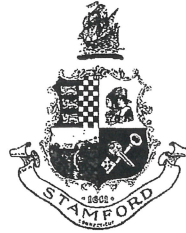


MAYOR
CAROLINE SIMMONS
LAND USE BUREAU CHIEF
RALPH BLESSING



CITY OF STAMFORD, CONNECTICUT
STAMFORD GOVERNMENT CENTER
888 WASHINGTON BOULEVARD
P.O. BOX 10152
STAMFORD, CT 06904 - 2152

ZONING BOARD OF APPEALS
(203) 977-4160

Chair
Joseph Pigott

Board Administrator
Mary Judge

RECEIVED

DATE: January 3, 2023
TO: Planning Board ✓
F.Petise, Transportation
R. Clausi, Environmental Protection Board
S. Kisken, Engineering
FROM: Zoning Board of Appeals
RE: Referrals

JAN 3 2023

PLANNING BOARD

In accordance with the Section 19 of the Zoning Regulations, the following applications and maps are being referred to your agency for comments:

#005-23 3 Lewelyn Road

Please respond by February 3, 2023.

#005-23

Application # _

Coastal

**CITY OF STAMFORD
ZONING BOARD OF APPEALS**

Stamford Government Center
888 Washington Blvd.
P.O. Box 10152
Stamford, CT 06904-2152

Telephone 203.977.4160 - Fax 203.977.4100 - E-mail mjudge@stamfordct.gov

PLEASE PRINT ALL INFORMATION IN INK

1. I/we hereby apply to the Zoning Board of Appeals for:

- Variance(s)
- Special Permit
- Appeal from Decision of Zoning Enforcement Officer
- Extension of Time
- Gasoline Station Site Approval
- Motor Vehicle Approval:

New Car Dealer Used Car Dealer General Repairer Limited Repairer

2. Address of affected premises:

3 Lewelyn Road 06902

street

zip code

Property is located on the north south east west side of the street.

Block: 150 Zone: R-7 1/2 Sewered Property yes no

Is the structure 50 years or older yes No

Corner Lots Only: Intersecting Street: _____
Within 500 feet of another municipality: No Yes Town of _____

3. Owner of Property: Ana & Edward Danielsen

Address of Owner: 3 Lewelyn Road, Stamford, CT Zip 06902

Applicant Name: Ana & Edward Danielsen

Address of Applicant 3 Lewelyn Road, Stamford, CT Zip 06902

Agent Name: _____

Address of Agent: _____ Zip _____

EMAIL ADDRESS: ekdanielsen@hotmail.com
(Must be provided to receive comments from letters of referral)

Telephone # of Agent _____ Telephone # of Owner 203 249-2331

(CONTACT IS MADE WITH AGENT, IF ONE)

4. List all structures and uses presently existing on the affected property:

Single family dwelling with detached garage and stone patio.

5. Describe in detail the proposed use and give pertinent linear and area dimensions:

There will be no change in the use of the property.

VARIANCES (complete this section for variance requests only) See a Zoning Enforcement Officer for help in completing this section

Variance(s) of the following section(s) of the Zoning Regulations is requested
(provide detail of what is sought per the applicable section(s) of the Zoning Regulations):

Variance of Appendix B (Table 3) street line set back of 26.4 feet in lieu of 30 feet required.

DO NOT WRITE ON BACK OF PAGE

Variations of the Zoning Regulations **may** be granted where there is unusual hardship in the way of carrying out the strict letter of the Regulations solely with respect to a parcel of land where conditions especially affect such parcel but do not affect generally the district in which it is situated. In your own words:

A. Describe the unusual hardship in being unable to carry out the strict letter of the Zoning Regulations:

The exiting structure was built 26.4 ft from the street line. In order to construct with the addition

aligning to the exiting walls the set back cannot be 30 ft as required by regulations.

B. Explain why the variance(s) is/are the minimum necessary to afford relief:

To create a second story addition with the existing structure, it needs to align with the existing first floor

walls.

C. Explain why granting of the variance(s) would not be injurious to the neighborhood.

The set back of the building is remaining and not changing. Therefore, the project will not cause any change to the neighborhood.

SPECIAL PERMIT

(Complete this section **only** for special exceptions)

SPECIAL EXCEPTION is requested as authorized by Section(s) _____ of the Zoning Regulations.

Provide details of what is being sought:

MOTOR VEHICLE APPLICATIONS

(Complete this section only for Motor Vehicle/Service Dealers Applications) Provide details of what is being sought.

SIGNATURE REQUIRED FOR ALL APPLICATIONS

Edward Danielson

Signature of: () Agent () Applicant Owner

Date Filed: Oct. 17, 2022

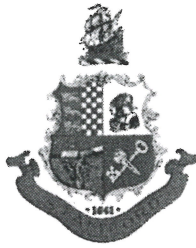
Zoning Enforcement Officer Comments:

DECISION OF THE ZONING ENFORCEMENT OFFICER

(Complete this section **only** for appeals of zoning enforcement officer decision)

DECISION OF THE ZONING ENFORCEMENT OFFICER dated _____ is appealed because:

DO NOT WRITE ON BACK OF PAGE



**CITY OF STAMFORD
ZONING BOARD OF APPEALS**

APPLICATION PACKET

Board Members
Joseph Pigott, Chair
John A. Sedlak
Nino Antonelli
Claire Friedlander
Lauren Jacobson

Alternate
Ernest Matarasso
Matthew Tripolitsiotis
Jeremiah Hourihan

Land Use Administrative Assistant
Mary Judge

ALL APPLICANTS MUST MAKE AN APPOINTMENT WITH THE ZONING ENFORCEMENT OFFICE FOR PLAN REVIEW OF ZBA APPLICATIONS AT LEAST ONE WEEK PRIOR TO THE APPLICATION DEADLINE.

