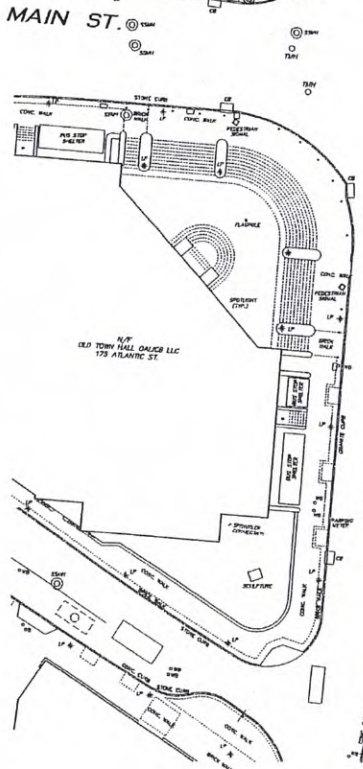
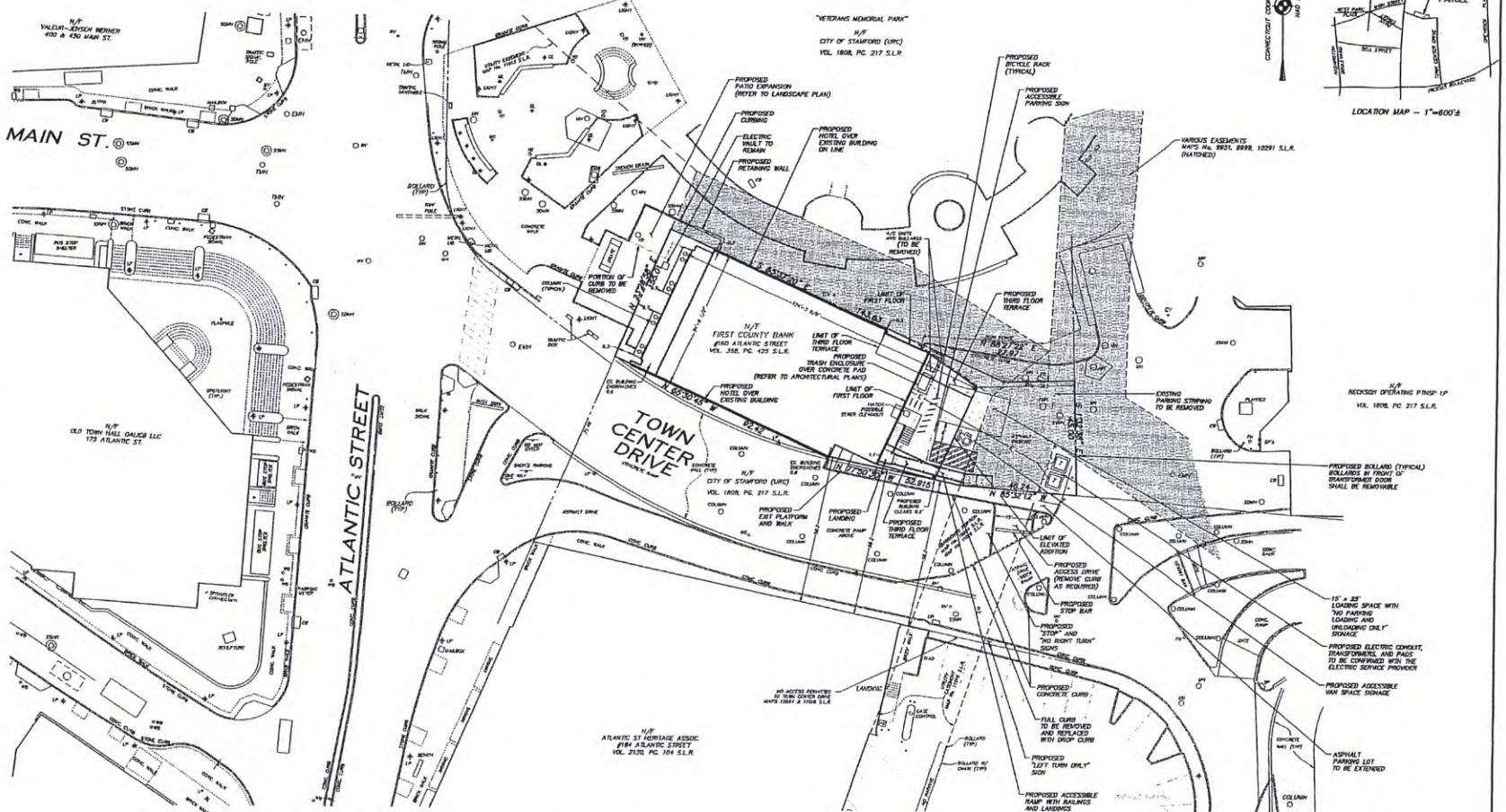
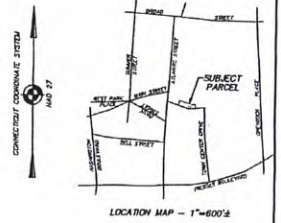


GENERAL SURVEYING NOTES

1. REFER TO A SURVEY ENTITLED "HOTEL DEVELOPMENT PREPARED FOR OLD TOWN SQUARE, LLC. LOCATION 160 ATLANTIC STREET, STAMFORD, CONNECTICUT. EXISTING CONDITIONS" PREPARED BY D'ANDREA SURVEYING & ENGINEERING, P.C. FOR EXISTING CONDITIONS.
2. PROPOSED BUILDING IMPROVEMENTS ARE BASED ON ARCHITECTURAL PLANS PREPARED BY DO H. CHANG & PARTNERS.
3. REFER TO "LANDSCAPE PLAN" PREPARED BY ENVIRONMENTAL LAND SOLUTIONS, LLC.
4. CERTAIN IMPROVEMENTS ARE PROPOSED OUTSIDE OF THE PROPERTY BOUNDARY LINES THAT REQUIRE USE AGREEMENTS WITH THE RESPECTIVE PROPERTY OWNERS.



SITE COVERAGE
 LOT AREA = 8,246 S.F.
 PROPOSED BUILDING = 6,830 S.F.
 DRIVEWAY/PARKING = 2,006 S.F.
 PROPOSED EXT. PLATFORM AND WALK = 17 S.F.
 PROPOSED STAIRS & RAMP = 88 S.F.
 PROPOSED EXPANDED PATIO = 278 S.F.
 TOTAL = 9,151 S.F.
 PERCENT COVERAGE = 88.0%

BUILDING COVERAGE
 LOT AREA = 8,246 S.F.
 PROPOSED BUILDING = 6,830 S.F.
 PERCENT COVERAGE = 71.8%

THIS MAP IS A ZONING LOCATION SURVEY BOUNDARY INFORMATION. IT IS BASED ON A RESURVEY CONDUCTED BY ACCORDANCE WITH SURVEYING JUDICAMENT CLASS "A" AS DEFINED BY THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THROUGH 20-300B-20. NEW INFORMATION HAS NOT BEEN SET AS A RESULT OF THIS SURVEY.

ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE SURVEYOR'S EMBOSSED SEAL, SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

AREA = 8,246 S.F.

REFER TO BOOK 12151 PAGE 81 AND MAP NO. 10247 S.L.R.

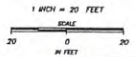
LAND LIES IN "CC" ZONING DISTRICT

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

D'ANDREA SURVEYING & ENGINEERING, P.C.

Anthony L. D'Andrea
 SURVEYOR

ANTHONY L. D'ANDREA, CT. PE & LS No. 8823
 RIVERSIDE, CONNECTICUT



ZONING LOCATION SURVEY
 OF PROPERTY AT
 160 ATLANTIC STREET
 IN
 STAMFORD, CONNECTICUT
 PREPARED FOR
 OLD TOWN SQUARE, LLC

" THE OLD TOWNE HOTEL "

LOCATION

160 ATLANTIC STREET
STAMFORD, CONNECTICUT

PREPARED FOR

OLD TOWN SQUARE, LLC

BLOCK No. 63



LOCATION MAP - 1"=400'±

SHEET INDEX

SHEET	TITLE	REVISION	DATE
1 OF 5	EXISTING CONDITIONS "TOPOGRAPHIC SURVEY"	0	4-14-22
2 OF 5	DEVELOPMENT PLAN	2	4-14-22
3 OF 5	SEDIMENTATION & EROSION CONTROL PLAN	2	4-14-22
4 OF 5	NOTES & DETAILS	2	4-14-22
5 OF 5	CONSTRUCTION LOGISTICS PLAN	2	4-14-22

PLAN SET PREPARED BY:

L. D'ANDREA
D'ANDREA SURVEYING & ENGINEERING, P.C.
LEONARD C. D'ANDREA, CT PE No. 14889

4-14-22
DATE

ONLY COPIES OF THIS SET BEARING AN ORIGINAL
IMPRINT OF THE ENGINEER'S EMBOSSED SEAL
SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

