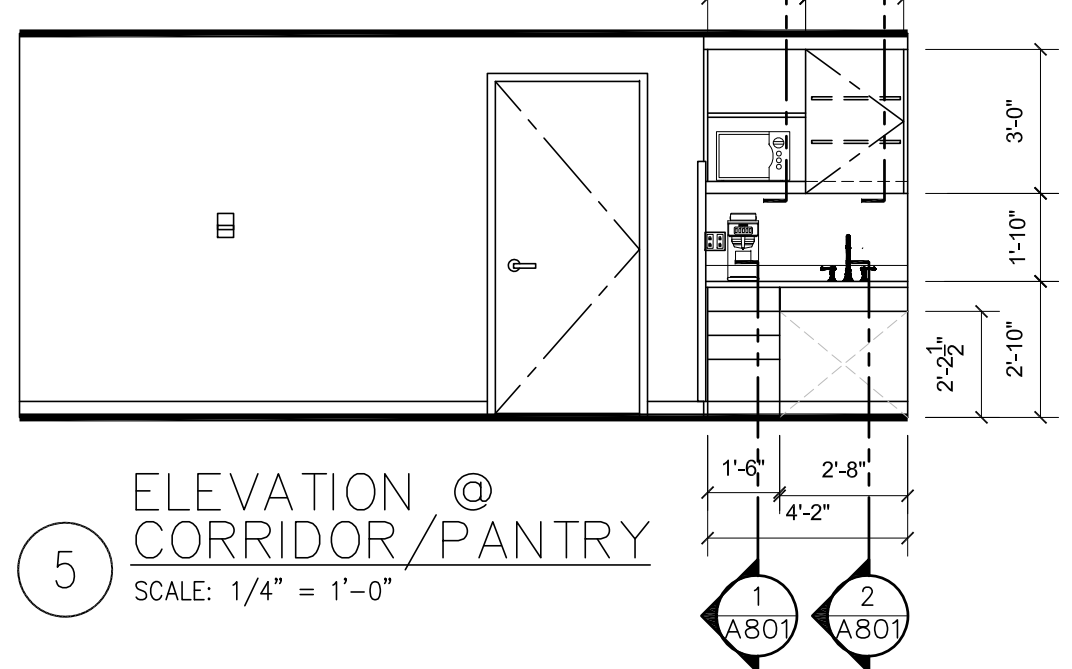
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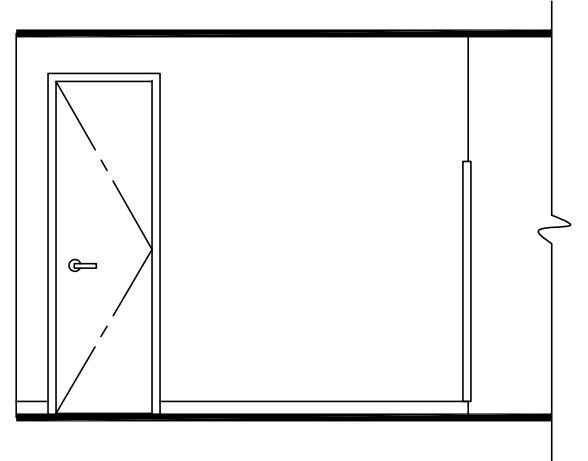
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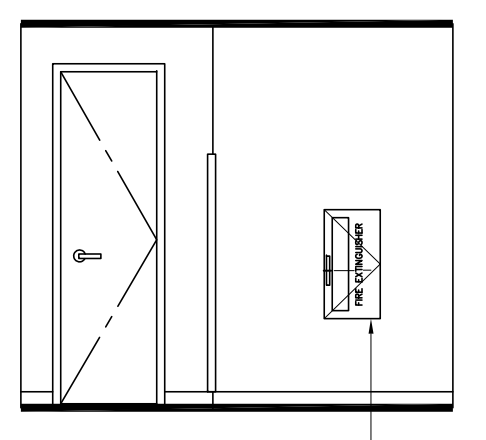
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SCALE: 1/4" = 1'-0"



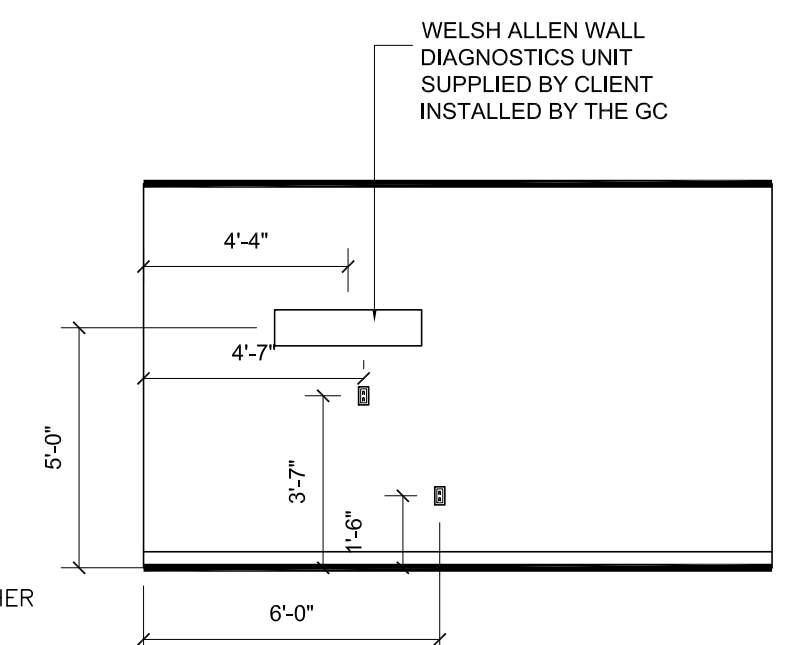
5 ELEVATION @ CORRIDOR/PANTRY
SCALE: 1/4" = 1'-0"



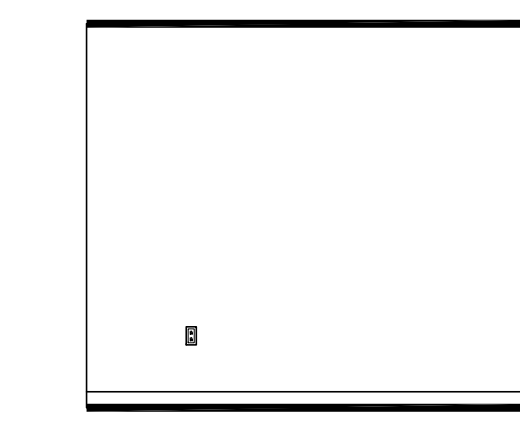
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SCALE: 1/4" = 1'-0"