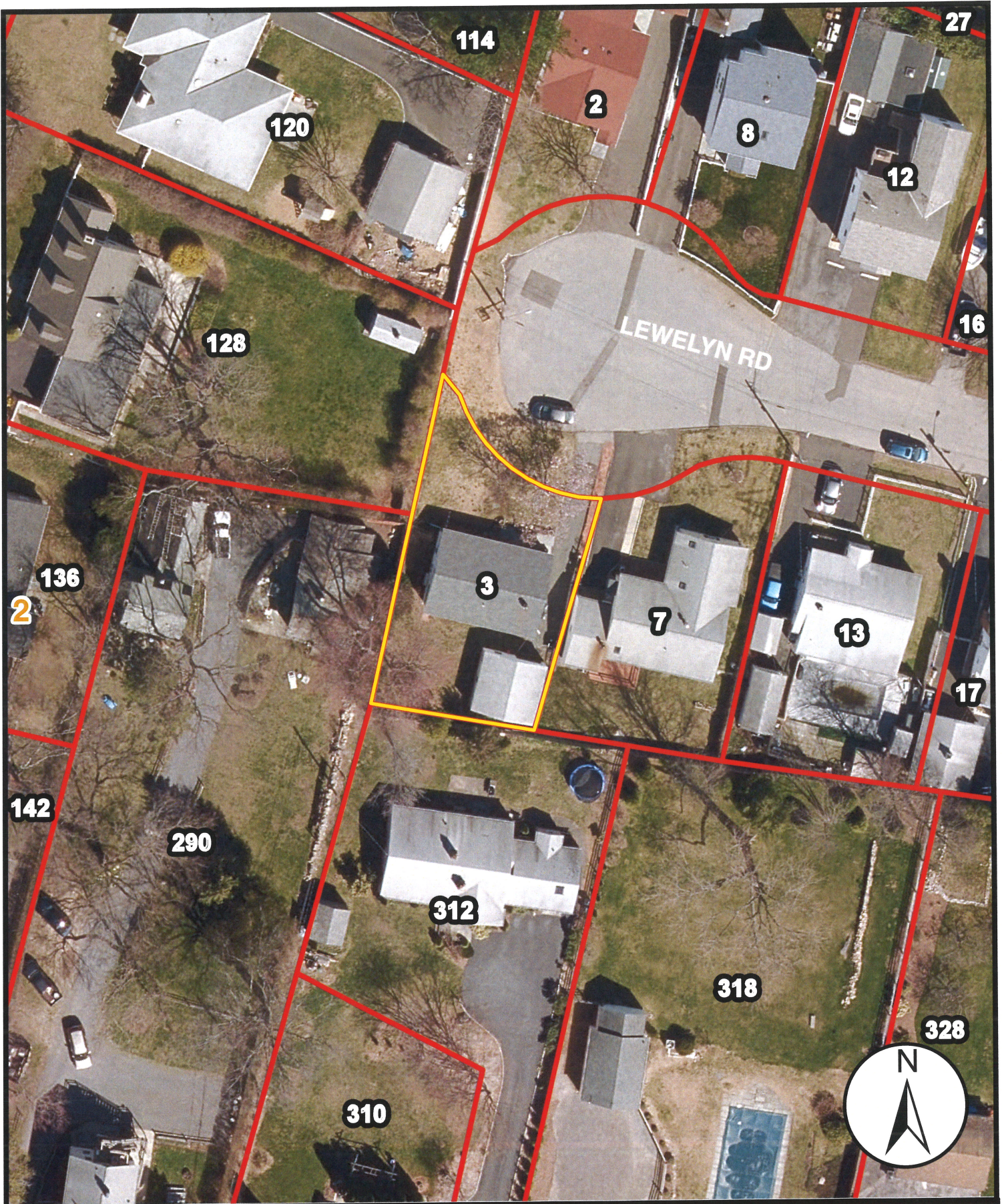
Zoning Enforcement: *[Signature]* Date: 1/3/23

Is the project situated in the coastal boundary? Yes () No ()

Is the project exempt from the coastal regulation?
Yes () Exemption # _____ No () N/A ()