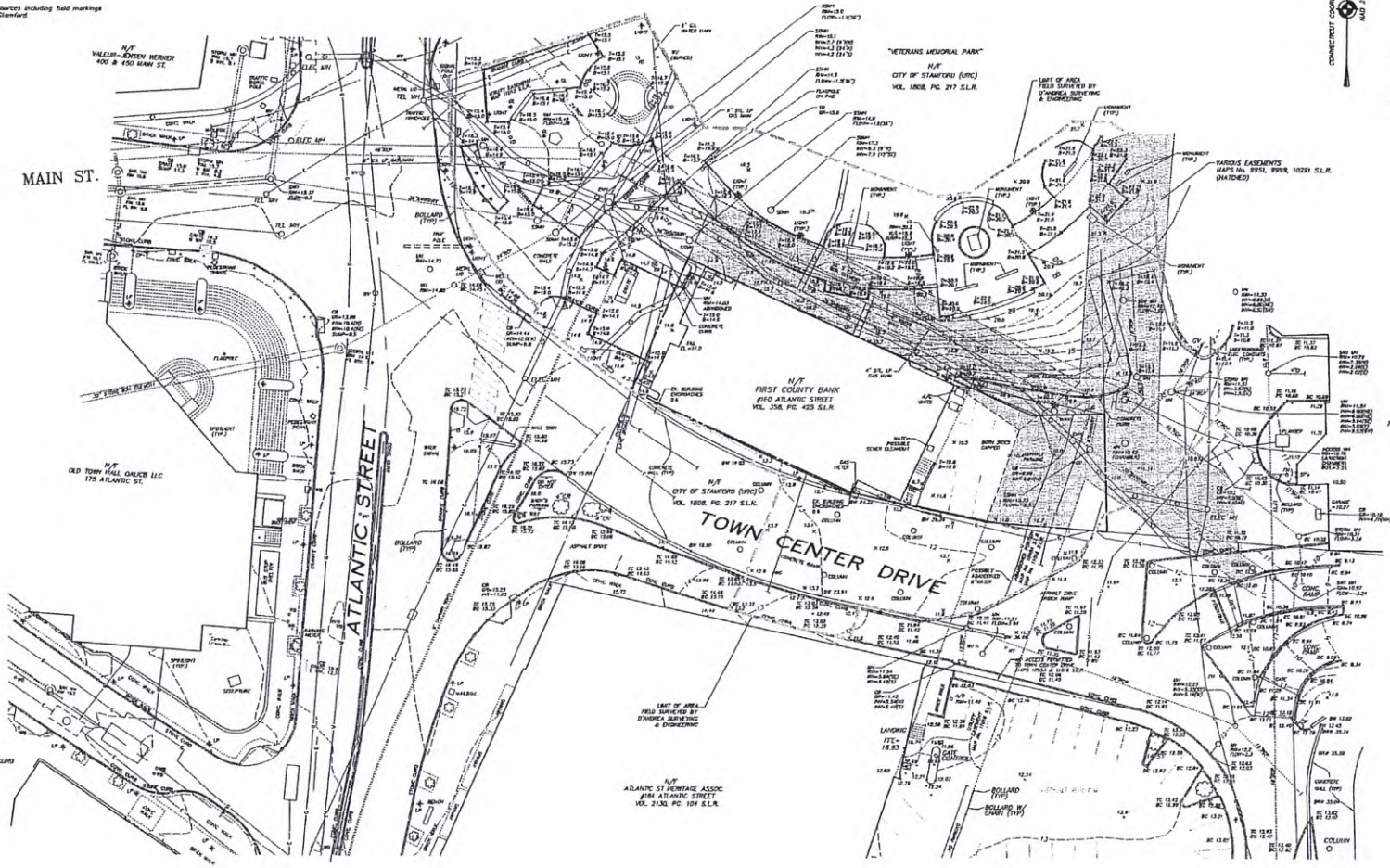
D'ANDREA SURVEYING & ENGINEERING, P.C.
LAND PLANNERS
ENGINEERS
P.O. BOX 549
MIDDLETOWN, CT 06456
TEL. 833-1779

PROJECT	THE OLD TOWNE HOTEL
PREPARED FOR	OLD TOWN SQUARE, LLC
LOCATION	160 ATLANTIC STREET STAMFORD, CONNECTICUT

REV.	DATE	DESCRIPTION
2	4-14-22	EXPIRED REVIEW COMMENTS
1	10-18-21	ST-STAMFORD Z.O.
0	6-16-21	INITIAL SUBMISSION

GENERAL SURVEYING NOTES

1. Existing conditions within the noted project limits were taken from a topographic survey prepared by D'Andrea Surveying & Engineering, Outside of the project area, the existing conditions were taken from a survey prepared by Edward J. Trufant, Inc. along Atlantic Street and portions of Town Center Drive and Main Street. Limited portions of Veterans Park were taken from a survey map prepared by Reuben and Wood prior to the Veterans Park Improvement.
2. Contours and Elevations referenced to the North American Vertical Datum of 1988 (NAVD 88).
3. Existing utilities were obtained using multiple sources including field markings by others, and maps on file with the City of Stamford.



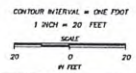
BUILDING COVERAGE
 LOT AREA = 8,246 S.F.
 BUILDING = 6,559 S.F.
 PERCENT COVERAGE = 80.1%

LINE LEGEND
 DE = CURB
 ST = DRIVE
 SY = STAIRCASE

LEGEND:

- - - 3.0' EXISTING CONTOUR
- + 3.0' EXISTING SPOT ELEVATION
- ===== 18" WATER MAIN
- ===== 12" WATER MAIN
- DECAIDUOUS TREE
- MANHOLE
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- CB CATCH BASIN
- AD AREA DRAIN
- YD YARD DRAIN
- TD TRENCH DRAIN
- PVC POLYVINYL CHLORIDE
- CYP CORRUGATED PLASTIC PIPE
- RCY REINFORCED CONCRETE PIPE
- TH TOP OF WALL
- H FIRE HYDRANT
- U UTILITY POLE
- SOH SIGN
- LH LIGHT POST
- WG WATER GATE
- WV WATER VALVE
- GV GAS VALVE
- EC ELECTRIC CONDUIT BANK
- UW UNDERGROUND UTILITY SERVICE
- WATER, GAS, ELECTRIC

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION, INCLUDING PHYSICAL EXPOSURE, AND UTILITY COMPANY RECORDS. DERIVED UTILITIES ARE APPROXIMATE, AND ARE INCOMPLETE. SURVEY DECLARATION OF ACCURACY DOES NOT EXTEND TO THE PLOTTING OF UNDERGROUND UTILITIES. UNDERGROUND UTILITY LOCATIONS SHALL BE FIELD VERIFIED AND MARKED PRIOR TO CONDUCTING ANY DITCHING OR ACTIVITIES. CALL BEFORE YOU DIG. 1-800-822-4433.



THIS MAP IS A TOPOGRAPHIC SURVEY. TOPOGRAPHIC DATA IS BY ACCURACY WITH CLASS "2" AND "3" TOPOGRAPHIC ACCURACY BOUNDARY INFORMATION IS BASED ON A RECOVERY CONDUCTED IN ACCORDANCE WITH HORIZONTAL ACCURACY CLASS "2" AS DEFINED IN THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300a-1 THROUGH 20-300b-20.

NEW MONUMENTATION HAS NOT BEEN SET AS A RESULT OF THIS SURVEY.

ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE SURVEYOR'S EXPRESSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

AREA = 8,246 S.F.
 REFER TO BOOK 12151 PAGE 81 AND MAP No. 10247 S.L.R.

LAND LIES IN "CC" ZONING DISTRICT
 TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

REV.	DATE	DESCRIPTION
0	4-14-22	TOPOGRAPHIC SURVEY
1	4-14-22	ANNOY L. D'ANDREA CT. PE & LS No. 9833
2	4-14-22	ENGINEER/SURVEYOR

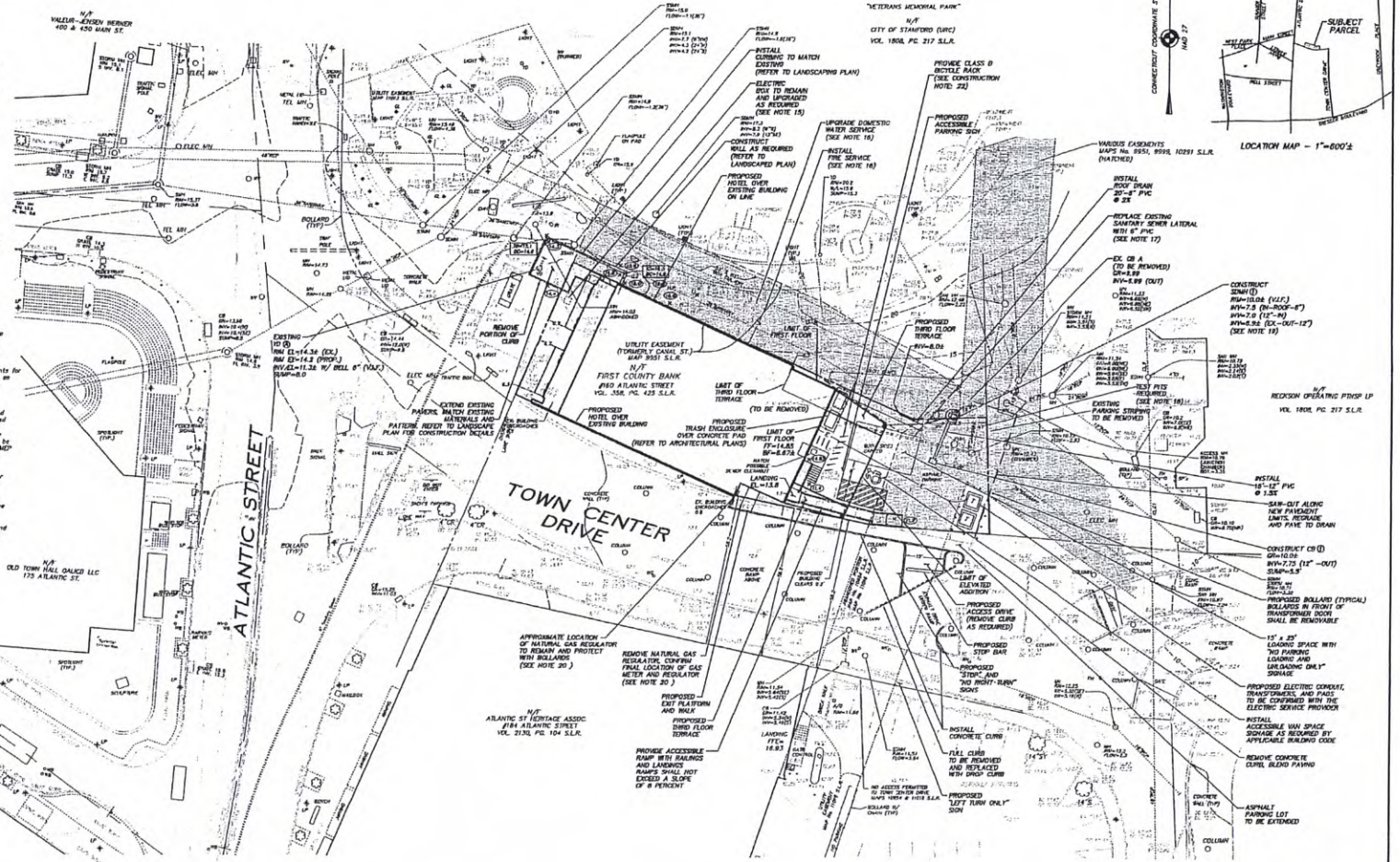
ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EXPRESSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