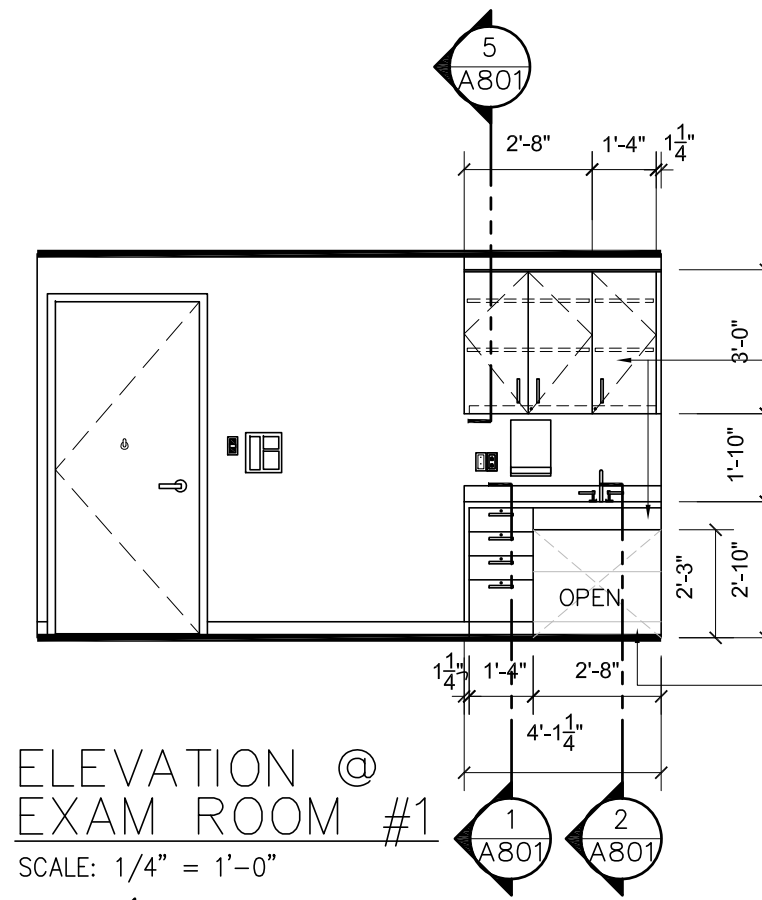
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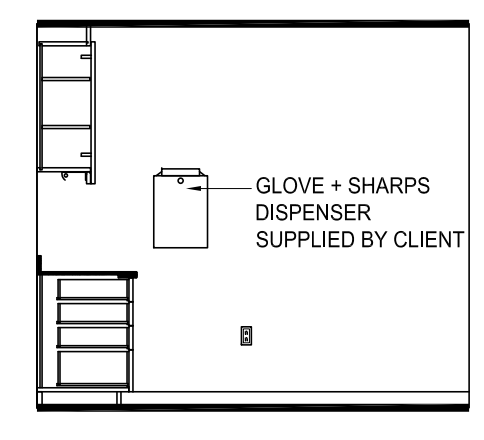
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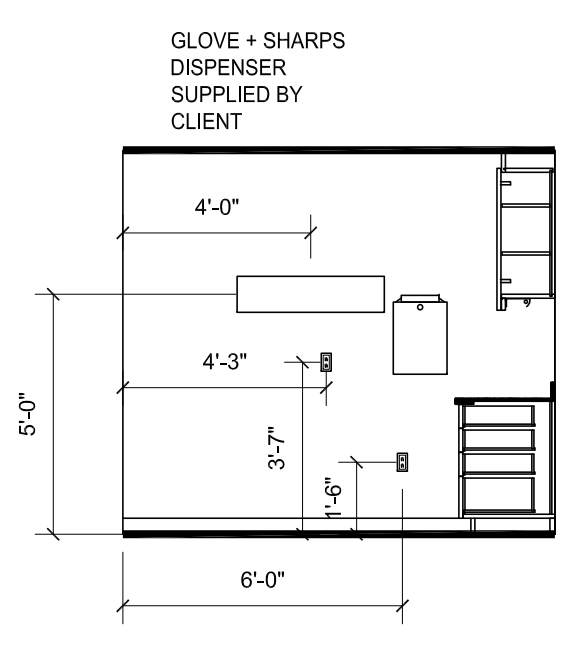
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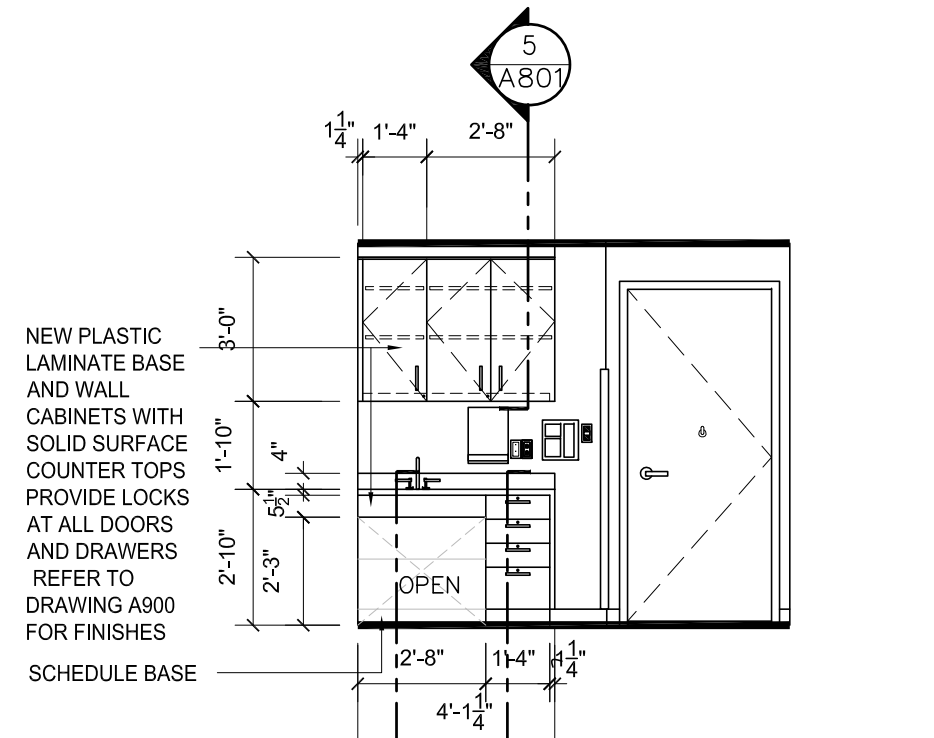