Environmental Protection: _____ Date: _____

AM Review by: _____ ZBA



ZBA Application #005-23
3 Lewelyn Road

Date: 1/3/2023

1 inch = 42 feet



PLOT PLAN PREPARED FOR ANA LUCIA CHEJIN-DANIELSEN 3 LEWELYN ROAD STAMFORD CT

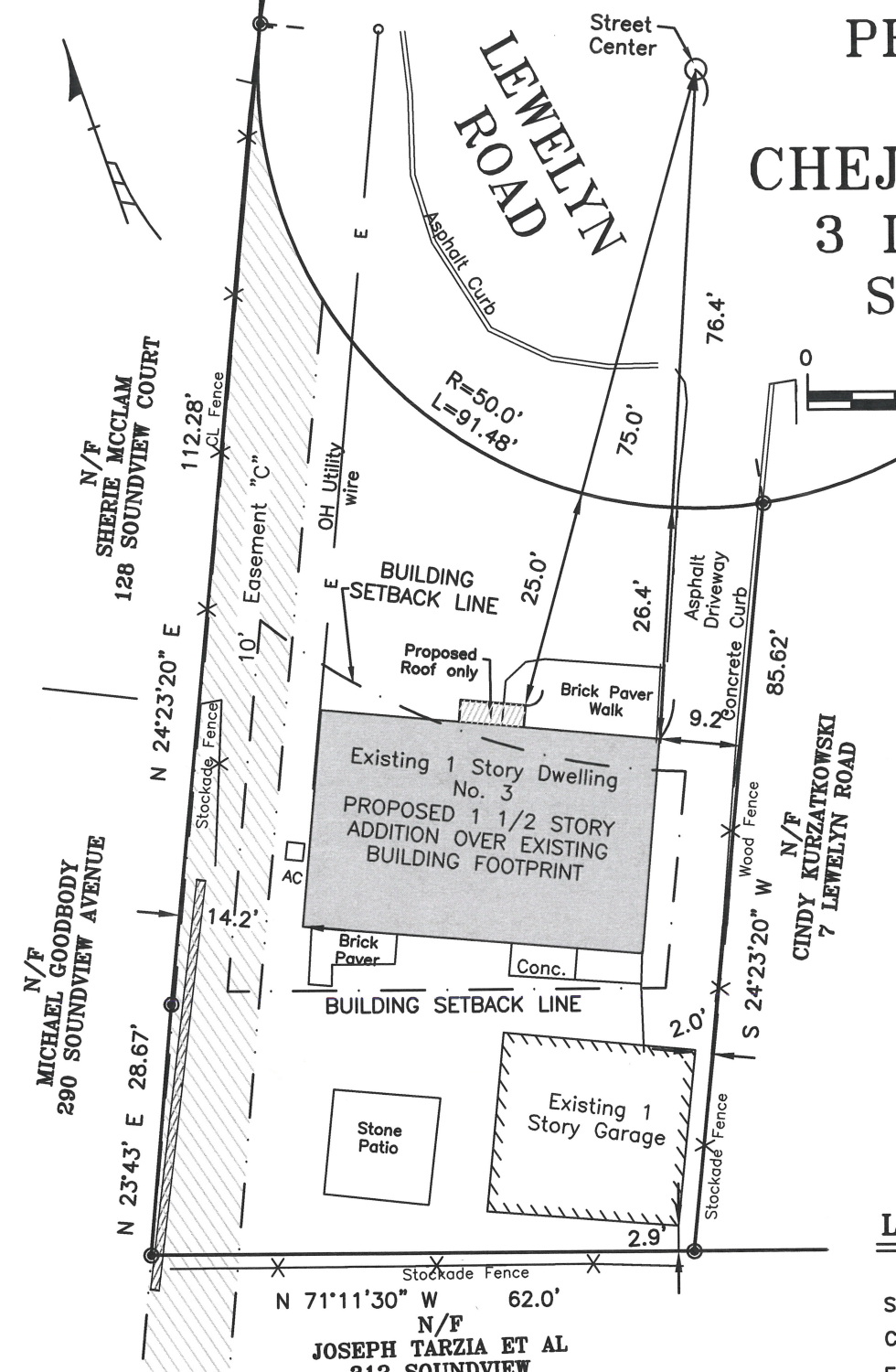
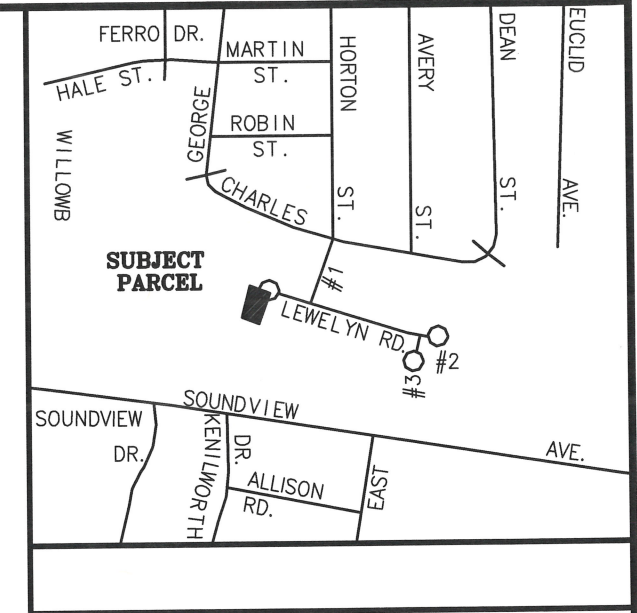
R-7 1/2 ZONE BUILDING SETBACK REQUIREMENTS

Front Street Line Setback.....	30'
Center Line Of Street Setback.....	55'
Rear Yard Setback.....	30'
Side Yard Setback.....	6' w/ Total of..... 12'
Max. Building Coverage.....	25% Of Lot Area