D'ANDREA SURVEYING & ENGINEERING, PC
 LAND PLANNERS
 ENGINEERS
 SURVEYORS
 8 HICK LANE
 STAMFORD, CT 06907
 P.O. BOX 849
 TEL. 637-1778

PROJECT	HOTEL DEVELOPMENT
PREPARED FOR	OLD TOWN SQUARE, LLC
LOCATION	160 ATLANTIC STREET STAMFORD, CONNECTICUT
SHEET	1 of 5 EXISTING CONDITIONS

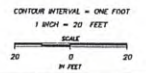
CONSTRUCTION NOTES:

- The contractor shall be solely responsible to coordinate his work with the work being done by others. The contractor shall assume the responsibility for delays or other factors related to the work by others. No claims shall be allowed due to the contractor's failure to adequately coordinate such work.
- Appropriate measures shall be taken to control any sedimentation and erosion which may result during construction.
- A building permit shall be obtained prior to commencing construction.
- Existing utilities in conflict through or above this parcel shall be relocated as directed by the appropriate utility company or the owner. The contractor shall assume full site to verify the location and depth of utilities where conflicts may exist.
- Placement of material shall be in accordance with the City of Stamford standards and/or Connecticut State Highway specifications.
- Regrading, filling, and other such alterations to the site shall be restricted to the minimum level necessary to complete the project as shown on the plan.
- The contractor shall provide all equipment, tools, labor and materials necessary to maintain safety of all workers, including adequate safety barriers, traffic control, and other safety devices, etc., from the start through the end of the project.
- Proposed supports shall be in accordance with the City of Stamford standards and/or Connecticut State Highway specifications.
- Driveway pavement shall be 2 courses bituminous concrete placed in accordance with the City of Stamford standards and/or Connecticut State Highway specifications.
- The contractor shall be responsible to field-test all utilities within the project area and take every measure necessary to protect such services through the construction phase.
- The project engineer shall be notified a minimum of three working days prior to the commencement of each phase of construction.
- Appropriate measures shall be taken to control any sedimentation and erosion which may result during construction.
- There shall be no dumping of construction debris and/or excess excavated material on-site or in proximity to any street or other public area. All excavated material shall be stockpiled and contained on-site within all fencing. The contractor shall be responsible for the removal of all excess material removed during construction. All excess material shall be removed in a careful and environmentally sound manner and shall be disposed of legally off-site.
- Shoulders and disturbed areas shall receive four inches of topsoil. The graded and mulched areas shall be protected to prevent erosion.
- Contractor shall confirm power requirements through the MCP for the project and coordinate electric service requirements with Connecticut and communication services with the appropriate communication service company. Any such proposed services depicted herein are conceptual in design, and not to be construed as final design.
- Fire service vehicles and any upgrades to the existing domestic service vehicles shall be coordinated with Aquapon Fire Company and the MCP for the project. The project MEP shall be responsible for providing final design and upgrade services.
- The final plan diameter and material selection for the proposed sanitary sewer lateral replacement shall be determined by the MCP for the project and approved by the Major Pollution Control Authority (MPCA). Any replacement utilities, if proposed, will have to conform to all local requirements for FDI control. The contractor shall be responsible for securing all construction and upgrade permits as may be required by the MPCA. The contractor shall coordinate with the project lot surveyor to locate the sanitary sewer lateral before backfilling.
- All existing proposed buried utilities were completed from surface access and it is understood to be approximate and may not depict all buried utilities. The contractor, in addition to calling in buried utility marking through Call Before You Dig, shall retain an outside marking contractor to verify and confirm that all buried utilities underlying the building have been properly identified. Subsequent to this task, the contractor shall provide test pits where needed and/or where required to confirm the size and depth of marked utilities. Coordinate between the proposed design and any utilities that be brought in the immediate vicinity of the same, project engineer, project architect and project MEP before proceeding with installation so that an indication, and if necessary a redesign of the site improvements, can be provided.
- The final location of the roof leader outlet from the building shall be coordinated with the MCP for the project and adjusted as necessary after consulting with the site and owner for the project.
- The present location of the gas regulator overtopping over the property line and shall be removed and reinstalled at the new location shown on the plan. The location shown on the plan shall be coordinated with the project MEP and the owner before commencing with the installation.
- Refer to Architectural plans for design and construction material details of the accessible ramp and handrails. The ramp shall be constructed in accordance with 102 of the 2018 Connecticut State Building Code as referenced in the 2015 International Building Code.
- For the addition of the bicycle rack, and for the location of an additional Class A and B bicycle racks, refer to Architectural building plans.



LEGEND

---	EXISTING CONTOUR	AW	WASHPOLE
---	EXISTING SPOT ELEVATION	CB	CATCH BASIN
---	EXISTING TOP/BOTTOM SPOT ELEVATION	DL	DRAIN ALLEY
---	PROPOSED CONTOUR	SM	STORM DRAIN MANHOLE
---	PROPOSED SPOT ELEVATION	SMW	SANITARY SEWER MANHOLE
---	DECIDUOUS TREE	PVC	POLYVINYL CHLORIDE
---	TREE TO BE REMOVED	RCP	REINFORCED CONCRETE PIPE
---	UTILITY POLE	VIP	VERTICAL PIPE
---	WATER GATE	U-S	UNDEGROUND UTILITY SERVICE C-ABLE, E-ELECTRIC, G-GAS, T-TELEPHONE, W-WATER
---		AGRE	AS ORDERED BY ENGINEER
---		V.I.F.	VERIFY IN FIELD
---		IC	LIMIT OF INLANDS AS PLACED



D'ANDREA SURVEYING & ENGINEERING, PC
LAND PLANNERS
ENGINEERS
SURVEYORS & ELEC. ENG.
P.O. BOX 549
RIHARDT, CT 06878
TEL. 637-1778

PROJECT	FOR	THE OLD TOWN HOTEL
PREPARED FOR	OLD TOWN SQUARE, LLC	
LOCATION	160 ATLANTIC STREET STAMFORD, CONNECTICUT	
2 OF 5	DEVELOPMENT PLAN	