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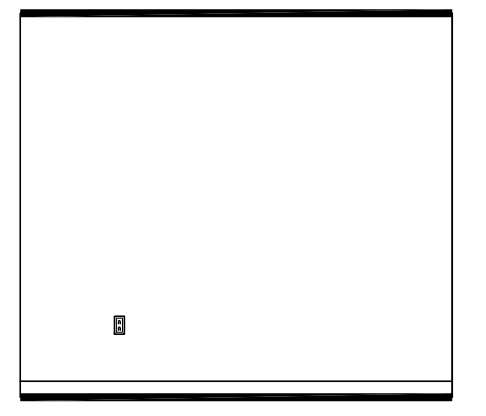
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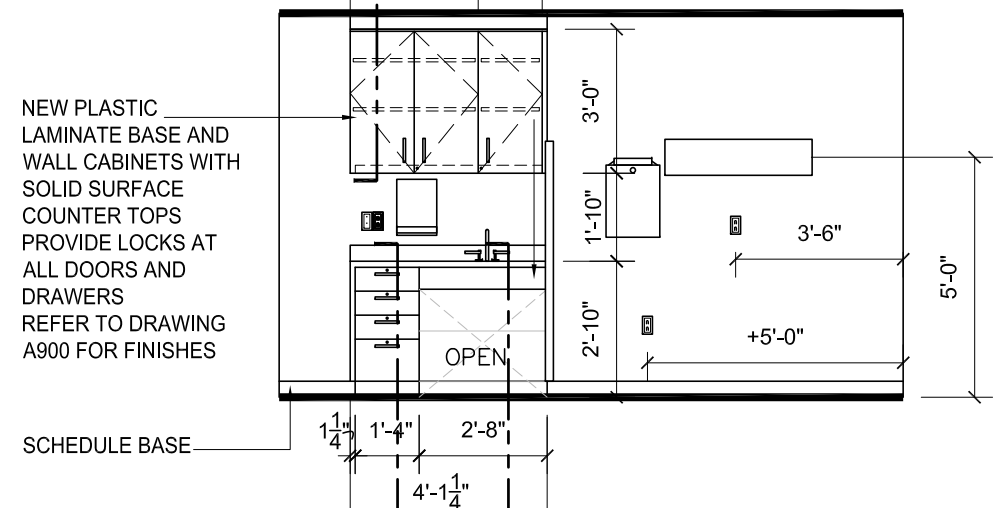
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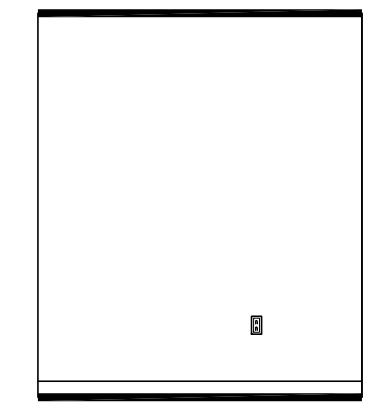
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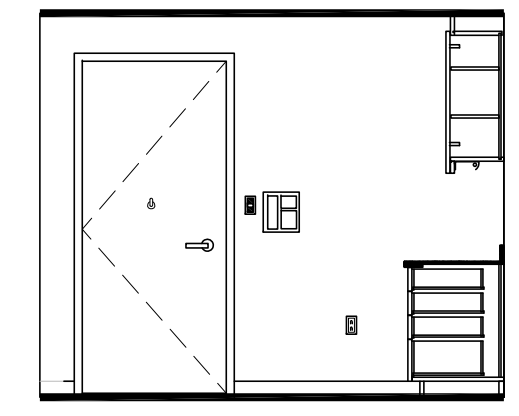
