

From: Clausi, Robert

Sent: Thursday, January 19, 2023 1:20 PM

To: Mathur, Vineeta

Subject: Supplement comments regarding ZB Application 222-32 100 Clinton Avenue

Dear Vineeta,

As you are aware, yesterday we participated in an online meeting with Jason Klein and Lisa Feinberg of Carmody Torrance Sandak & Hennessey LLP, and Ted Milone of Redniss & Mead, Inc. regarding their client's 100 Clinton Avenue project. This project is currently being reviewed by the Zoning Board under Application #222-32.

As part of our meeting, details of the retaining wall that is planned to be built around portions of the south and west sides of the Block B building were presented in plans prepared by Lessard Design entitled "100 Clinton, Stamford CT – Retaining Wall Framing Plan – Retaining Wall Sections" dated January 11, 2023. These plans indicate that, once constructed, the wall will not encroach into either the pedestrian access easement or the Special Flood Hazard Area.

I stated that this proposal will be compliant with the Flood Prone Area Regulations (i.e., Section 15B of the Zoning Regulations) provided there is no change to the existing topography within the flood plain. The developer should provide EPB with pre- and post-construction topographic data (based on the NAVD-88 elevation datum) for the area to the west of the retaining wall along the west side of the Block B building to confirm the project has not altered grades within the flood plain.

Please include these supplemental points with the comments I provided to you on December 21, 2022 for the Zoning Board to consider as part of its review of ZB Application 222-32.

Thank you,
Bob Clausi

Robert E. Clausi

Executive Director

Environmental Protection Board

City of Stamford

888 Washington Blvd

Stamford CT 06904

(203) 977-4965

MAYOR
CAROLINE SIMMONS

DIRECTOR OF OPERATIONS
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**CITY OF
STAMFORD**



TRANSPORTATION BUREAU CHIEF
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OFFICE OF OPERATIONS
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Government Center, 888 Washington Blvd., 7TH Floor, Stamford, CT 06901

INTEROFFICE MEMORANDIUM

TO: Zoning Board Office

FROM: Frank W. Petise, P.E.
Transportation Bureau Chief


Luke Bittenwieser
Transportation Bureau Staff

DATE: JANUARY 20, 2023

RE: Zoning Board Application 222-32: Garage Ramp Special Permit

Application #222-32

100 Clinton Avenue
100 Clinton LLC

The Transportation, Traffic & Parking Department (TTP) has reviewed the following documents:

- Zoning Board application received October 13, 2022 with supplemental application received January 18, 2023;
- Submitted revised parking garage plan
- Garage Ramp Design letter from Lessard Design

The Department has reviewed the proposed ramp design extensively and has worked closely with the applicant during this process. The proposed ramp design is the result of several iterations to improve safety and operations. The Department offers no objection to the issuance of a special permit for the garage ramps.

RECEIVED

JAN 20 2023

ZONING BOARD

November 4, 2022

Stamford Zoning Board
c/o Vineeta Mathur, Principal Planner
Stamford Land Use Bureau
Stamford Government Center
888 Washington Blvd. – 7th Floor
Stamford, CT 06901

Re: Review and Comments - CSPR for 100 Clinton Avenue

Dear Board Members:

Thank you for the submission of the coastal site plan (CSP) application for our review and comments concerning the proposed redevelopment of 100 Clinton Avenue. Acting as the Commissioner's staff, our office has reviewed the CSP, received on October 13, 2022, for consistency with the policies and standards of the Connecticut Coastal Management Act (CCMA) and we offer the following comments for consideration with respect to the application.

The Applicant proposes to redevelop the property located at 100 Clinton Avenue and construct two residential "block" structures that will consist of 471- unit residences, a 453-space on-site parking garage, and the construction of other amenities to serve the residents. The site is a conglomerate of several smaller parcels. The site is bound by Clinton Avenue, Richmond Hill Ave, Division Street, and the Mill River (also known as the Rippowam River).

