

DESIGN AND DEVELOPMENT CONTACTS:

APPLICANT/PROPERTY OWNER McDONALD'S CORPORATION
110 N CARPENTER ST.
CHICAGO, IL 60607
TEL: (630) 623-3000

CIVIL ENGINEER CORE STATES GROUP
201 S. MAPLE AVENUE
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AMBLER, PA 19002
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ARCHITECT CORESTATES INC.
201 S. MAPLE AVENUE
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SURVEYOR GALLAS SURVEYING GROUP
2885 US ROUTE 1
NORTH BRUNSWICK, NJ 08902
CONTACT: GREGORY GALLAS
TEL: (732)-422-6700

UTILITY COMPANY:	PHONE NUMBER
AQUARIUM WATER	800-732-9678
CABLEVISION OF CONNECTICUT	800-262-8600
CITY OF STAMFORD	203-977-5894
CONNECTICUT DEPT. OF TRANSPORTATION	203-878-1869
EVERSOURCE ELECTRIC	800-778-9140
EVERSOURCE GAS	203-317-4501
FRONTIER COMMUNICATIONS	800-598-0628
LEVEL 3 COMMUNICATIONS	877-366-8344
LIGHTOWER	978-264-8012
STATE OF CT. DEPT. OF TRANSPORTATION	860-594-3447

SITE IMPROVEMENTS

FOR

McDONALD'S

McDONALD'S STORE No. 006-0160
1103 E MAIN STREET
STAMFORD, FAIRFIELD COUNTY,
CONNECTICUT 06902



LOCATION MAP
NOT TO SCALE

SHEET INDEX		
PAGE NUMBER	SHEET TITLE	PREPARED BY
C-1	COVER SHEET	CORE STATES
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CD-6.1	CONSTRUCTION DETAILS 2	CORE STATES
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CD-6.3	CONSTRUCTION DETAILS 4	CORE STATES
REFERENCE DRAWINGS		
SHEET 1 OF 1	BOUNDARY & TOPOGRAPHIC SURVEY (BY GALLAS SURVEYING GROUP, INC.)	

ALERT TO CONTRACTOR:

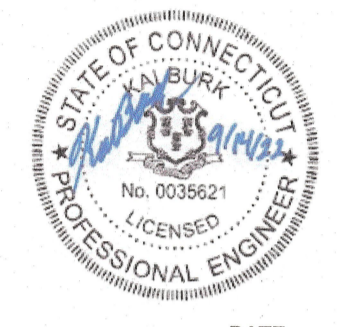

- THE SITE WORK FOR THE PROPOSED DEVELOPMENT SHALL MEET OR EXCEED ALL CITY AND/OR COUNTY AND STATE STANDARDS FOR SITE WORK.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

GENERAL NOTES:

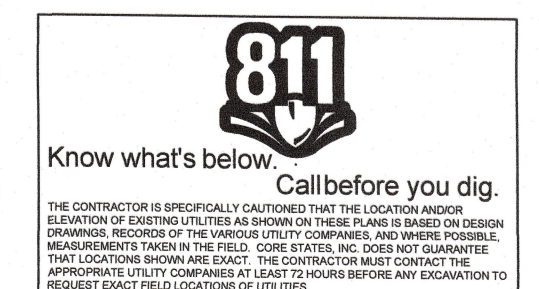
- EXISTING CONDITION, INCLUDING PROPERTY LINES, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WERE TAKEN FROM THE BOUNDARY & TOPOGRAPHIC SURVEY ENTITLED:
BOUNDARY & TOPOGRAPHIC SURVEY
PARCEL 003-6762
1103 EAST MAIN STREET
CITY OF STAMFORD
COUNTY OF FAIRFIELD
STATE OF CONNECTICUT
PREPARED BY: GALLAS SURVEYING GROUP
FIELD DATE: 09/11/2017
DATE: 09/25/2017
- ALL PHASES OF THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER/DEVELOPER SITE WORK SPECIFICATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING PAVING AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- SAFETY NOTICE TO CONTRACTOR:** IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES ON OR NEAR THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN AND FREE FROM DEBRIS AT ALL TIMES DURING CONSTRUCTION.
- PREVIOUS SITE PLAN REMAINS IN EFFECT EXCEPT AS MODIFIED BY THE PROPOSED REVISIONS.

PROJECT NARRATIVE:

THIS PROJECT PROPOSES BUILDING FACADE RENOVATIONS AND IMPROVEMENTS TO THE EXISTING ACCESSIBLE PARKING AREA AND PATHWAY TO THE BUILDING. RELATED SITEWORK MODIFICATIONS INCLUDE OPTIMIZATION OF THE DRIVE-THRU AND UPGRADES TO THE ORDERING EQUIPMENT (INCL. DIGITAL MENU BOARDS)

 KAI BURK, P.E. PE LICENSE #PE0035621 DATE	
 CORE STATES GROUP 3039 Premiere Parkway Suite 100 Dulles, VA 20188 Phone: (678) 405-1979 kburk@core-states.com	
PREPARED FOR: McDonald's USA, LLC <small>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contractor shall be held liable for any use of these drawings for reference or example on another project without the written consent of McDonald's USA, LLC. Reproduction of the contract documents for reuse on another project is not authorized.</small>	#002-23
DRAWN BY DC	STD ISSUE DATE 2021
REVIEWED BY KB	DATE ISSUED 09/14/2021
SHEET NO. SITE PLAN FOR McDONALD'S E MAIN ST., STAMFORD, CT SHEET COVER SHEET	CSG PROJECT # MCD-20991
SHEET ID 006-0160	SITE ADDRESS 1103 E MAIN STREET, STAMFORD, CT 06902
MCD-20991	C1

DOCUMENTS PREPARED BY CORESTATES, INC. INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.



STANDARD ABBREVIATIONS table with columns for symbol and description, listing various construction terms like ACRES, ARCHITECTURAL, BOTTOM OF CURB, etc.

GENERAL SITE NOTES:

- 1. ALL CONSTRUCTION MATERIALS AND TECHNIQUES OF INSTALLATION SHALL MEET PERFORMANCE VALUES OF THE MATERIALS SPECIFIED AND COMPLY WITH ALL AUTHORITY HAVING JURISDICTION REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THIS PROJECT IS CONSTRUCTED IN ACCORDANCE WITH THESE DOCUMENTS AND IN COMPLIANCE WITH CODES INDICATED HEREIN...

REVISIONS.

- 30. SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK...

SOIL EROSION AND SEDIMENT CONTROL NOTES:

- 1. ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
2. SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL AUTHORITY HAVING JURISDICTION STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL...

DEMOLITION NOTES:

- 1. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS AND CODES AND OBTAIN ALL REQUIRED PERMITS FOR ANY CONSTRUCTION ACTIVITY.
2. THE CONTRACTOR SHALL CONTACT 811 DIG SAFELY BEFORE PERFORMING ANY EXCAVATION WORK.
3. THE CONTRACTOR SHALL INSTALL ALL CONSTRUCTION FENCING AND EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO THE START OF ANY DEMOLITION OR CONSTRUCTION ACTIVITY...

- AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK...
13. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY AND REMOVED TO THE PROPERTY LINE...

GENERAL UTILITY NOTES:

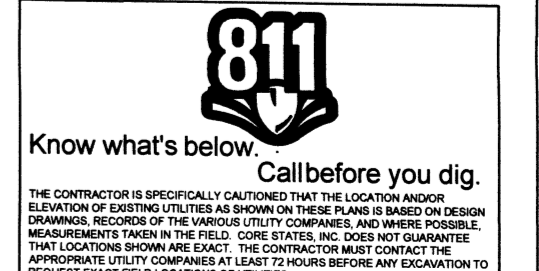
- 1. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
2. ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
3. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE AUTHORITY HAVING JURISDICTION AND CONTRACTOR HAS BEEN NOTIFIED BY SAID ENGINEER...

- EXCEPTIONS TO THIS MUST BE APPROVED IN WRITING BY THE AUTHORITY HAVING JURISDICTION.
19. A MINIMUM HORIZONTAL DISTANCE OF 3 FEET, UNLESS OTHERWISE NOTED IN THE PLANS, SHALL BE MAINTAINED BETWEEN WATER LINES AND OTHER UNDERGROUND OF A NONSANITARY NATURE (GAS, ELECTRIC, ETC.) EXCEPTIONS TO THIS MUST BE APPROVED IN WRITING BY THE AUTHORITY HAVING JURISDICTION.
20. ALL DIP SHALL BE CLASS 50 OR HIGHER, DUCTILE IRON FITTINGS SHALL BE CLASS 350, UNLESS OTHERWISE NOTED IN THE PLANS. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED...

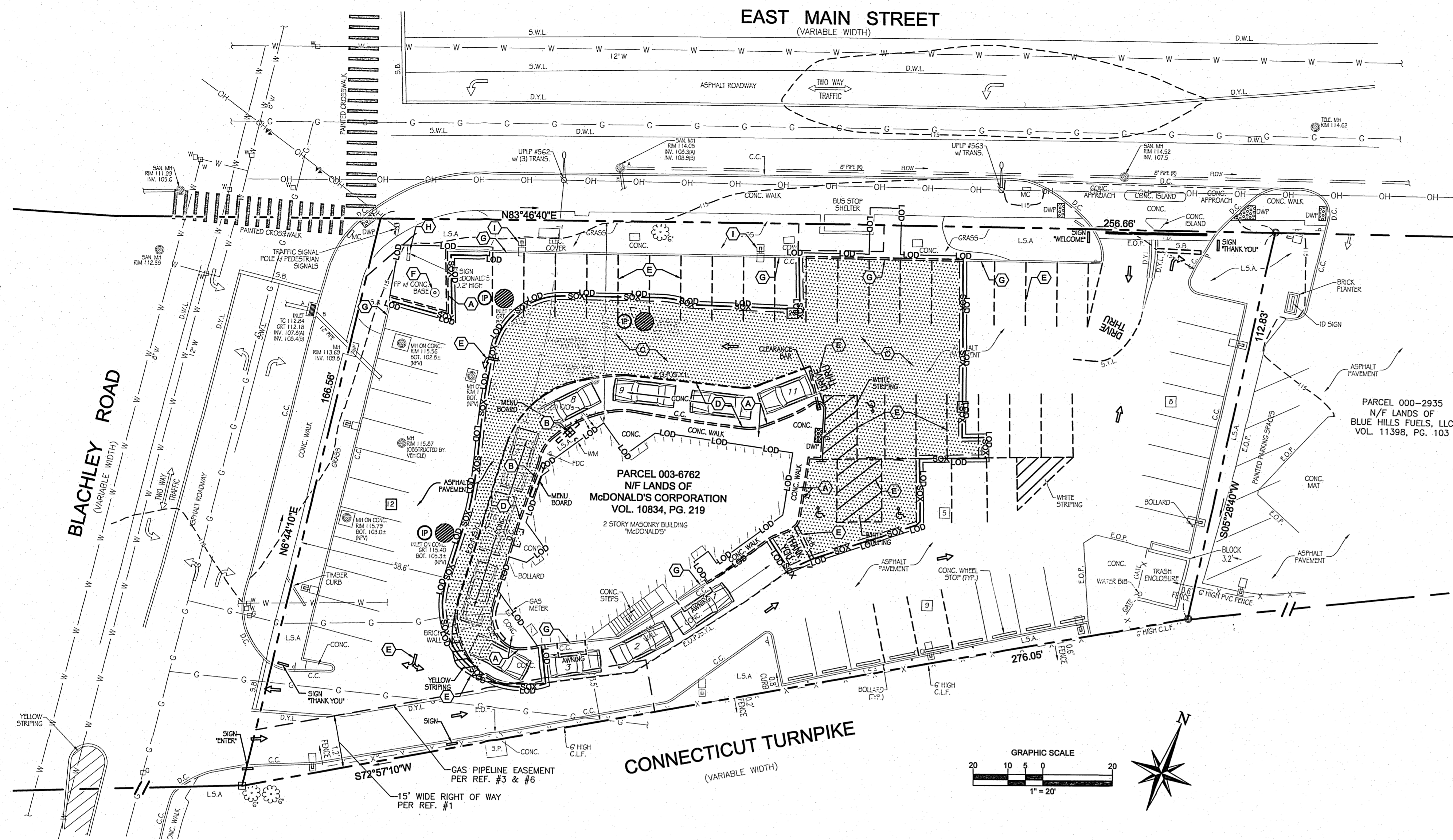
GENERAL PAVING AND GRADING NOTES:

- 1. ALL PAVING AND GRADING CONSTRUCTION MATERIALS AND METHODS SHALL MEET THE STANDARD SPECIFICATIONS AND REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE...
3. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.

NOT FOR CONSTRUCTION



Professional Engineer seal for Kai Burk, P.E. License #PE0035621. Project information: SITE PLAN FOR MCDONALD'S, E MAIN ST., STAMFORD, CT. SHEET NO. MCD-20991. DRAWN BY DC, STD ISSUE DATE 2021, REVIEWED BY KB, DATE ISSUED 08/14/2021, CS&S PROJECT # MCD-20991.



DEMOLITION KEY NOTES:

- A. EXISTING CONCRETE WALK AND ASSOCIATED CONCRETE CURB TO BE REMOVED.
- B. EXISTING MENU BOARD AND FOUNDATION TO BE REMOVED.
- C. EXISTING ASPHALT TO BE REMOVED.
- D. EXISTING CONCRETE PAVEMENT TO BE REMOVED.
- E. EXISTING STRIPING TO BE REMOVED.
- F. EXISTING FLAGPOLE TO BE REMOVED.
- G. EXISTING CONCRETE CURB TO BE REMOVED.
- H. EXISTING MCDONALDS SIGN TO REMAIN AND BE PROTECTED IN PLACE.
- I. EXISTING LIGHT POLE TO REMAIN AND BE PROTECTED IN PLACE.
- J. EXISTING CURB TO REMAIN AND BE PROTECTED IN PLACE.

DEMOLITION NOTES:

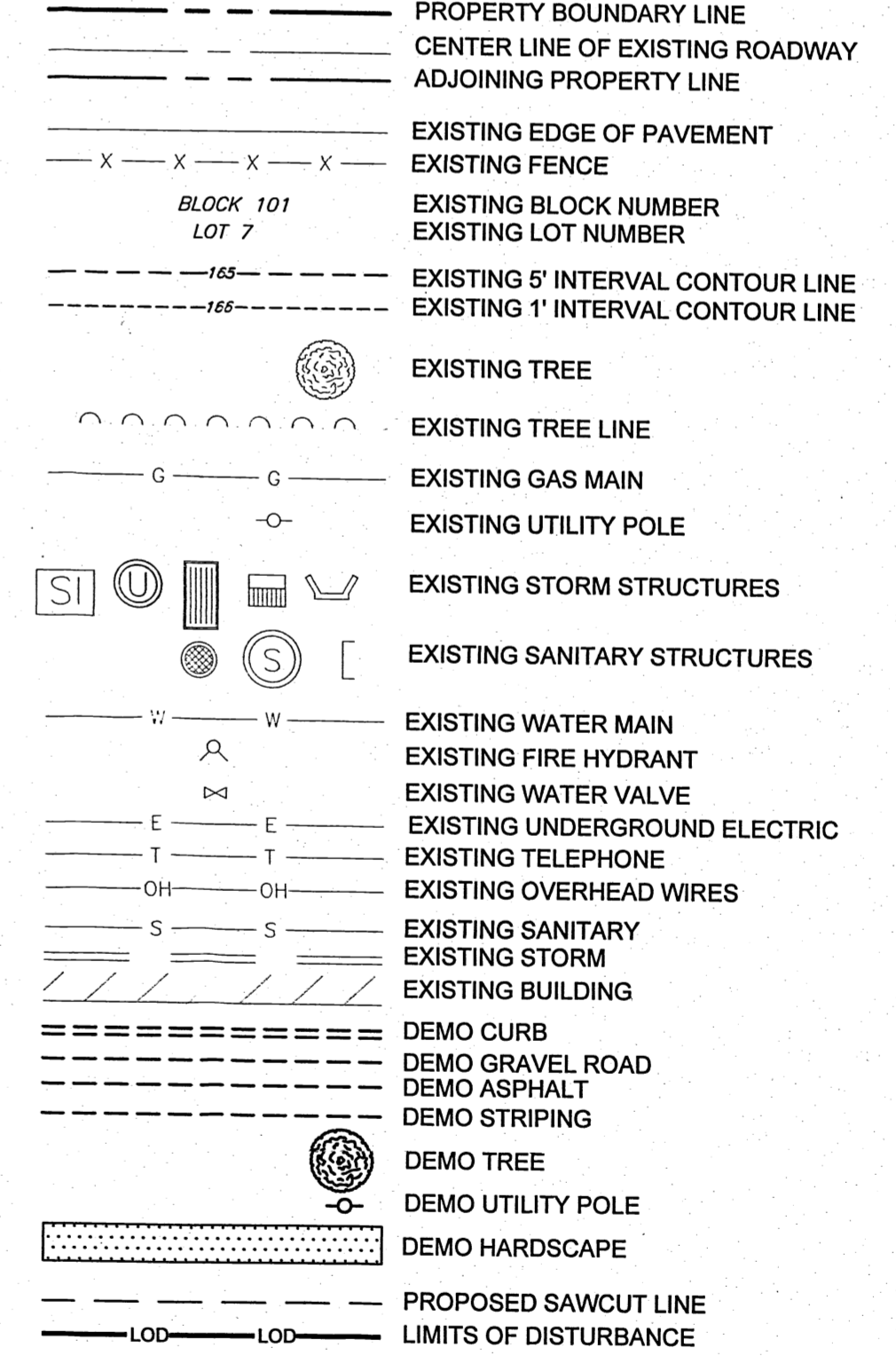
1. REFER TO SHEET C2 FOR GENERAL AND DEMOLITION NOTES.
2. THE TOTAL LIMITS OF DISTURBANCE FOR THIS PROJECT IS 9,706 SF (0.22 AC).
3. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND FOR CALLING THE APPROPRIATE ONE-CALL CENTER AT LEAST 72 HOURS IN ADVANCE OF ANY EXCAVATION.

MAINTENANCE NOTES:

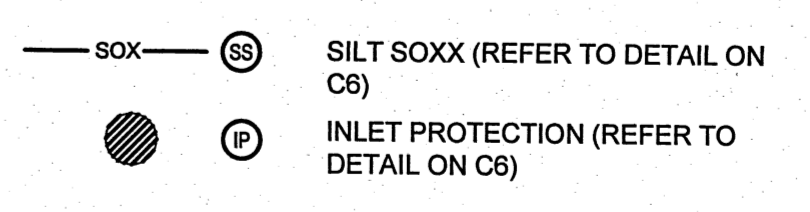
ALL MEASURES STATED ON THIS PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED. FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION SHALL BE REPAIRED TO THEIR ORIGINAL CONDITION IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE INLET PROTECTION WHEN CLOGGING BECOMES APPARENT.
2. SILT SOXX SHALL BE REPAIRED OR REPLACED TO THEIR ORIGINAL CONDITION IF DAMAGED.

DEMOLITION LEGEND



E & S LEGEND



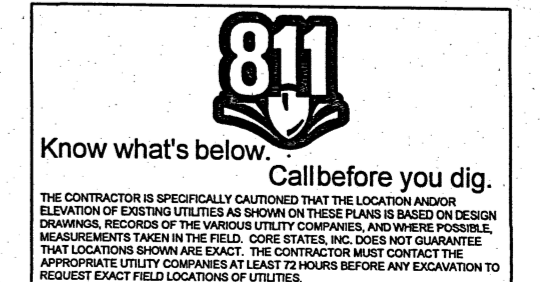
SEQUENCE OF CONSTRUCTION:

- PHASE I**
1. INSTALL TEMPORARY INLET PROTECTION(S) AND SILT SOXX.
 2. PREPARE TEMPORARY PARKING AND STORAGE AREA AT LOCATION IN PARKING LOT DESIGNATED BY OWNER.
 3. BEGIN DEMOLITION ACTIVITIES HARDSCAPE REMOVAL.
 4. START CONSTRUCTION OF SITE IMPROVEMENTS.