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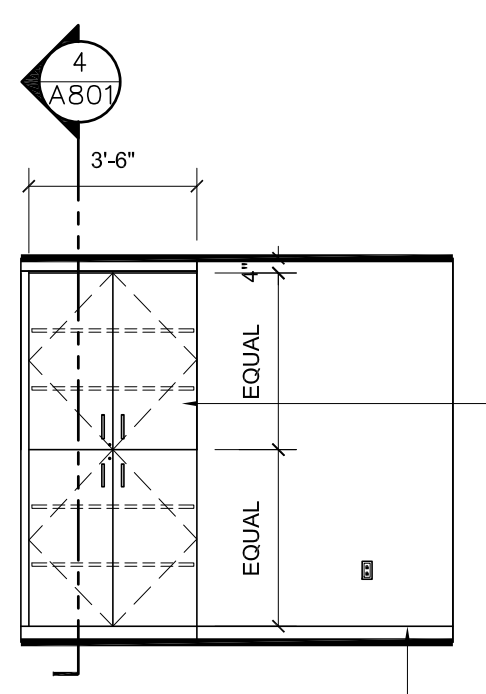
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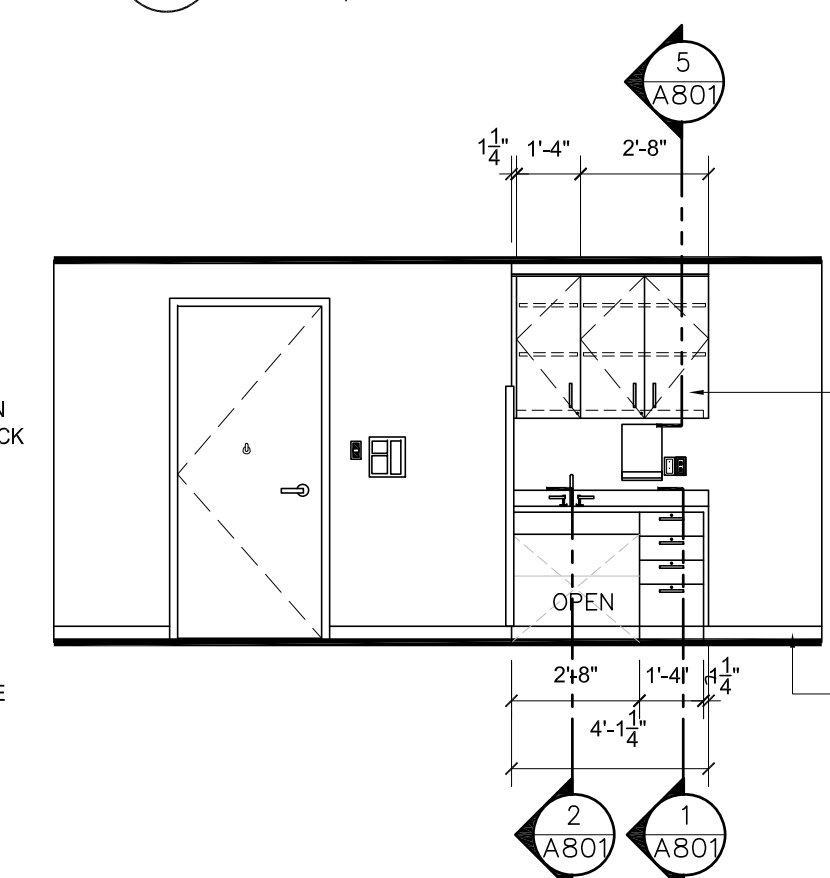
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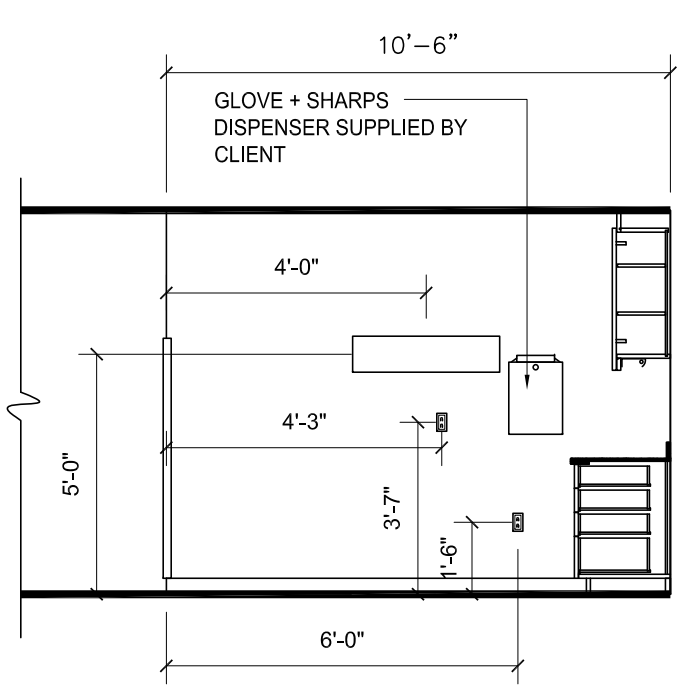
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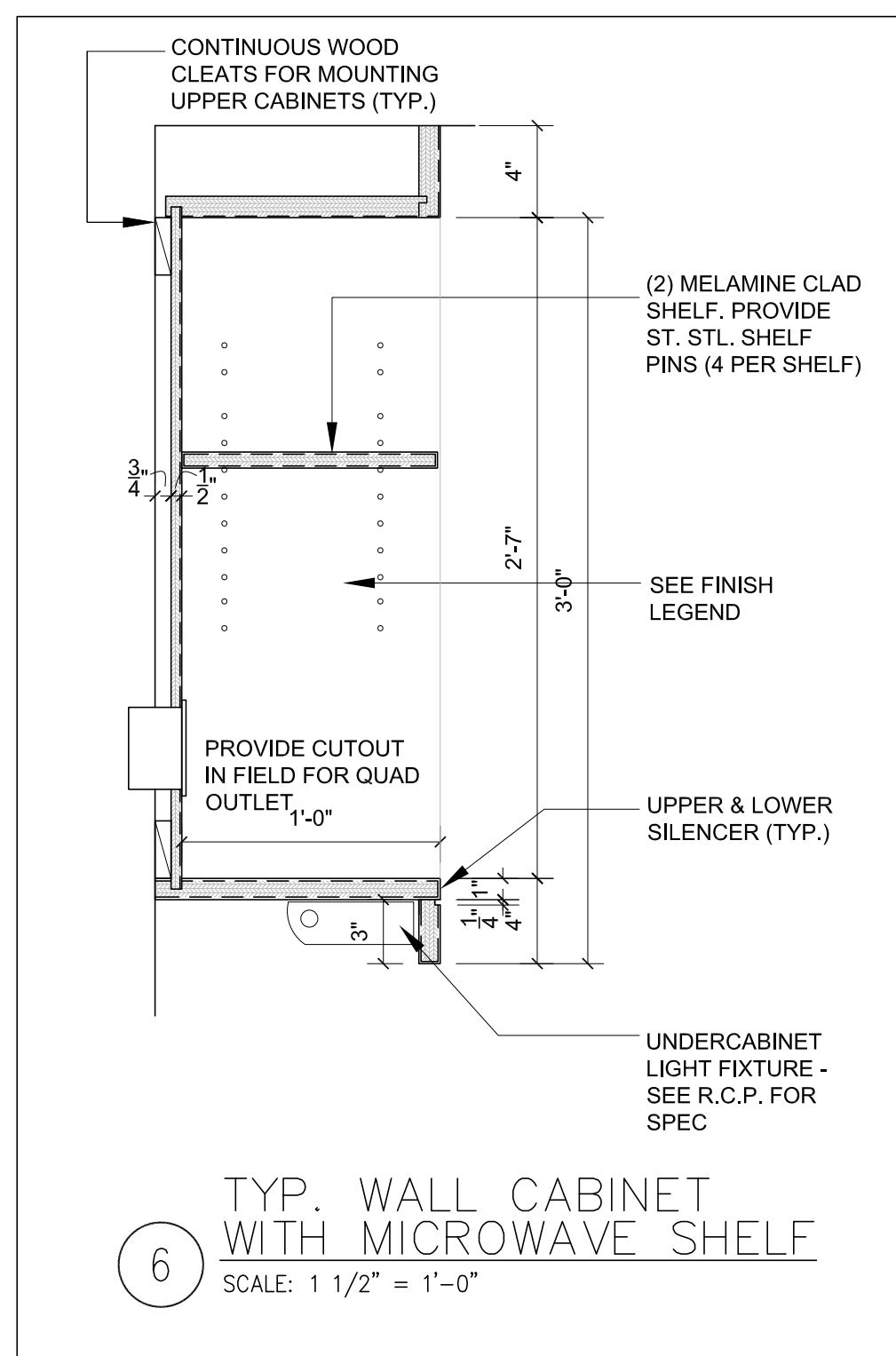