A FEMA Letter of Map Revision Based on Fill Determination (LOMR-F) is associated with this property (Date: November 30, 2018, Case No.: 19-01-0070A). The LOMR-F removes a portion of the property from the Special Flood Hazard Area located in the immediate area. However, the LOMR-F also states the following:

"A portion of this property is located within the Special Flood Hazard Area and the National Flood Insurance Program (NFIP) regulatory floodway for the flooding source indicated on the Determination/Comment Document while the subject of this determination is not. The NFIP regulatory floodway is the area that must remain unobstructed in order to prevent unacceptable increases in base flood elevation. Therefore, no construction may take place in an NFIP regulatory floodway that may cause an increase in the base flood elevation, and any future construction or substantial

November 4, 2022

improvement on the property remains subject to Federal, State/Commonwealth, and local regulation for floodplain management.”

Prudent coastal management recognizes and plans for the resources, uses, and potential hazard(s) present at each site. In this case, it appears that the Applicant has proposed developing the site directly up and onto the Floodway delineation line (with some slight portions of the development potentially located over or cantilevering over the floodway delineation line). Section 22a-92(b)(2)(f) of the CCMA requires that coastal hazard areas be managed so as to ensure that development proceeds in such a manner that hazards to life and property are minimized and promotes non-structural solutions to flood and erosion problems except in those instances where structural alternatives prove unavoidable and necessary to protect existing inhabited structures, infrastructural facilities, or water-dependent uses. In light of this policy, additional structures to control future flooding or erosion of the site could not be allowed to protect a new residential structure at this location. Therefore, nonstructural solutions such as adequate building setbacks are crucial to reduce potential flooding impacts and ensure consistency of the proposal with the CCMA and the construction restrictions as set forth by FEMA in its LOMR-F issued for the site.

Therefore, we strongly recommend that all newly proposed structures should be set back from the FEMA delineated floodway line by a sufficient distance, as determined and approved by the City, to allow for the safe construction and use of the property.

In addition, the Applicant notes that there are tidal wetlands located on the property which are located within the FEMA delineated floodway area of the property. Although they will not be directly impacted by the proposed development, it is our understanding that public access will be provided within the easement along the river that contains the wetland areas. Any subsequently proposed public access walkway will need to be reviewed under a separate coastal site plan application to determine the extent of any impact to these sensitive areas, and we recommend that the city require the public access easement as a condition of any site plan approval for this application.

Further, since the proposed public access walkway will be constructed within the floodway portion of the property. Section 15.B.4.b(1) of Stamford’s local floodplain management regulations states:

Provisions Applicable to Designated Regulatory Floodways. In all designated regulatory floodways the following special standards shall apply, in addition to the requirements of Subsection 15.B.4.a above: (1) Encroachments. Encroachments (including filling, new construction, substantial improvements and other Development within the adopted regulatory floodway) that would result in any (0.00 ft.) increase in flood levels during the occurrence of the base flood discharge shall be prohibited. The provision of proof that there shall be no (0.00 ft.) increase in flood levels during occurrence of the base flood discharge due to the proposed construction or encroachment shall be the responsibility of the applicant and shall be based on hydrologic and hydraulic studies, performed in accordance with standard engineering practice, and certification, with supporting technical data, by a Connecticut Registered Professional Engineer.

November 4, 2022

Thus, the Applicant will need to provide the city with a thorough analysis in the subsequent coastal site plan application for public access to show a 0.00 (no-rise) rise to the floodway.

Finally, the performance of activities and work in tidal wetlands and/or waterward of the Coastal Jurisdiction Line (CJL), whether temporary or permanent, are in DEEP's regulatory jurisdiction and require authorization from the DEEP's Land and Water Resources Division. If any activities associated with public access are proposed within DEEP's regulatory jurisdiction, the Applicant would need to submit an application for approval under the *Structures, Dredging and Fill/Tidal Wetlands/401 Water Quality Certification* regulatory programs. The permit application form (Form C) can be found at: [Land and Water Resource Division LWRD Applications \(ct.gov\)](#).

Also, if any impact to existing tidal wetlands located on the property is proposed, the Applicant would need to include a thorough alternatives analysis demonstrating that there are no alternatives that would eliminate or minimize the proposed tidal wetland impacts. Once all efforts have been made to minimize impacts, any remaining impacts will require an on-site tidal wetland mitigation ratio of 3:1. For mitigation guidance during the pre-application process, please contact Susan Jacobson at Susan.Jacobson@ct.gov.

DEEP encourages the Applicant and the Board to consider the comments presented in this letter for the proposed project, and to redesign the project to avoid being constructed so close to or on the floodway delineation line, and to allow the proposed project to maintain consistency with respect to the CCMA.