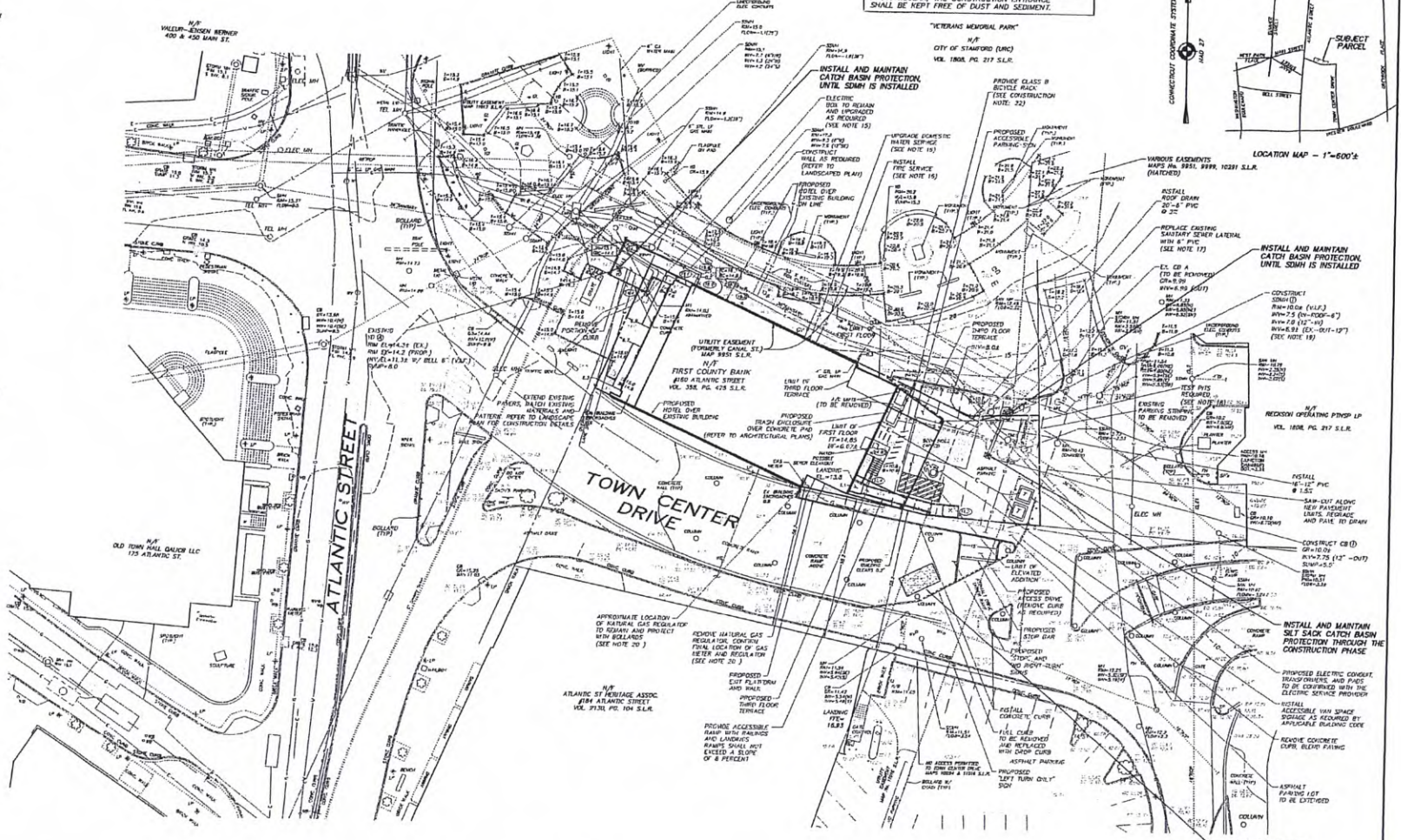
REV. DATE DESCRIPTION
2 4-14-23 DICKER BARESH COMMENTS
1 10-18-21 RE-SUBMISSION 2A
0 6-18-21 INITIAL SUBMISSION
REV. DATE DESCRIPTION
LEONARD C. D'ANDREA, CT PE No. 14889
4-14-22

ONLY COPIES OF THIS MAP BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EXpressed SEAL SHALL BE CONSIDERED TO BE TRUE AND VALID COPIES.

SEDIMENTATION AND EROSION CONTROL NOTES:

1. Temporary soil and erosion control measures, including of silt-barricade, water breaks, sheet piling, and soil-banking areas, shall remain in place for as long as necessary to permanently stabilize developed areas.
2. Erosion and sediment control devices shall be installed in their proper sequence. The clearing or grading may be done in any area until the erosion control devices for that area, as shown on the plan, are in place and functional.
3. Mature vegetation shall be maintained and protected to the greatest extent practical.
4. All sediment and erosion control devices and provisions shall be maintained in operational condition by the contractor until final acceptance of the project.
5. No changes to this soil erosion and sediment control plan may be made without prior approval of the authority enforcing.
6. Land disturbance is to be kept to a minimum. Re-establishment and/or stabilization of disturbed areas shall be scheduled as soon as practical.
7. Erosion controls shall be monitored periodically to verify that they are maintained in effective working order. If, during construction, additional control measures are necessary, they shall be installed by the contractor.
8. Sediment or debris shall be removed from the drainage pipes and structures as it accumulates during construction. It shall be disposed of in a manner which is consistent with the intent of this plan.
9. The contractor may provide alternate means of sediment control, but he may not violate placement of protection in the areas indicated herein.
10. Sediment fencing shall be installed where required prior to commencing construction and shall remain in place for the duration of the project. Fencing shall be Proper Silt Silt (PS) as manufactured by Amco, or equivalent approved equipment.
11. The contractor shall re-grade, layout, and seed all disturbed areas immediately after construction has been completed.
12. Refer to Connecticut Guidelines for Soil Erosion and Sediment Control (2002) for additional details and specifications.
13. Additional protection measures shall be implemented to control any sedimentation and erosion which may result during construction.
14. All unpermitted areas shall be protected during the construction period, except those designated to be removed. This protection shall be in accordance with generally accepted standards. (Refer to the Connecticut Guidelines for Soil Erosion and Sediment Control (2002) for details and specifications).
15. Drains under decks and slabs shall be stabilized with #1 or #1 1/2 rebar at slope. Rebar or other suitable materials, if applicable.
16. An additional 10% of top rock, hay bales, straw fencing, fabric fencing, and other control materials are to be stockpiled on site use as necessary.
17. A silt sack shall be installed in each catch basin prior to connecting its discharge. The contractor is responsible for the maintenance of the silt sacks for the duration of construction. The contractor shall monitor the weather forecast and clean silt sacks prior to rainfall events.

NOTE: THE STREET AND PROJECT FRONTAGE AREA SHALL BE SWEEP CLEAN AT THE END OF EACH DAY AS REQUIRED. IN PARTICULAR, THE CONSTRUCTION ENTRANCE SHALL BE KEPT FREE OF DUST AND SEDIMENT.



CONSTRUCTION STAGING:

1. Install catch basins all work.
2. Install project fencing.
3. Placement of silt sacks along the existing building as required.
4. Remove portion of existing building, refer to architectural plans.
5. Excavate for proposed addition.
6. Grade and rough grade around foundations. (Include all signs)
7. Construct proposed addition and upper floors.
8. Install sanitary sewer lateral and other utilities.
9. Install storm drainage system.
10. Construct proposed curbs, sidewalks, and other hardscapes.
11. Final grade and stabilize all slopes.
12. Landscaping as required.
13. Remove sedimentation and erosion controls.

SYMBOLS

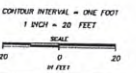
1	EXISTING
2	PROPOSED
3	TO BE REMOVED
4	UTILITY
5	WATER
6	SEWER
7	STORM
8	WATER
9	SEWER
10	STORM
11	WATER
12	SEWER
13	STORM

LEGEND

30	EXISTING CONTOUR	SN	MANHOLE
30	EXISTING SPOT ELEVATION	CB	CATCH BASIN
30	EXISTING TOP/BOTTOM SPOT ELEVATION	DI	DRAIN INLET
30	PROPOSED CONTOUR	SDM	STONE DRAIN MANHOLE
30	PROPOSED SPOT ELEVATION	SSM	SANITARY SEWER MANHOLE
30	DECEASED TREE	PVC	POLYETHYLENE CHLORIDE
30	TREE TO BE REMOVED	RC	REINFORCED CONCRETE PIPE
30	UTILITY POLE	WTP	WRAPPED TEE PIPE
30	GAS GATE	U	UNDERGROUND UTILITY SERVICE
30	WATER GATE	A.G.B.E.	CABLE, ELECTRIC, GAS, TELEPHONE, WATER
		W.F.	AS ORDERED BY ENGINEER
		W.F.	HERF IN FIELD
		W.F.	LIST OF UTILITIES AS LOCATED

LEGEND

○	TREE PROTECTION
—	SILT FENCE
—	CONSTRUCTION FENCE
—	1/4" BALE
—	SILT SACK



NOTE: A SILT SACK SHALL BE INSTALLED IN EACH CATCH BASIN PRIOR TO RAINFALL. RECONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF THE SILT SACKS FOR THE DURATION OF CONSTRUCTION. THE CONTRACTOR SHALL MONITOR THE WEATHER FORECAST AND CLEAN SILT SACKS PRIOR TO RAINFALL EVENTS.

D'ANDREA SURVEYING & ENGINEERING, PC
 LAND PLANNERS
 ENGINEERS
 SURVEYORS
 P.O. BOX 549
 RIVERSIDE, CT 06878
 TEL. 837-1779

PROJECT	THE OLD TOWNE HOTEL
PREPARED FOR	OLD TOWN SQUARE, LLC
LOCATION	160 ATLANTIC STREET STAMFORD, CONNECTICUT
DATE	4-14-22
PROJECT NO.	2022-001
SCALE	AS SHOWN
3 OF 5	SEDIMENTATION & EROSION CONTROL PLAN

2	4-14-22	ENGINEER	LEONARD C. D'ANDREA, CT PE NO. 14889
1	10-18-21	REGISTERED Z.E.	RE-SUBDIVISION Z.E.
8	8-18-21	REGISTERED	MICHAEL S. D'ANDREA
1	8-18-21	REGISTERED	MICHAEL S. D'ANDREA
1	8-18-21	REGISTERED	MICHAEL S. D'ANDREA
1	8-18-21	REGISTERED	MICHAEL S. D'ANDREA
1	8-18-21	REGISTERED	MICHAEL S. D'ANDREA
1	8-18-21	REGISTERED	MICHAEL S. D'ANDREA
1	8-18-21	REGISTERED	MICHAEL S. D'ANDREA
1	8-18-21	REGISTERED	MICHAEL S. D'ANDREA

ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL SIGNATURE OF THE ENGINEER'S SUCCESSOR, SHALL BE CONSIDERED TO BE TRUE, UNLESS OTHERWISE SPECIFIED.