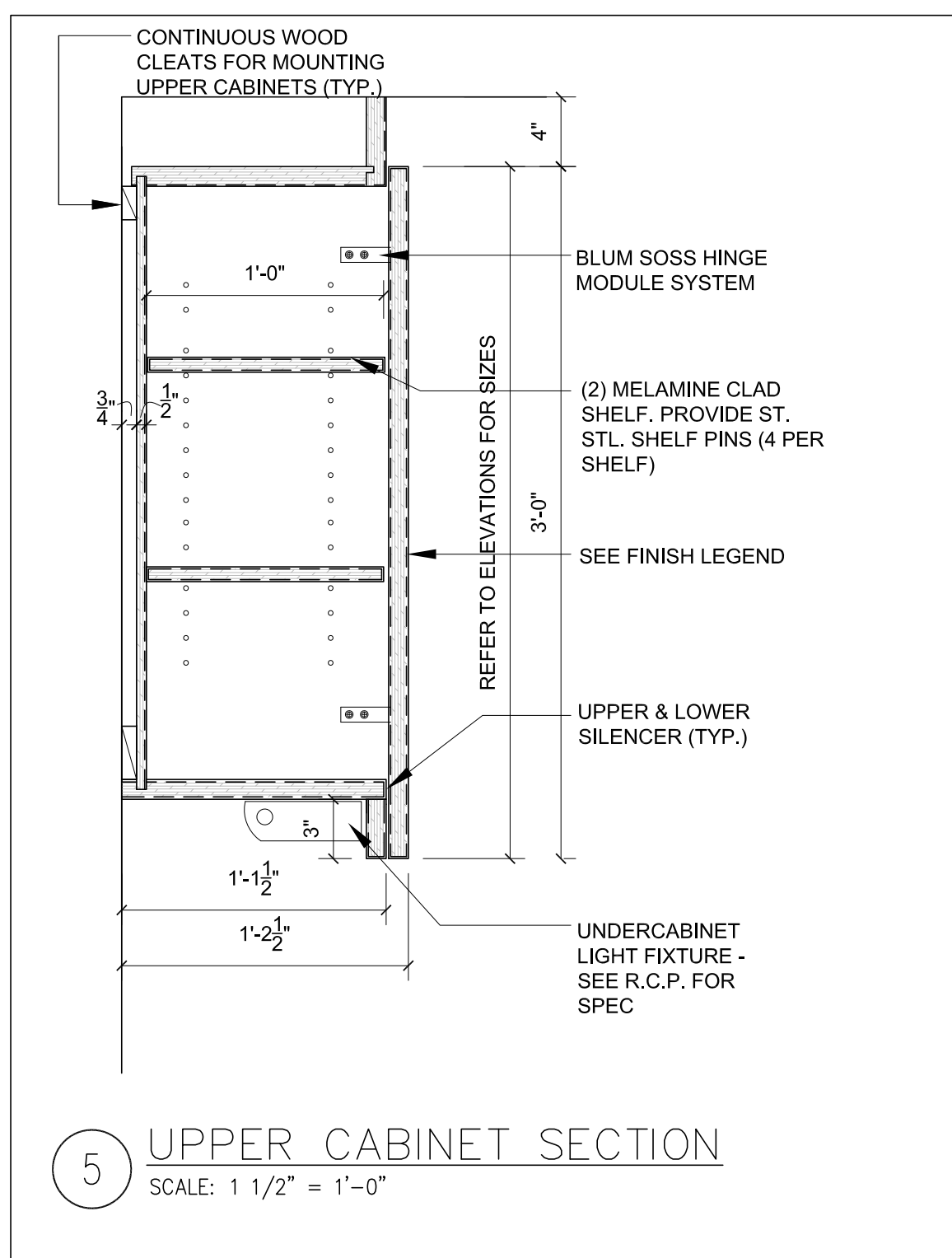
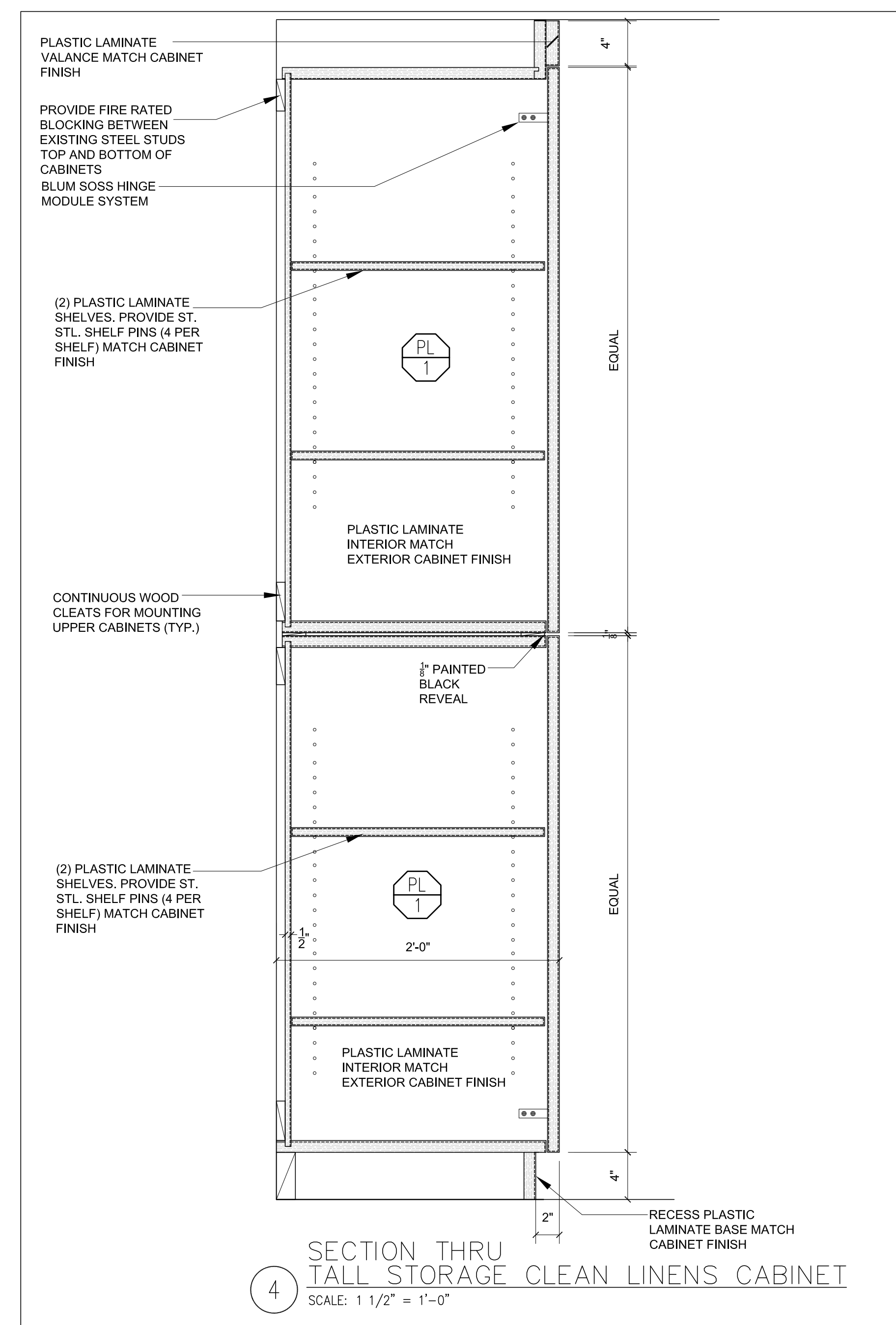
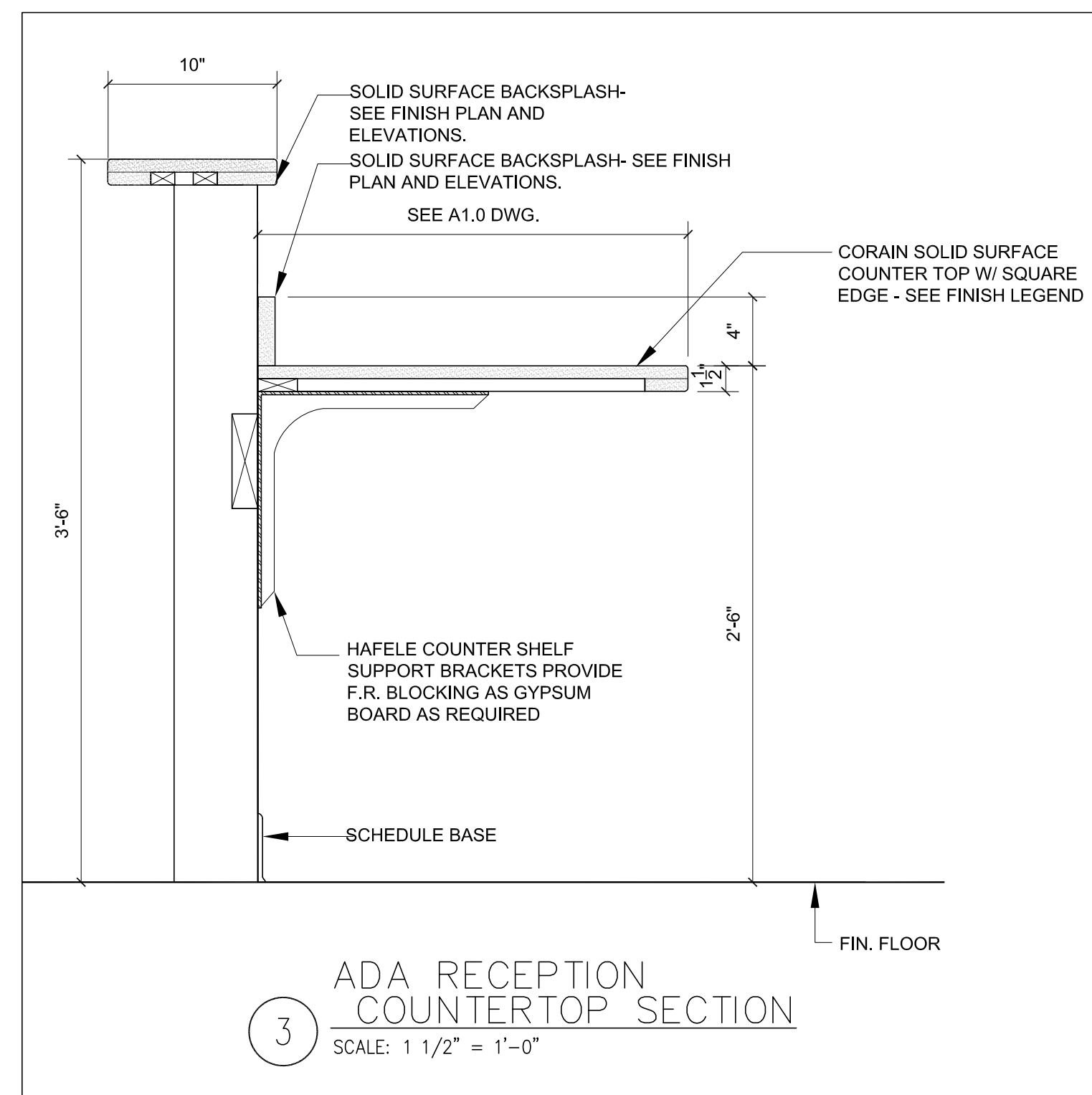
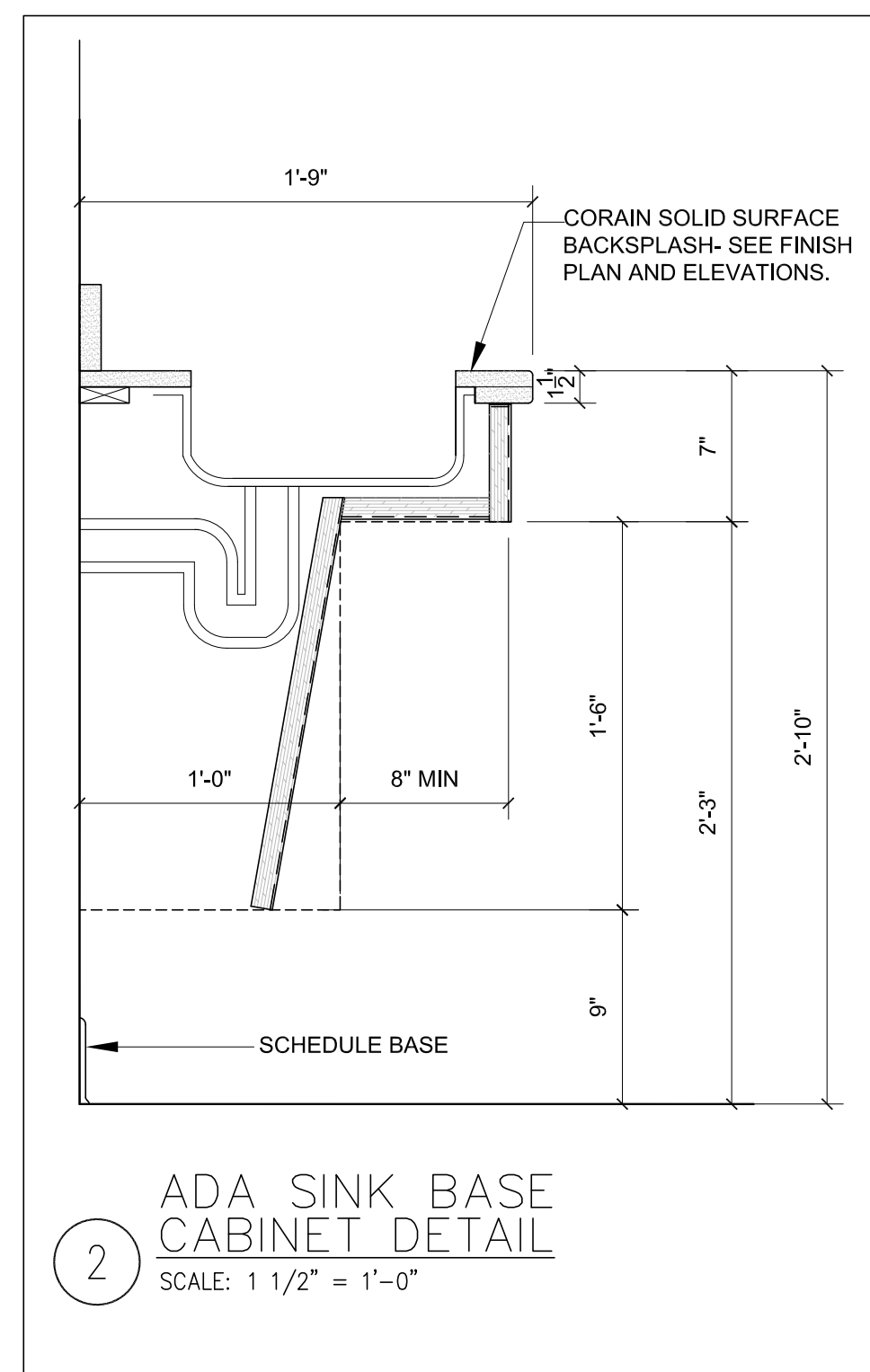
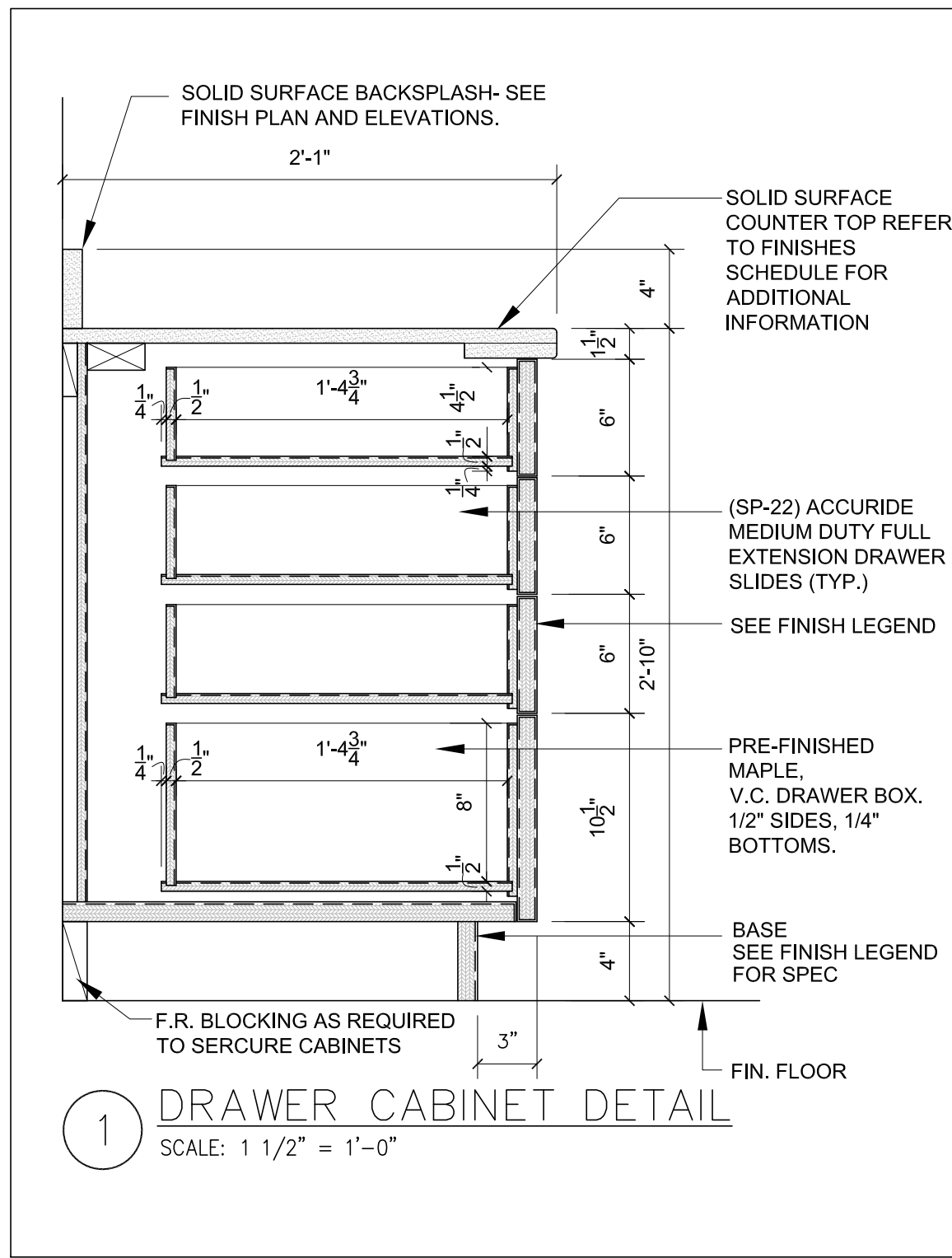
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19 ELEVATION @ EXAM ROOM #4
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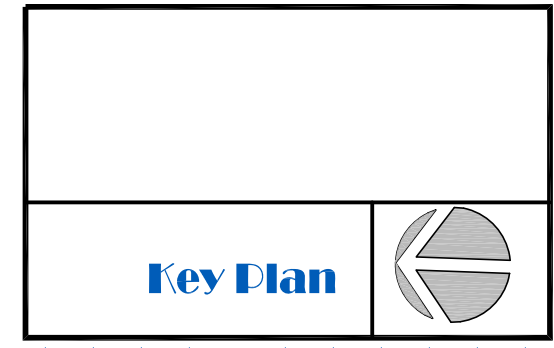