DEEP wishes to thank the Board for the opportunity to review and comment on the submitted CSP for 100 Clinton Avenue. Should you have any questions regarding this letter, please feel free to contact me by email at karen.michaels@ct.gov.

Sincerely,



Karen Michaels, Environmental Analyst III
Planning Section
Land and Water Resources Division

KAM/kam

cc: Stamford Coastal File – 100 Clinton Avenue



City of Stamford
ENVIRONMENTAL PROTECTION BOARD
INTEROFFICE CORRESPONDENCE

January 23, 2023

To: Vineeta Mathur, Principal Planner
Land Use Bureau, Stamford

From: Robert Clausi, Executive Director 

Subject: ZB Application 222-32
CP VIII 100 Clinton, LLC, 0,100,102 Clinton Avenue, 29, 31, 37, 41 Division Street, and Parcel N-1 ("Block A") and 75,79,99,101,107,113 Clinton Avenue and 0,1,4,6,10,17,19,25 Division Street ("Block B") (collectively, the "Property")

Application for Special Permit

EPB staff has reviewed the above-referenced application for Special Permit pursuant to Section 12.A.3 to allow a two-way ramp-width within the Block A parking levels of 22' and a two-way ramp-width within the Block B parking levels of 20.4' without 2' center dividers or 1' curbs on either side.

EPB has no objection to this matter moving forward through the Zoning Board's review process.

Thank you for the opportunity to provide these comments.

CITY OF STAMFORD

MAYOR
CAROLINE SIMMONS

DIRECTOR OF OPERATIONS
MATT QUINONES
Email: MQuinones@StamfordCT.gov



CITY ENGINEER
LOUIS CASOLO, JR., P.E.
Email: LCasolo@StamfordCT.gov

INTEROFFICE MEMORANDUM

January 26, 2023

To: Vineeta Mathur Principal Planner

From: Willetta Capelle P.E. - Coordinator of Site Plan Reviews and Inspections

Subject: SPECIAL PERMIT REVISION
100 Clinton Avenue - CP VIII 100 Clinton, LLC
Zoning Application No. 222-32

The Engineering Bureau received Zoning Special Permit documents for the construction of a two-way ramp width within parking levels of 22 ft and 20.4 ft without a 2 ft center divider or 1 ft curb on either side. This Special Permit application is a revision of the original application for the construction of residential buildings totaling 471 units, parking, associated amenities, landscaping, drainage and utility infrastructure. The property is located within the CAM boundary.

The following documents were reviewed:

-"01 of 02 Parking Garage Vehicle Tracking, Ground Floor, 100 Clinton Avenue" by SLR dated 1/11/23

-"02 of 02 Parking Garage Vehicle Tracking, Second Floor, 100 Clinton Avenue" by SLR dated 1/11/23

The Engineering Bureau provided comments on the original application as outlined in a memo dated 11/16/22 and it was determined that the Engineering Bureau comments will be addressed prior to the Building Permit submission.

This Special Permit application does not affect the previous Engineering Bureau comments. The Engineering Bureau does not object to the Special Permit application proceeding with the approval process.

Please contact me at 203-977-4003 with any questions.

CC: Ted Milone
Bob Clausi

Reg. No. 22

MAYOR
CAROLINE SIMMONS



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**CITY OF STAMFORD, CONNECTICUT
HARBOR MANAGEMENT
COMMISSION**

90 Magee Avenue
Stamford, Connecticut 06902

November 21, 2022

Ms. Vineeta Mathur
Associate Planner
Land Use Bureau
Stamford Government Center
888 Washington Blvd.
Stamford, CT 06901

Subject: Application 222-32: CP VIII 100 Clinton, LLC for work at 0, 100, 102 Clinton Avenue, 29, 31, 37, 41 Division Street, and Parcel N-1 (“Block A”) and 75, 79, 99, 101, 107, 113 Clinton Avenue and 0, 1, 4, 6, 10, 17, 19, 25 Division Street (“Block B”) - General Development Plan, Site and Architectural Plans and/or Requested Uses and Coastal Site Plan Review.