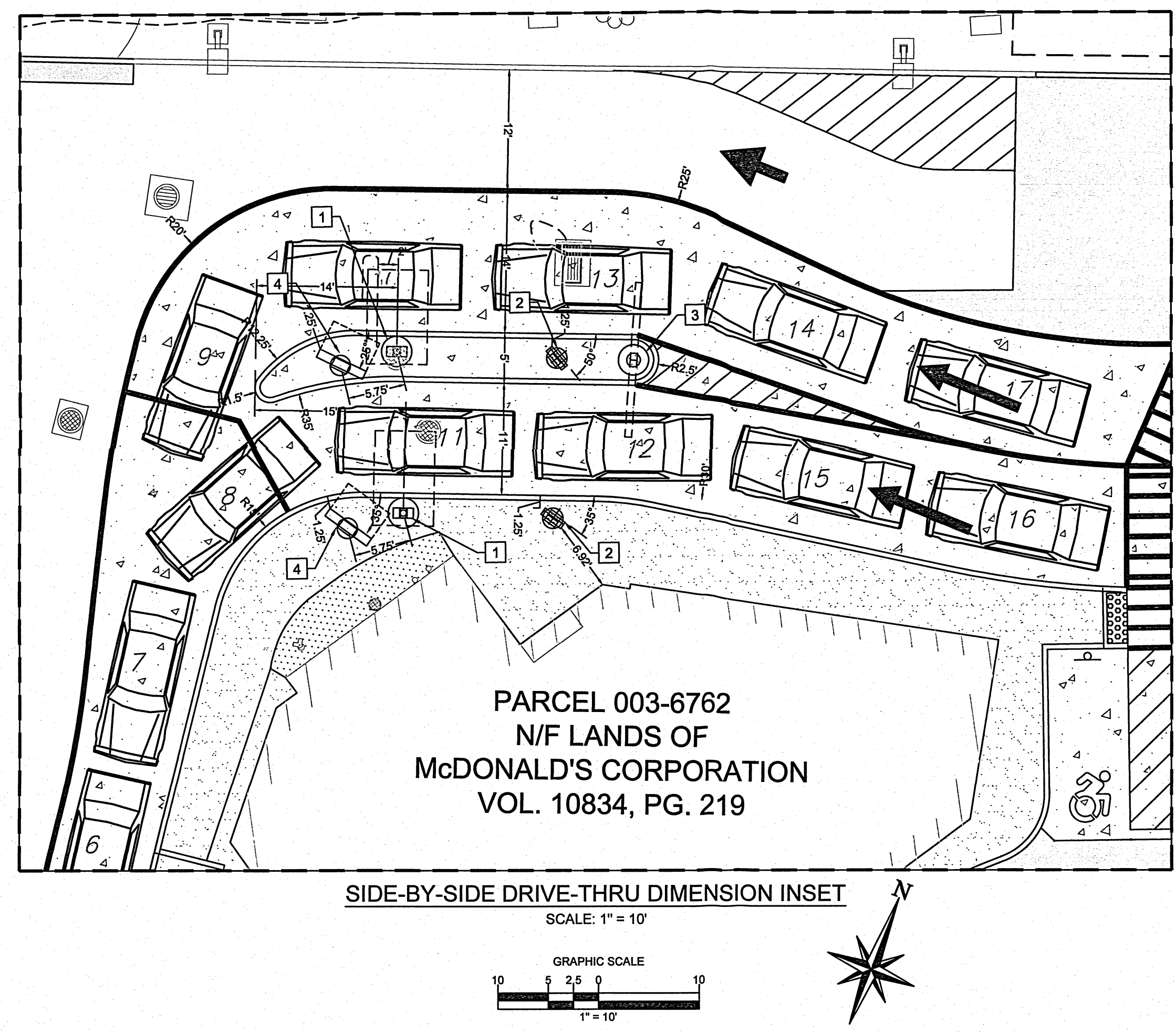
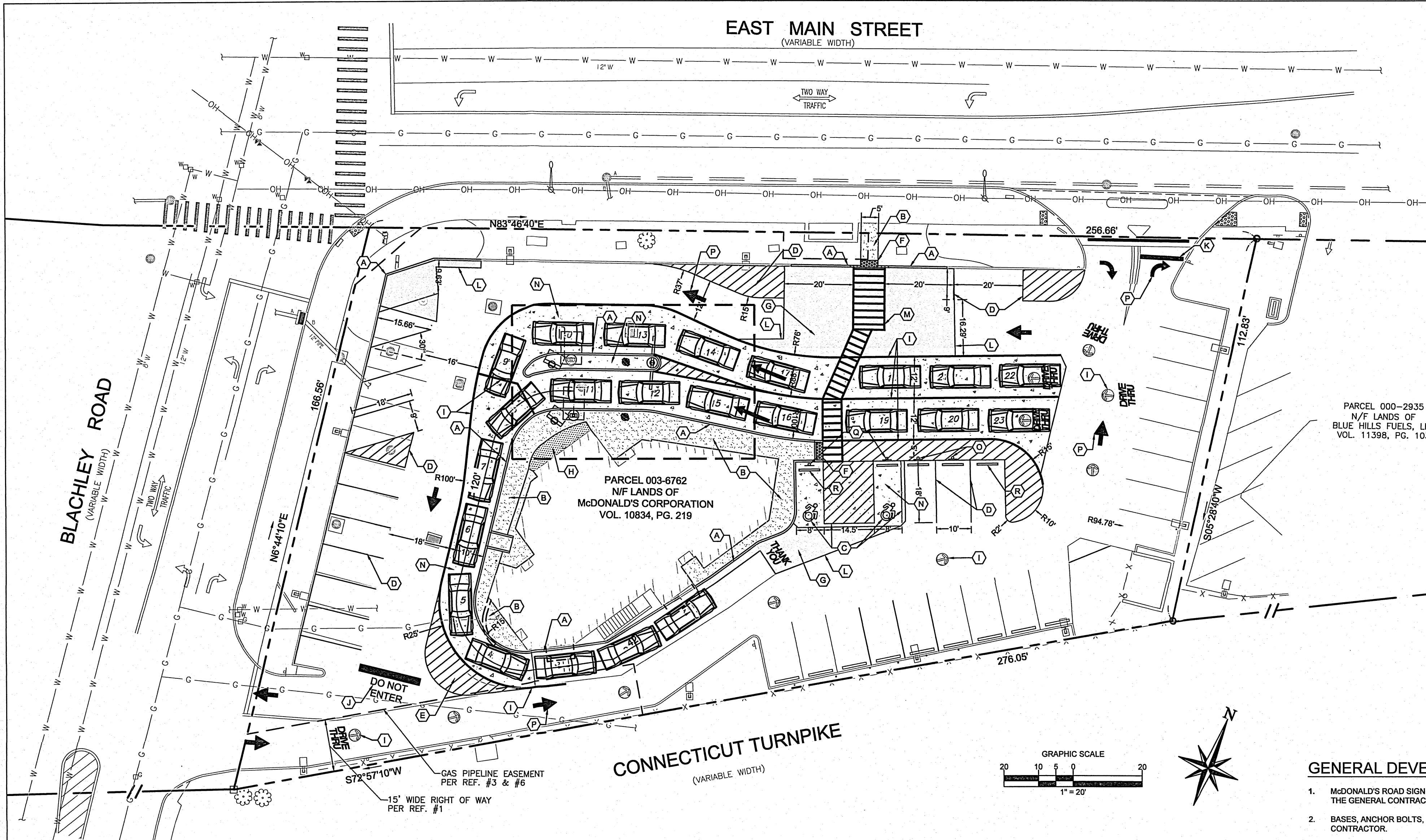
- PHASE II**
1. TEMPORARILY SEED OR MULCH, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE.
 2. INSTALL CURB AND PAVEMENT SUBBASE.
 3. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
 4. PREPARE SITE FOR PAVING.
 5. PAVE SITE AND INSTALL SIGNAGE.
 6. COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
 7. CALL ENGINEER OF RECORD AFTER THE SITE APPEARS TO BE FULLY STABILIZED FOR AN INSPECTION.
 8. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER APPROVAL OF THE ENGINEER OF RECORD AND STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE BMP.
 9. CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION IS SIGNED OFF BY THE OWNER THAT THE SITE IS FULLY STABILIZED AND THE PERMIT MAY BE TERMINATED.

NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPs HAVE BEEN COMPLETELY INSTALLED.

NOT FOR CONSTRUCTION



<p>CORE STATES GROUP 3030 Premiere Parkway Duluth, GA 30097 Phone: (770) 955-1979 Info: info@core-states.com</p>	
<p>DATE PE LICENSE #PE0035621</p>	<p>DATE KAI BURK, P.E. PE LICENSE #PE0035621</p>
<p>PREPARED FOR: McDonald's USA, LLC McDonald's USA, LLC is a wholly owned subsidiary of McDonald's Corporation. The drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC. The drawings and specifications are prepared for use on this specific site in conjunction with the issue date and are not suitable for use on a different site or at a later time. Use of these drawings and specifications on any other project requires the services of property licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.</p>	
<p>DRAWN BY DC</p>	<p>STANDARD ISSUE DATE 2021</p>
<p>REVIEWED BY KB</p>	<p>DATE ISSUED 08/14/2021</p>
<p>CSG PROJECT # MCD-20991</p>	<p>TITLE SITE PLAN FOR MCDONALD'S E MAIN ST., STAMFORD, CT</p>
<p>SHEET DEMOLITION AND EROSION AND SEDIMENT CONTROL PLAN</p>	<p>SHEET NO. MCD-20991</p>
<p>SITE ID 006-0160</p>	<p>SITE ADDRESS 1103 E MAIN STREET, STAMFORD, CT 06802</p>
<p>C3</p>	<p>DESCRIPTION</p>



SITE KEY NOTES:

- A. PROPOSED CONCRETE CURB. REFER TO CONSTRUCTION DETAILS SHEETS.
- B. PROPOSED CONCRETE SIDEWALK. REFER TO CONSTRUCTION DETAILS SHEETS.
- C. PROPOSED ACCESSIBLE PARKING STRIPING. MUST BE LONG LIFE EPOXY. REFER TO CONSTRUCTION DETAILS SHEETS.
- D. PROPOSED PARKING STRIPING (TYP). MUST BE LONG LIFE EPOXY. STRIPING STYLE TO MATCH EXISTING. REFER TO CONSTRUCTION DETAILS SHEETS.
- E. PROPOSED PAVEMENT MARKING. MUST BE LONG LIFE EPOXY. REFER TO CONSTRUCTION DETAILS SHEETS.
- F. PROPOSED ACCESSIBLE CURB RAMP WITH 2" WIDE DETECTABLE WARNING. REFER TO CONSTRUCTION DETAILS SHEETS.
- G. PROPOSED ASPHALT PAVEMENT. REFER TO CONSTRUCTION DETAILS SHEETS.
- H. PROPOSED LANDSCAPE AREA. CONTRACTOR TO COORDINATE WITH LANDSCAPING CONTRACTOR TO MATCH EXISTING LANDSCAPING SCHEME ON SITE.
- I. PROPOSED DRIVE-THRU MARKINGS. REFER TO CONSTRUCTION DETAILS SHEETS.
- J. PROPOSED DO NOT ENTER AND STOP BAR STRIPING. REFER TO CONSTRUCTION DETAILS SHEETS.
- K. PROPOSED STOP BAR STRIPING. REFER TO CONSTRUCTION DETAILS SHEETS.
- L. PROPOSED PAVEMENT EDGE. REFER TO CONSTRUCTION DETAILS SHEETS.
- M. PROPOSED CROSSWALK STRIPING. REFER TO CONSTRUCTION DETAILS SHEETS.
- N. PROPOSED CONCRETE PAD. REFER TO CONSTRUCTION DETAILS SHEETS.
- O. PROPOSED MOBILE ORDER PARKING SIGN. REFER TO CONSTRUCTION DETAILS SHEETS.
- P. PROPOSED DIRECTIONAL ARROW STRIPING. REFER TO CONSTRUCTION DETAILS SHEETS.
- Q. PROPOSED ADA PARKING SIGN. REFER TO CONSTRUCTION DETAILS SHEETS.
- R. PROPOSED WHEEL STOP. REFER TO CONSTRUCTION DETAILS SHEETS.

SIGN LEGEND:

- 1 PROPOSED SPRINGBOARD CANOPY.
- 2 PROPOSED DIGITAL PRE-BROWSE MENU BOARD.
- 3 PROPOSED WELCOME POINT GATEWAY.
- 4 PROPOSED MOBILE ORDER PARKING SIGN.

GENERAL DEVELOPMENT NOTES:

1. McDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR. THE FOUNDATION DESIGN ARE BY OTHERS.
2. BASES, ANCHOR BOLTS, CONDUIT AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
3. PROPOSED UTILITIES ARE ONLY SHOWN IN SCHEMATIC LAYOUT. EXACT LOCATIONS SHALL BE DETERMINED PRIOR TO CONSTRUCTION. SHOULD THERE BE ANY DISCREPANCIES, THE CONTRACTOR SHALL HALT WORK AND NOTIFY THE ENGINEER OF RECORD.
4. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
5. FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT UNLESS OTHERWISE NOTED ON THESE PLANS.
6. ALL DIMENSIONS SHOWN ARE TAKEN FROM FACE OF CURB UNLESS OTHERWISE INDICATED.
7. ALL FEATURES SHOWN ARE EXISTING UNLESS OTHERWISE INDICATED.
8. EXISTING CONDITIONS ARE BASED ON BOUNDARY & TOPOGRAPHIC SURVEY BY GALLAS SURVEYING GROUP DATED 09/25/2017.
9. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
10. THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING THE SITE UNTIL WORK IS ACCEPTED BY THE OWNER.
11. ANY DAMAGE TO THE EXISTING CURB AS A RESULT OF THIS DEVELOPMENT MUST BE REPLACED AS NECESSARY.
12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ANY DEBRIS AND FLUSH OUT ALL EXISTING AND NEW STORM DRAINAGE FACILITIES WITHIN THE PROJECT LIMITS AT THE COMPLETION OF THE CONSTRUCTION.
13. PROVIDE ADEQUATE OFF-STREET PARKING FOR CONSTRUCTION EMPLOYEES. PARKING ON NON-SURFACED AREAS SHALL BE PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVEWAY CONDITIONS.
14. ALL QUANTITIES SHOWN ON PLANS ARE APPROXIMATE AND FOR REFERENCE ONLY.
15. CONTRACTOR TO VERIFY ALL MINIMUMS CALLED OUT ON THE CIVIL PLANS AND SHALL NOTIFY THE ENGINEER OF RECORD AND ACM IF MINIMUMS CANNOT BE MET.
16. REFER TO SHEET C2 FOR GENERAL NOTES.
17. ALL EXISTING FEATURES ARE TO REMAIN UNLESS OTHERWISE NOTED.
18. ALL PAVEMENT MARKINGS SHALL BE LONG LIFE EPOXY.
19. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
20. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
21. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
22. SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
23. ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
24. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
25. ROOM 108A MEETING ROOM SHOWN ON THE BUILDING FLOOR PLAN, WILL BE LIMITED TO MEETINGS RELATING TO RESTAURANT OPERATIONS AND WILL NOT BE USED AS A PARTY ROOM OR EMPLOYEE TRAINING ROOM.

GENERAL NOTES:

THIS DRAWING REFERENCES:
BOUNDARY & TOPOGRAPHIC SURVEY
PARCEL 003-6762, CITY OF STAMFORD
1103 EAST MAIN STREET
FAIRFIELD COUNTY, CONNECTICUT
PREPARED BY: GALLAS SURVEYING GROUP
DATED: 09/25/2017

OWNER:
McDONALD'S CORPORATION
110 N CARPENTER ST.
CHICAGO, IL 60607

1) SITE ADDRESS:
1103 EAST MAIN STREET
STAMFORD, CT
FAIRFIELD COUNTY, STATE OF CONNECTICUT

2) ZONING DATA:
(APPENDIX B TABLE IV)

ZONED: C-N NEIGHBORHOOD BUSINESS
EXISTING USE: FAST FOOD RESTAURANT WITH DRIVE-THRU
(EXISTING NON-COMFORMANCE)
PROPOSED USE: FAST FOOD RESTAURANT WITH DRIVE-THRU
(EXISTING NON-COMFORMANCE)

	REQUIRED	EXISTING	PROPOSED
MIN LOT AREA:	0.11 AC	0.81 AC	0.81 AC
MIN LOT FRONTAGE:	(5,000 S.F.)	(35,216 S.F.)	(35,216 S.F.)
MIN. FRONT YARD:	50'	256.66'	256.66'
STREET CENTER:	40'	90.95'	90.95'
STREET LINE:	15'	57.7'	57.7'
MIN. SIDE YARD:	5'	58.6' 120.2'	58.6' 120.2'
MIN. REAR YARD:	20'	23.5'	23.5'
FLOOR AREA RATIO:	0.3	0.092	0.092
MAX. HEIGHT:	25'	21.25'	21.25'
	2 STORIES	2 STORIES	2 STORIES

3) PARKING REQUIREMENTS:
(SECTION 12D.7)

1 SPACE FOR EVERY 3 PERSONS OF LEGAL OCCUPANCY LOAD OF THE PREMISES, OR ONE SPACE FOR EVERY 50 S.F. OF GROSS FLOOR AREA, WHICHEVER IS GREATER.

99 PERSONS OCCUPANCY = 99 X (1/3) = 33 SPACES
3,232 S.F. GROSS FLOOR AREA = 3,232 X (1/50) = 65 SPACES
REQUIRED PARKING SPACES = 65 SPACES

EXISTING McDONALD'S AREA PARKING: 61 SPACES (INCLUDING 2 ACCESSIBLE SPACES) (EXISTING NON CONFORMANCE)
PROPOSED McDONALD'S AREA PARKING: 37 SPACES (INCLUDING 2 ACCESSIBLE SPACES) (VARIANCE)

PARKING STALL DIMENSIONS:
(SECTION 12A.2)

EXISTING: VARIES
REQUIRED: 9'X18'
PROPOSED: 8'X18' ACCESSIBLE PARKING
9'X18' NON-ACCESSIBLE PARKING

- 4) ALL EXISTING FEATURES ARE TO REMAIN UNLESS OTHERWISE NOTED.
- 5) ALL PAVEMENT MARKINGS SHALL BE LONG LIFE EPOXY.
- 6) PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
- 7) ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- 8) ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- 9) SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- 10) ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
- 11) CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.

SITE LEGEND

- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING UTILITY EASEMENT
- EXISTING CURB AND GUTTER
- EXISTING EDGE OF PAVEMENT
- PROPOSED CURB AND GUTTER
- PROPOSED CURB
- PROPOSED DEPRESSED CURB
- PROPOSED BUILDING
- PROPOSED SIDEWALK
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- EXISTING STORMWATER STRUCTURES
- EXISTING SANITARY STRUCTURES
- EXISTING WATER STRUCTURE
- EXISTING ELECTRIC STRUCTURE
- PROPOSED PARKING COUNT

NOT FOR CONSTRUCTION

811
Know what's below. Call before you dig.
The contractor is specifically cautioned that the location and/or depth of existing utilities as shown on these plans are based on the measurements taken in the field. CORE STATES, INC. DOES NOT WARRANT THE LOCATION, DEPTH, OR TYPE OF UTILITIES. THE CONTRACTOR MUST CONTACT THE UTILITY COMPANIES TO VERIFY THE LOCATION OF UTILITIES.

STATE OF CONNECTICUT
LICENSED PROFESSIONAL ENGINEER
KAI BURK, P.E.
PE LICENSE #PE0036621

CORE STATES GROUP
3303 Premiere Parkway
Suite 100
Farmingdale, NY 11737
Phone: (678) 405-1879
kai@core-states.com

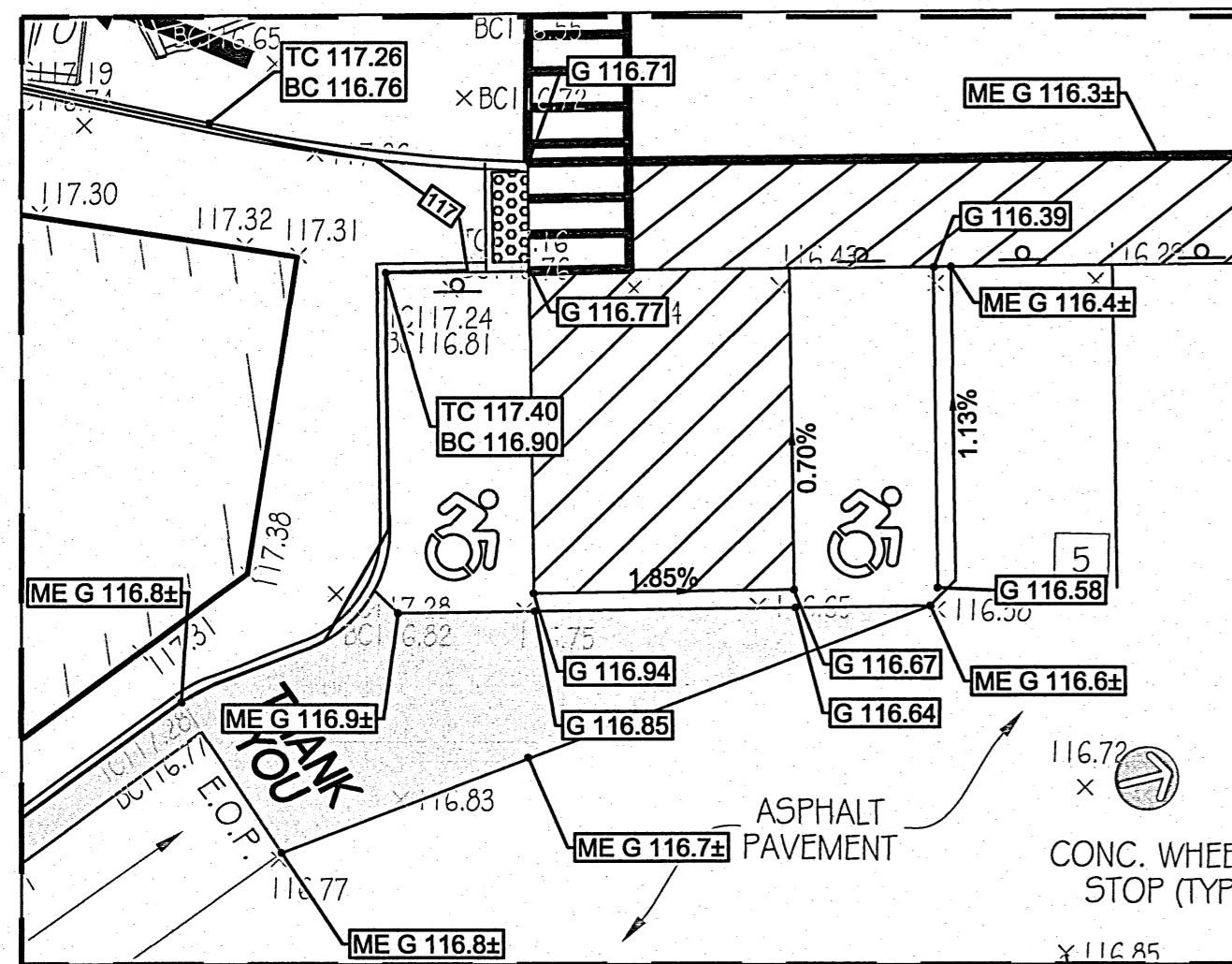
DATE: _____
PE LICENSE #PE0036621

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DRAWN BY: DC
STD ISSUE DATE: 2021
REVIEWED BY: KB
DATE ISSUED: 06/14/2021
CSC PROJECT #: MCD-20991

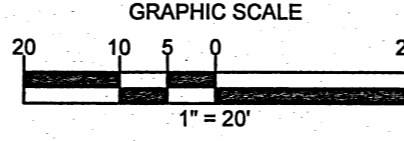
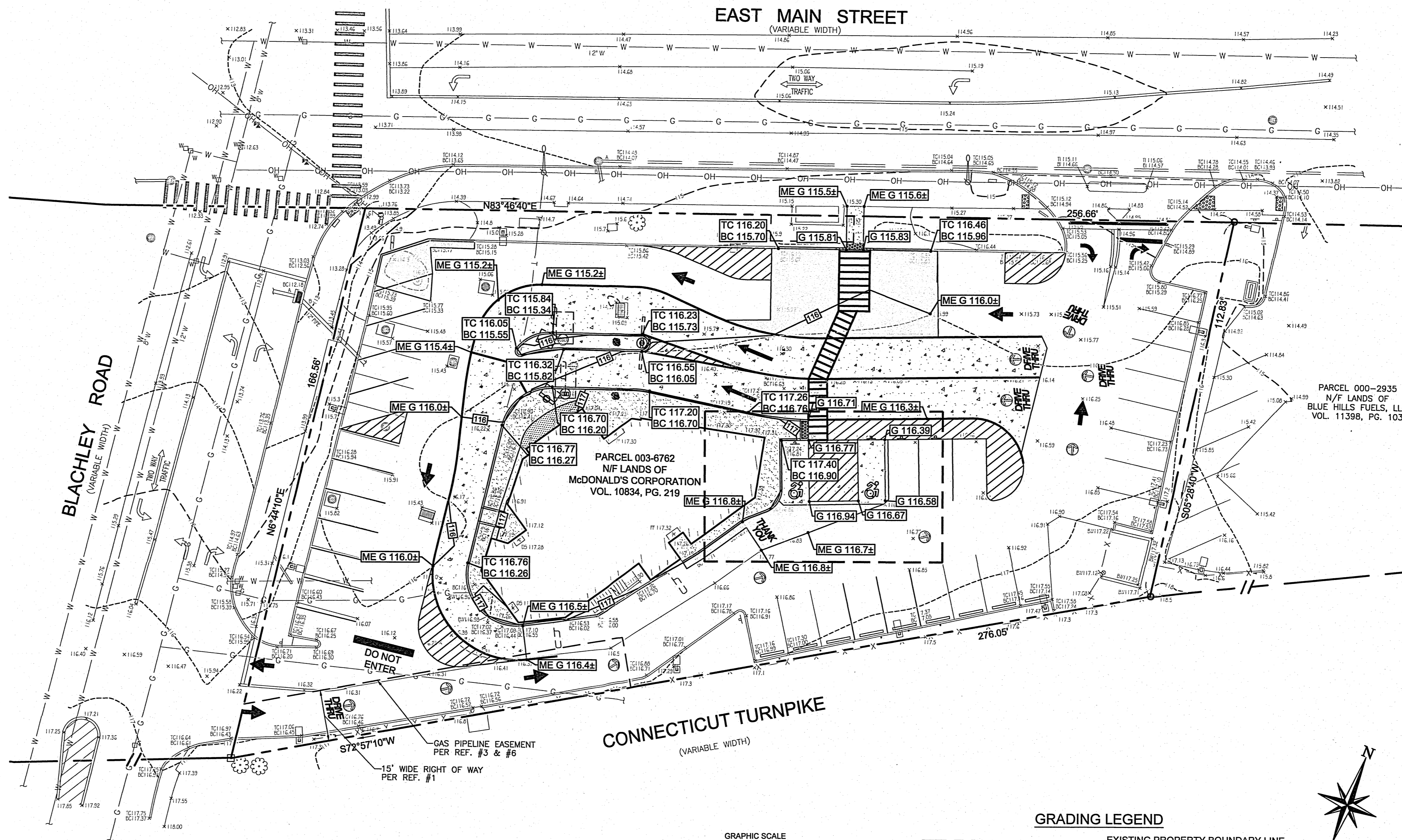
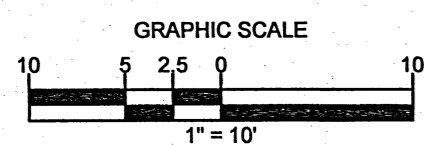
SITE PLAN FOR McDONALD'S E MAIN ST., STAMFORD, CT
SHEET: _____
TITLE: SITE PLAN
SITE ADDRESS: 1103 E MAIN STREET, STAMFORD, CT 06902
SHEET NO.: MCD-20991
DATE: _____
BY: _____

C4



ADA PARKING SPACES SLOPE INSET

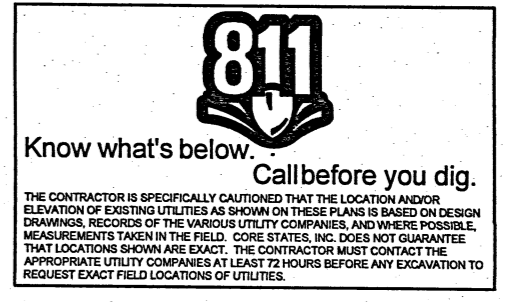
SCALE: 1" = 10'



GRADING LEGEND

- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- PROPOSED ROAD CENTERLINE
- EXISTING 5' INTERVAL CONTOUR LINE
- EXISTING 1' INTERVAL CONTOUR LINE
- PROPOSED 5' INTERVAL CONTOUR LINE
- PROPOSED 1' INTERVAL CONTOUR LINE
- PROPOSED SPOT SHOTS
- EXISTING CURB
- PROPOSED CURB
- PROPOSED MOUNTABLE CURB
- PROPOSED BUILDING
- EXISTING SANITARY STRUCTURES
- EXISTING WATER STRUCTURES
- EXISTING GAS MAIN
- EXISTING WATER MAIN
- EXISTING UNDERGROUND ELECTRICAL
- EXISTING TELEPHONE
- EXISTING OVERHEAD WIRES
- EXISTING SANITARY
- EXISTING STORM

NOT FOR CONSTRUCTION

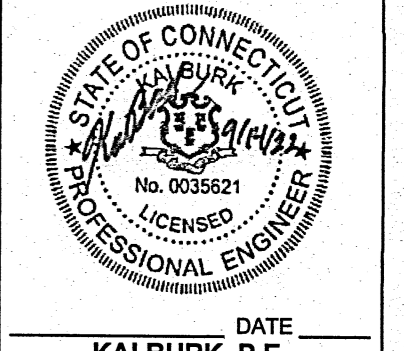


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- UTILITY KEY NOTES:
- A. EXISTING STORM STRUCTURES TO REMAIN AND BE PROTECTED IN PLACE.
 - B. EXISTING UNDERGROUND ELECTRICAL AND TELECOMMUNICATION LINES TO REMAIN AND BE PROTECTED IN PLACE.
 - C. EXISTING SANITARY STRUCTURES TO REMAIN AND BE PROTECTED IN PLACE.
 - D. EXISTING WATER LINE TO REMAIN AND BE PROTECTED IN PLACE.