Zoning Information Is Subject To The Review And Approval By The Appropriate Governing Authority

Property Lines Not Staked By Contractual Agreement
Soil Types Not Delineated By Contractual Agreement

SIZE AND LOCATION OF PROPOSED DEVELOPMENT PROVIDED BY OTHERS. IT IS SUBJECT TO THE REVIEW AND APPROVAL BY THE APPROPRIATE GOVERNING AUTHORITIES



NOTES:

- Underground utility, structure and facility locations depicted and noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or governmental agencies, from parol testimony and from other sources. These locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to Edward J. Frattaroli, Inc. The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction.
- The contractor shall notify all public utility companies by calling Call-Before-You-Dig at 1-800-922-4455 at least 72 hours prior to crossing their lines.
- Subject to Title Verification, utility easements or Private Agreements if any, in addition to those Depicted and or referenced on this Map. Property may have Substructures and/or their encroachments below grade, if any, in addition to those noted and or depicted. No Abstract of Title Provided. Refer to Vol 9372 P.1 S.L.R.
- Size and Location of Proposed addition Provided by Others
- A Variance of Table III, Appendix "B" (Street Line) is requested for the Proposed Addition Depicted on this map

30' Minimum Street center Setback Allowed
 26.4' Requested for PROPOSED 1 1/2 STORY ADDITION OVER EXISTING BUILDING FOOTPRINT

Other Variances may be Required pending the Review and Approval by the appropriate Governing Authorities

#005-23

LEGEND

Existing	
Stone Wall	
Concrete Wall	
Fence	
Catch Basin (In Curb)	
Catch Basin (Flush)	
Gas Box	GB o
Gas Meter	GM
Electric Meter	EM
Water Box	WB o
Monitoring Well	MW o
Manhole	
Yard Drain	
Light Pole	
Sign	
Clean Out	CO o
Metal Cover	MCO

This survey and map has been prepared in accordance with Section 20-300b-1 thru 20-300b-20 of the Regulation of Connecticut State Agencies—"Minimum Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a "ZONING LOCATION SURVEY" based on a "DEPENDENT RESURVEY" conforming to horizontal Accuracy Class "A-2" and intended to be used for Compliance and Noncompliance with Existing Requirements.

To my knowledge and belief this plan is substantially correct as noted hereon.

REVISED JULY 26, 2022 (PROPOSED ADDITION)
 REVISED August 2, 2022 (PROPOSED Roof Only)
 REVISED August 18, 2022 (Street center Setback)

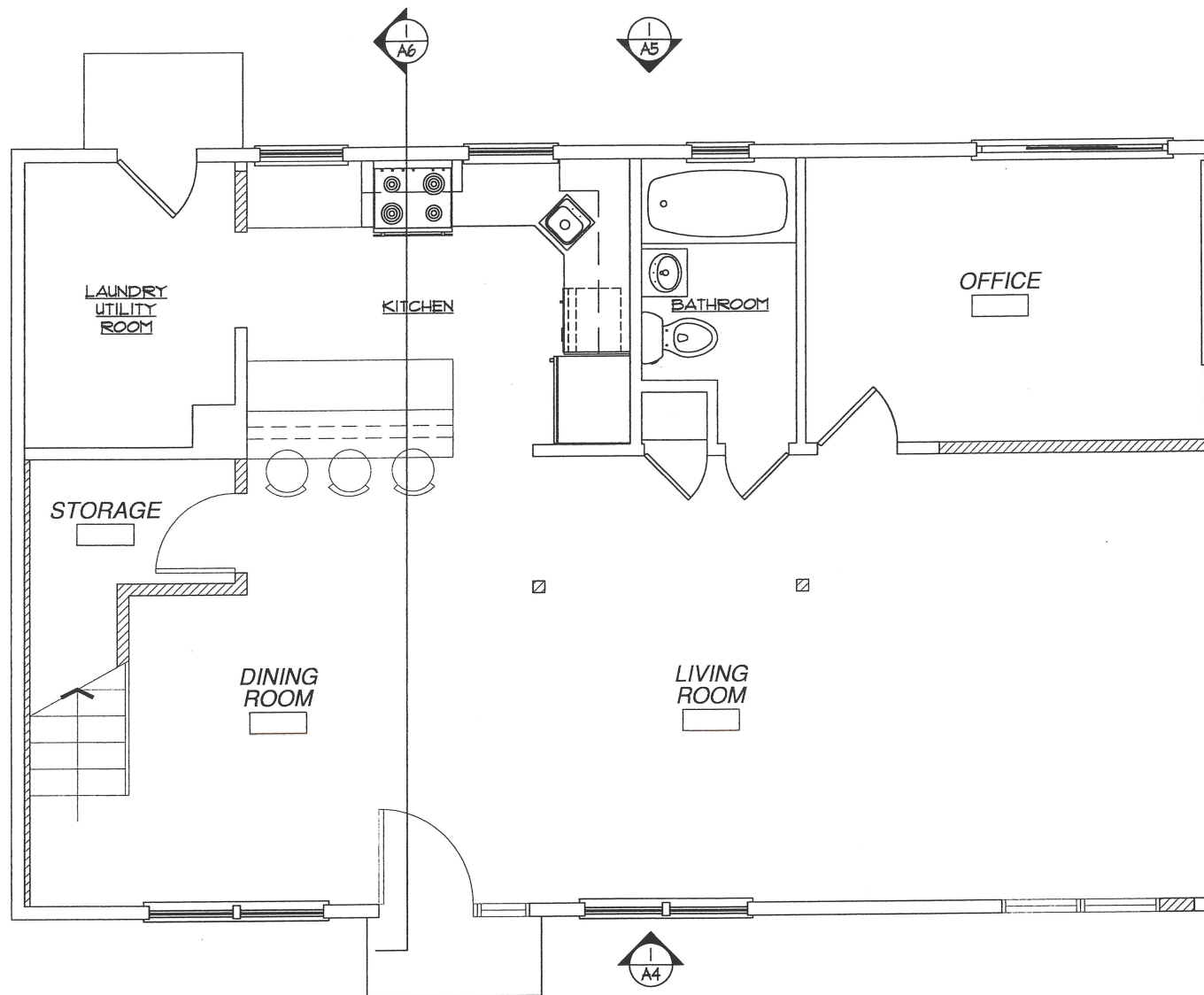
This Document and Copies Thereof are Valid only if they bear the signature and embossed seal of the designated licensed professional. Unauthorized alterations render any declaration hereon null and void.