Dear Ms. Mathur:

The Stamford Harbor Management Commission (SHMC) has reviewed the above-referenced application by CP VIII 100 Clinton, LLC (the Applicant) for Zoning Board approval of a multi-family residential development project affecting property at 0, 100, 102 Clinton Avenue, 29, 31, 37, 41 Division Street, and Parcel N-1 (“Block A”) and 75, 79, 99, 101, 107, 113 Clinton Avenue and 0, 1, 4, 6, 10, 17, 19, 25 Division Street (“Block B”), Stamford, CT. The proposed project consists of two residential buildings totaling 471 units with required parking spaces and associated amenities, landscaping, drainage, and utility infrastructure. The site includes significant easement areas granted to the City of Stamford for construction of, and public access to, a proposed public walkway along the Mill River.

As the proposed project is located within the coastal boundary and affects property on, in, or contiguous to the Harbor Management Area, it is subject to review by the SHMC to determine its consistency with the Stamford Harbor Management Plan. The requirements of this review are specified in Sec. 22a-113p of the Connecticut General Statutes, Sec. 6-62 of the Stamford Code of Ordinances, and the Harbor Management Plan. Pursuant to the General Statutes, City Code, and the Plan, a 2/3 vote of all members of the Zoning Board is needed to approve a proposal that has not received a favorable recommendation from the SHMC.

The SHMC considered this application during its meeting on November 15, 2022 and approved a motion to find the application consistent with the Harbor Management Plan insofar as the proposed project, including drainage improvements, is expected to significantly improve storm water and water quality conditions on the affected properties and provided the Engineering Department determines compliance with all City storm water management requirements; and with the understanding that safe and enjoyable public access to and along the Mill River will be provided and the proposed residential development is not located within the coastal floodplain.

In addition, the SHMC transmits the following general comments concerning storm water management to the Zoning Board and Applicant.

1. The SHMC is concerned about the potential adverse impacts of storm water runoff from impervious areas draining into the Harbor Management Area. The Plan calls for protection and improvement of water quality in the Harbor Management Area and encourages and supports appropriate Best Management Practices to avoid or otherwise mitigate nonpoint source (storm water) pollution.
2. The SHMC encourages and supports runoff reduction and low impact development practices in all coastal area development projects, including new development and significant site improvement projects, pursuant to the City's NPDES permit issued by the State of Connecticut.
3. The SHMC encourages and supports, as a condition of coastal area development project approval, an appropriate storm water management maintenance agreement to ensure continued maintenance by the owner of any engineered storm water management system included in such projects.

Please be advised that the SHMC reserves its right to review the proposal and provide additional comments at such time as it may be modified or be the subject of another application, additional information is provided, or the proposal is the subject of a public hearing.

If you have any questions or require any additional information, please contact me at (315) 651-0070 or dortelli@stamfordct.gov.

Sincerely,

Dr. Damian Ortelli

Dr. Damian Ortelli

Chairman, Stamford Harbor Management Commission

cc:

Frank Fedeli, Stamford Office of Operations

William Hennessey, Jr., Attorney for Applicant

Susan Jacobson, CT DEEP Land and Water Resources Division

Robert Karp, Chairman, SHMC Application Review Committee

MAYOR
CAROLINE SIMMONS

DIRECTOR OF OPERATIONS
MATT QUIÑONES
Email: mquinones@stamfordct.gov

**CITY OF
STAMFORD**



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INTEROFFICE MEMORANDIUM

TO: Zoning Board Office

FROM: Frank W. Petise, P.E.
Transportation Bureau Chief

DATE: November 22, 2022

RE: Zoning Board Application 222-32




Luke Battenwieser
Transportation Bureau Staff

Application #222-32

100 Clinton Avenue
100 Clinton LLC

The Transportation, Traffic & Parking Department (TTP) has reviewed the following documents:

- Zoning Board application received October 13, 2022;
- Project narrative;
- Zoning Location Survey prepared by Redniss & Mead dated September 28, 2022;
- Landscaping Plans prepared by Lee and Associates dated September 28, 2022;
- Architectural Plans prepared by Lessard Design dated September 28, 2022;
- Traffic Study prepared by SLR dated September 26, 2022
- Transportation Demand Management Plan/Parking Management Plan dated September 2022.