20 ELEVATION @ EXAM ROOM #4
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Issues / Revisions

NO.	DATE	ISSUE FOR PERMIT/REVISION
06.14.22		ISSUE FOR PERMIT/BIDS

Project

Stamford Pediatric Care
60 Strawberry Hill Ave
Stamford, Connecticut

Drawing

Millwork Details

Client

DERAS LLC
60 Strawberry Hill Ave
Stamford, Connecticut

Consultant

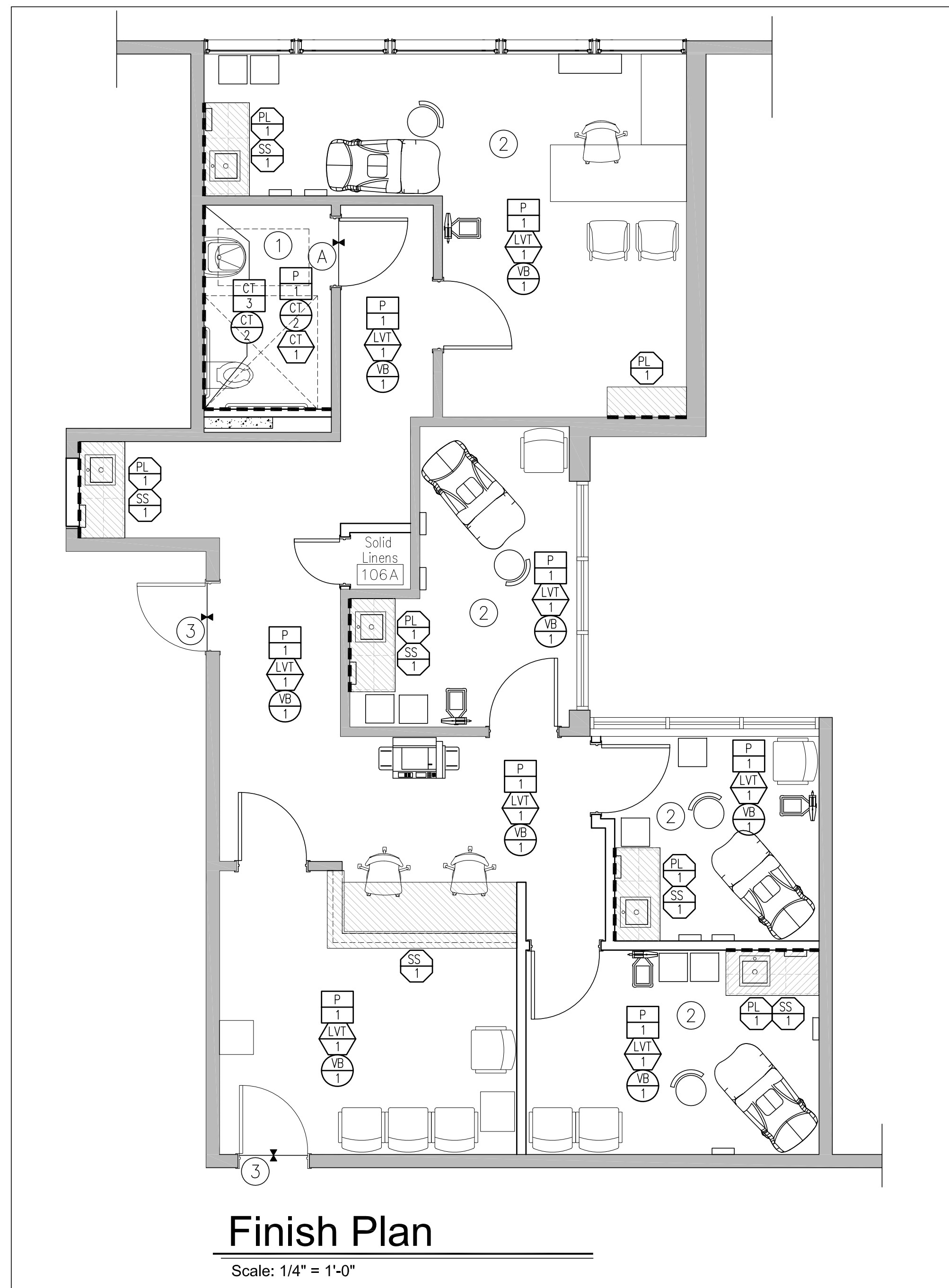


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DATE:
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DRAWING NUMBER
A801