BY:
FOR: EDWARD J. FRATTAROLI, INC.
 Land Surveyors • Engineers • Land Planners
 STAMFORD, CONNECTICUT MARCH 15, 2022

Refer To:
 Lot No. 37
 Map No. 4090 S.L.R.
 Area = 5,948 Sq. Ft. (Fig.)
 Existing Dwelling & Garage Cover 23.6% of Lot area

Scale: 1" = 20'

#005-23



CONSTRUCTION LEGEND:

- EXIST. WALLS TO REMAIN
- ▨ PROPOSED NEW WALLS



DF CONSULTING LLC
352 STILLWATER AVENUE
STAMFORD, CT 06902
203-406-9866

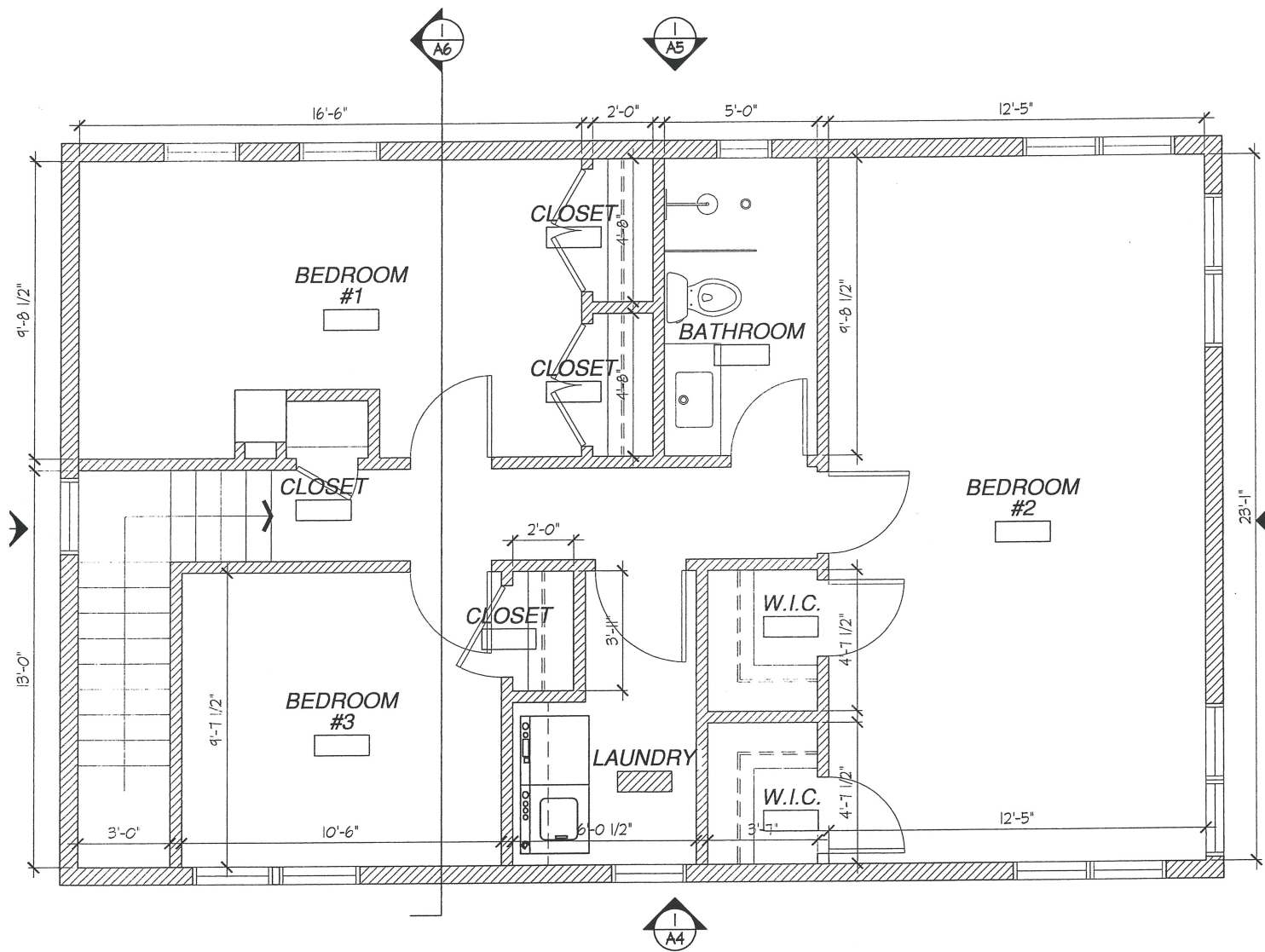
Mr. & Mrs. Ed Danielsen Residence
3 Lewelyn Road
Stamford, Conn.