The proposed development consists of 471 Units broken down with 51 studio units, 216 one-bedroom units, 203 two-bedroom units, and one three-bedroom unit. 453 Vehicle Parking spaces will be provided and 108 Bike parking spaces will be provided. The Development is located one block from the Stamford Transportation Center, borders the Mill River Greenway, and is in the downtown neighborhood making it ripe for promoting non-vehicular based trips. This location-based trip reduction is evidenced by the traffic study which predicts a total of 139 vehicle trips in

the AM peak hour and 148 vehicle trips in the PM peak generated by the proposed development. The overall traffic impact from the site is acceptable by the department with the inclusion of the below comments. However, the City of Stamford has committed to achieving Zero roadway deaths by 2032, and the site and its study locations have several crashes including 9 pedestrian crashes, 6 serious injury crashes, and 1 fatal crashes. The City utilizes the Safe Systems approach to roadway safety and analyzes all parts of the roadway network, including developments and traffic generators, to ensure maximum roadway safety. This development and the associated vehicle trips generated increases the risk of collisions, especially vulnerable user crashes. The following department comments are related to improving safety for all roadway users, compatibility with the urban environment, and promoting non-vehicular modes of transportation to limit this development's impact on the local roadway network.

Traffic Study

1. Assume 1 pedestrian call per cycle for all intersections along Washington Blvd.
2. Applicant shall conduct an all-way Stop analysis to see if an all-way stop is warranted at the intersection of Clinton Ave and Division St as a significant amount of distributed trips from this development will utilize this intersection.
3. Was speed data recorded on Clinton Ave for intersection site distance and for safety analysis?
4. As previously communicated, the intersection of Greenwich Ave and South State St should be counted and included in this study.

Based on the revisions to the traffic study, further comments may be warranted.

Transportation Demand Management Plan/Parking Management Plan

The Department has reviewed the submitted TDM/PMP. The site lends itself well to reduced car ownership rates and traffic generation by virtue of its location downtown and proximity to the Stamford Transportation Center. The Department concurs with the 20% in trip generation as recommended by the Connecticut Department of Transportation. Section 12 of the Stamford Zoning Code permits the use of shared vehicles which may substitute required parking spaces at a ratio of four parking spaces per one shared vehicle, with such reduction to not exceed 10%. The applicant has utilized this measure which the department agrees with as shared parking is a nationally recognized measure to reduce parking and trip generation. The Department has data from a similar site at 355 Atlantic Street (Atlantic Station) that shows a parking ratio of .94 spaces per unit which is lower than the applicant's proposed ratio of .96 spaces per unit. Additionally, there is often a concern that underparked buildings will lead to spillover effects onto the street. This occurs when the on-street parking is un-metered; however, the on-street parking along the site frontages is metered. Additionally, the unbundling of parking (which the Department supports) not only reduces housing costs, but also puts a price on parking and thus vehicle ownership, reducing the overall parking demand.

Additional comments:

1. Detail how the 485 number for total required parking was derived
2. Include the bicycle parking for block A
3. Provide total number of bike parking spaces

4. In each yearly parking occupancy report, the utilization of the bike parking and EV charging spaces shall also be detailed
5. Will the 13 carshare spaces be free?
6. Is there any intention to offer shared bike and/or scooter services?
7. The Department recommends stronger SOV reduction strategies if the 20% reduction goals are not being met such as: offering shared micromobility services and discounted Metro-North passes in addition to the recommendations in the TDM/PMP plans.

Site Plan

1. Coordinate with the Mill River Park Collaborative for signage highlighting the walkway to the river.
2. There should be no parking stall lines on the road. All no parking areas shall be delineated with signs. Final signage and pavement markings shall be reviewed during the building permit process. The applicant shall include planted bump outs in no parking areas to reinforce the no parking restriction.
3. The light pole north of the Building B loading dock should be moved north to 1) reduce chances of being hit by trucks using loading dock and 2) highlight entrance to river walk entrance
4. Clarify brick cut outs along in-between grass strips.
5. Clarify bollards in brick strip along west side of Clinton Ave.
6. Confirm with the Stamford Engineering Bureau that the proposed retaining wall on the southern side of Building B will not interfere or negatively impact the City owned property to the south.
7. Public Access easements shall be conveyed to the City prior to the issuance of a Certificate of Occupancy for all sidewalks on private property.
8. Coordinate replacement of fire hydrants with the Stamford Fire Department along all frontages.
9. Streetscape pattern shall carry into the driveway aprons.
10. Gas regulators shall not extend into walking path.
11. All driveway aprons shall have a granite lip.
12. The "No Parking" sign with double arrow just east of the intersection of Clinton and Division shall be removed as it is redundant.
13. Coordinate with department during building permit process, but southern parking area may function well as a pick-up and drop-off location.
14. The pedestrian ramp on the NW corner of Clinton and Richmond shall face the crosswalk crossing Clinton.
15. A construction parking management plan shall be provided by Building Permit.
16. A MPT Plan shall be provided by building permit.
17. Paving limits will be determined through the excavation permit process.
18. Confirm lighting along riverwalk access.
19. Existing signage and pavement markings on Clinton and Division shall be replaced with new where required.