CONSTRUCTION NOTES:

1. The contractor shall be solely responsible to coordinate his work with the work being done by others. The contractor shall assume the responsibility for delays or other factors related to the work by others. He shall be allowed due to the contractor's failure to adequately coordinate such work.
2. Appropriate measures shall be taken to control any sedimentation and erosion which may result during construction.
3. All erosion control shall be protected during the construction period, except those specifically designated to be removed, in accordance with generally accepted standards.
4. The proposed building shall be designed by the architect in order to conform with current applicable zoning setback criteria and regulations, and a building permit shall be obtained prior to commencing construction.
5. Existing utilities to be crossed through or above this parcel shall be relocated as directed by the appropriate utility company or the owner. The contractor shall excavate and backfill to the original depth and width unless otherwise noted.
6. Permanent replacement shall be substantially concrete, placed in accordance with the City of Stamford standards and/or Connecticut State Highway specifications.
7. The contractor shall not commence any paving until the grading and shaping of the completed ground base has been approved by the project engineer.
8. Repaving, filling, and other such alterations to the site shall be restricted to the minimum level necessary to complete the project as shown on the plan.
9. Existing inlets on storm drains, sanitary sewers, and utility conduits shall be held over until they are replaced, before commencing construction. The contractor shall excavate and backfill with the material indicated herein or wherever design conditions may occur. The contractor shall notify the project engineer of the final soil schedule. Design conditions of any kind shall be brought to the immediate attention of the project engineer. Place or locate and patch lost pits as directed by the project engineer.
10. Manhole structures shall be precast concrete with gratings as manufactured by Eastern Precast Co., Inc. or engineer approved equal, unless noted otherwise.
11. Precast concrete curb sections to be concrete. Flat slab tops to have economic sloping. Concrete curb sections shall be in accordance with the following minimum standards: (a) Height of curb shall be 6" to 8" and greater, otherwise flat slab tops shall be used. Aluminum machine slabs (slab tops) shall be used. Slabs shall be 12" thick. Each slab shall be capable of supporting a minimum load of 1,000 pounds. All joints to be "D" rubber gasket type with the interior and exterior faces of joints to be sealed with waterproof non-abraded grout.
12. Connection between manholes and PVC sanitary sewer or storm drain shall be made with flexible rubber lined pipe connected under water tight with a machine steel clamp. The contractor shall make sure that all connections of new sanitary sewers in manholes are water tight. Connection to manholes for reinforced concrete storm and sanitary sewer pipe shall be made with concrete brick masonry and non-abraded grout. The contractor shall make sure that all connections of new sanitary sewers in manholes are water tight.
13. All gravity PVC storm drain and sanitary sewer pipes shall conform to ASTM B314 Standard Specification for Type PMD Poly Vinyl Chloride (PVC) Sewer Pipe and Fittings or approved equal (SDR35).
14. Corrugated plastic pipe (CPP) shall be HDPE, 8-12, minimum interior pipe as manufactured by Advanced Drainage Systems, Inc. or engineer approved equal and shall comply with AASHTO M294-81, Type 5 (smooth inner liner).
15. Where unavailable foundation is encountered during construction of storm drains or sanitary sewers, the contractor shall remove the unavailable material and replace it with other material approved by the project engineer.
16. Grading and backfill material shall conform to ASTM D2231 specification "Standard recommended practice for underground installation of flexible thermoplastic sewer pipe (PVC)".
17. All storm drainage and sewer connections shall be stamped or 2K (sandwich) or as otherwise noted.
18. The contractor shall provide all equipment, labor, and materials necessary to install, install, and remove of visible obstructions, dirt, sand, silt, rock, gravel, stones, etc., from the storm drains, sanitary sewers, and structures.
19. Proposed structures shall be in accordance with the City of Stamford standards and/or Connecticut State Highway specifications.
20. All existing manhole frames, catch basin covers, and utility structures shall be replaced to new finish grade as required. The contractor shall coordinate with utility companies to assure that facilities are referred to finish grade.
21. All traffic control devices including traffic signs and pavement markings shall be installed in accordance with the current edition of the Manual on Uniform Traffic Control Devices for Streets and Highways, U.S. Department of Transportation, Federal Highway Administration.
22. All utility relocations and installations shall be coordinated with each respective utility company prior to construction. Coordinate all utility installation and connection specifications with each respective utility company.
23. All construction shall be inspected by a professional engineer prior to backfill and on the work progress.
24. The project engineer shall be notified a minimum of three working days prior to the commencement of each phase of construction.
25. Appropriate measures shall be taken to control any sedimentation and erosion which may result during construction.
26. There shall be no dumping of construction debris and/or excess excavated material into or in proximity to any bodies of water. All excavated material shall be stockpiled and contained within the site until loading. The contractor shall be responsible for the removal of all excess material accumulated during construction. All excess material shall be removed in a cost and environmentally sound manner and shall be disposed of legally.
27. Shoulders and disturbed areas shall receive four inches of loam. The ground and seeded as soon as practical to prevent erosion.
28. Repaving, filling, and other such alterations to the site shall be restricted to the minimum level necessary to complete the project as shown on the plan.

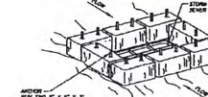
STANDARD CITY OF STAMFORD NOTES:

1. A Street Opening Permit is required for all work within the City of Stamford Right-of-Way.
2. All work within the City of Stamford Right-of-Way shall be conducted in City of Stamford requirements, the State of Connecticut Basic Building Code and the Connecticut Subdivision for Soil Erosion and Sedimentation Control.
3. The Engineering Bureau of the City of Stamford shall be notified three days prior to any commencement of construction or work within the City of Stamford Right-of-Way.
4. Trees within the City of Stamford Right-of-Way to be removed shall be posted in accordance with the Tree Ordinance.
5. Prior to any excavation the Contractor and/or Architect/Owner, in accordance with Public Act 72-300, shall be required to contact "Call Before You Dig" at 1-800-932-4155 for mark out of underground utilities.
6. All retaining walls three (3) feet or higher measured from finished grade at the bottom of the wall to finished grade at the top of the wall and retaining walls supporting a surcharge or imposing Class I, II or III-A loads are required to be designed by a Professional Engineer licensed in the State of Connecticut. Prior to the issuance of a Certificate of Occupancy, retaining walls shall be certified by a Professional Engineer licensed in the State of Connecticut.
7. Certification will be required by a professional engineer licensed in the State of Connecticut that work has been completed in compliance with the approved drawings.
8. A Final Impervious Location Survey will be required by a professional land surveyor licensed in the State of Connecticut.
9. Connection to a city-owned storm sewer shall require the Water Controling Storm Sewer Connection to be filed with the City of Stamford Engineering Bureau.
10. Granite block or other decorative stone or brick, depressed curb, driveway apron, and curbing within the City of Stamford Right-of-Way shall require the Water Controling Storm Drainage Depressed Curb and Driveway Aprons to be filed with the City of Stamford Engineering Bureau.
11. Sealed and erosion controls shall be maintained and repaired as necessary throughout construction until the site is stabilized.
12. To obtain a Certificate of Occupancy submitted must include all items outlined in the Checklist for Certificate of Occupancy (Appendix D of the City of Stamford Drainage Manual).

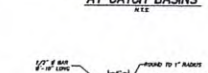
STANDARD DRAINAGE MAINTENANCE REQUIREMENTS AND SCHEDULE:

NOTE: THE FOLLOWING IS A BEST PRACTICE MAINTENANCE SCHEDULE FOR THE STORMWATER MANAGEMENT STRUCTURES SHOWN ON THIS PLAN SET FOR THE OWNERS OF THE SUBJECT PARCELS. TO FOLLOW IT IS NOT INTENDED TO REDUCE OR SUPERSEDE THE MAINTENANCE AGREEMENT COVENANT OF THE SUBJECT PARCELS, AS REQUIRED BY THE CITY OF STAMFORD UPON COMPLETION OF WORK AND FROM THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. REFER TO THE CITY OF STAMFORD DRAINAGE MAINTENANCE COVENANT REGARDING LONG-TERM MAINTENANCE REQUIREMENTS, CITY APPOINTMENT, CITY RIGHTS TO INSPECTION, AND PENALTY AND LEGAL ACTION FOR FAILURE OF COMPLIANCE TO SAID AGREEMENT COVENANT.

1. OWNER shall clean the drainage facilities or cause such facilities to be cleaned by periodic removal of accumulated sediment and debris to a good maximum rate, not less than (2) times during every twelve (12) month period, which interval shall be in the period between April and between October and December and more often as the City may determine to be necessary.
2. OWNER shall sweep or cause to be swept, garage facilities, driveway and roadway surfaces located on the Property of land once per calendar quarter.
3. OWNER shall utilize only sand or calcium chloride in connection with the de-icing of areas within the Property involving and including the roof top (Sloped Drains) shall not be used for such purpose.
4. OWNER shall repair or replace any damaged or defective drainage facilities as to maintain the drainage facilities, at all times, in a fully functional capacity.
5. OWNER shall file an annual drainage plan with the City of Stamford upon the completion of work. Said plan shall be prepared by a professional engineer/surveyor registered in the State of Connecticut.