Proposed First Floor Plan

August 08, 2022
Scale: 1/4" = 1'-0"

Sheet No.

AI



CONSTRUCTION LEGEND:
 ——— EXIST. WALLS TO REMAIN
 // // // PROPOSED NEW WALLS



DF CONSULTING LLC
 352 STILLWATER AVENUE
 STAMFORD, CT 06902
 203-406-9866

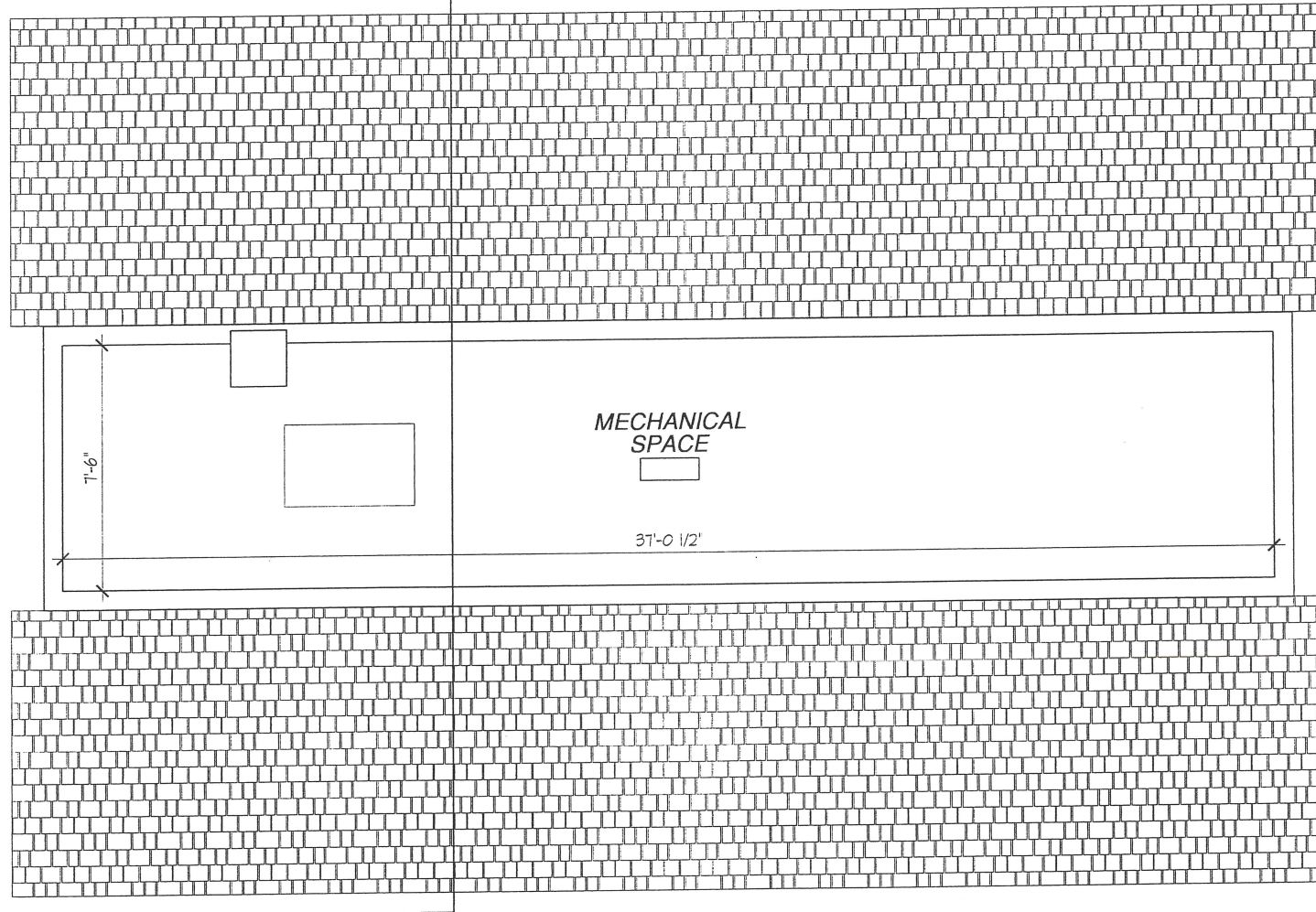
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 3 Lewelyn Road
 Stamford, Conn.

Proposed Second Floor Plan

August 08, 2022
 Scale: 1/4" = 1'-0"

Sheet No.