GRADING NOTES:
1. REFER TO SHEET C2 FOR GRADING NOTES.

REV	DATE	DESCRIPTION	BY



DATE: 06/14/2021
KAI BURK, P.E.
RE LICENSE #E0035621

CORE STATES GROUP

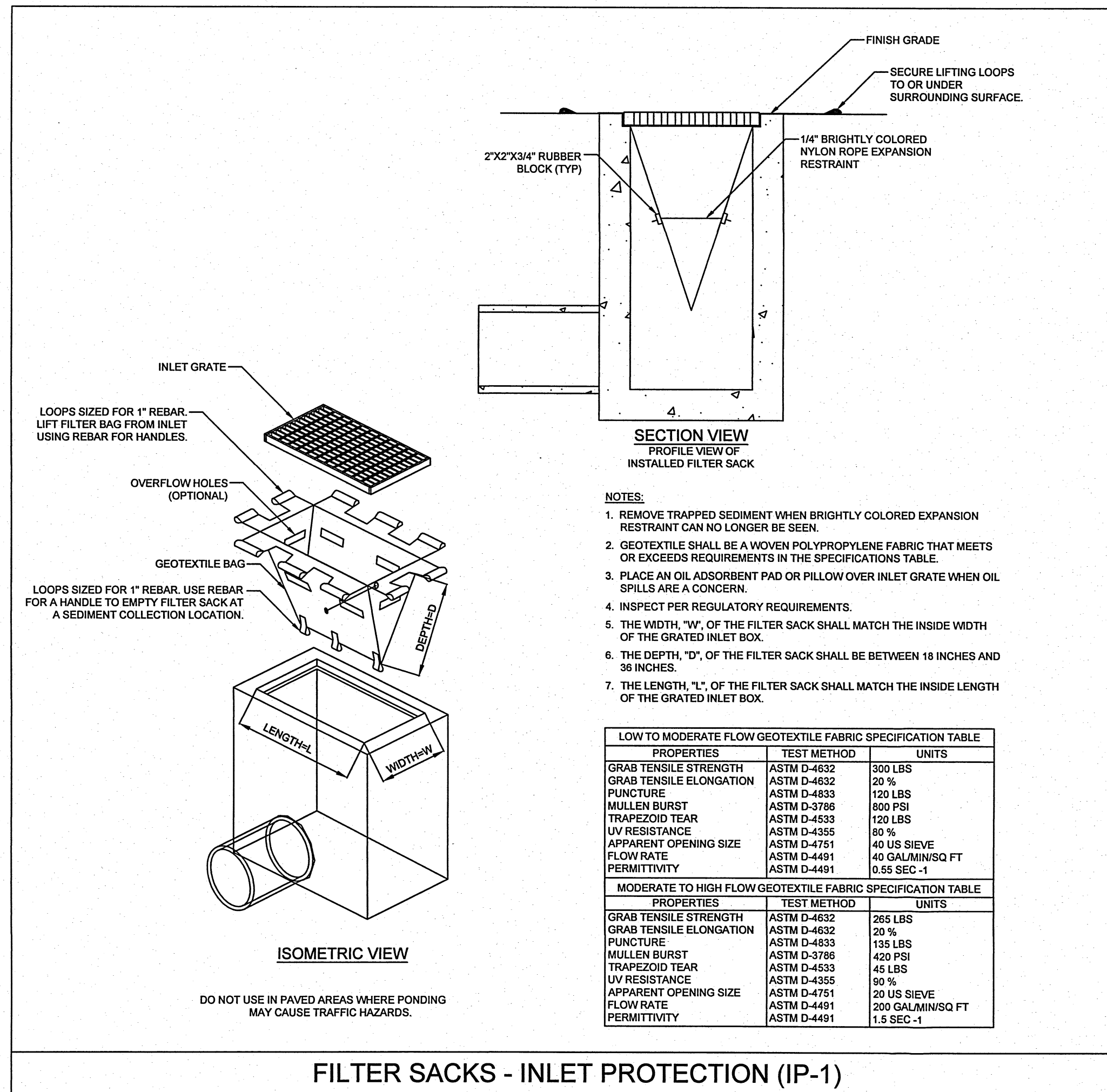
3039 Premier Parkway
Suite 700, 06457
Phone: (878) 455-1979
kburk@core-states.com

PREPARED FOR: **McDonald's USA, LLC**

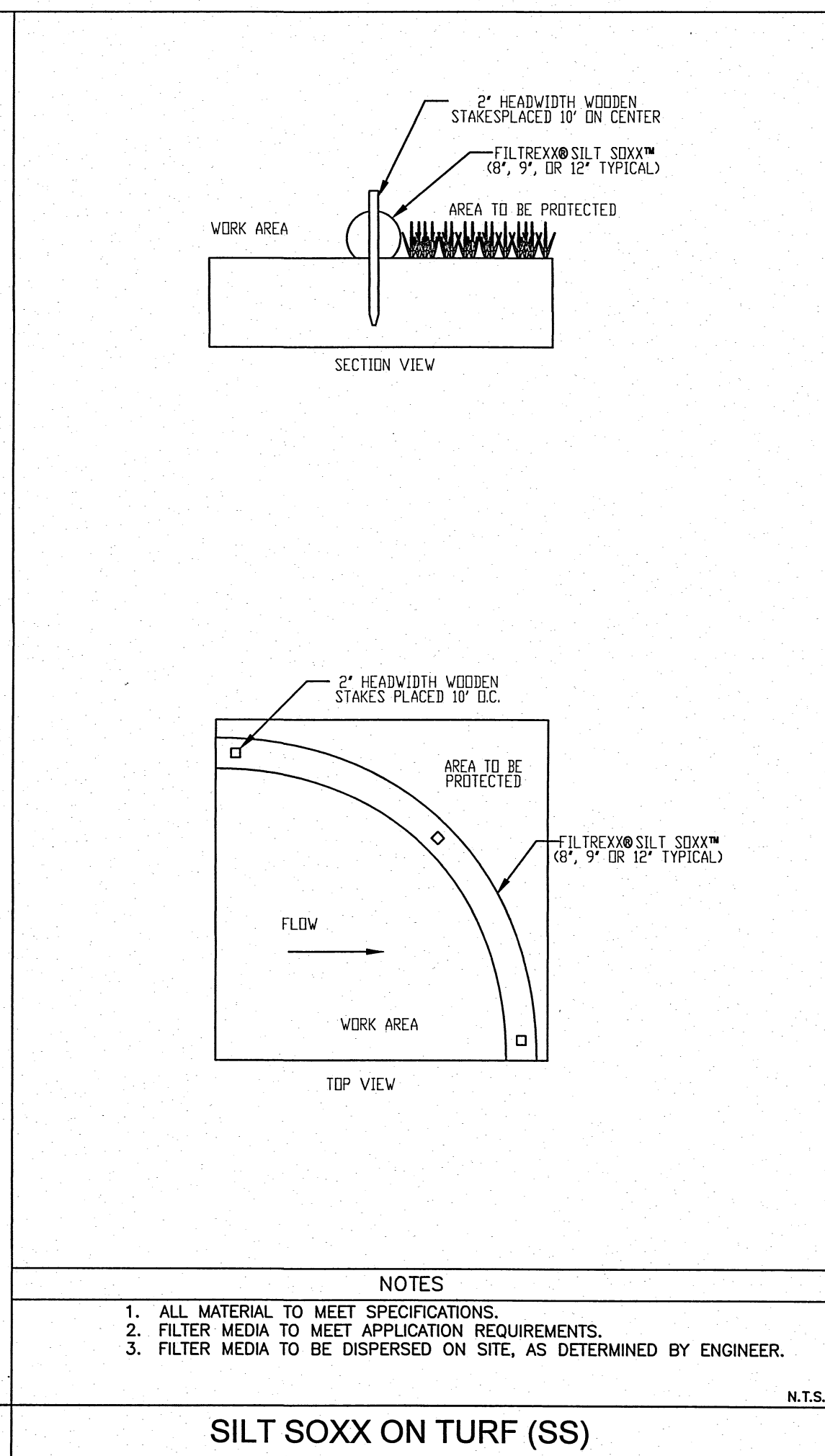
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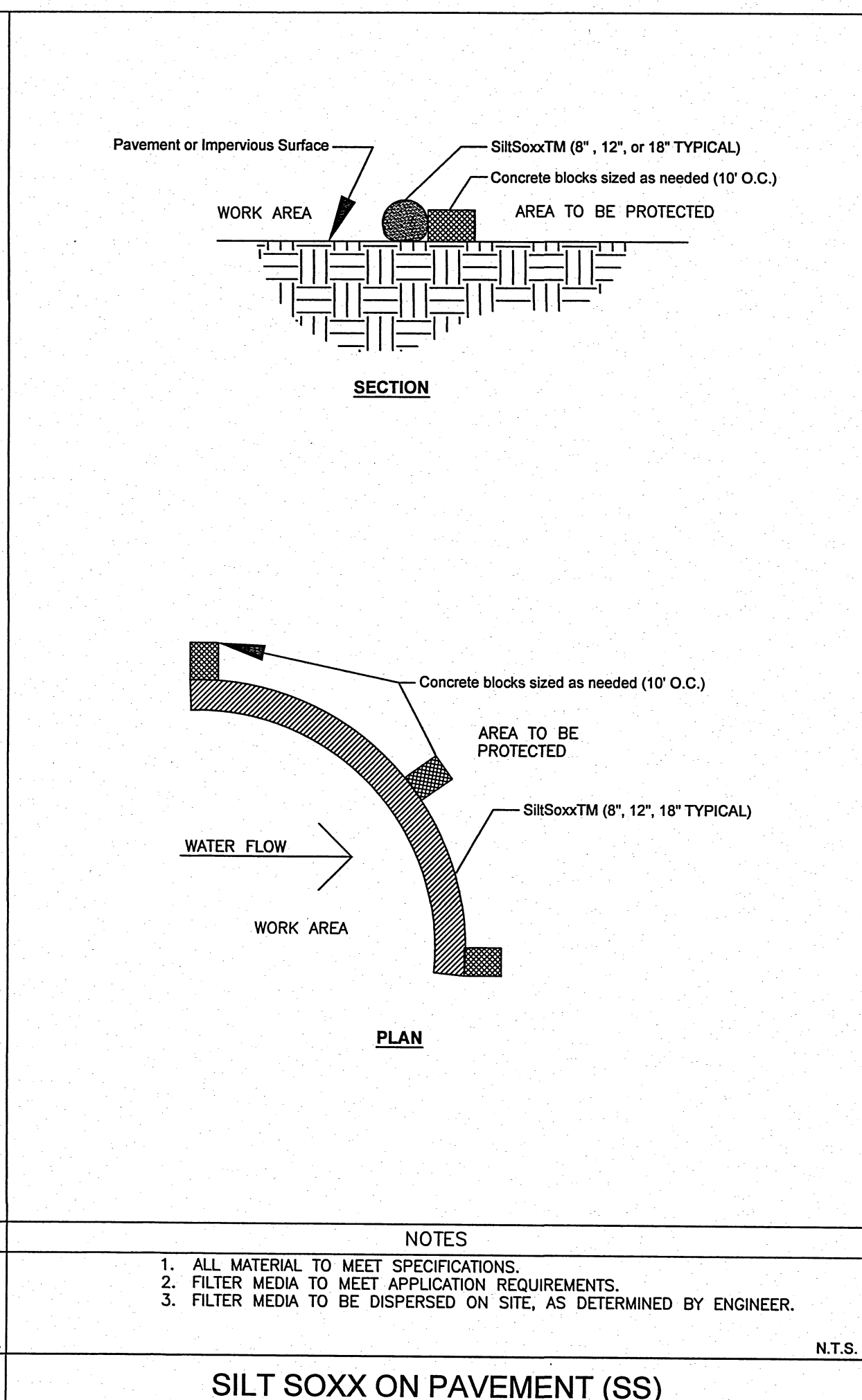
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REVIEWED BY	KB	DATE ISSUED	06/14/2021
CSG PROJECT #	MCD-20891		
TITLE	SITE PLAN FOR MCDONALD'S E MAIN ST., STAMFORD, CT		
SHEET	GRADING & DRAINAGE PLAN		
SHEET NO.	006-0160	1103 E MAIN STREET, STAMFORD, CT 06902	MCD-20891
			C5



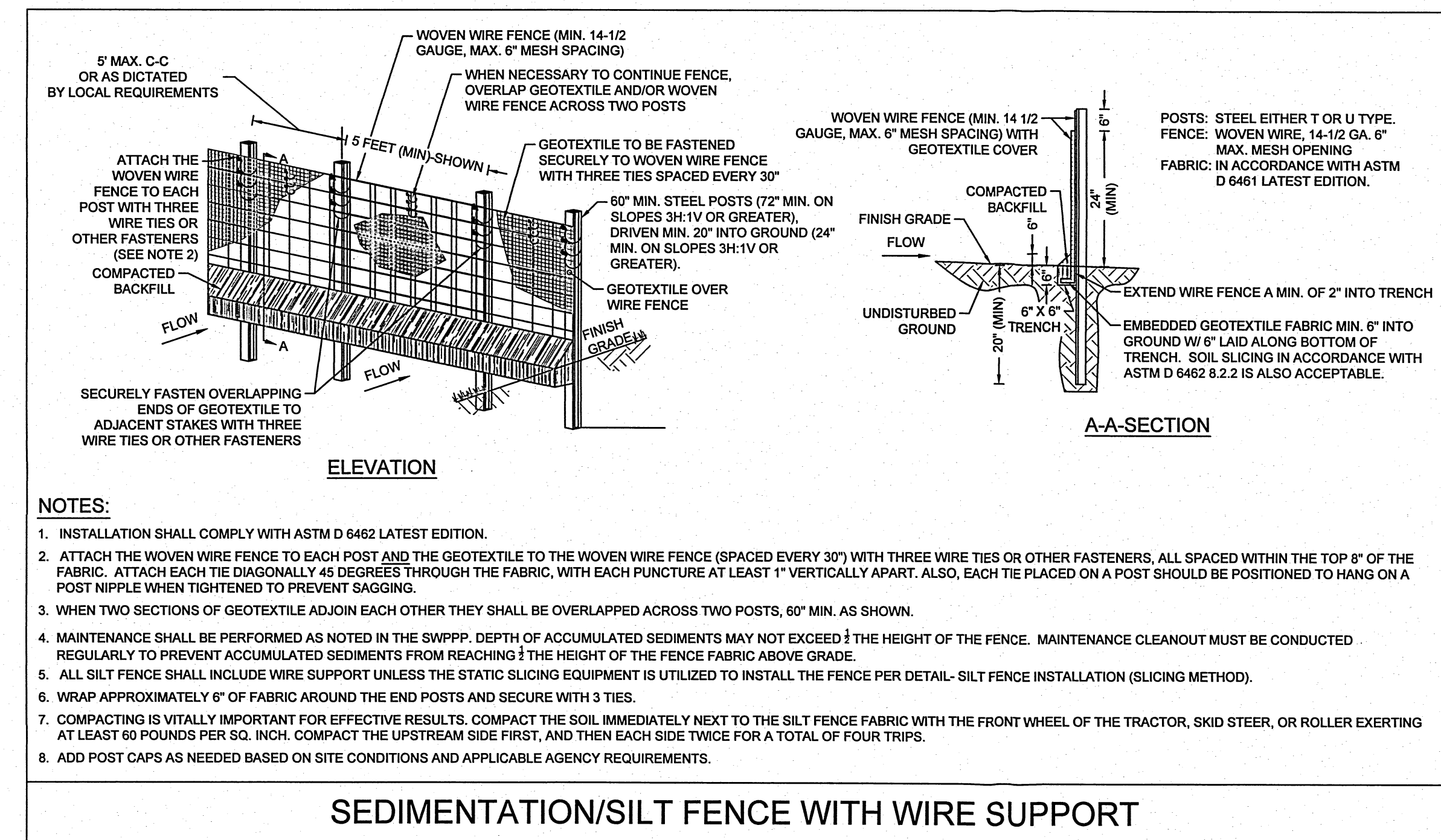
FILTER SACKS - INLET PROTECTION (IP-1)



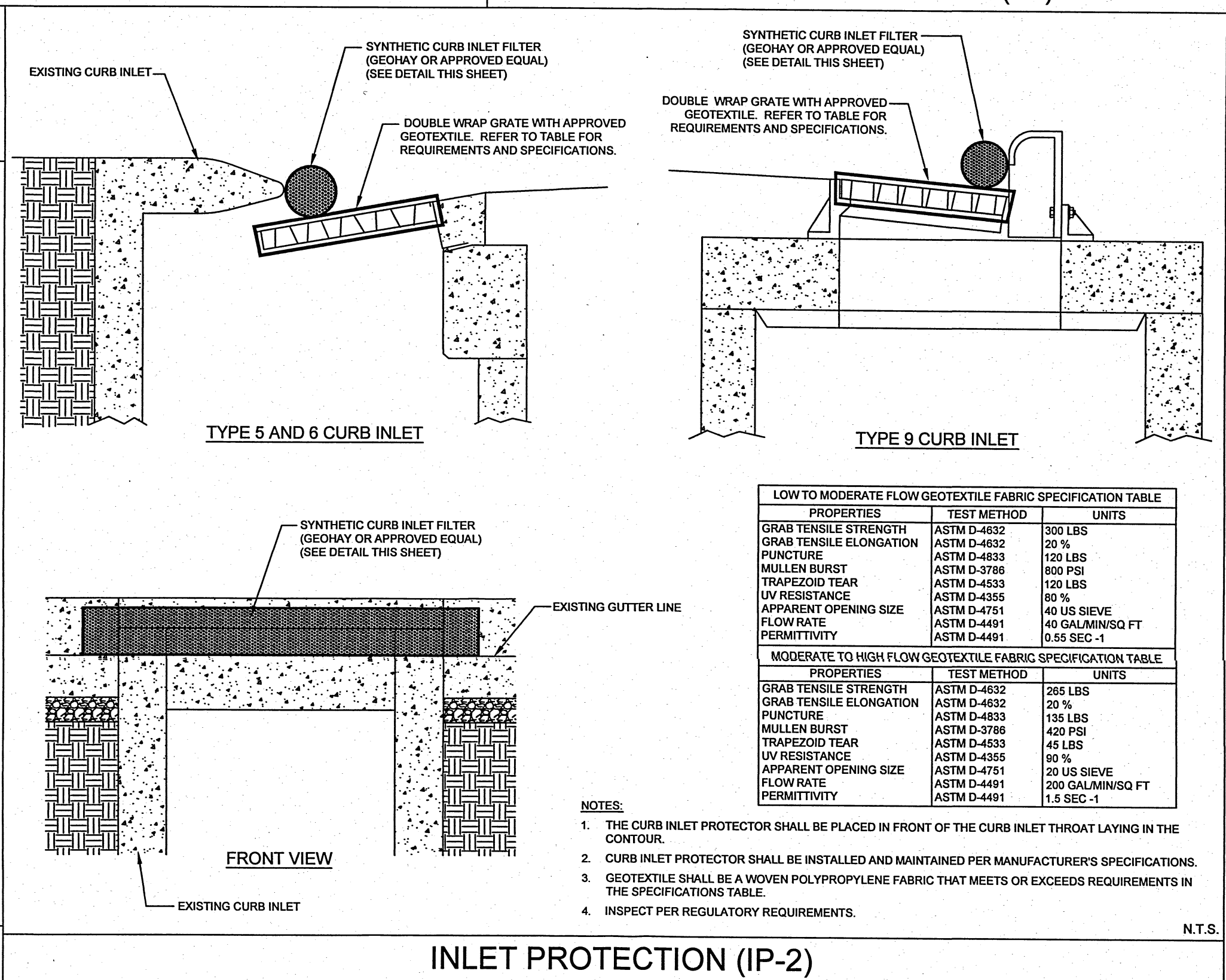
SILT SOXX ON TURF (SS)



SILT SOXX ON PAVEMENT (SS)



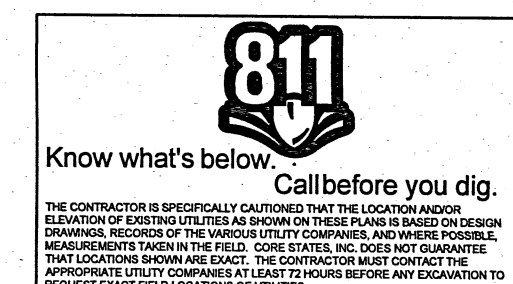
SEDIMENTATION/SILT FENCE WITH WIRE SUPPORT



INLET PROTECTION (IP-2)

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DATE: _____
 REVISIONS: _____
 DATE: _____
 REV: _____

DATE: _____
 KAI BURK, P.E.
 PE LICENSE #E003521

CORE STATES GROUP

3039 Primm Parkway
 Suite 700
 Atlanta, GA 30328
 Phone: (770) 405-1979
 Email: kburk@core-states.com

PREPARED FOR: **McDonald's USA, LLC**

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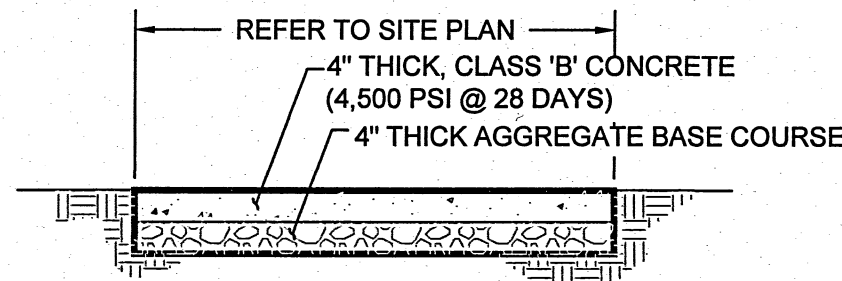
DRAWN BY: DC
 STD ISSUE DATE: 2021
 REVIEWED BY: KB
 DATE ISSUED: 06/14/2021
 CSO PROJECT #: MCD-20891