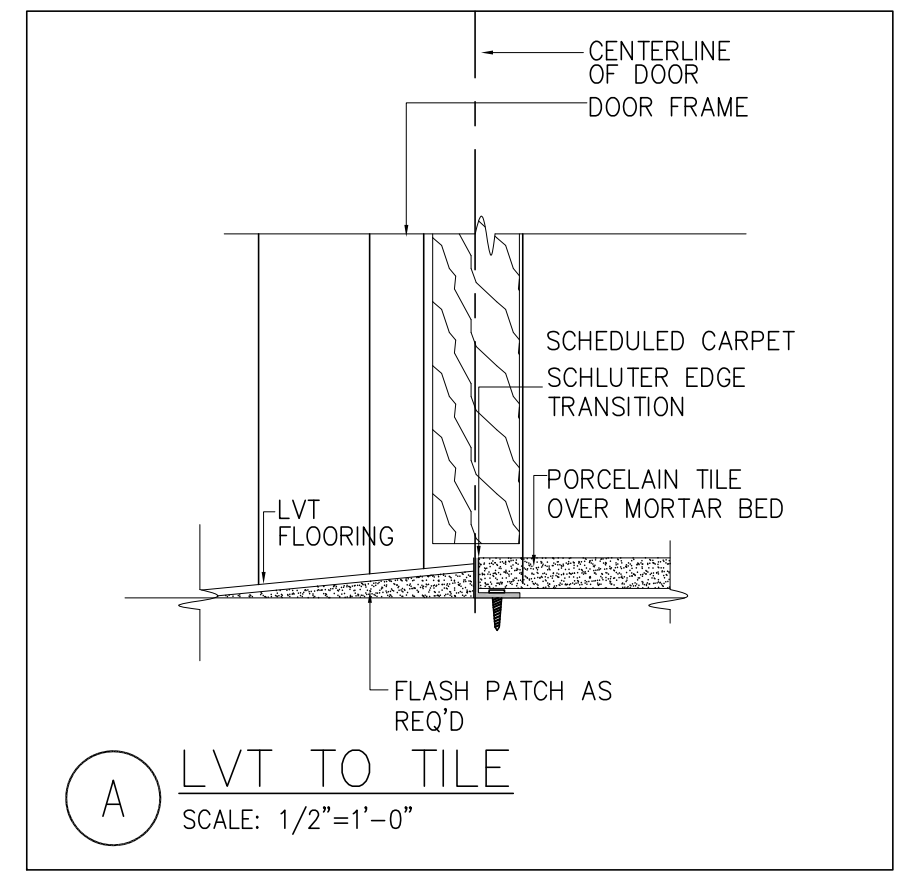


FINISH LEGEND

FINISH LEGEND	
	DENOTES AREA NOT IN CONTRACT
	FLOOR FINISH TYPE FLOOR FINISH TYPE NUMBER
	WALL FINISH TYPE WALL FINISH TYPE NUMBER
	WALL BASE TYPE WALL BASE TYPE NUMBER
	MILLWORK MATERIALS TYPE MILLWORK MATERIALS TYPE NUMBER
NOTES	
1.	SEE GENERAL NOTES AND CONDITIONS FOR FURTHER INFO AND SPECIFICATIONS
2.	PROVIDE PROPER TRANSITIONS WHERE TWO DISSIMILAR FLOOR MATERIALS ABUT - SEE DETAILS.
3.	PROVIDE SCHLUTER ANGLE AT BATHROOM DOOR TRANSITIONS
4.	ALL SHEETROCK CEILINGS TO BE PAINTED WHITE U.O.N.
KEY NOTES	
①	ALL BATHROOMS TO RECEIVE, EXCEPT NOTED FLOOR: CT-1 FLOOR TILE TILE BASE: CT-2 BASE WALL: P-1 BACKWALL: CT-3 THRESHOLD: DETAIL A
②	TYP: EXAM ROOM FLOOR: LVT-1 BASE: VB-1 WALL: P-1 COUNTERTOP: SS-1 CABINET: PL-1
③	PROVIDE RUBBER REDUCER STRIP VERIFY COLOR WITH CLIENT

FINISH SCHEDULE

WALLS	
	MFG: BENJAMIN MOORE STYLE: AFFINITY COLOR: T.B.D. DESCR: COLOR COLLECTIVES NOTE: GENERAL THROUGH-OUT CONTACT: -
	MFG: T.B.D. STYLE: T.B.D. COLOR: T.B.D. DESCR: BATHROOM BASE NOTE: PROVIDE \$10.00 PER S.F. ALLOWANCE INSTALLED
	MFG: T.B.D. STYLE: T.B.D. COLOR: T.B.D. DESCR: BATHROOM WALLS NOTE: PROVIDE \$10.00 PER S.F. ALLOWANCE INSTALLED
FLOORING	
	MFG: SHAW STYLE: T.B.D. COLOR: T.B.D. DESCR: FLOORING THRUOUT NOTE: L.V.T. PLANK FLR
	MFG: T.B.D. STYLE: T.B.D. COLOR: T.B.D. DESCR: BATHROOM FLOORS NOTE: PROVIDE \$10.00 PER S.F. ALLOWANCE INSTALLED
BASE	
	MFG: JOHNSONITE STYLE: WALL BASE COLOR: T.B.D. DESCR: TRADITION BASE 4" COVE NOTE: GENERAL BASE THRU-OUT
MILLWORK	
	MFG: DUPONT STYLE: CORIAN COLOR: CANVAS DESCR: SOLID SURFACE NOTE: SEE PLAN FOR LOCATIONS
	MFG: WILSONART STYLE: T.B.D. COLOR: T.B.D. DESCR: PLASTIC LAMINATE SUPER MATTE