A2



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352 STILLWATER AVENUE
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Mr. & Mrs. Ed Danielsen Residence
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Stamford, Conn.

Proposed Attic Plan
Mechanical Space

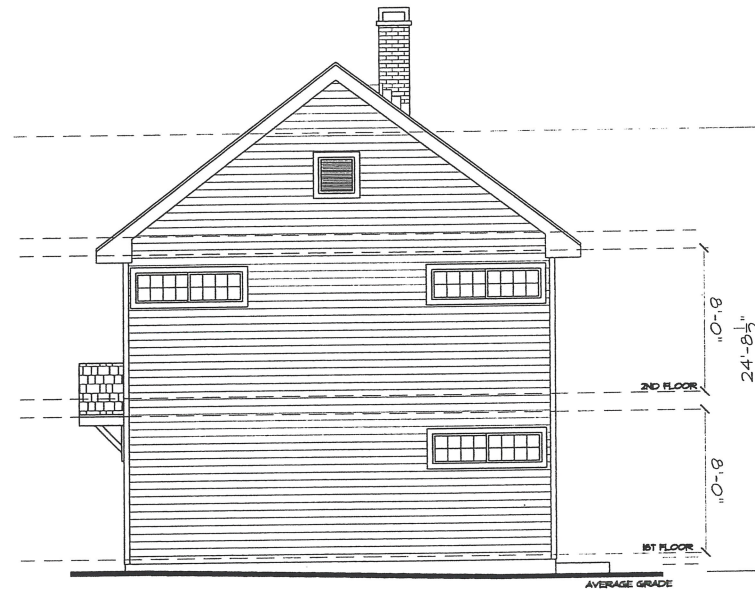
August 08, 2022
Scale: 1/4" = 1'-0"

Sheet No.

A3



1 PROPOSED FRONT ELEVATION
SCALE: 1/8"=1'-0"



2 PROPOSED SIDE ELEVATION
SCALE: 1/8"=1'-0"



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Mr. & Mrs. Ed Danielsen Residence
3 Lewelyn Road
Stamford, Conn.

Proposed Front and Side Elevations

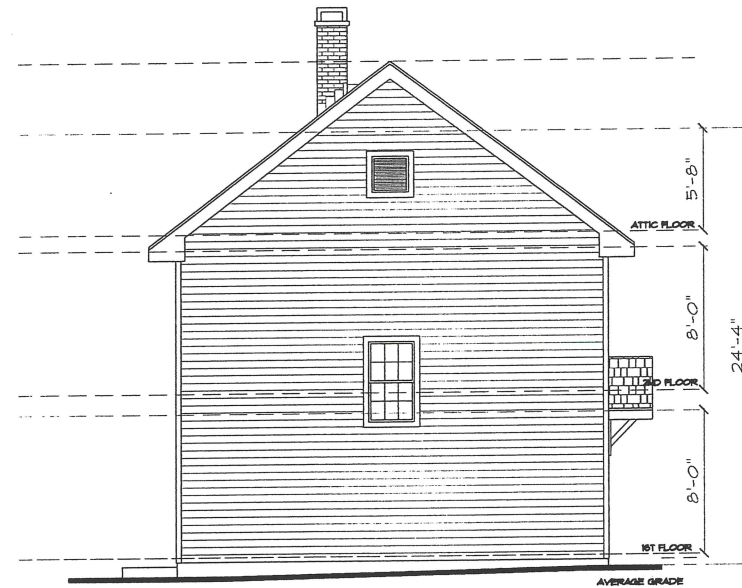
August 08, 2022
Scale: 1/4"=1'-0"

Sheet No.

A4



1 PROPOSED REAR ELEVATION
SCALE: 1/8"=1'-0"



2 PROPOSED SIDE ELEVATION
SCALE: 1/8"=1'-0"



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STAMFORD, CT 06902
203-406-9866

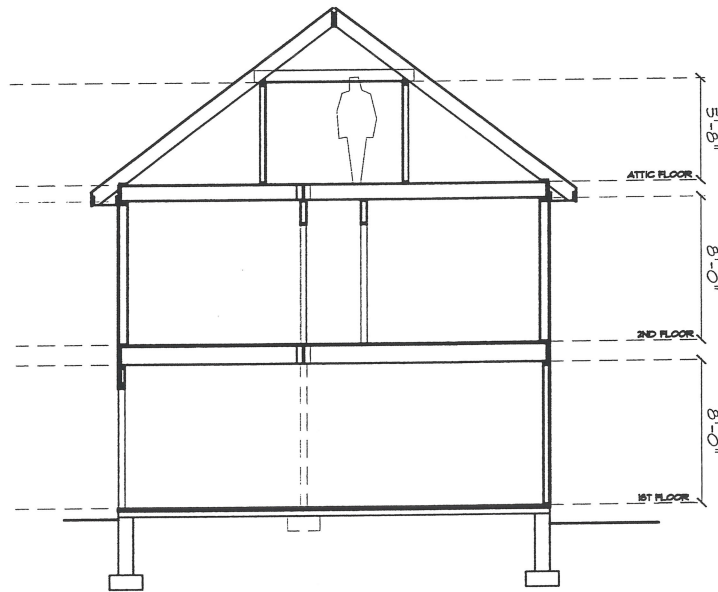
Mr. & Mrs. Ed Danielsen Residence
3 Lewelyn Road
Stamford, Conn.