TITLE: **SITE PLAN FOR McDONALD'S E MAIN ST., STAMFORD, CT**

SHEET: **CONSTRUCTION DETAILS 1**

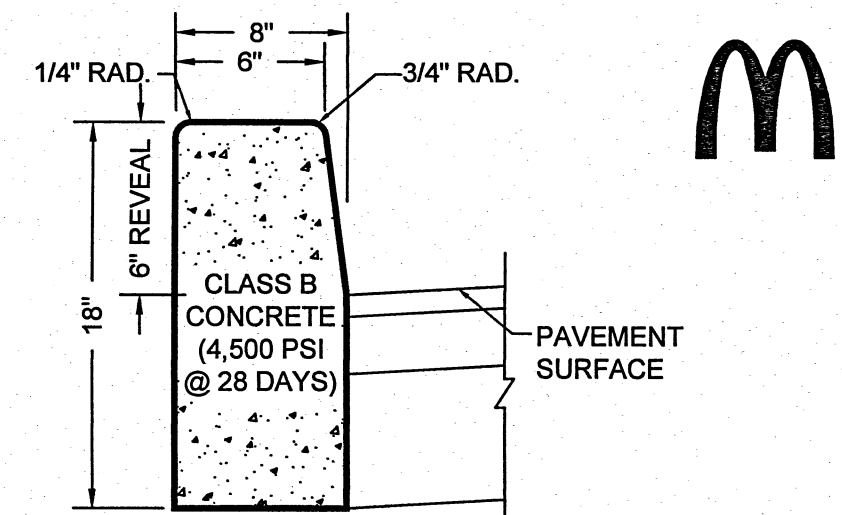
SHEET NO.: **C6**

SITE ADDRESS: **1103 E MAIN STREET, STAMFORD, CT 06902**



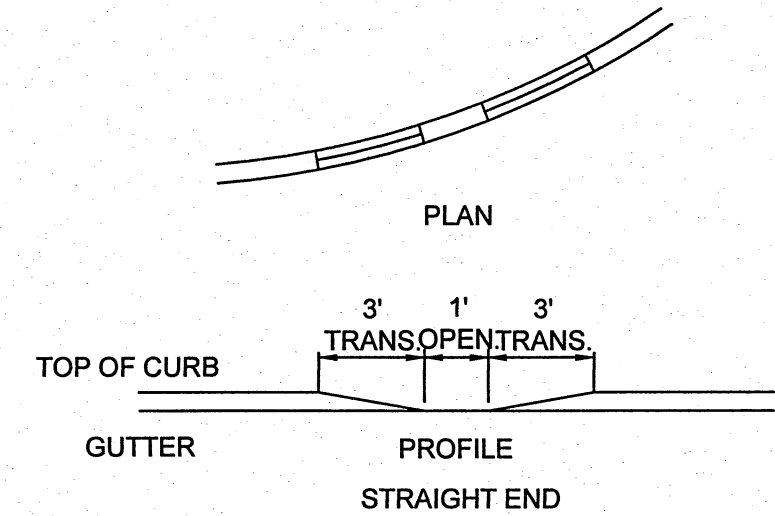
NOTE: EXPANSION JOINTS 12" WIDE PRE-MOLDED BIT MATERIAL SHALL BE INSTALLED AT 30' INTERVALS. CONTRACTION JOINTS TO BE SPACED AT EQUAL INTERVALS, 5' MAXIMUM LENGTH.

CONCRETE SIDEWALK

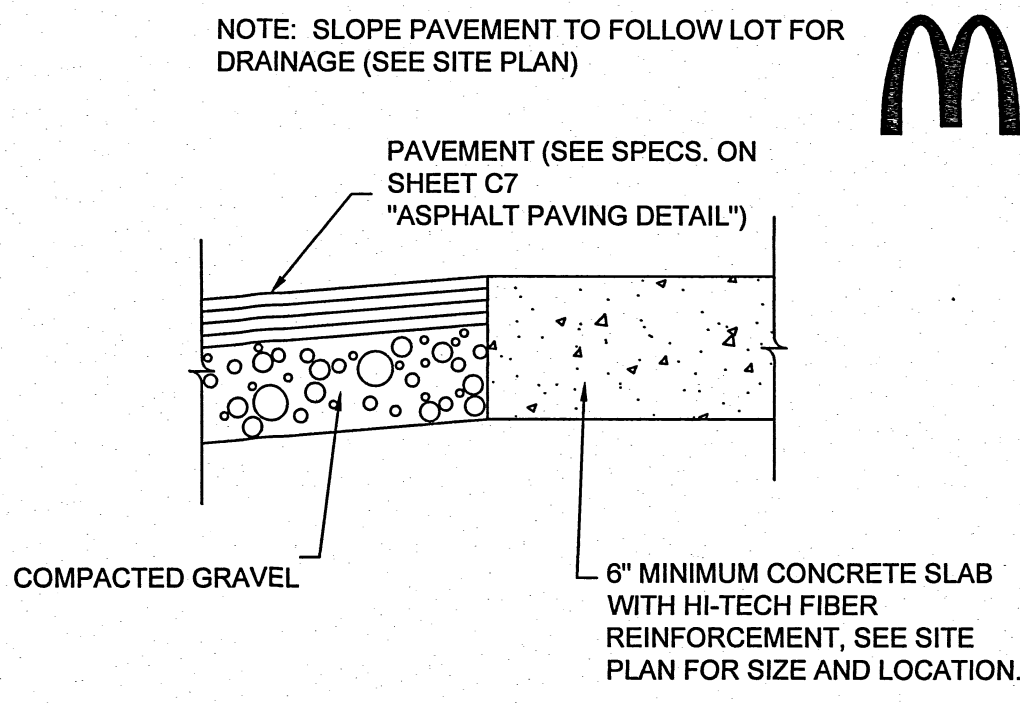


- STANDARD CURB SECTIONS SHALL BE 10 FT IN LENGTH WITH PREFORMED BITUMINOUS CELLULAR-TYPE EXPANSION JOINT MATERIAL ON NOT MORE THAN 20 FT CENTERS.
- CURBS SHALL BE CLASS B CONCRETE WITH A TWENTY-EIGHT-DAY COMPRESSIVE STRENGTH OF 4,500 PSI AND SHALL BE AIR-ENTRAINED.
- PROVIDE TWO (2) #4 REBAR IN CURB WHERE SAID CURB CROSSES OVER A DRAINAGE STRUCTURE OR SANITARY SYSTEM STRUCTURE.

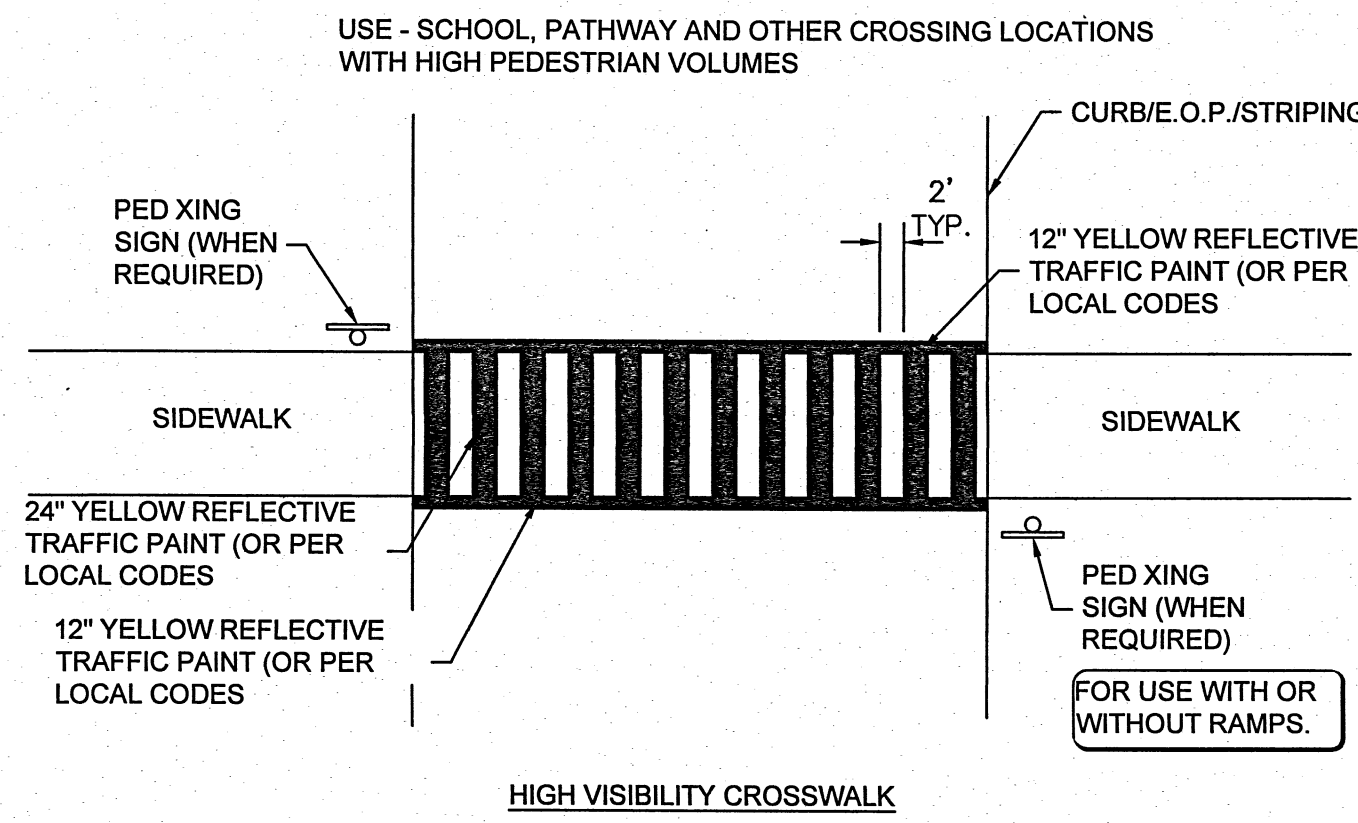
TYPICAL CONCRETE CURB



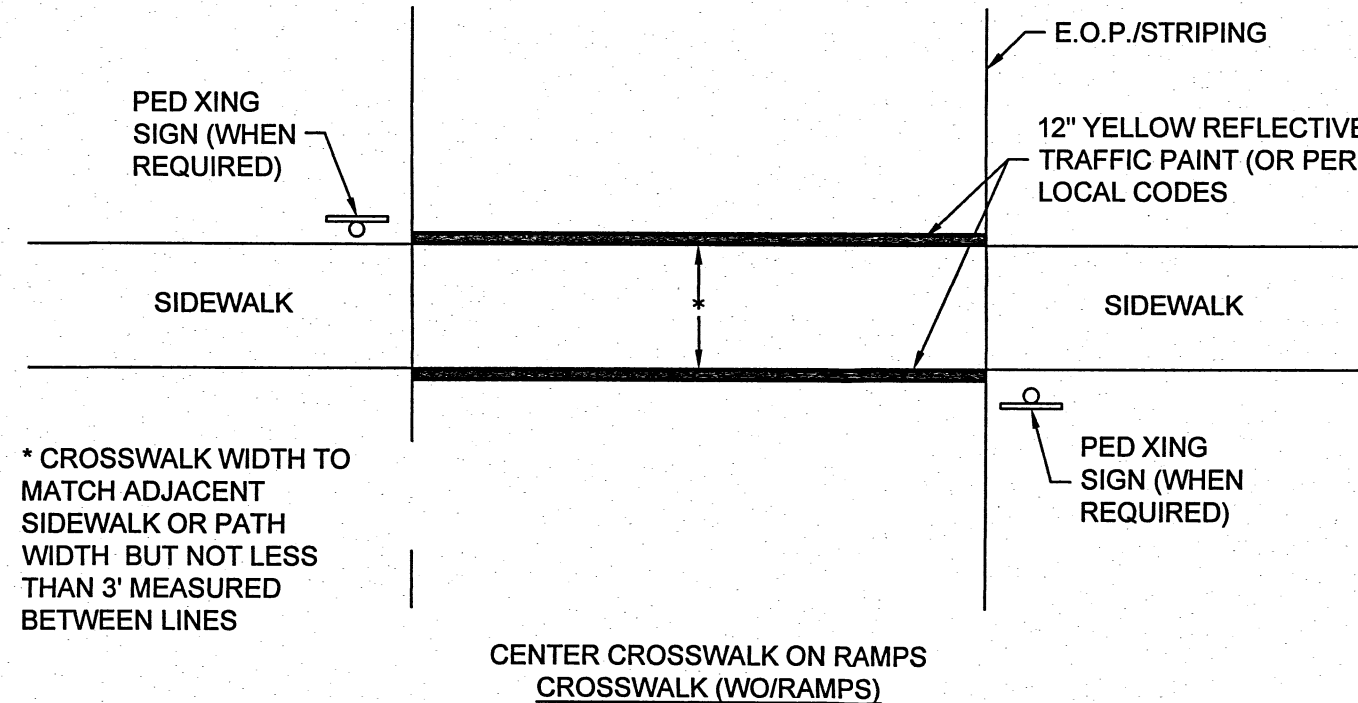
CURB TRANSITION



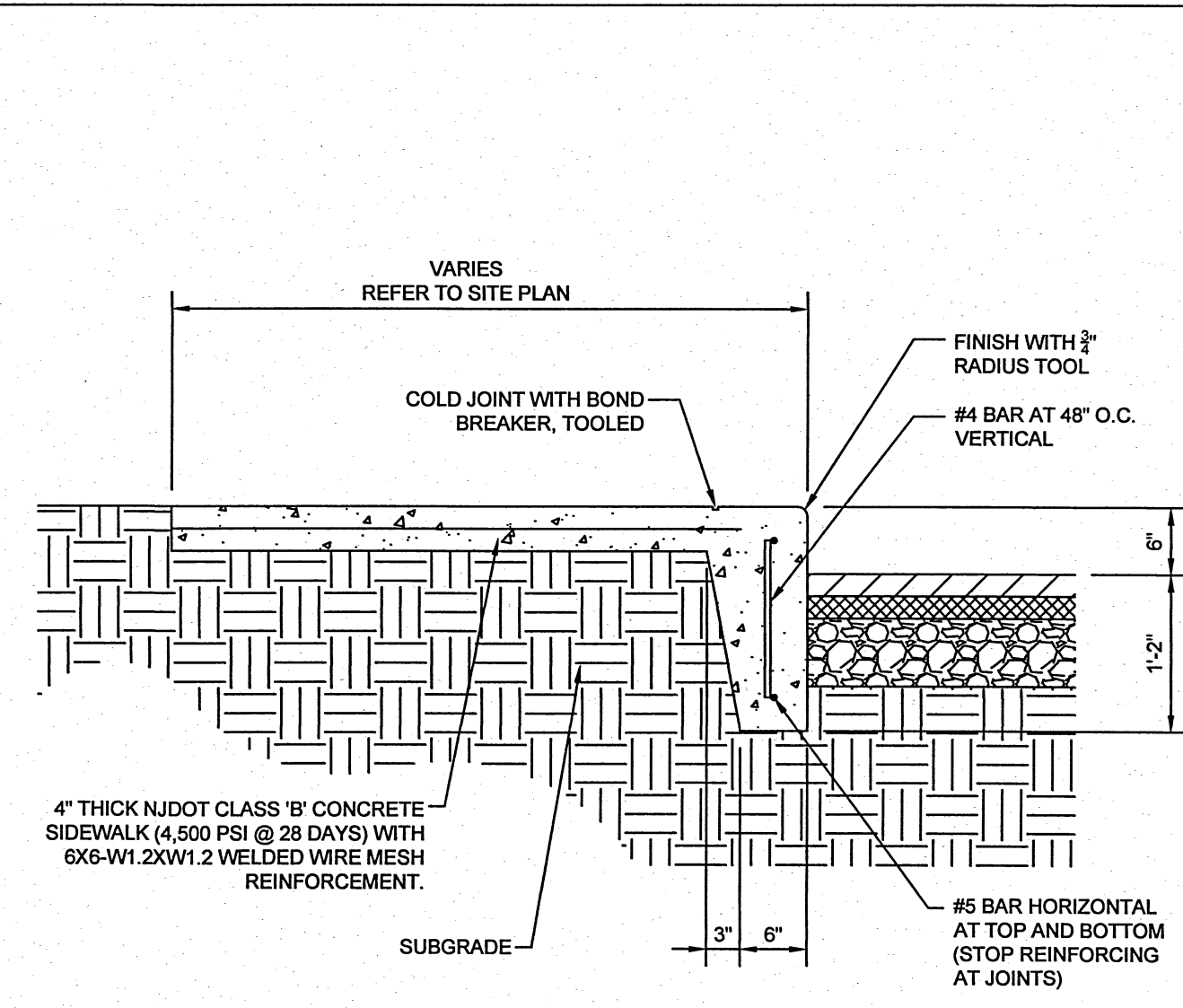
DRIVE-THRU PAD



HIGH VISIBILITY CROSSWALK



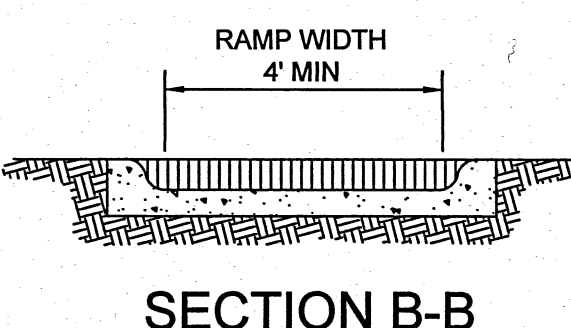
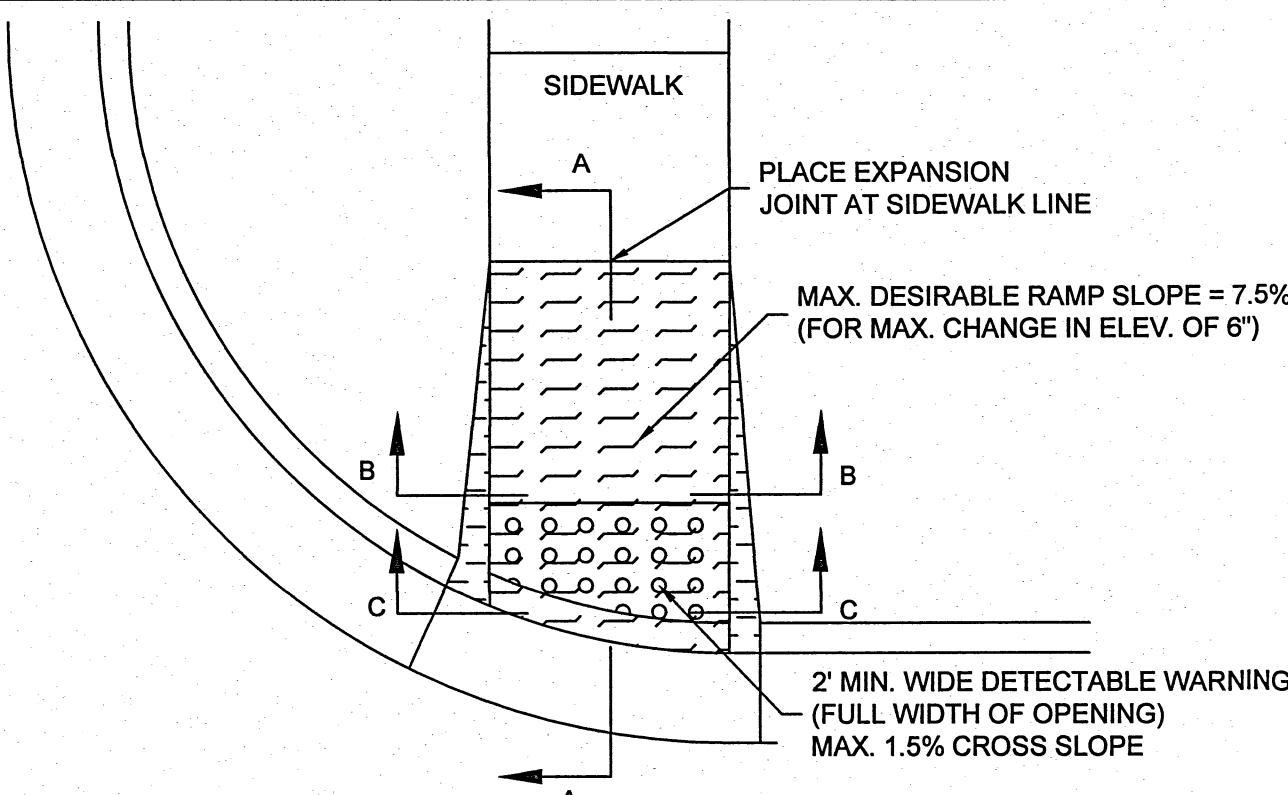
ACCESSIBLE CROSSWALK



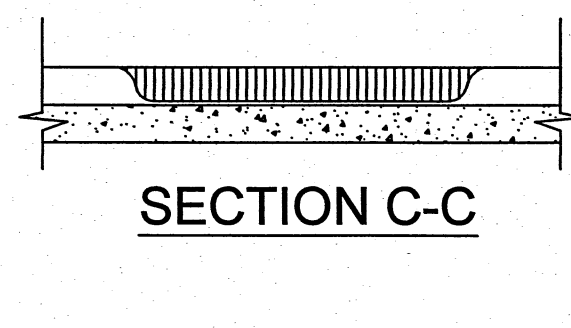
- DETAIL NOTES:
- PROVIDE 3/8" PREMOLDED EXPANSION JOINT FILLER AT 60' CENTERS, CHANGES IN DIRECTION, AND ABUTTING SEPARATE POURS.
 - PROVIDE TOOLED CONTRACTION JOINTS AT 10' CENTERS.
 - SUBGRADE TO BE COMPACTED TO 95% OR GREATER OF MAX. DRY DENSITY PER ASTM D-1557