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Key Plan

Issues / Revisions

NO.	DATE	ISSUE FOR PERMIT/REVISION
	06.14.22	ISSUE FOR PERMIT/BIDS

Project

Stamford Pediatric Care
60 Strawberry Hill Ave
Stamford, Connecticut

Drawing

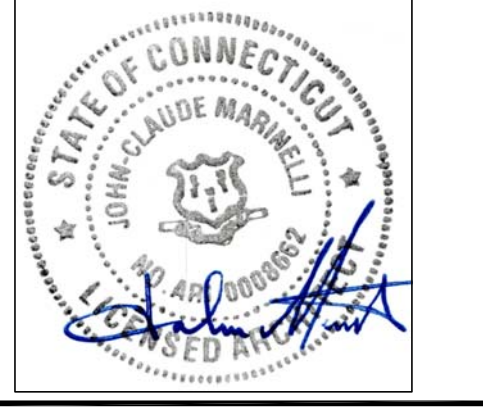
Finish Plan + Floor
Transition Details


Client

DERAS LLC
60 Strawberry Hill Ave
Stamford, Connecticut

Consultant

Professional Seal

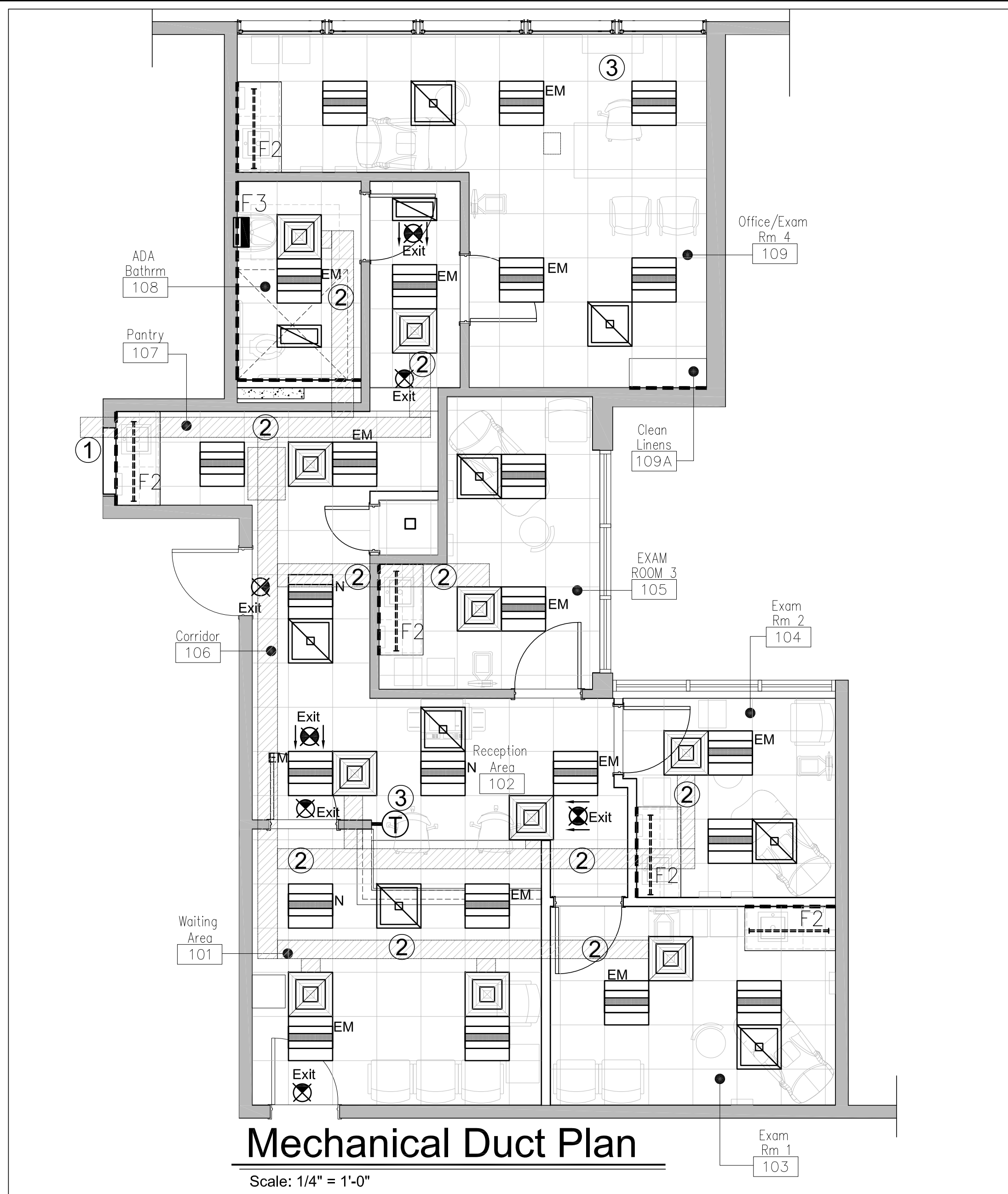




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DRAWN BY: JCM DATE: SCALE: AS NOTED	DRAWING NUMBER A901
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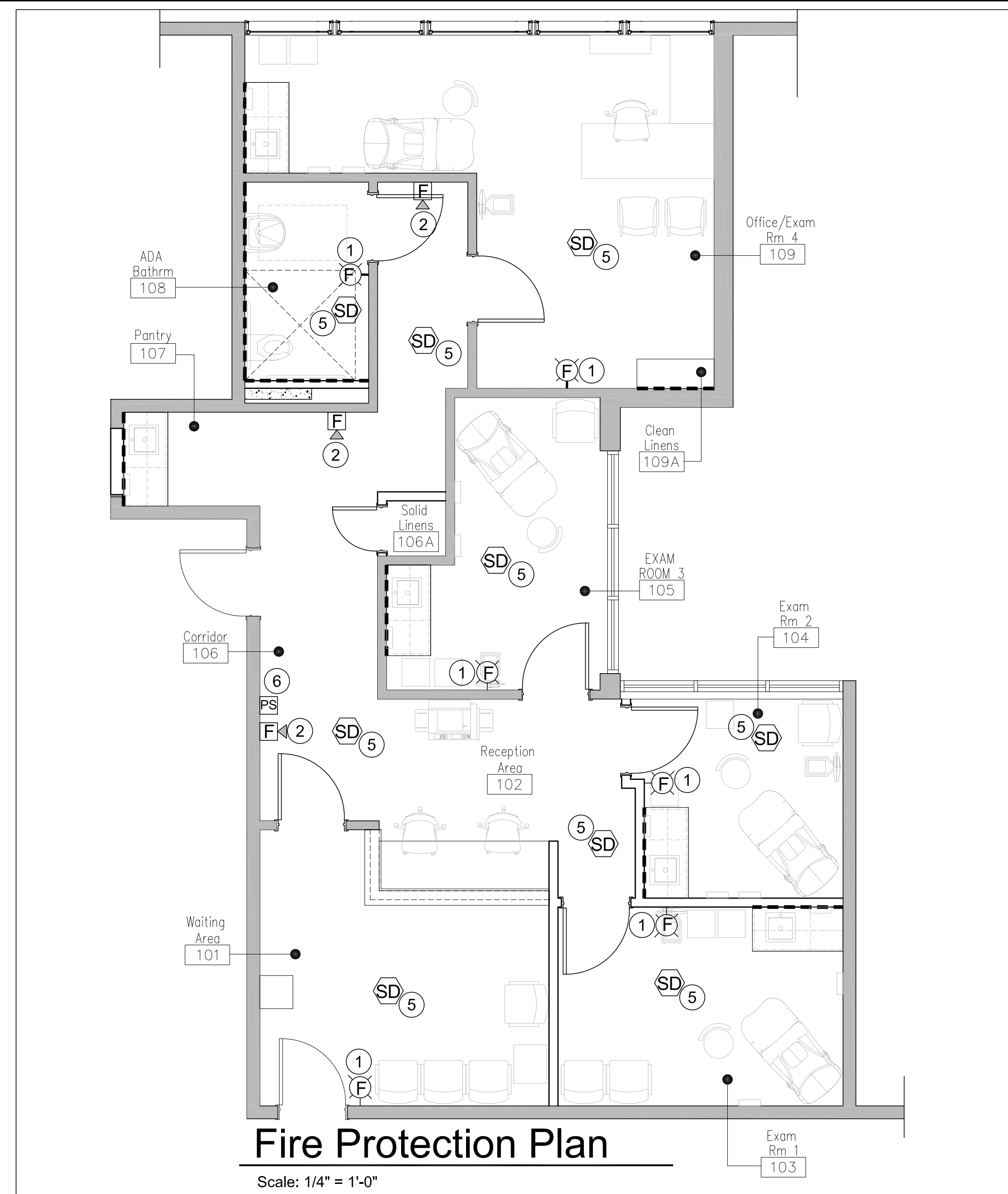


Mechanical Duct Plan

Scale: 1/4" = 1'-0"

KEY NOTES

- ① FIRE ALARM STROBE LIGHT UNIT TO BE WIRED BACK TO BUILDING FIRE ALARM PANEL CONTRACTOR TO COORDINATE WITH BUILDING MAINTENANCE
- ② COMBINATION FIRE ALARM SPEAKER-HORN AND STROBE LIGHT UNIT TO BE WIRED BACK TO BUILDING FIRE ALARM PANEL CONTRACTOR TO COORDINATE WITH BUILDING MAINTENANCE
- ③ VERIFY WITH CLIENT LOCATION OF NEW THERMOSTAT
- ④ NEW P-TAC UNIT IN ROOM 109. AMANA 12,000 BTU / 277 SINGLE PHASE HEATING AND COOLING UNIT TO BE INSTALLED AT EXISTING SLEEVE. FIELD VERIFY EXISTING CONDITIONS PRIOR TO PURCHASE. PROVIDE OUTSIDE AIR INTAKE ACCESSORY
- ⑤ PROVIDE SMOKE DETECTORS WIRED BACK TO EXISTING BUILDING FIRE ALARM SYSTEM CONTRACTOR TO COORDINATE WITH BUILDING MAINTENANCE



Fire Protection Plan

Scale: 1/4" = 1'-0"

FIRE PROTECTION LEGEND

- DENOTES AREA NOT IN CONTRACT
- FIRE ALARM STROBE LIGHT UNIT, FLUSH WALL MOUNTED WITH ADJUSTABLE CANDELA RATING TO BE TIED INTO EXISTING BUILDING FIRE ALARM PANEL
- COMBINATION FIRE ALARM SPEAKER/STROBE LIGHT UNIT WALL MOUNTED WITH ADJUSTABLE CANDELA RATING TO BE TIED INTO EXISTING BUILDING FIRE ALARM PANEL
- SMOKE MOUNTED ADDRESSABLE SMOKE DETECTOR TO BE TIED INTO EXISTING BUILDING FIRE ALARM PANEL

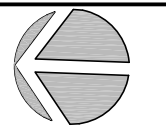
KEY NOTES

- ① FIRE ALARM STROBE LIGHT UNIT TO BE WIRED BACK TO BUILDING FIRE ALARM PANEL CONTRACTOR TO COORDINATE WITH BUILDING MAINTENANCE
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- ⑤ PROVIDE SMOKE DETECTORS WIRED BACK TO EXISTING BUILDING FIRE ALARM SYSTEM CONTRACTOR TO COORDINATE WITH BUILDING MAINTENANCE
- ⑥ EXISTING FIRE ALARM PULL STATION

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Key Plan



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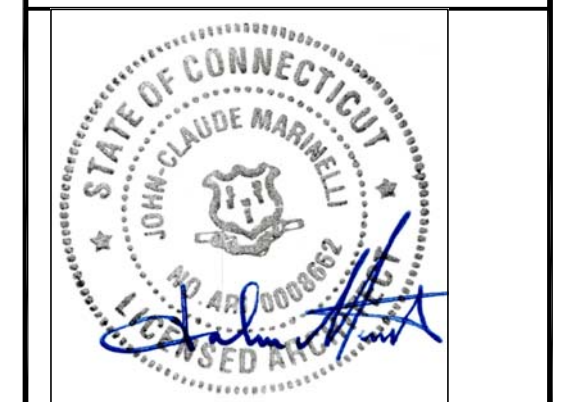
Mechanical Duct
Layout Plan + Fire
Protection Plan

Client

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DRAWN BY: JCM	DRAWING NUMBER FP101
DATE:	
SCALE: AS NOTED	

Google Maps Royal Pavillion Association Inc



Zoning Data Chart Template

Project Name – DERAS LLC

Application number -

Address – 60 Strawberry Hill Avenue, Unit L1

Zoning District(s) - If multiple Zoning Districts, provide requirement and compliance for each portion of site under the different district: CC

Zoning Section		Required/ Permitted	Existing Conditions	Proposed	Notes (Indicate compliance or Zoning Section for Special Permit if applicable)
	Lot Size	43,560 sq.ft.	Approx. 47,916 sq.ft.	Approx. 47,916 sq.ft.	Complies
	Gross Floor Area				
	Zoning Floor Area				
	Residential		1,063 sq.ft.	1,063 sq.ft.	Complies
	Commercial				
	Community Facility				
	Industrial				
	Total				
	F.A.R.				
	Residential				
	Commercial				
	Community Facility				
	Industrial				
	Total				
	Number of units				
	Below Market Rate Units (# and %)				
	Number of seats/ beds / employees if applicable				
	Density(Units/Acre)				
	Street Frontage				
	Building Coverage (Area and %)				
	Lot coverage (Area and %)				
	Building Height (Feet)				
	Number of floors				
	Active ground floor (sq.ft. and %) if applicable		1,063 sq.ft.	1,063 sq.ft.	Complies as ground floor is 1/13 of the Building so ground floor uses cannot exceed 10% of the gross Floor Area.
	Yards				
	Front yard (Streetline)				
	Front yard (St centerline)				
	Rear yard				
	Side yard				
	Parking				
	Residential parking				
	Commercial parking	4	4	4	Complies

	Community Facility parking				
	Industrial parking				
	Public open space parking				
	Bike parking				
	# of levels of parking garage (if applicable)				
	Square footage of parking area				
	Parking setback				
	Open space (Area and %)				
	Active (If separate)				
	Passive (If separate)				
	Street Trees				
	Existing				
	Proposed				
	Total				
	Signage				
	Wall signs (# and size)				
	Ground Signs (# and size)				
	Blade signs (# and size)				
	Fence height				

updated 4/30/2020