Proposed Rear and Side Elevations

August 08, 2022
Scale: 1/4"=1'-0"

Sheet No.

A5



1 TYPICAL SECTION
SCALE 1/8"=1'-0"



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STAMFORD, CT 06902
203-406-9866

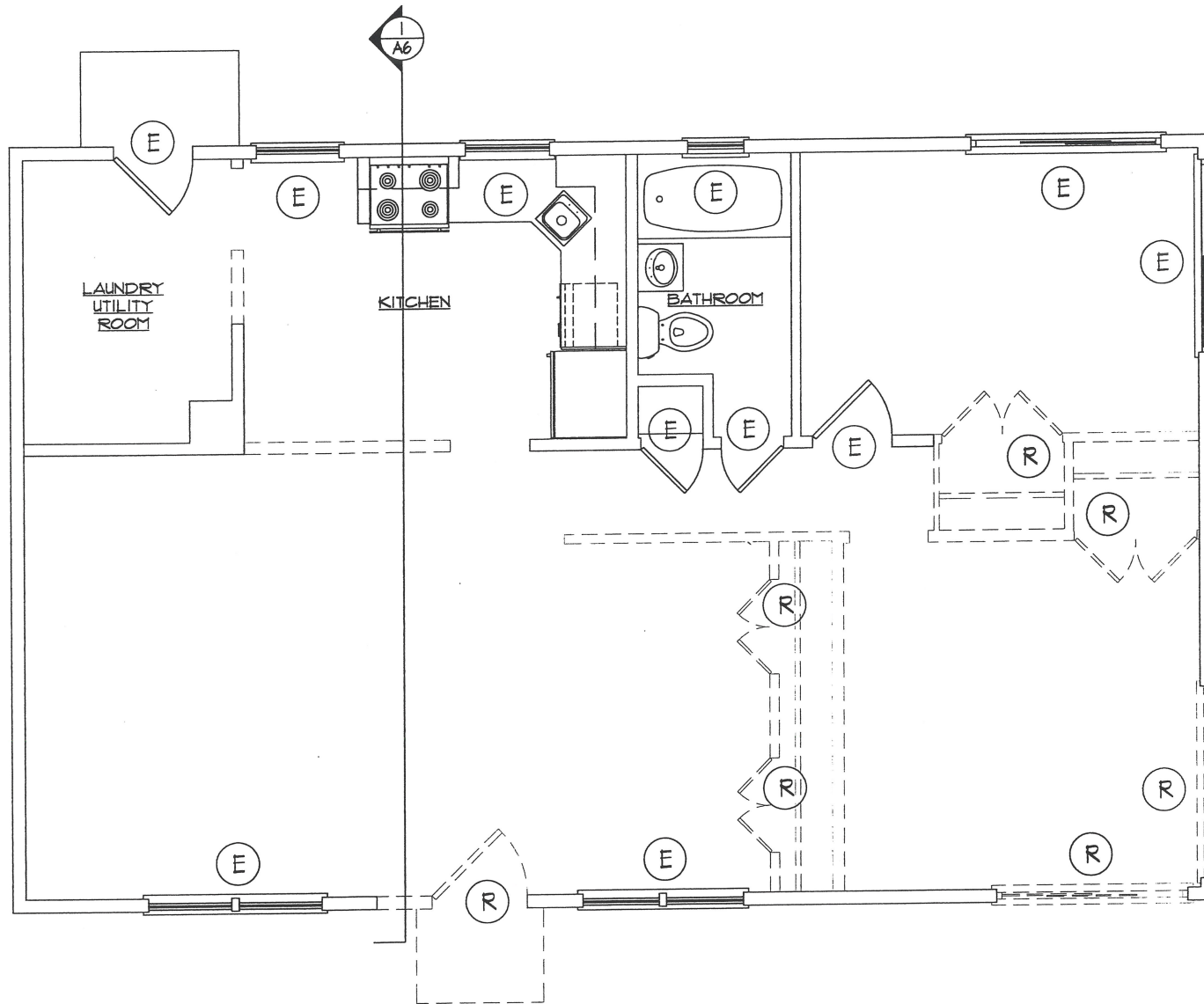
Mr. & Mrs. Ed Danielsen Residence
3 Lewelyn Road
Stamford, Conn.

TYPICAL SECTION







August 08, 2022
Scale: 1/4"=1'-0"

Sheet No.

A6



DEMOLITION LEGEND:

-  EXISTING PARTITIONS SHALL REMAIN
-  EXISTING PARTITIONS SHALL BE REMOVED
-  EXISTING WINDOWS SHALL BE REMOVED
-  EXISTING DOOR AND FRAME SHALL BE REMOVED.
-  EXISTING DOOR & FRAME SHALL REMAIN.
-  N.I.C. NOT IN CONTRACT.



DF CONSULTING LLC
 352 STILLWATER AVENUE
 STAMFORD, CT 06902
 203-406-9866

Mr. & Mrs. Ed Danielsen Residence
 3 Lewelyn Road
 Stamford, Conn.

Proposed First Floor Demolition Plan

August 08, 2022
 Scale: 1/4" = 1'-0"

Sheet No.

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