TURNED DOWN CONCRETE WALK DETAIL

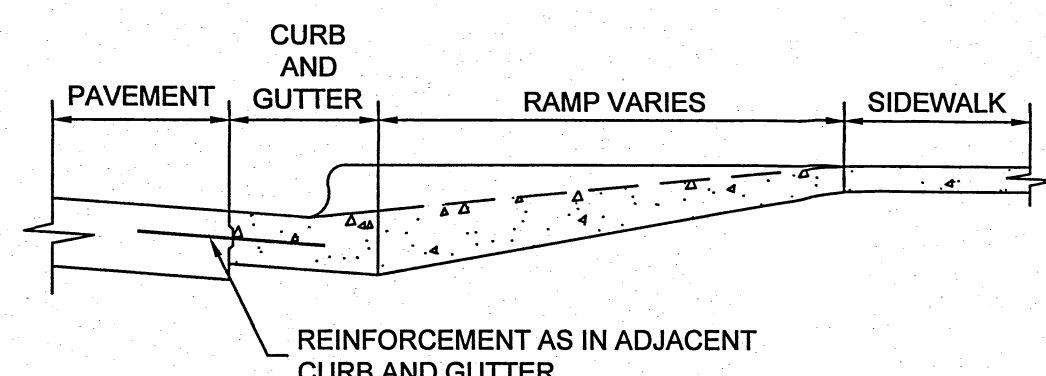
Not To Scale



SECTION B-B

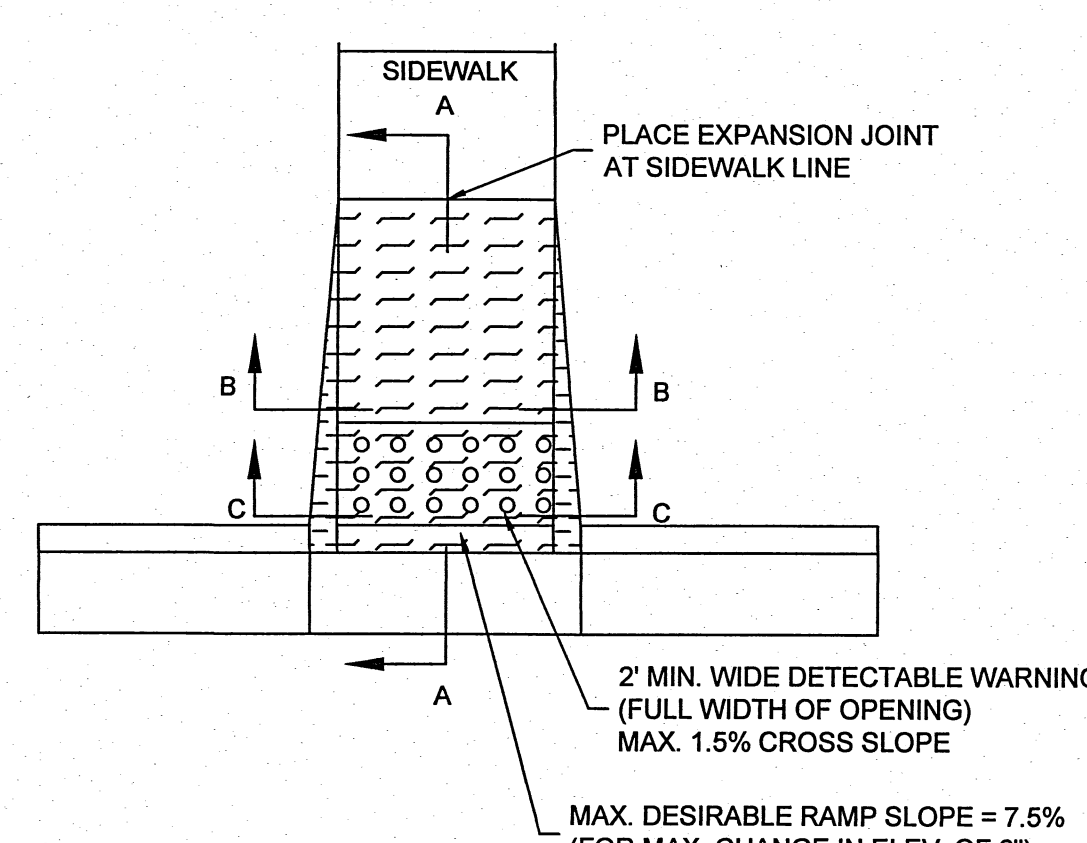


SECTION C-C

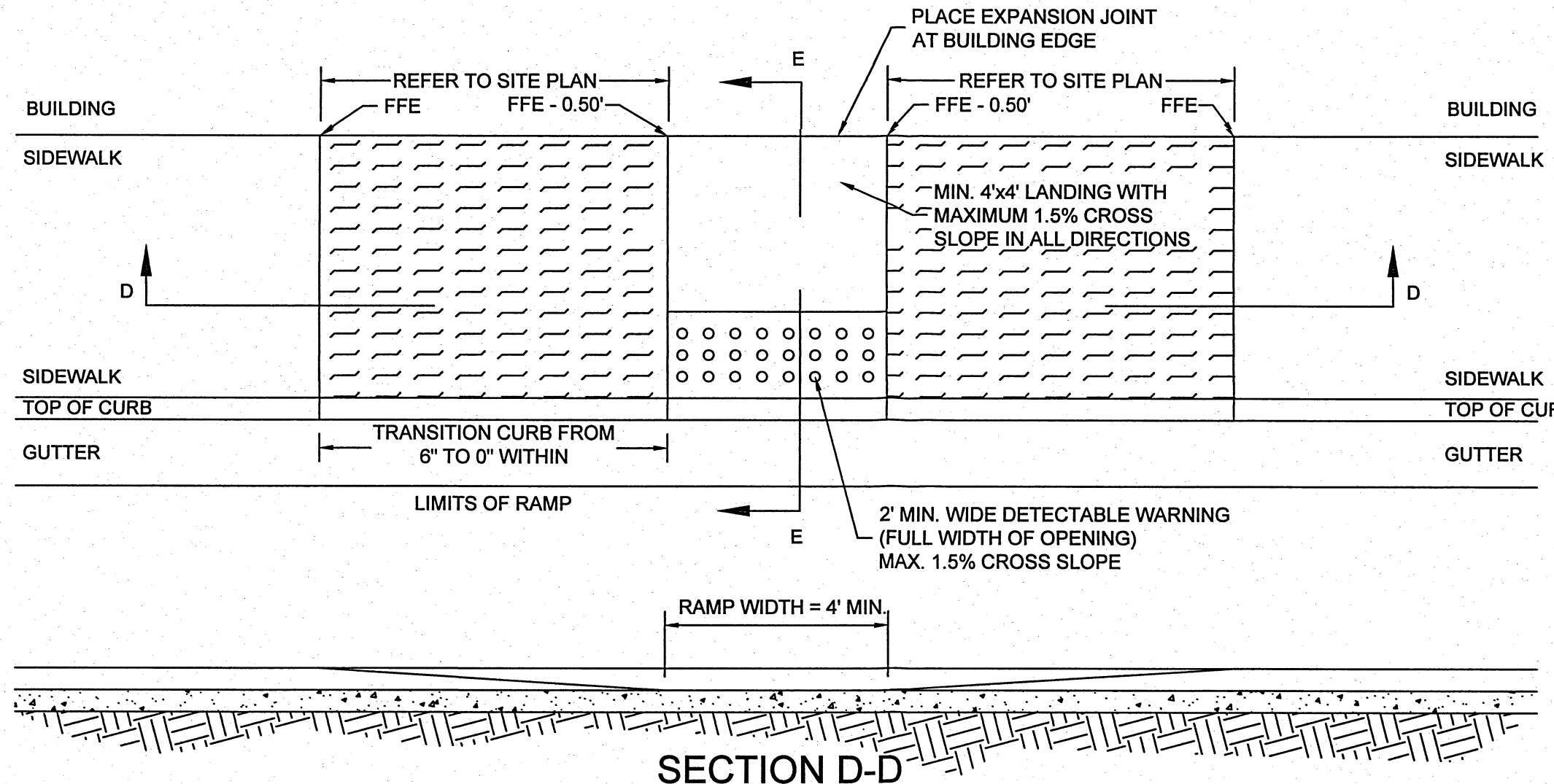


SECTION A-A

- SIDEWALK RAMP NOTES:
- SIDEWALK RAMP LOCATION DETERMINED FROM THE INTERSECTION OF THE EXTENSION OF BACK OF SIDEWALK AND BACK OF CURB & GUTTER.
 - KEY ALL CONSTRUCTION JOINTS OR USE TIE BARS #4 EPOXY COATED @ 12" O.C.
 - LONGITUDINAL JOINT SPACING TO MATCH WIDTH OF SIDEWALK.
 - ISOLATION JOINTS SHALL BE PLACED WHERE WALK ABUTS DRIVEWAYS AND SIMILAR STRUCTURES, AND 250' CENTER MAX.
 - SIDEWALK RAMP SHALL BE LENGTHENED TO PROVIDE ADA COMPLIANCE SLOPE.
 - ADA MAXIMUM RAMP SLOPE = 1"/FT. ADA MAXIMUM CROSS SLOPE = 1.5%
 - DETECTABLE WARNINGS TO COMPLY WITH ADA REQUIREMENTS.

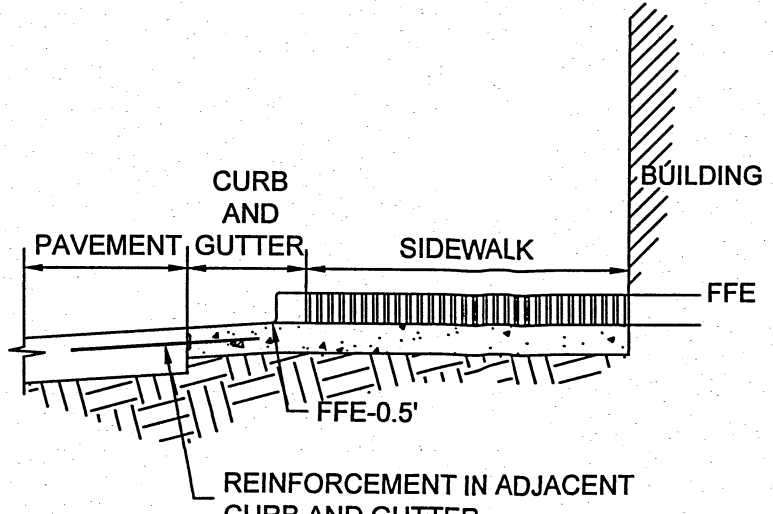
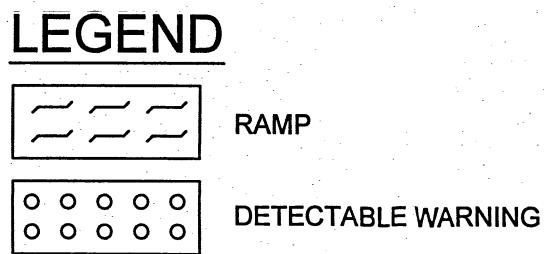


- ADA STANDARD FOR ACCESSIBLE DESIGN:
- 4.29.2 DETECTABLE WARNINGS ON WALKING SURFACES. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 IN (23 MM), A HEIGHT OF NOMINAL 0.2 IN (5 MM) AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 IN (60 MM) AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT.

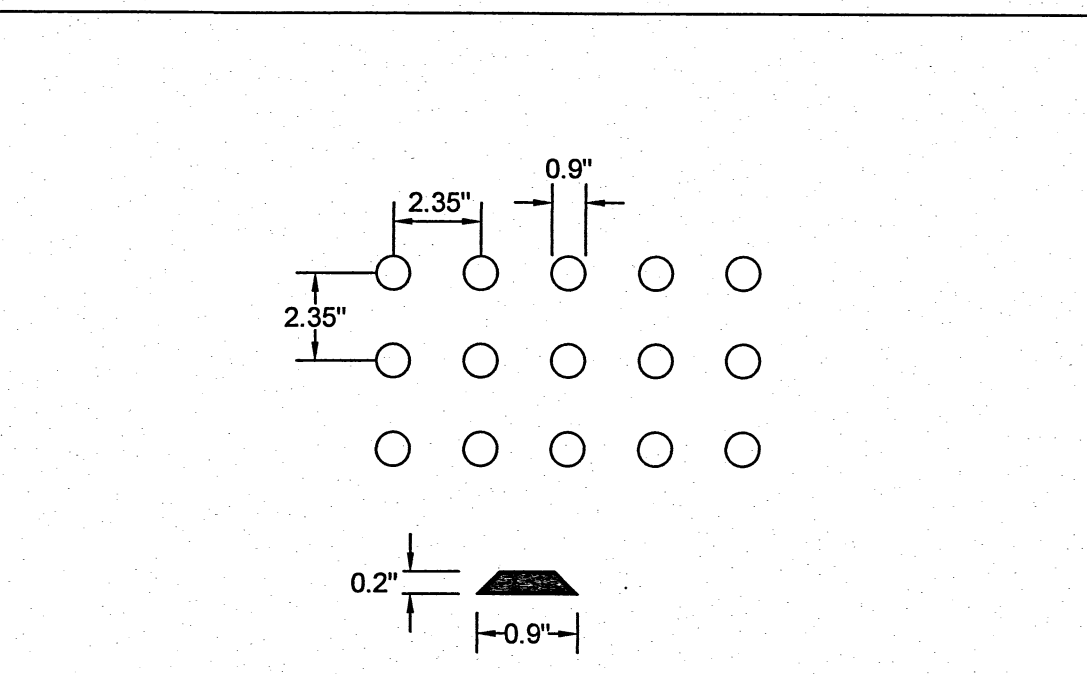


SECTION D-D

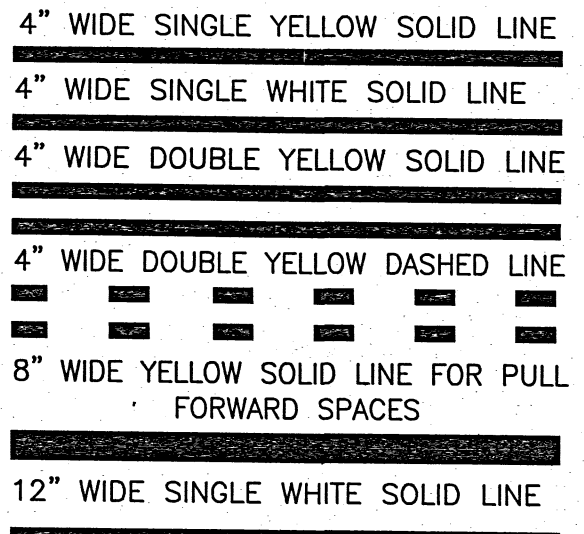
ACCESSIBLE CURB RAMP



SECTION E-E



DETECTABLE WARNING



- NOTES:
- ALL STRIPING TO BE LONG LIFE EPOXY.

STRIPING DETAIL

NOT TO SCALE

SITE STRIPING

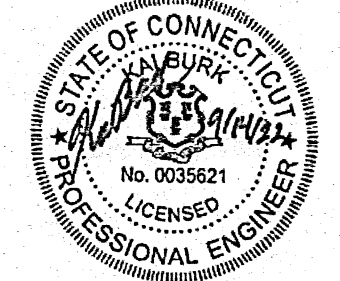
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811 Callbefore you dig.

Know what's below.