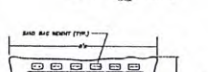
HAY BALE INSTALLATION AT CATCH BASINS



CONCRETE CURB



DETAIL FOR TRENCH REPAIR



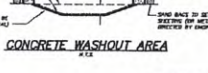
DETAIL FOR TRENCH REPAIR



CONCRETE WASHOUT AREA



STOP BAR DETAIL



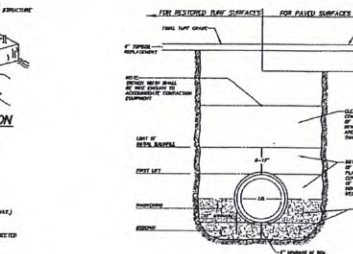
PVC - STORM DRAIN FILTER DETAIL



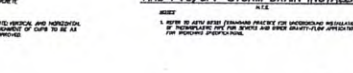
LEFT TURN ONLY SIGN DETAIL (K-1831)



STOP SIGN DETAIL (R1-1)



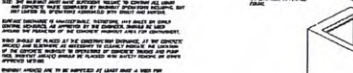
DETAIL FOR PVC SANITARY SEWER AND PVC/CPV STORM DRAIN INSTALLATION



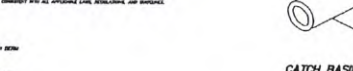
CATCH BASIN SILTSTACK DETAIL



STORM DRAIN MANHOLE DETAIL



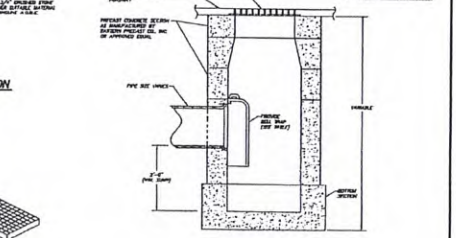
HANDICAPPED PARKING SPACE SIGN DETAIL



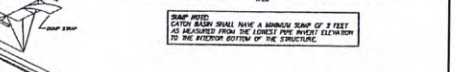
ASPHALT DRIVEWAY AND PARKING LOT DETAIL

TABLE FOR CATCH BASIN TRAP ASSEMBLY

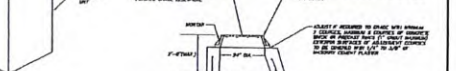
ITEM NO.	DESCRIPTION	QUANTITY
1	TRAP	1
2	TRAP COVER	1
3	TRAP WEDGE	1
4	TRAP GASKET	1
5	TRAP BRACKET	1
6	TRAP HOOK	1
7	TRAP WEDGE	1
8	TRAP GASKET	1
9	TRAP BRACKET	1
10	TRAP HOOK	1



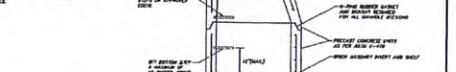
SINGLE CATCH BASIN DETAIL (TYPE "CL")



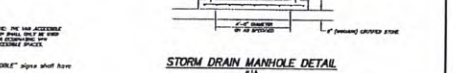
CATCH BASIN SILTSTACK DETAIL



STORM DRAIN MANHOLE DETAIL



HANDICAPPED PARKING SPACE SIGN DETAIL



ASPHALT DRIVEWAY AND PARKING LOT DETAIL

D'ANDREA SURVEYING & ENGINEERING, P.C.

PROJECT	CLIENT
HOTEL DEVELOPMENT	OLD TOWN SQUARE, LLC

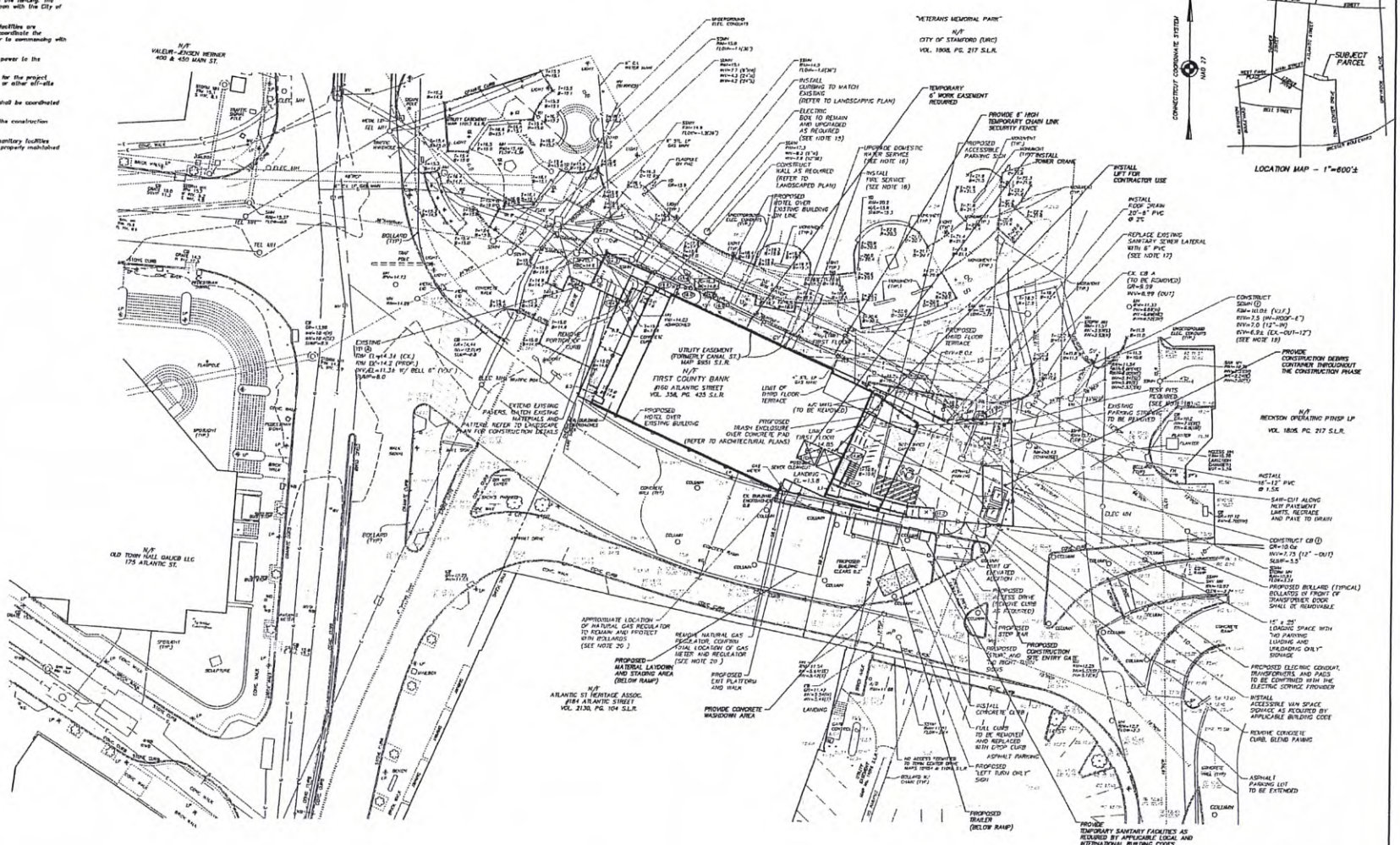
REV.	DATE	DESCRIPTION
2	4-14-22	CORRECT BURCH COMMENTS
1	10-10-21	RE-SUBMISSION 2.0
0	6-16-21	FINAL SUBMISSION

PREPARED FOR	LOCATION
OLD TOWN SQUARE, LLC	160 ATLANTIC STREET STAMFORD, CONNECTICUT

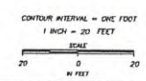
PROJECT	DATE
HOTEL DEVELOPMENT	4-14-22

4 OF 5 NOTES AND DETAILS

- Notes:**
- The contractor shall be required to coordinate and install security fencing around the entire project limits as noted herein or as agreed to with the owner and the City of Stamford prior to the start of construction. As noted herein, certain sections of fencing fall outside of the property boundary. The owner shall coordinate a temporary work agreement with the City of Stamford prior to the installation of the fencing. The location of the double access gate shall be mutually agreed upon with the City of Stamford prior to the installation of the fencing.
 - Utility easements, project tracks, and temporary utility facilities are proposed outside of the property boundary. The owner shall coordinate the temporary use of this area with the Stamford staff prior to commencing with construction.
 - The contractor shall be responsible for coordinating temporary power to the project trailer.
 - The owner and/or contractor shall coordinate all-site parking for the project activities with the architect and structural engineer for the project.
 - The installation of the tower crane and contractor people lift shall be coordinated with the architect and structural engineer for the project.
 - The contractor shall arrange the debris containers throughout the construction phase and containers shall not be overflowed.
 - Contractor shall arrange for the proper number of temporary utility facilities throughout the construction phase and such facilities shall be properly maintained and removed throughout the construction phase.