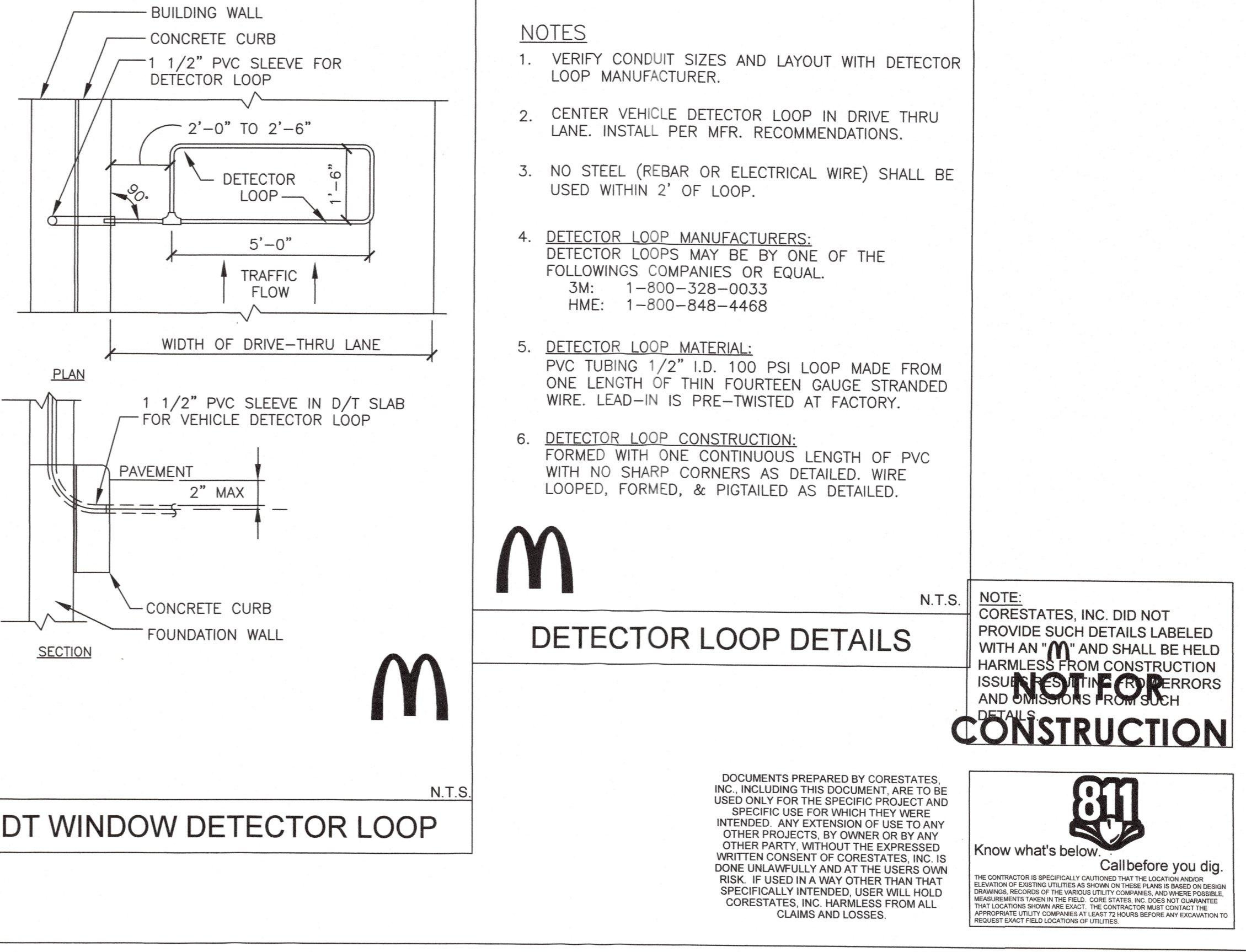
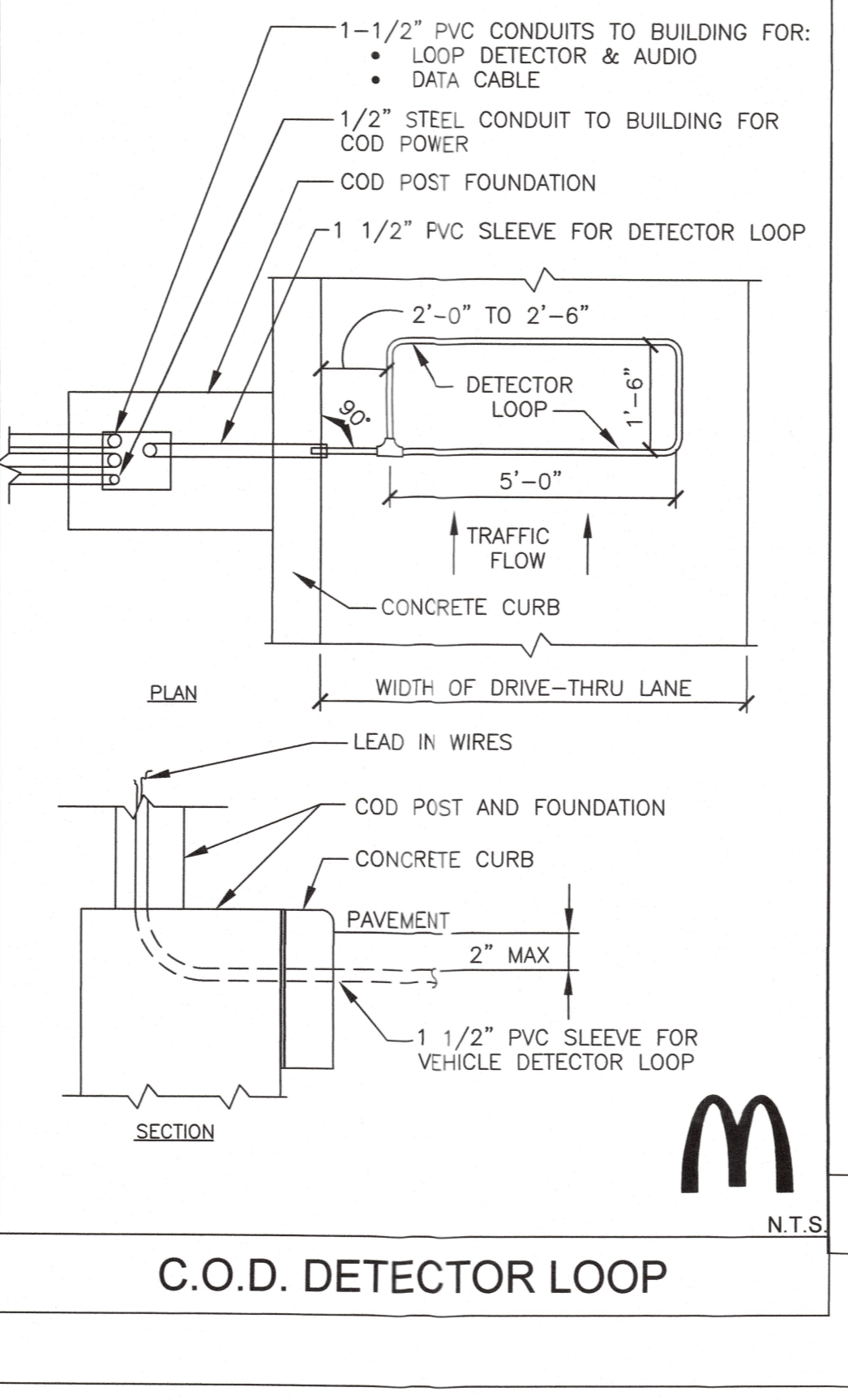
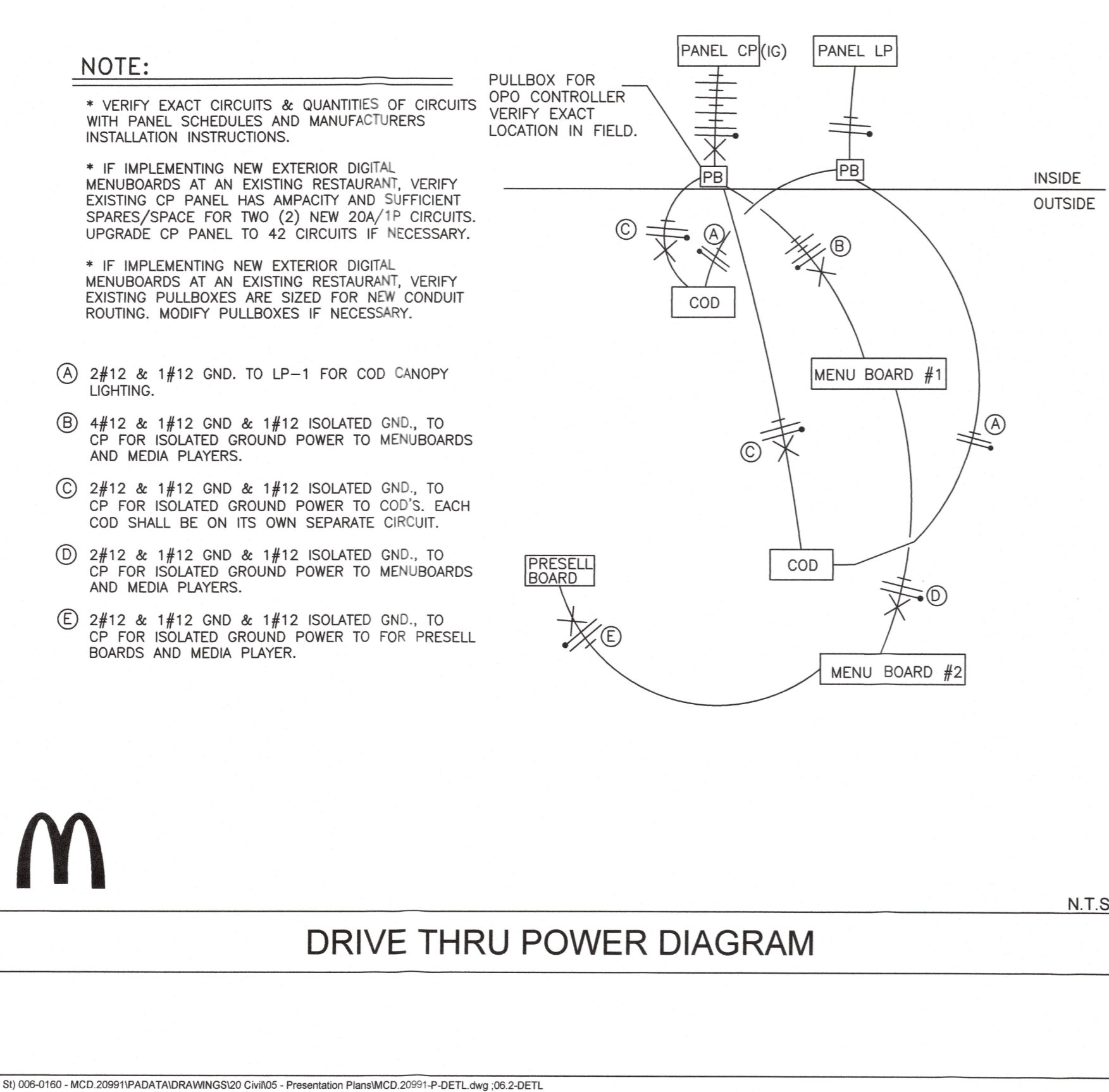
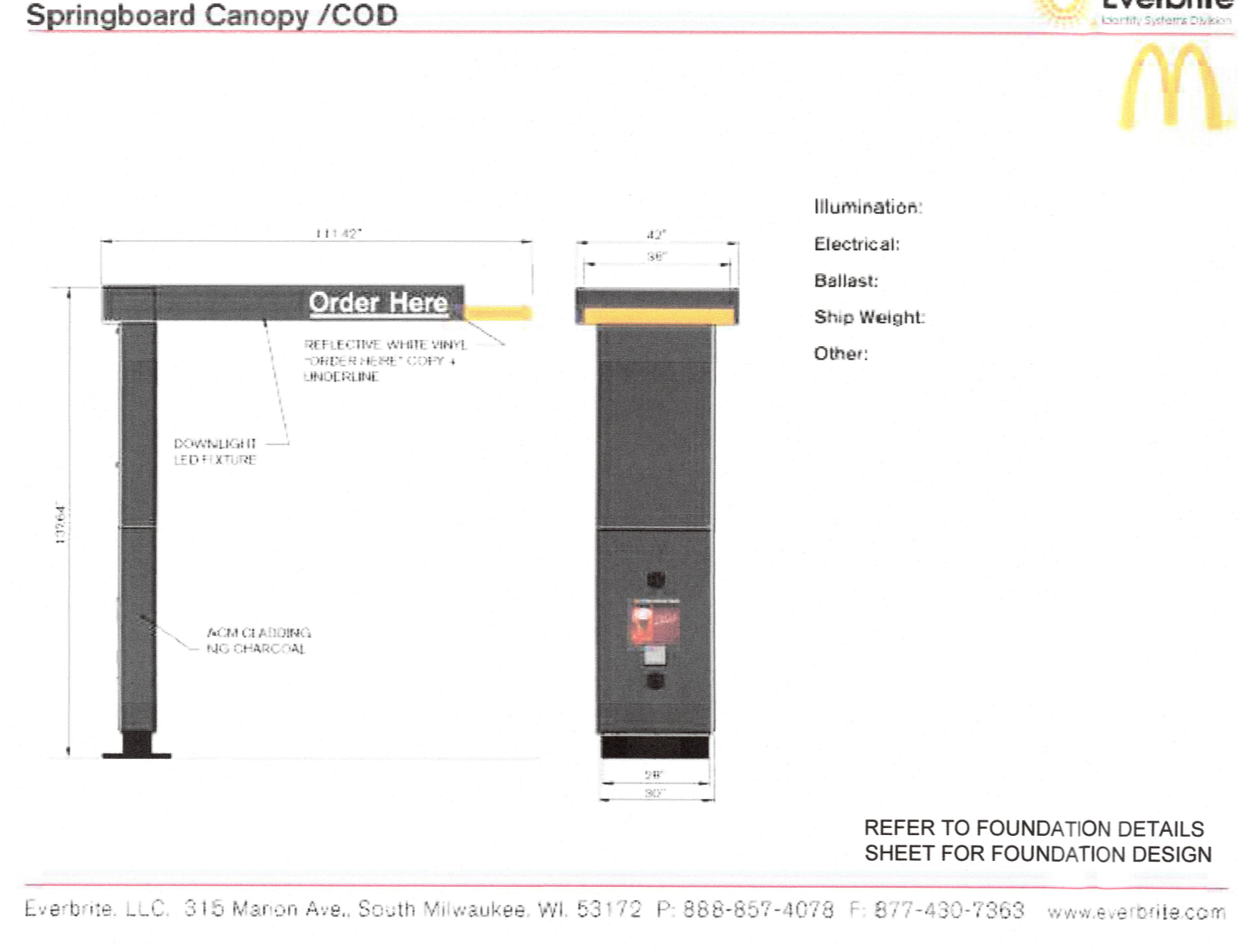
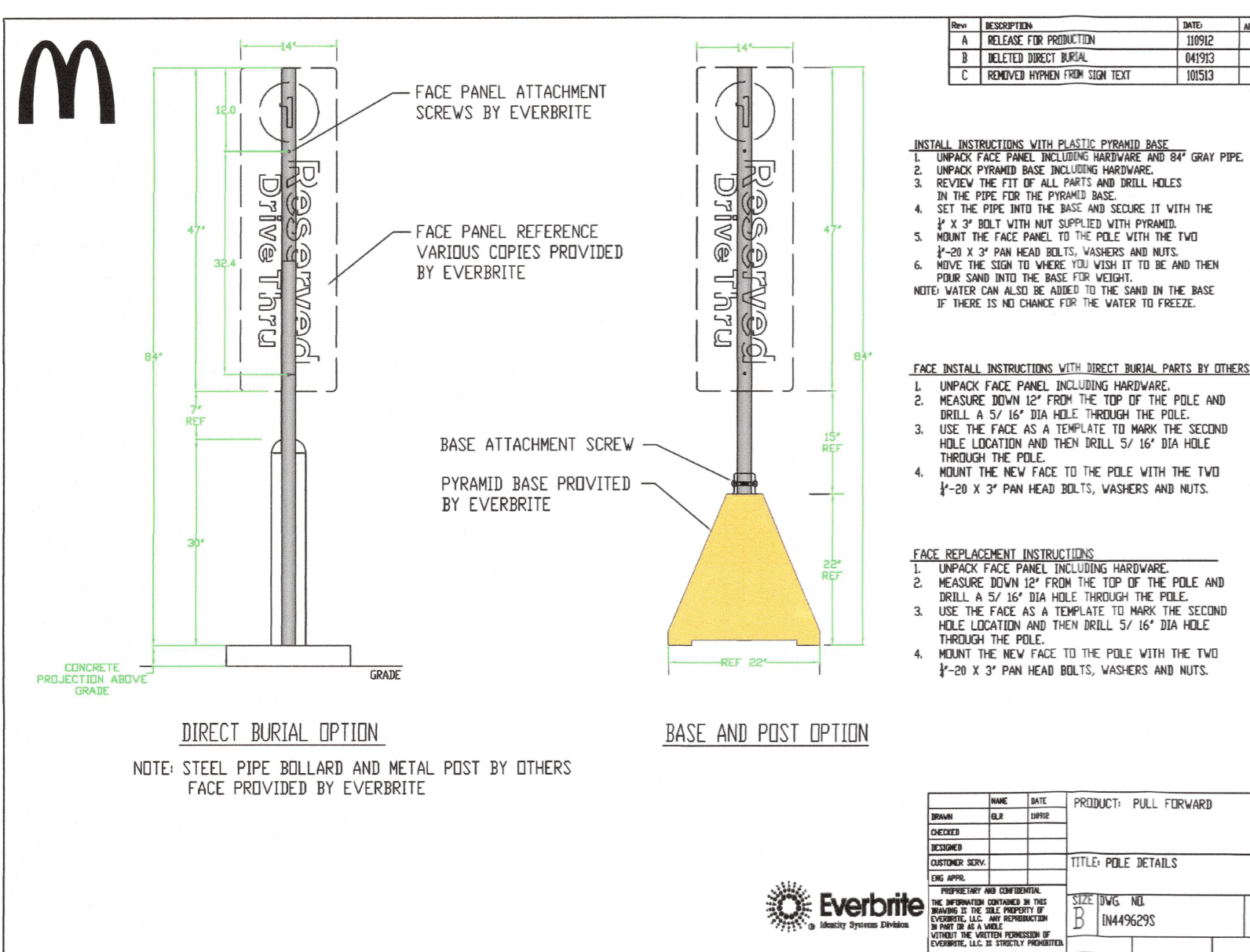
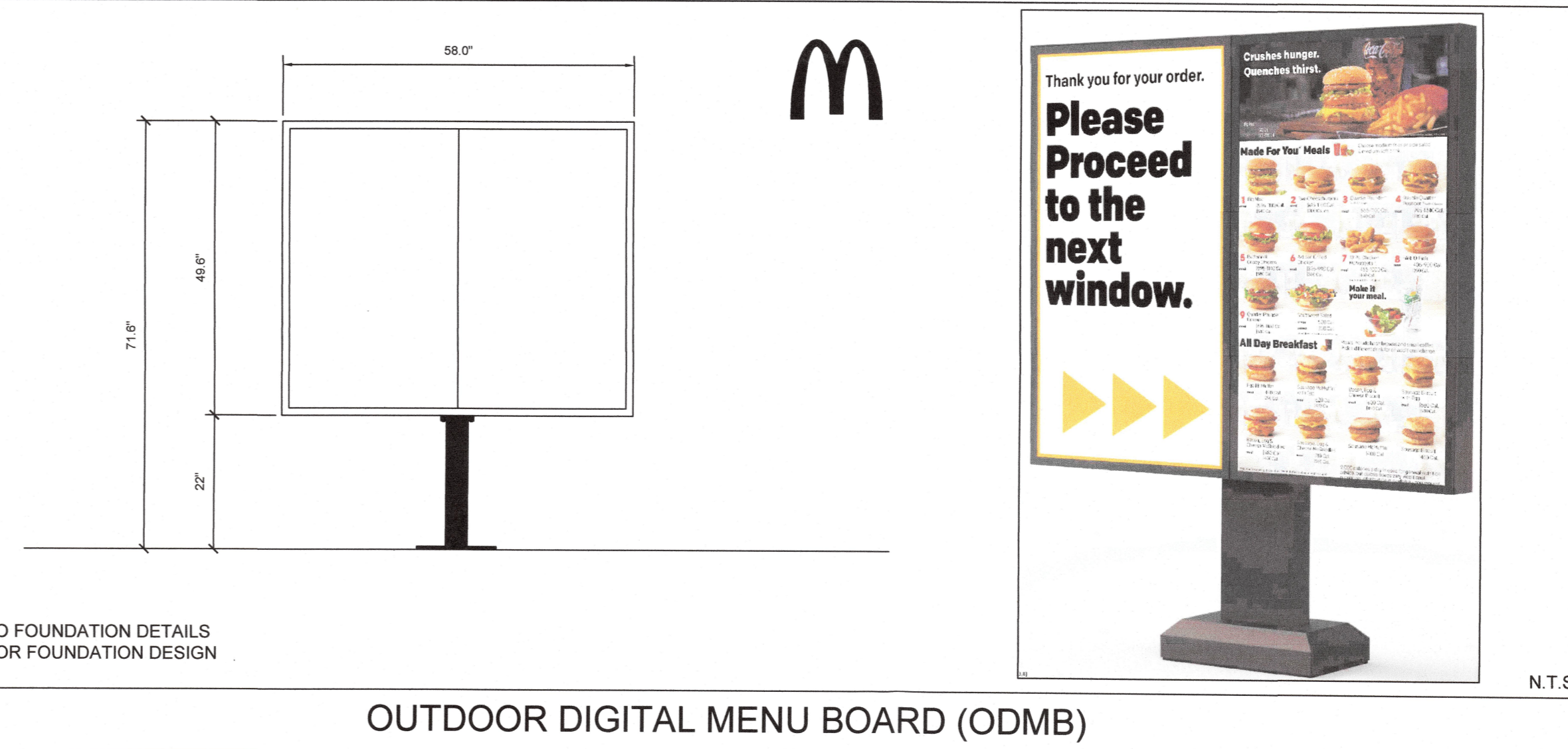
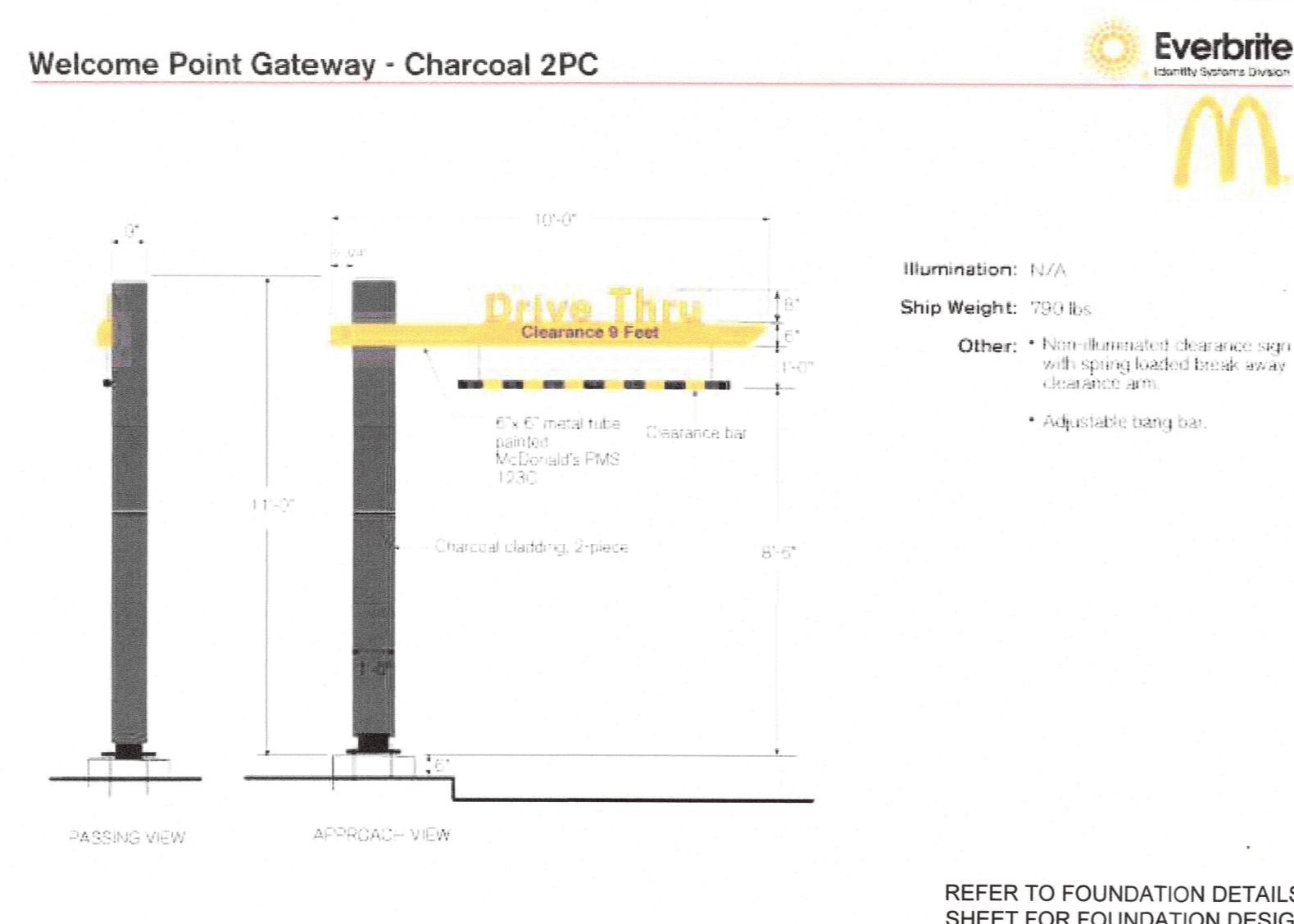
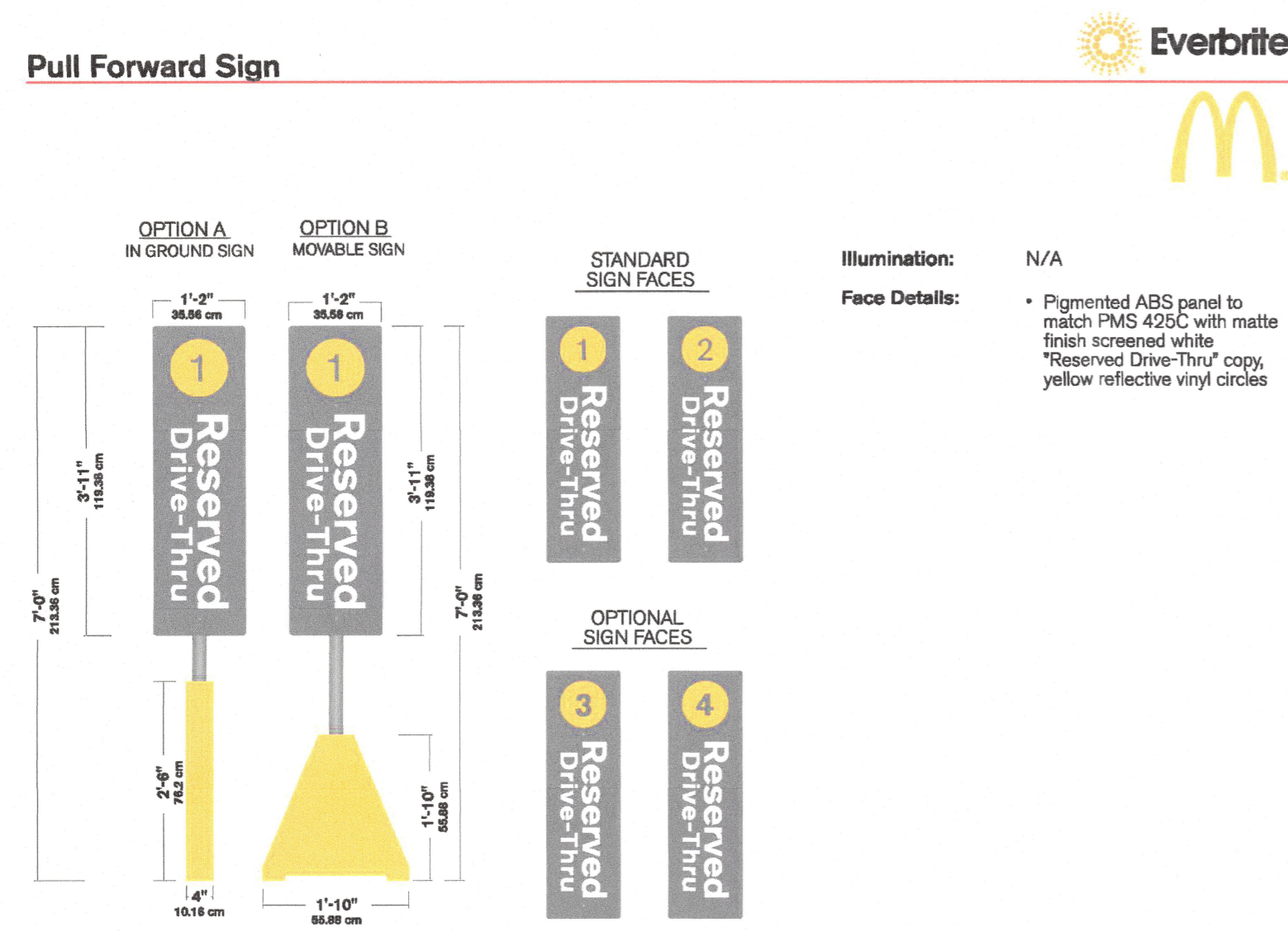
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MCD-20991	SITE PLAN FOR MCDONALD'S E MAIN ST., STAMFORD, CT	DC	2021	KB	06/14/2021	CSG PROJECT #	MCD-20991
C6.1	CONSTRUCTION DETAILS 2	DC	2021	KB	06/14/2021	CSG PROJECT #	MCD-20991
						SITE ADDRESS	1103 E MAIN STREET, STAMFORD, CT 06902



KAI BURK, P.E.
RE LICENSE #0035621

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3039 Premium Parkway
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kburk@core-states.com



DATE: 05/14/2021

PE LICENSE #PE0035621

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Phone: (878) 405-1979
kburk@core-states.com

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DRAWN BY: DC
STD ISSUE DATE: 2021
REVIEWED BY: KBC
DATE ISSUED: 05/14/2021
CSG PROJECT #: MCD-20991

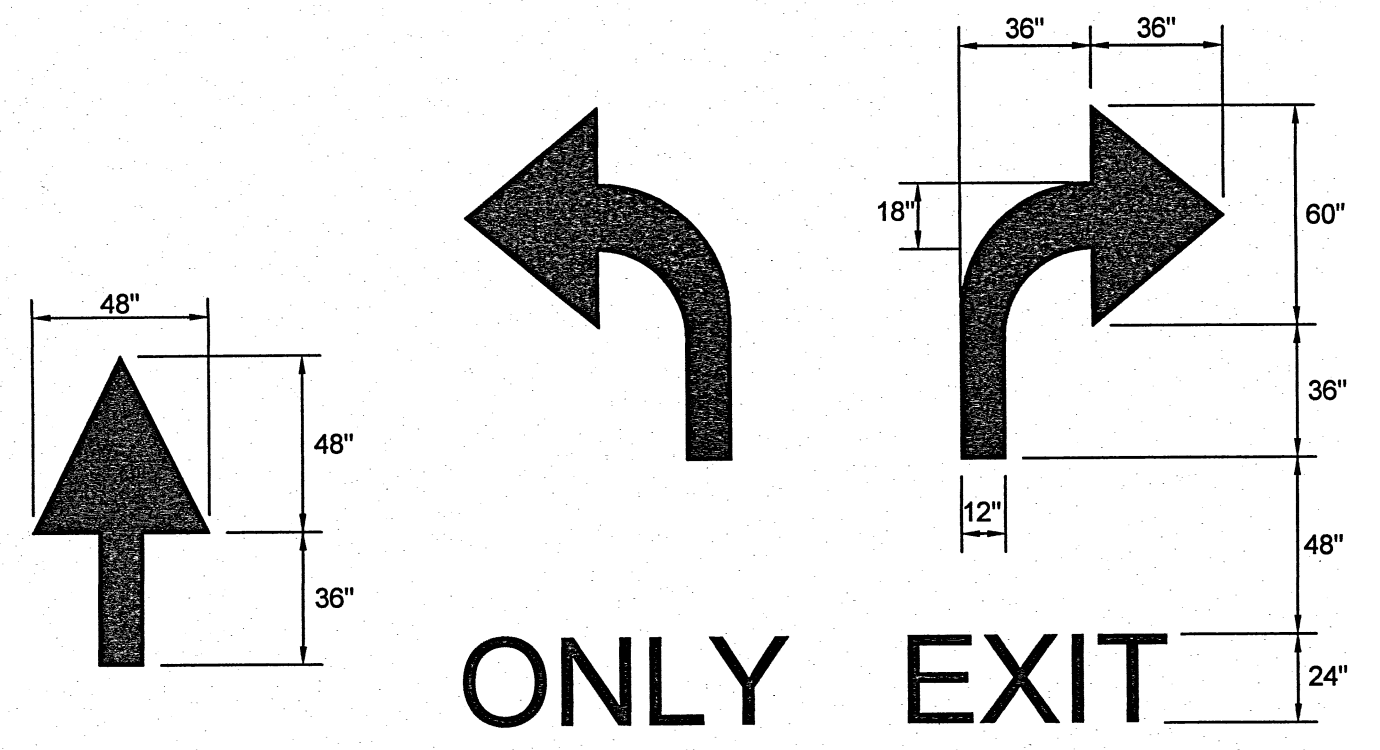
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SHEET: **CONSTRUCTION DETAILS 3**

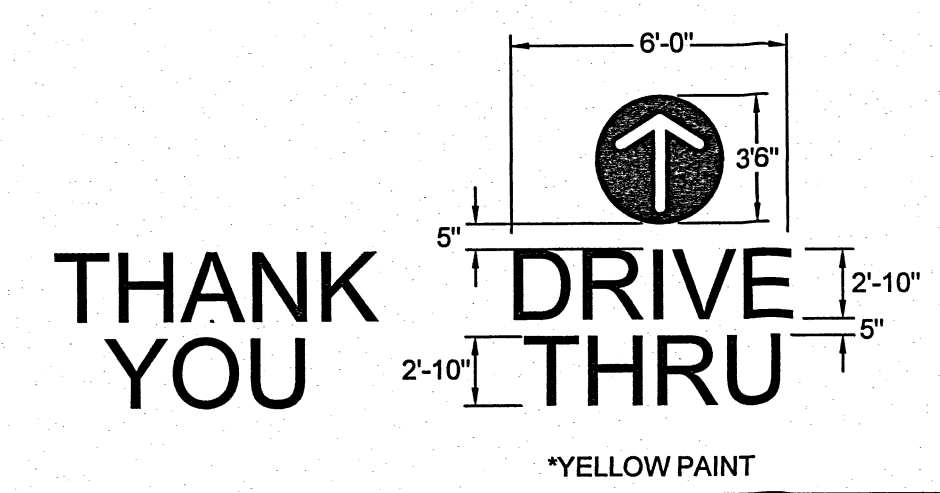
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SHEET NO.: MCD-20991

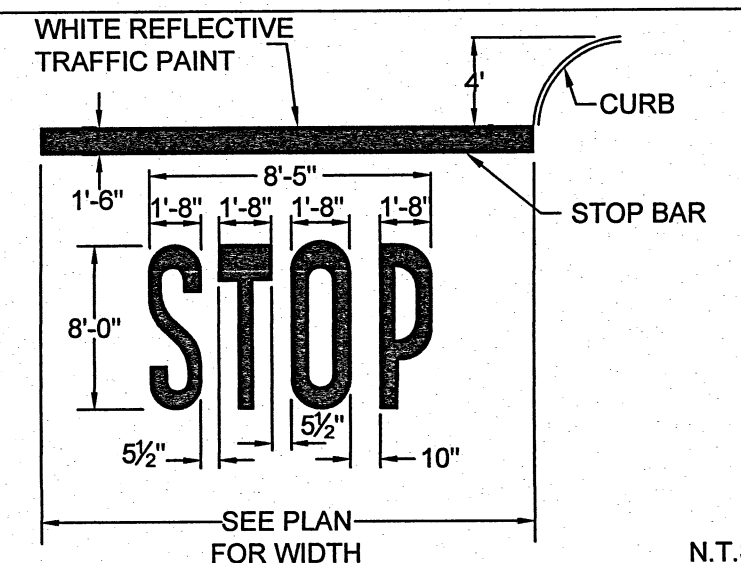
C6.2



NOTE: ARROWS AND WORDS CAN BE ARRANGED IN OTHER COMBINATIONS THAN THOSE ILLUSTRATED HERE TO ACHIEVE DESIRED RESULT.
*YELLOW PAINT ON CONCRETE LOTS
*WHITE PAINT ON ASPHALT LOTS



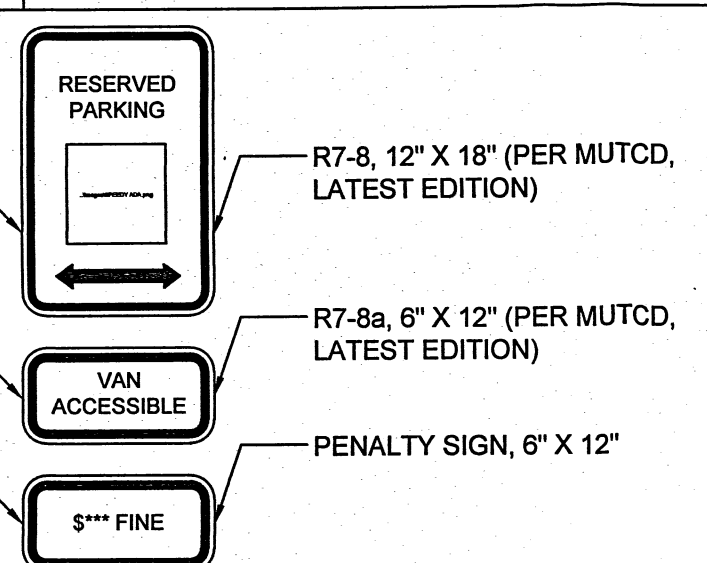
PAVEMENT MARKING



STOP WITH BAR

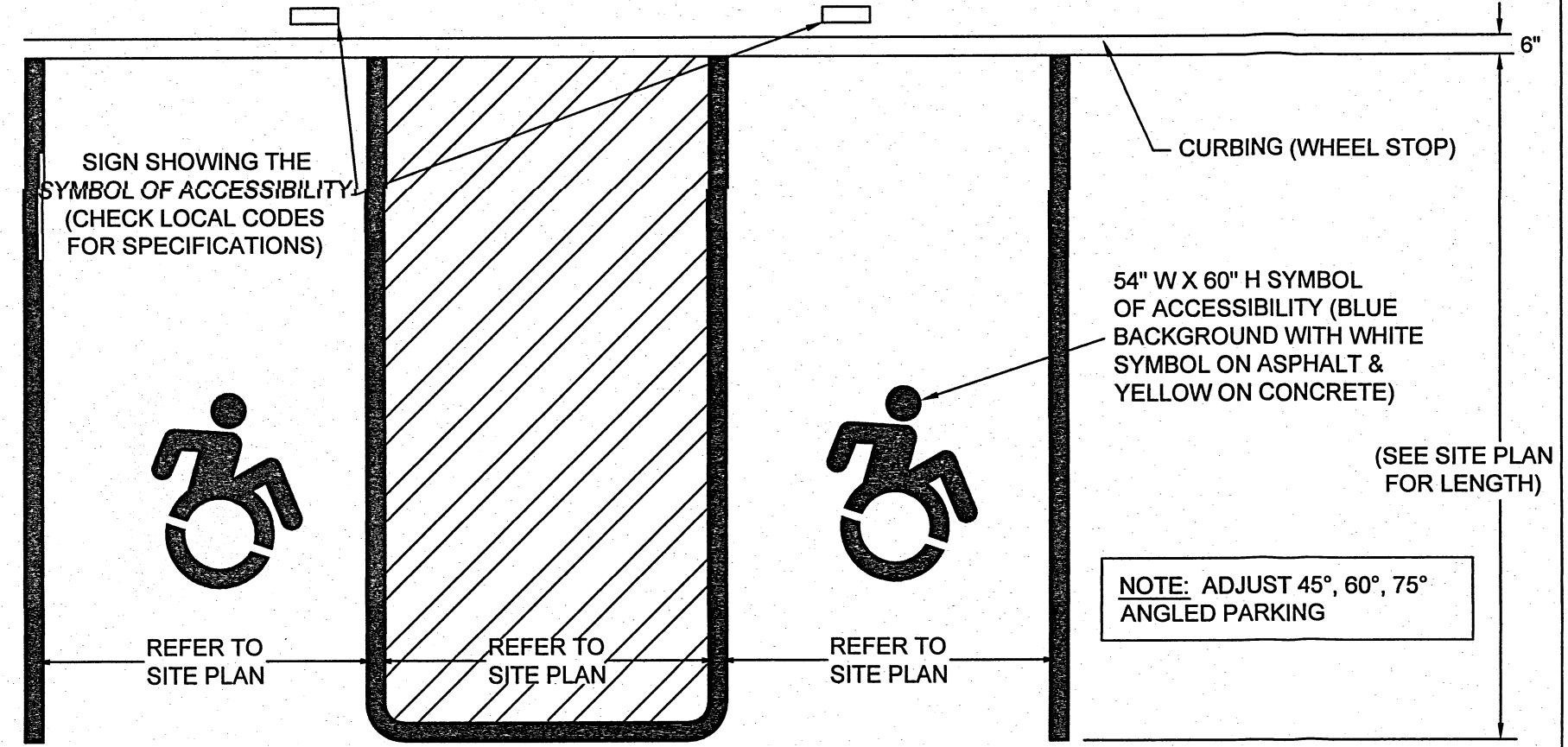
"DO NOT ENTER" SIGN

THIS SIGN TYPICAL AT ALL HANDICAP PARKING SPACES
THIS SIGN TYPICAL AT ALL VAN ACCESSIBLE HANDICAP PARKING SPACES
PENALTY SIGN WORDING SHALL BE AS REQUIRED BY STATE OR LOCAL CODE

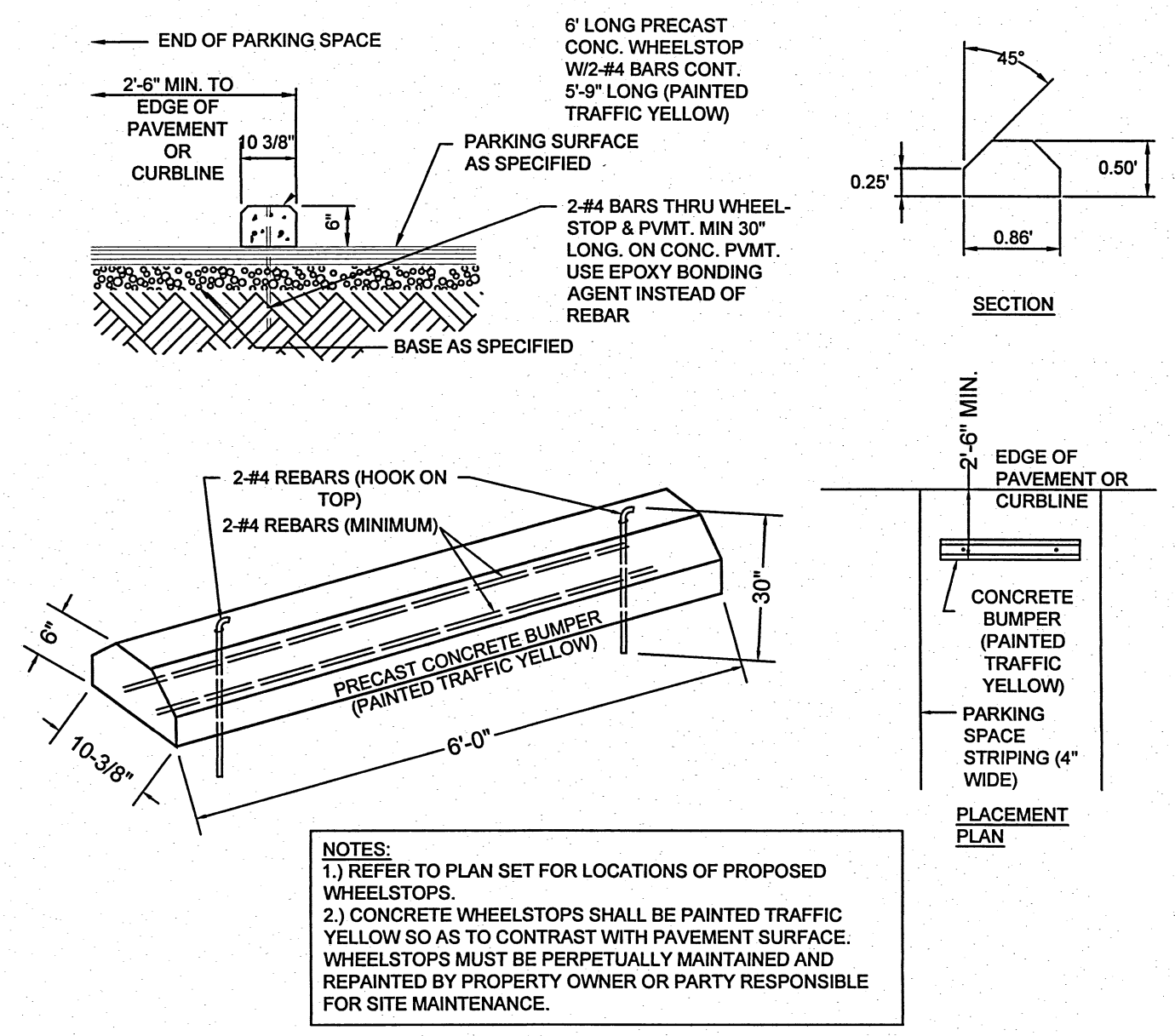


DETAIL NOTES:
1. ALL SIGN BACKGROUNDS SHALL BE WHITE (RETROREFLECTIVE).
2. ALL SIGN LEGENDS AND BORDERS SHALL BE GREEN (RETROREFLECTIVE).
3. HANDICAPPED SYMBOL FOR SIGN R7-8 SHALL BE WHITE ON BLUE BACKGROUND (RETROREFLECTIVE).

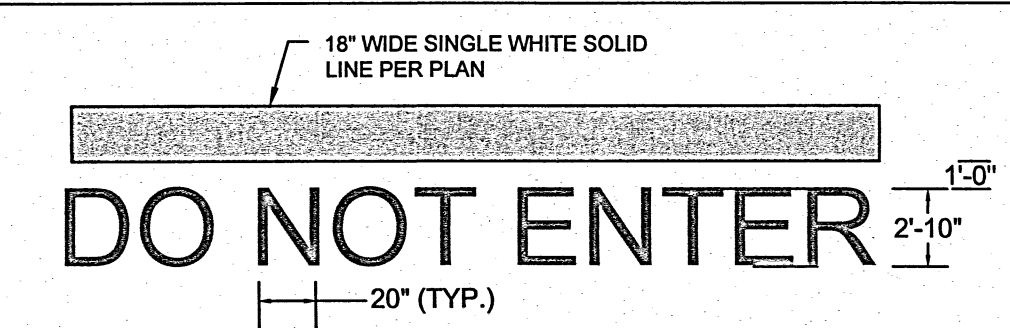
ADA PARKING SIGN DETAIL



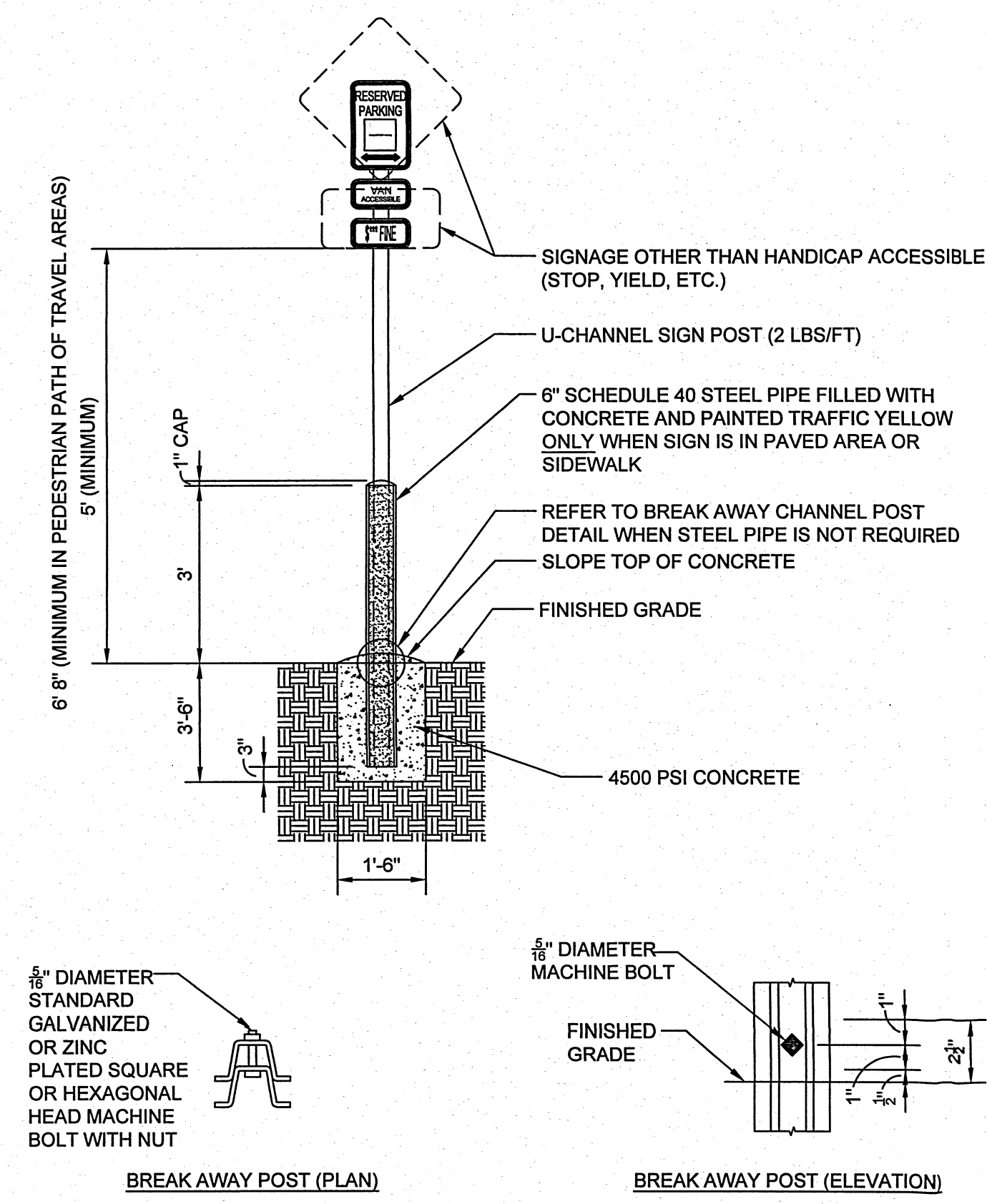
ACCESSIBLE PARKING STALL



CONCRETE WHEEL STOPS



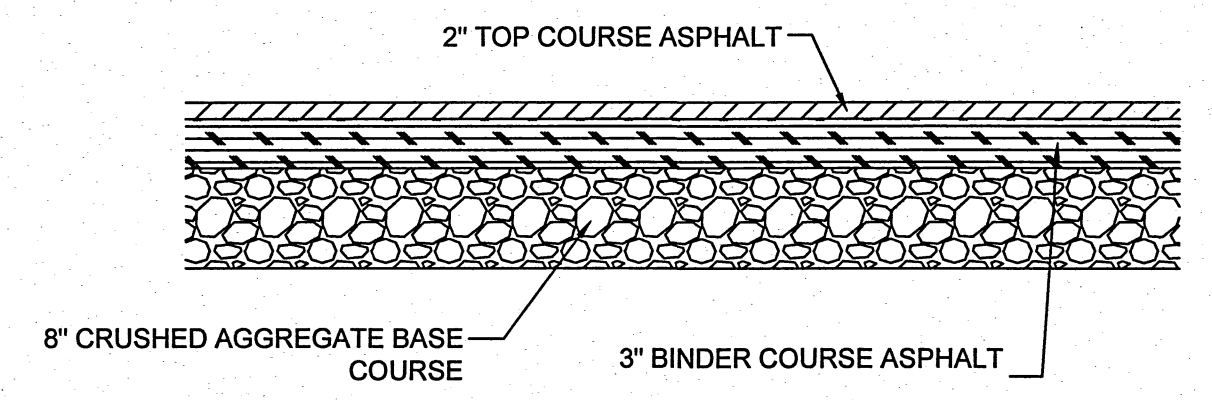
"DO NOT ENTER" DETAIL



SIGN POST

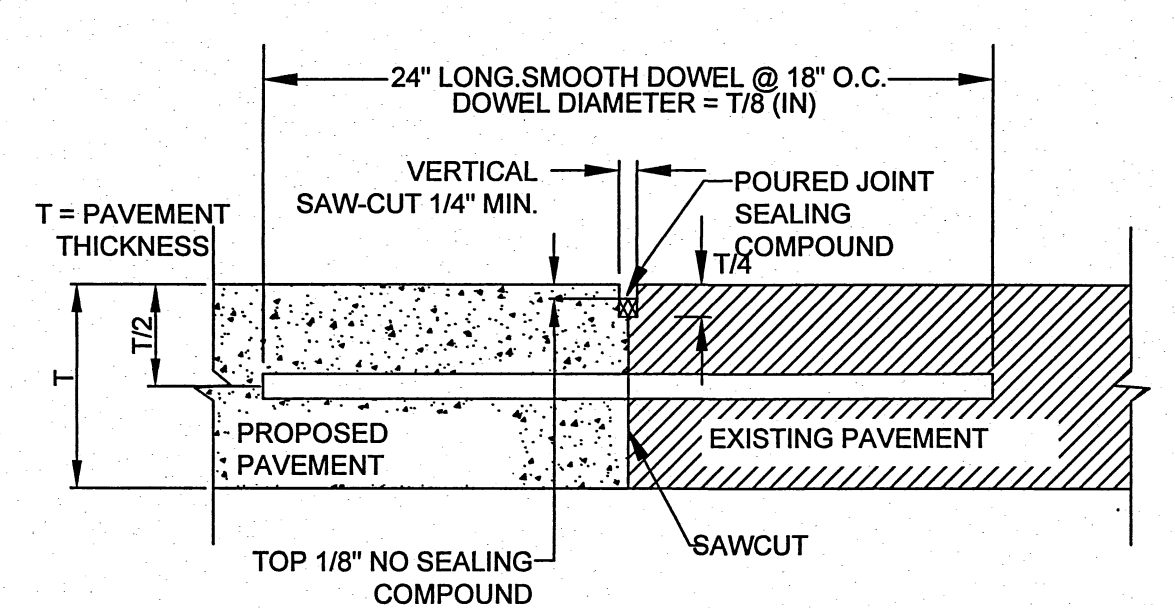
DETAIL NOTES:
1. ALL SIGNS SHALL COMPLY WITH THE UNITED STATES DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (LATEST EDITION), AND LOCAL CODES AS SPECIFIED.
2. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
3. ALL NORMAL WEIGHT CONCRETE (145 PCF) SHALL OBTAIN A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI.