- LEGEND**
- 30 --- EXISTING CONTOUR
 - 40 --- EXISTING SPOT ELEVATION
 - 50 --- EXISTING TOP/BOTTOM SPOT ELEVATION
 - 60 --- PROPOSED CONTOUR
 - 70 --- PROPOSED SPOT ELEVATION
 - DECIDUOUS TREE
 - TREE TO BE REMOVED
 - UTILITY POLE
 - GAS GATE
 - WATER GATE
 - 81 --- MANHOLE
 - 82 --- GATEY MANHOLE
 - 83 --- DRAIN PALET
 - 84 --- STORM DRAIN MANHOLE
 - 85 --- SANITARY SEWER MANHOLE
 - 86 --- FIVE INCH DRAINAGE
 - 87 --- REINFORCED CONCRETE PIPE
 - 88 --- VERIFIED TILE PIPE
 - 89 --- UNDERGROUND UTILITY SERVICE
 - 90 --- C-CABLE, ELECTRIC, S-GAS
 - 91 --- TELEPHONE, IN-WAY
 - 92 --- AS ORDERED BY ENGINEER
 - 93 --- VERIFY IN FIELD
 - 94 --- LIMIT OF METLANDS AS FLAGGED



D'ANDREA SURVEYING & ENGINEERING, PC
 LAND PLANNERS
 ENGINEERS
 SURVEYORS

160 BOB 140
 BRIDGEVILLE, CT 06670
 8 NEX LEVEL
 TEL. 637-3779

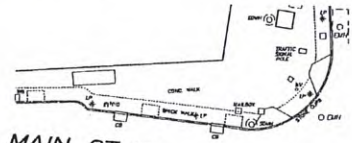
PROJECT	THE OLD TOWNE HOTEL
PREPARED FOR	OLD TOWN SQUARE, LLC
LOCATION	160 ATLANTIC STREET STAMFORD, CONNECTICUT
5 OF 5	CONSTRUCTION LOGISTICS PLAN

REV. DATE DESCRIPTION
 1 10-18-21 AC-SUBMISSION 2A
 2 0-18-21 FINAL SUBMISSION
 3 4-14-22 CHECKED BY: [Signature]
 4 4-14-22

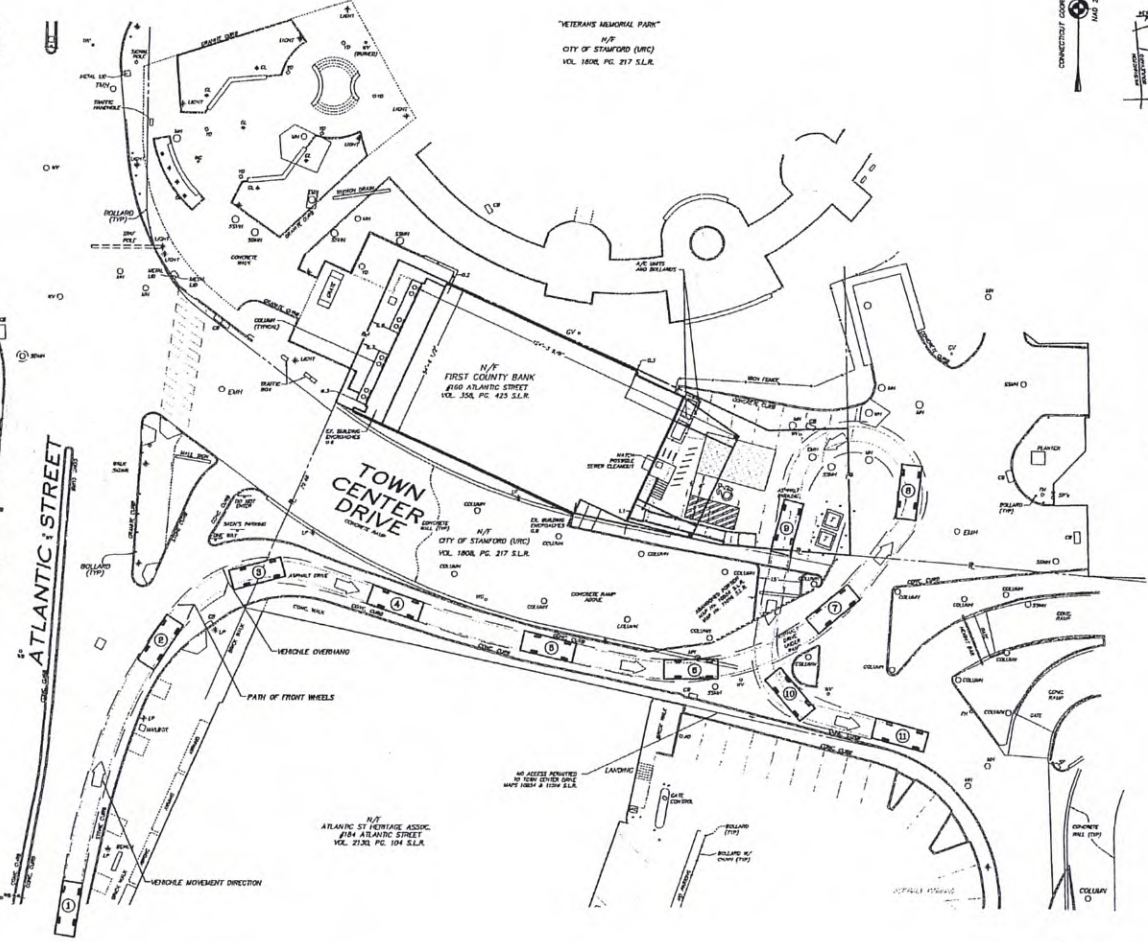
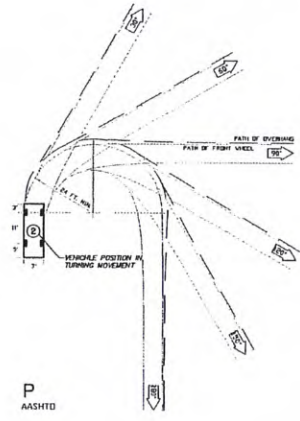
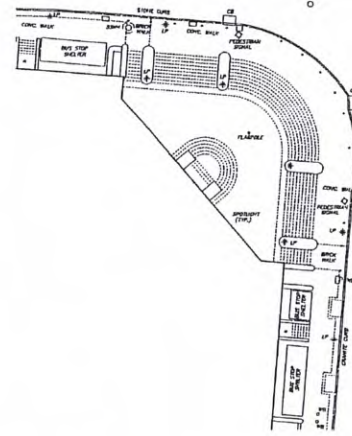
ONLY COPIES OF THIS PLAN BEARING AN ORIGINAL APPOINTMENT OF THE ENGINEER'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

GENERAL SURVEYING NOTES

1. THE PURPOSE OF THIS PLAN IS TO DEMONSTRATE TURNING MOVEMENTS OF A PASSENGER CAR ENTERING AND EXITING THE PROPERTY.
2. TURNING TEMPLATES DENOT AASHTO P VEHICLE MOVEMENTS.
3. REFER TO PLANS AND MAPS PREPARED BY D'ANDREA SURVEYING & ENGINEERING, P.C. FOR EXISTING AND PROPOSED IMPROVEMENTS.
4. PROPOSED BUILDING IMPROVEMENTS ARE BASED ON ARCHITECTURAL PLANS PREPARED BY DO H. CHANG & PARTNERS.
5. REFER TO "LANDSCAPE PLAN" PREPARED BY ENVIRONMENTAL LAND SOLUTIONS, LLC.



MAIN ST.

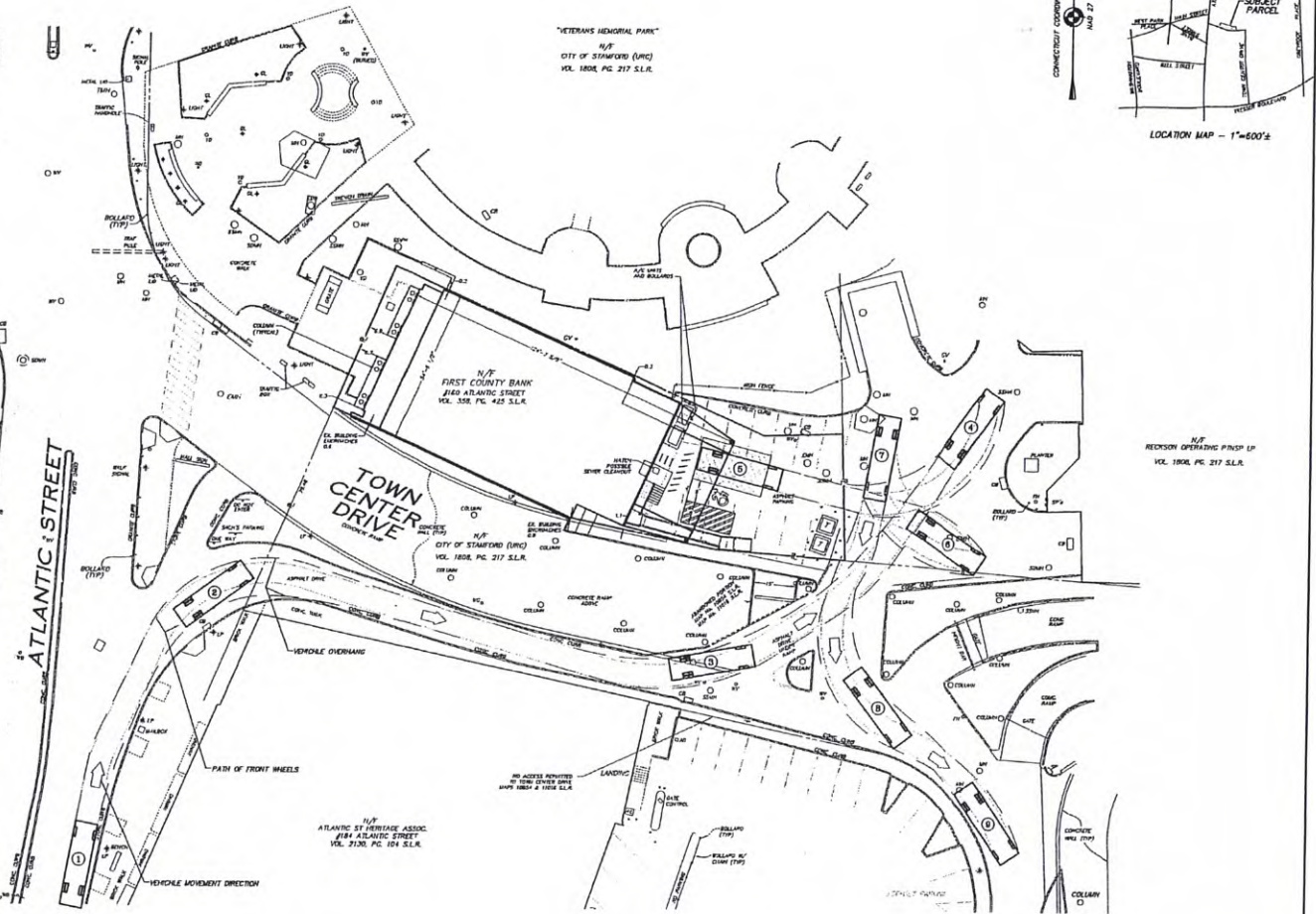
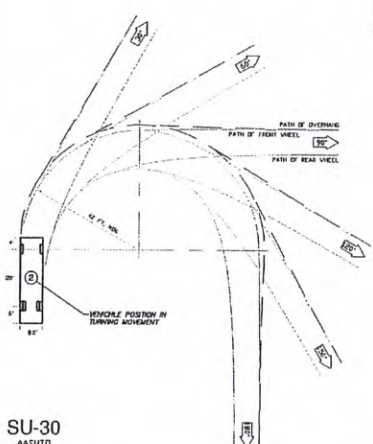
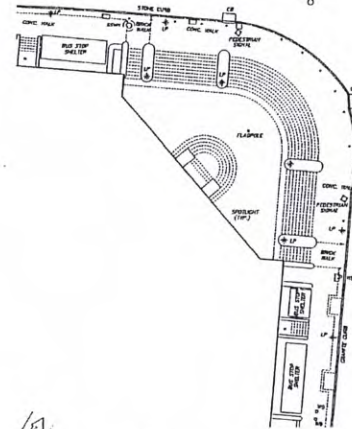
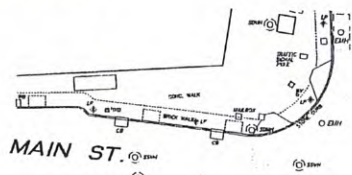