ASPHALT TYPE	LAYER DEPTH
TOP COURSE ASPHALT SURFACE	2"
BINDER COURSE ASPHALT	3"
CRUSHED AGGREGATE BASE COURSE	8"

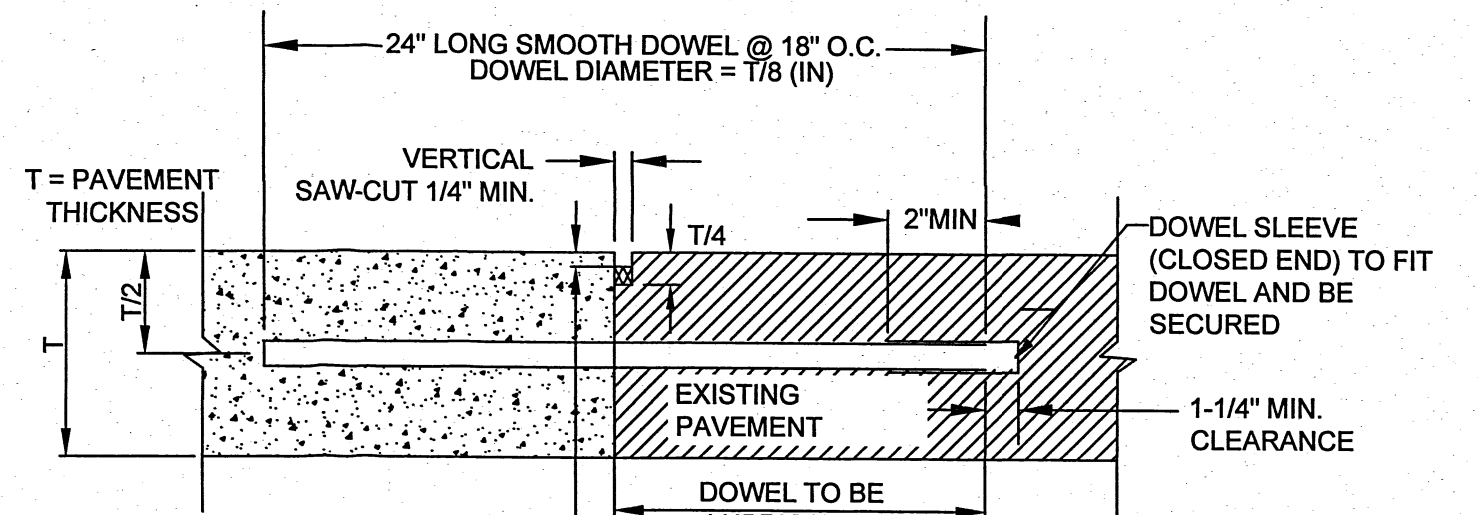
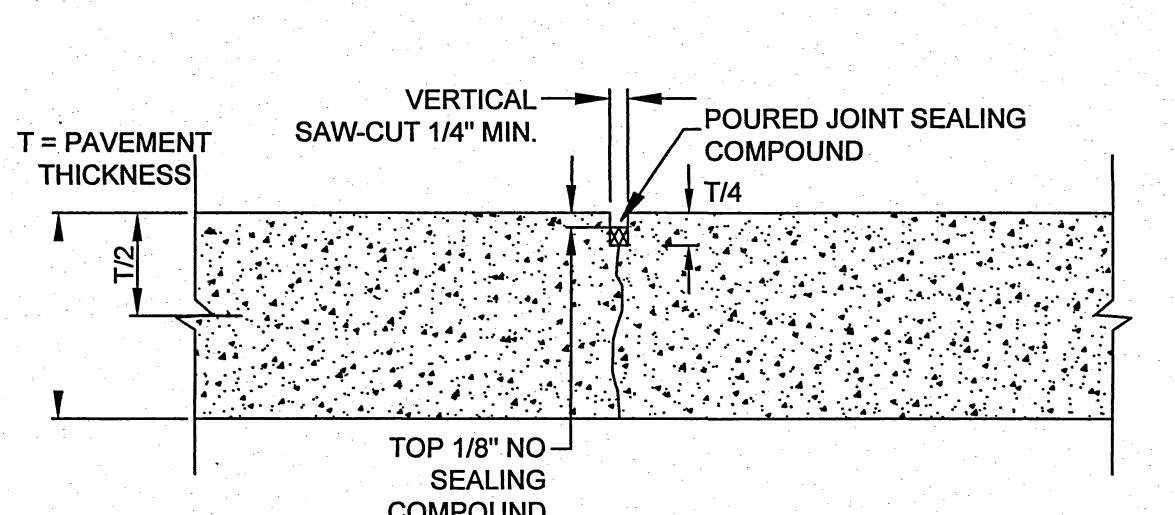


NOTE: McDONALD'S PROJECT MANAGER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATIONS, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE G.C. WILL BE CHARGED.

HEAVY DUTY ASPHALT PAVING SECTION

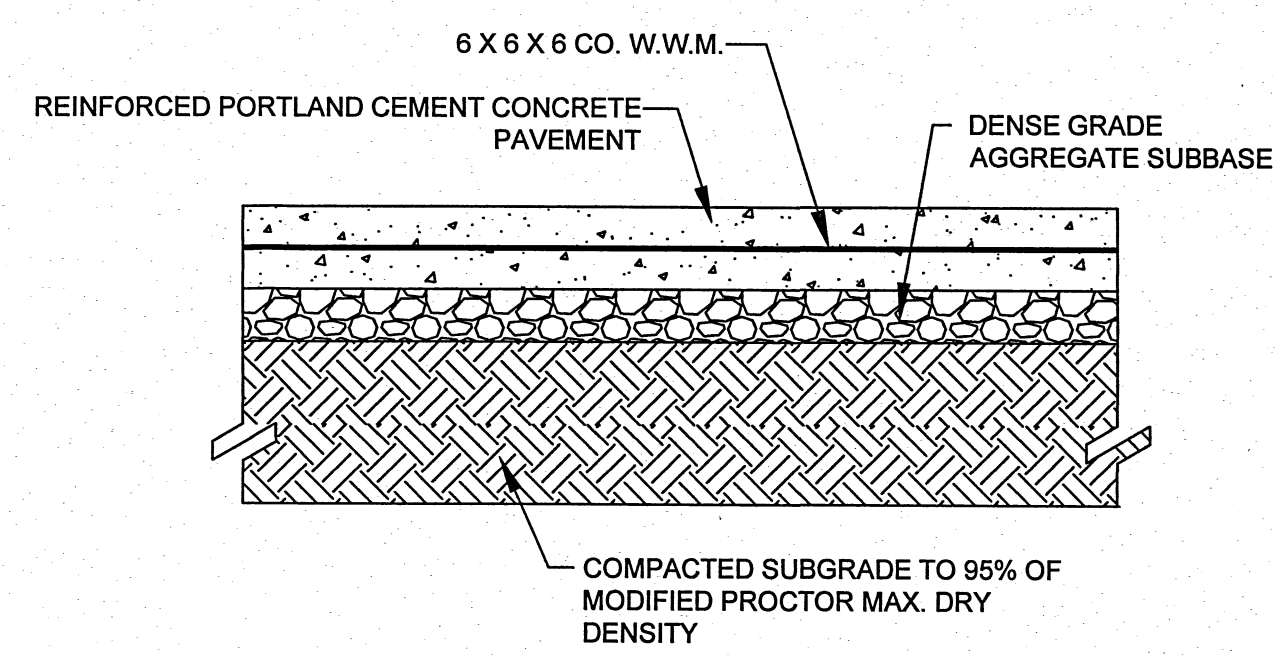


NOTE:
1. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.
2. DRILLING BY HAND IS NOT ACCEPTABLE. PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.



CONCRETE JOINT DETAILS

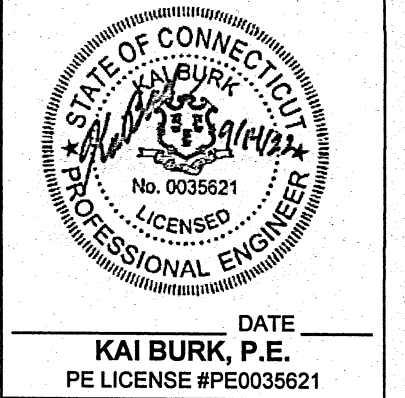
	DRIVE THRU / ADA PARKING PAD / CROSSWALK	TRASH ENCLOSURE
CONCRETE MAT	6"	8"
DENSE GRADE AGGREGATE SUBBASE	6"	6"
MINIMUM 28 DAY STRENGTH	4,500 PSI	4,500 PSI



DETAIL NOTES:

- 1. CONCRETE PAVEMENT SHALL MEET THE MORE STRINGENT REQUIREMENT OF EITHER THE SPECIFICATIONS PROVIDED BY THE OWNER, LOCAL CITY/COUNTY REQUIREMENTS.
- 2. CONTRACTOR TO CONSTRUCT CONCRETE PAVEMENT WITH TRANSVERSE JOINTS AT 10' O.C. JOINTS TO BE CONSTRUCTED PER DETAIL ON THIS PAGE.

CONCRETE SLAB SECTION

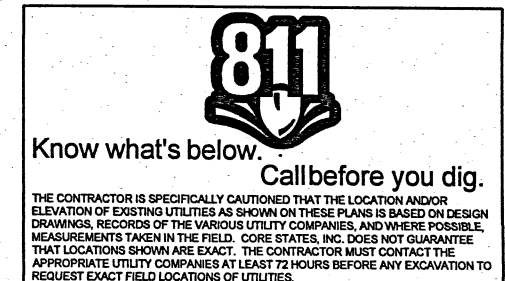


DATE
KAI BURK, P.E.
PE LICENSE #PE035521

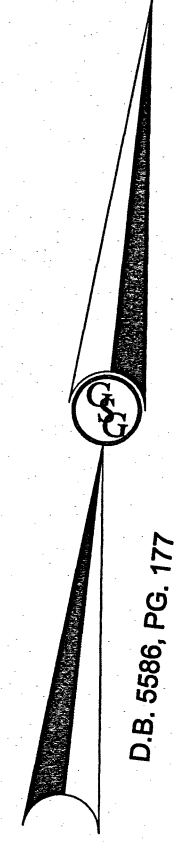
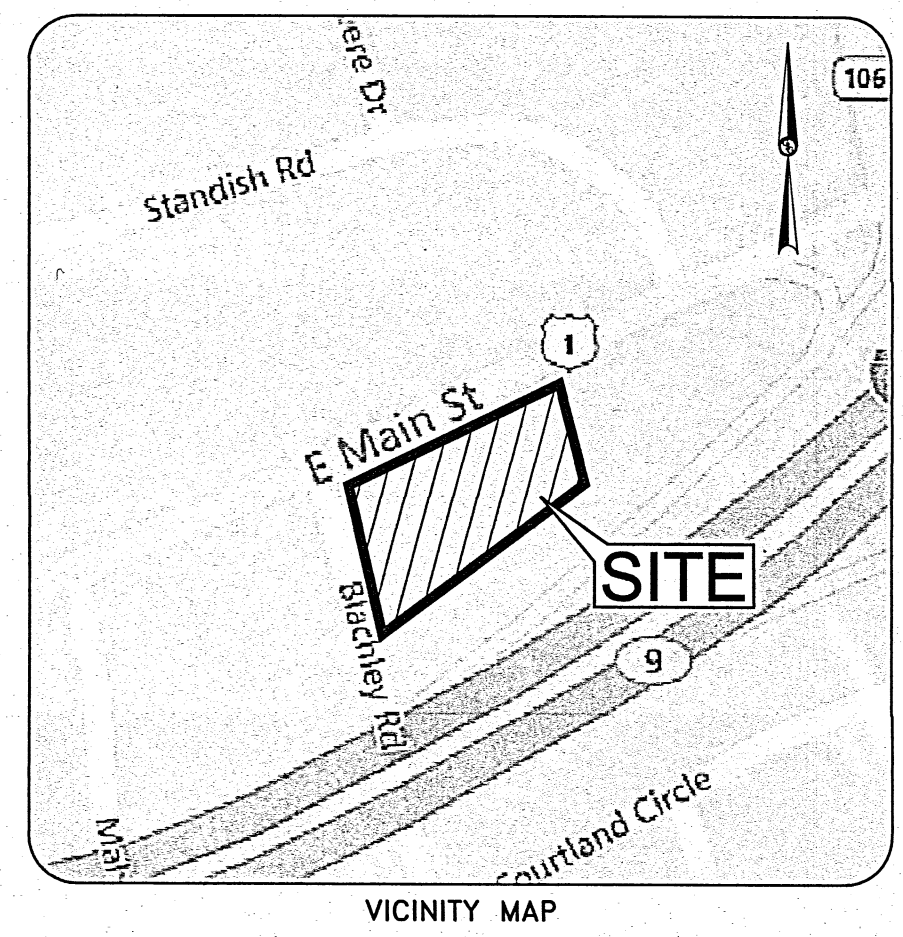
PREPARED FOR:
McDonald's USA, LLC
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DRAWN BY	DC	DATE	2021
STD ISSUE DATE		REVIEWED BY	KB
		DATE ISSUED	06/14/2021
		CSG PROJECT #	MCD-20991
TITLE	SITE PLAN FOR McDONALD'S E MAIN ST., STAMFORD, CT		
SHEET	CONSTRUCTION DETAILS 4		
SHEET NO.	C6.3		

NOT FOR CONSTRUCTION

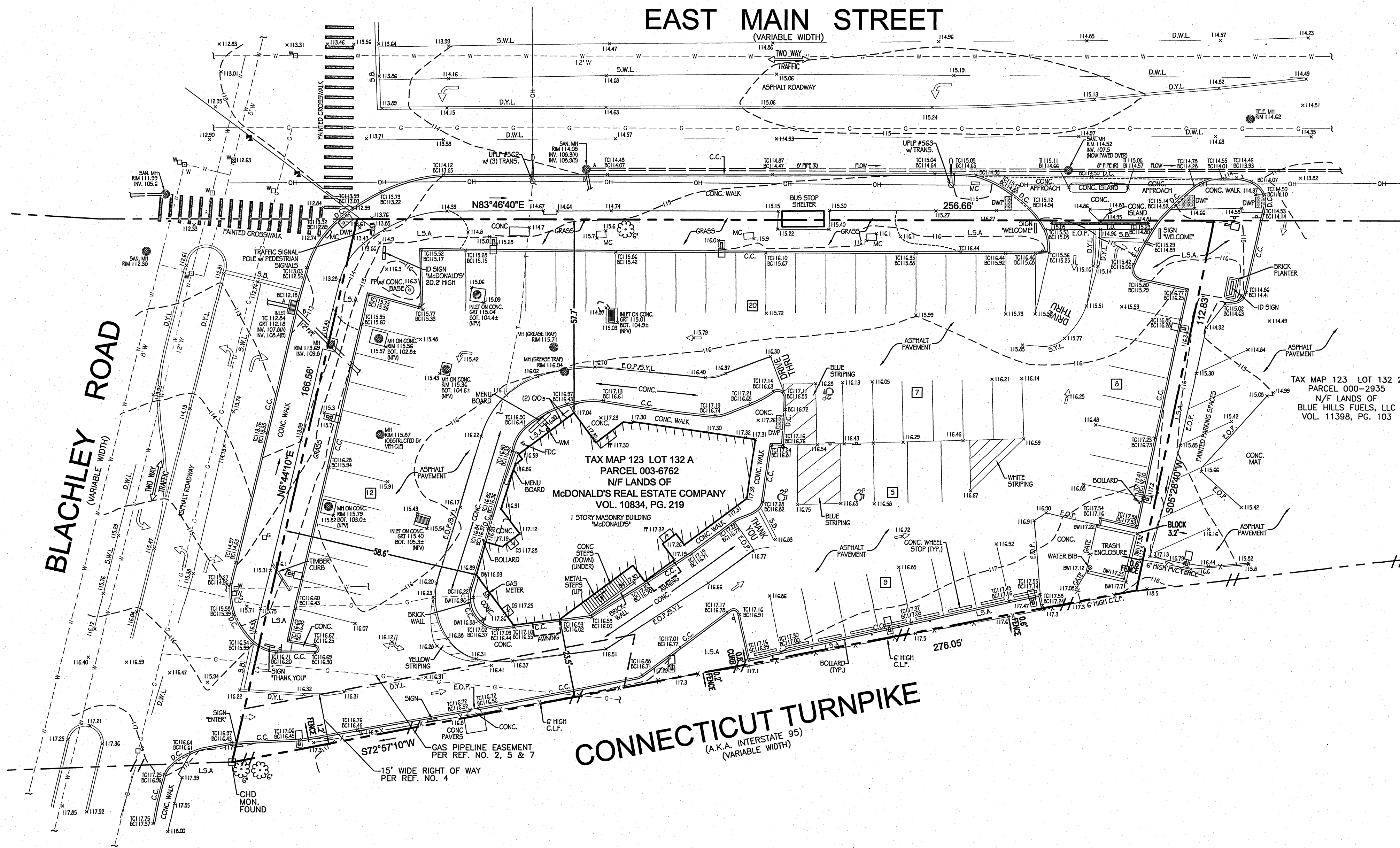


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EAST MAIN STREET

(VARIABLE WIDTH)



MAP LEGEND

- #---#--- PROPERTY LINE
- #---#--- NON ACCESS HIGHWAY LINE
- #---#--- EXISTING CONTOUR
- #---#--- FENCE
- x 115.34 EXIST. BUILDING FOOTPRINT AT GROUND LEVEL & DOORWAY
- x TC 115.34 EXISTING SPOT ELEVATION
- x BC 115.34 EXIST. TOP OF CURB ELEVATION
- x BW 115.34 EXIST. GUTTER ELEVATION
- x DS 115.34 EXIST. BOTTOM OF WALL ELEVATION
- x FF 115.34 DOOR SILL ELEVATION
- G --- FINISH FLOOR ELEVATION
- E --- APPROX. LOC. UNDERGROUND GAS LINE PER UTILITY MARKOUT & REF. MAPPING
- W --- APPROX. LOC. UNDERGROUND ELEC. LINE PER UTILITY MARKOUT
- T --- APPROX. LOC. UNDERGROUND TELEPHONE LINE PER UTILITY MARKOUT
- OH --- OVERHEAD WIRES
- #---#--- AREA LIGHT
- #---#--- UTILITY POLE/LIGHT POLE
- #---#--- TRAFFIC SIGNAL POLE
- #---#--- PEDESTRIAN CROSSING SIGNAL
- #---#--- INLET
- #---#--- MANHOLE
- #---#--- SIGN
- #---#--- WATER VALVE
- #---#--- GAS VALVE
- #---#--- BOLLARD
- #---#--- PARKING SPACE COUNT
- #---#--- DENOTES TREE & TRUNK DIAMETER
- #---#--- DENOTES OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
- #---#--- TRAFFIC FLOW ARROWS

ABBREVIATIONS

- BOT BOTTOM
- C.C. CONCRETE CURB
- C.L.F. CHAIN LINK FENCE
- CO CLEAN OUT
- D.C. DEPRESSED CURB
- D.W.L. DASHED WHITE LINE
- DWP DETECTABLE WARNING PAD
- D.Y.L. DOUBLE YELLOW LINE
- FDC FIRE DEPARTMENT CONNECTION
- FP FLAG POLE
- GRT GRATE
- INV INVERT
- MH MANHOLE
- NFV NO PIPE VISIBLE
- (R) INFORMATION OBTAINED FROM REFERENCE MAPPING
- S.W.L. SOLID WHITE LINE
- S.Y.L. SOLID YELLOW LINE
- S.B. STOP BAR
- T.D. TRENCH DRAIN
- TRANS. TRANSFORMER

UTILITIES:
 THE FOLLOWING COMPANIES WERE NOTIFIED BY CONNECTICUT ONE-CALL SYSTEM (1-800-922-4455) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 20173503692

UTILITY COMPANY	PHONE NUMBER
AQUARIAN WATER	800-732-9678
CABLEVISION OF CONNECTICUT	800-262-8600
CITY OF STAMFORD	203-977-5894
CONNECTICUT DEPT. OF TRANSPORTATION	203-878-1869
EVERSOURCE ELECTRIC	800-778-9140
EVERSOURCE GAS	203-317-4501
FRONTIER COMMUNICATIONS	800-598-0628
LEVEL 3 COMMUNICATIONS	877-366-8344
LIGHTOWER	978-264-6012
STATE OF CT DEPT. OF TRANSPORTATION	860-594-3447

NOT ALL UTILITY COMPANIES RESPONDED TO MARKOUT REQUEST



THE STATE OF CONNECTICUT REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

- NOTES:**
- THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20 OF THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019. THIS SURVEY IS A TOPOGRAPHIC RESURVEY AND IT CONFORMS TO A HORIZONTAL ACCURACY OF A-2, AND A TOPOGRAPHIC ACCURACY OF T-2.
 - PROPERTY KNOWN AS LOT 132 A OF TAX MAP NO. 123, PARCEL 003-6762 AS SHOWN ON ASSESSMENT PARCEL MAP FOR THE CITY OF STAMFORD, FAIRFIELD COUNTY, CONNECTICUT.
 AREA = 35,216 S.F. OR 0.8085 AC.
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON PRIOR UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
 - THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE COMMITMENT REPORT AND IS SUBJECT TO THE COVENANTS, RESTRICTIONS AND EASEMENTS THAT MAY BE CONTAINED THEREIN.
 - ELEVATIONS ARE BASED UPON NAVD 88.
 - BY GRAPHIC PLOTTING THE PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS IDENTIFIED ON NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP (FIRM) NO. 0800010517G, EFFECTIVE JULY 8, 2019 AND OBTAINED FROM THE FEMA NFHL WEB SERVICE ON AUGUST 9, 2022.
 - THE LOCATION AND EXTENTS OF UNDERGROUND VAULTS & TANKS HAVE NOT BEEN DETERMINED BY THE SURVEYOR.

- REFERENCES:**
- PROPERTY SURVEYED FOR MARTIN LEVINE, ET AL, STAMFORD, CONN., PREPARED BY L. BROMFIELD, ENGINEER & SURVEYOR, DATED JULY 27, 1953, FILED IN THE TOWN CLERK'S OFFICE OF STAMFORD, CT ON AUGUST 17, 1953 AS MAP NO. 4762.
 - PRIVATE PROPERTY SKETCH, LOCATION OF GAS MAIN ON THE PROPERTY OF MARTIN LEVINE, ET AL, PREPARED BY THE CONNECTICUT POWER COMPANY, APPROVAL DATE SEPTEMBER 27, 1955, FILED IN THE TOWN CLERK'S OFFICE OF STAMFORD, CT ON NOVEMBER 3, 1955 AS MAP NO. 5569.
 - PROPERTY SURVEYED FOR ELKAY CO., STAMFORD, CONN., PREPARED BY L. BROMFIELD, ENGINEER & SURVEYOR, DATED DECEMBER 13, 1955, FILED IN THE TOWN CLERK'S OFFICE OF STAMFORD, CT ON APRIL 12, 1956 AS MAP NO. 5707.
 - MAP SHOWING SUBDIVISION OF PARCEL "B", MAP NO. 5707, STAMFORD LAND RECORDS, PROPERTY OF LOUIS J. KURIANSKY, ET AL, MAIN STREET, STAMFORD, CONN., BY EDWARD J. FRATTAROLI, SURVEYOR, DATED MAY 27, 1957, FILED IN THE TOWN CLERK'S OFFICE OF STAMFORD, CT ON JUNE 18, 1957 AS MAP NO. 6165.
 - PROPERTY SURVEYED FOR McDONALD'S CORPORATION, PREPARED BY EDWARD J. FRATTAROLI & COMPANY, DATED MAY 21, 1986, FILED IN THE TOWN CLERK'S OFFICE OF STAMFORD, CT ON JUNE 27, 1986 AS MAP NO. 11619.
 - CONNECTICUT DEPARTMENT OF TRANSPORTATION, BUREAU OF HIGHWAYS, RIGHT OF WAY MAP, TOWN OF STAMFORD, CONNECTICUT TURNPIKE FROM THE GREENWICH-STAMFORD TOWN LINE TO THE STAMFORD-DARREN TOWN LINE, PROJECT NO. 135-09, SHEET 7 OF 8, APPROVED AUGUST 14, 1980.
 - GAS MAPPING BY YANKEEGAS, DATED APRIL 21, 2008.
 - WATER MAPPING PROVIDED BY AQUARIAN WATER COMPANY, DATED 9/12/2017.
 - ELECTRIC MAPPING BY CONNECTICUT LIGHT & POWER COMPANY, DATED 4/12/12.
 - SITE PLAN FOR McDONALD'S, PREPARED BY R.A.L. DESIGN ASSOCIATES, DATED 8/13/84, LAST REVISED 11/12/84, SHEET SP-2.
 - SANITARY SEWER MAP FOR MAIN STREET, CONSTRUCTED 1953.

No.	SURVEY UPDATE	CJO	08-08-2022
1	DESCRIPTION OF REVISION	DATE	DATE

BOUNDARY & TOPOGRAPHIC SURVEY
TAX MAP 123 LOT 132 A
 PARCEL 003-6762
 1103 EAST MAIN STREET
 CITY OF STAMFORD
 COUNTY OF FAIRFIELD
 STATE OF CONNECTICUT

GALLAS SURVEYING GROUP
 2865 US ROUTE 1
 NORTH BRUNSWICK, NJ 08902
 TEL: 732-422-6700
 FAX: 732-940-8786
 www.gallasurvey.com

DATE	SCALE	DRAWN:	CHECKED:
09-25-2017	1"=20'	R.S.E.	G.S.G./J.R.T.
FIELD DATE	FIELD BOOK	PAGE	FIELD CREW
09-11-2017	83	10	M.C./B.F.
08-05-2022			CJO
FILE NO.:	DRAWING NAME/SHEET NO.		
G17237	G17237.DWG	1 OF 1	

TO MY KNOWLEDGE, THE INFORMATION IS SUBSTANTIALLY CORRECT AS NOTED HEREON

CHARLES P. OSBORNE III
 CONNECTICUT PROFESSIONAL LAND SURVEYOR #70076

08-08-2022 DATE