D'ANDREA SURVEYING & ENGINEERING, P.C.	
LAND PLANNERS ENGINEERS SURVEYORS & REAL ESTATE BROKERS	
P.O. BOX 848 PINEASSETT, CT 06878	
PROJECT	THE OLD TOWNE HOTEL TURNING MOVEMENT PLAN
PREPARED FOR	OLD TOWN SQUARE, LLC
DATE	4-20-22
DESCRIPTION	TURNING MOVEMENT PLAN
DESIGNED BY	[Signature]
CHECKED BY	[Signature]
DATE	4-20-22
LOCATION	160 ATLANTIC STREET STAMFORD, CONNECTICUT
SHEET	1 of 2
VEHICLE DROP OFF	

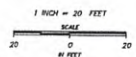
ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMPLOYED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

GENERAL SURVEYING NOTES

1. THE PURPOSE OF THIS PLAN IS TO DEMONSTRATE TURNING MOVEMENTS OF AN SU-30 DELIVERY VEHICLE ENTERING AND EXITING THE PROPERTY.
2. TURNING TEMPLATES DEPICT AASHTO SU-30 VEHICLE MOVEMENTS.
3. REFER TO PLANS AND MAPS PREPARED BY D'ANDREA SURVEYING & ENGINEERING, P.C. FOR EXISTING AND PROPOSED IMPROVEMENTS.
4. PROPOSED BUILDING IMPROVEMENTS ARE BASED ON ARCHITECTURAL PLANS PREPARED BY DD H. OLSING & PARTNERS.
5. REFER TO "LANDSCAPE PLAN" PREPARED BY ENVIRONMENTAL LAND SOLUTIONS, LLC.



SU-30
AASHTO



D'ANDREA SURVEYING & ENGINEERING, P.C.
LAND PLANNERS
ENGINEERS
P.O. BOX 548
MIDDLETOWN, CT 06470

PROJECT	THE OLD TOWNE HOTEL TURNING MOVEMENT PLAN
PREPARED FOR	OLD TOWN SQUARE, LLC
LOCATION	160 ATLANTIC STREET STAMFORD, CONNECTICUT
DATE	4-20-22
DESCRIPTION	TURNING MOVEMENT PLAN
DATE	4-20-22
ENGINEER	[Signature]
SCALE	1\"/>

NO. COPIES	2 OF 2
DESCRIPTION	TRUCK LOADING AND UNLOADING

ONLY COPIES OF THIS MAP BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE. VOID COPIES.

D'ANDREA SURVEYING & ENGINEERING, PC

LAND PLANNERS • ENGINEERS • SURVEYORS

SIX NEIL LANE • P.O. BOX 549
RIVERSIDE, CONNECTICUT 06878
TELEPHONE: 203 637-1779
FAX: 203 637-1770
EMAIL: info@vdi.com

April 15, 2022

Susan Kisken, P.E.
City of Stamford Engineering Bureau
Government Center
888 Washington Boulevard
Stamford CT 06904

Re: 160 Atlantic Street, Stamford CT
The Old Towne Hotel
Zoning Board Application No. 221-24

Dear Ms. Kisken,

In response to your comments summarized in and Interoffice Memorandum to Vineeta Mathur, Associate Planner – Zoning Board, we have modified our set of development plans. We have enclosed one copy each of the following materials for your further review:

- Zoning Location Survey, revised to April 14, 2022;
- Existing Conditions, Sheet 1 of 5, dated April 14, 2022;
- Development Plan, Sheet 2 of 5, Rev 2, dated April 14, 2022;
- Sedimentation & Erosion Control Plan, Sheet 3 of 5, Rev 2, dated April 14, 2022;
- Notes and Details, Sheet 4 of 5, Rev 2, dated April 14, 2022; and
- Construction Logistics Plan, Sheet 5 of 5, Rev 2, dated April 14, 2022.

The following responses are enumerated to your Memorandum:

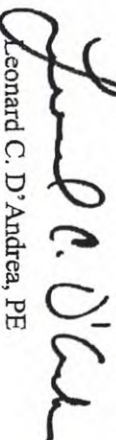
- 1) The plan set includes an “Existing Conditions” land survey map prepared in accordance with the Connecticut State Regulations 20-300b-1 through 20-300b-20, signed and sealed by a Connecticut Registered Land Surveyor.
- 2) After much discussion with the land-use attorney for the project, John Leydon, the architect, and the applicant, it was decided to redesign the building expansion such that all parts of the proposed building clear all recorded easements. It is recognized that portions of the proposed patio fall within Veterans Park and the Attorney Leydon is negotiating the use with the applicable Stamford agencies. The proposed uses are also made a part of the Zoning Board site plan application. To clarify a further point relative to parking, the application reduces the existing number of spaces from 12 to one accessible van space, and one loading space that will both be located within the subject property. The application also recognizes that access to the existing and proposed spaces is over Town Center Drive roadway, and property owned by others. Attorney Leydon is addressing the continued use of the access route with each respective land owner. General Survey Note 4 on the Zoning Location Survey also recognizes the need to secure all required use agreements.
- 3) The proposed building has been redesigned to avoid encroachment into the mapped and dedeed easements.
- 4) Although it is mentioned as a yard drain located on the easterly side of the existing building in your memorandum, we believe you mean the westerly side as there is no yard drain on the easterly side of

- the building. The subject yard drain was installed as part of the Veterans Park project and left with fabric under the grate. We removed the fabric and confirmed the pipe invert and noted the outlet pipe direction. We were unable to confirm the actual connection. We have requested as-built and/or proposed design information from the Engineering Bureau and the Planning Board. We have been directed to Jeffrey Brown of the City of Stamford to provide us with the information. Once received, we would update our plans accordingly. The patio expansion, if approved by the applicable agencies, would drain to the basin.
- 5) Assuming this is actually the same reference to the yard drain west of the existing building, temporary S&E measures have been added to Sheet 3 of 5 to protect the basin during construction.
 - 6) An outside tracing and marking contractor was retained to verify and field-mark all existing buried services, sewer, and drainage pipes. The locations were field-located and mapped by this firm and carried through the plan set.
 - 7) Your comment is recognized, but the Construction Logistics Plan provided notes requiring that temporary work easements be secured prior to construction.
 - 8) The utilities are of sufficient depth, and the electrical conduit banks are encased in concrete and are capable of withstanding vehicle loads. As you may have noted, the construction of the building is not calling for the use of a standing crane outside of the building footprint. Instead, a tower crane would be set within the building for hoisting materials to the upper floors. Construction Note 10 on Sheet 2 of 5 also requires that the contractor take whatever means necessary to protect existing buried services, drainage and sewer lines.
 - 9) We have confirmed through an inspection of the basement level, and with the architect, that there are no existing interior or exterior footing drain sump pumps. The architect is not planning on installing any new interior footing drains that would require pumping, and based on a number of basement inspections there is no evidence of groundwater intrusion. We have concluded that there are no existing footing drains, and none are proposed.
 - 10) On the previous plans, all required services had been depicted. After further discussion with the architect, and anticipating what would most likely be required by Eversource to service the proposed use, we have added two proposed transformers. The location is subject to change as once the electrical engineer furthers the design requirements with the Eversource.
 - 11) Acknowledged.

We thank you for your continued review and should you have any additional questions, please contact us.

Sincerely,

D'Andrea Surveying & Engineering, PC



Leonard C. D'Andrea, PE

LCD:adm
18CASK01

cc: Old Town Square, LLC w/enclosures
Vineta Mathur, Zoning Board w/enclosures
John F. X. Leydon, Esquire w/enclosures

D'Andrea Surveying & Engineering, PC