Architectural Plans

1. Detail arrangement and operation of the garage gate system. There shall be no queuing of vehicles on the sidewalk or roadway to access the garage.
2. Provide a garage signage and pavement marking plans as part of the building permit which includes, but not limited to: directional signage/pavement markings, stop signs exiting the garage, double yellow centerlines, EV charging spaces signs and reserved EV spaces, bike parking signs, handicap parking signs, and stop signs/stop bars in the interior of the garage.
3. Confirm compliant number of handicap parking spaces.
4. Will vehicles be able to drive through spaces, specifically the EV charging spaces? How will the chargers be protected?
5. Provide the specifications for the EV charging spaces.
6. Provide the specifications for the bike parking spaces/system.
7. No vents shall blow directly onto the sidewalk.
8. The department has concerns with the loading dock system. Detail the size of vehicle(s) expected to use these loading zones and the size of the docks. Detail the expected use/operations of the loading docks. How will trucks access these loading docks? Will they back in or pull in? Provide turning templates. No vehicles shall block the road and/or sidewalk when utilizing these loading docs.
9. Class B bike parking shall be provided in close proximity to the main building pedestrian entrances and shall be covered.
10. Recommend installing reflecting material around any poles/pillars in garage.
11. Confirm garage ramp's safe operations for two-way traffic.

Off-site Improvements

1. To improve safety, reduce speeds, increase walkability, and increase access to the site and the Mill River Greenway, the applicant shall design and construct bump-outs at the intersection of Clinton Ave and Division St and add crosswalks crossing Clinton Ave. The bump outs shall include bioswale rain gardens to eliminate the need for the relocation of drainage structures and improve the overall stormwater management at the site. The maintenance of the bioswales shall be incorporated into the drainage/landscaping agreement for the site. This location is predicted to receive a significant amount of the development's proposed traffic and as such, this safety improvement is warranted. The plans shall be reviewed and approved by the department and construction shall be completed by the issuance of a certificate of occupancy. The trees may need to be shifted at this location and more lighting should be included here. Plans shall be finalized during the building permit process.
2. The developer has been asked by the City to undertake significant mobility improvements in the vicinity of the Site. The proposed improvements will improve the safety and efficiency of the City's mobility network.

William P. Brink, P.E. BCEE
Executive Director
Stamford Water Pollution Control Authority
203-977-5809
wbrink@stamfordct.gov



Ed Kelly, Chairman
SWPCA Board of Directors
Stamford Water Pollution Control Authority

Date: December 1, 2022

To: Vineeta Mathur, Associate Planner

From: Ann Brown, P.E., Supervising Engineer

Subject: **Application 222-32 - CP VIII 100 Clinton, LLC – 0, 100, 102 Clinton Avenue, 29, 31, 37, 41 Division Street, and Parcel N-1; 75, 79, 99, 101, 107, 113 Clinton Avenue and 0, 1, 4, 6, 10, 17, 19, 25 Division Street Stamford, CT**

Documents and Plans Submitted

Interoffice Memorandum dated 10/13/22 prepared by Vineeta Mathur.
Application for Approval of Site & Architectural Plans and/or Requested Uses dated 9/30/22 prepared by Carmody Torrance Sandak & Hennessey, LLP.
List of plans and project narrative packet.
Application for Coastal Site Plan Review dated 9/30/22 prepared by Carmody Torrance Sandak & Hennessey, LLP.
Sustainability Card Point Calculations not dated.
Traffic Study dated 9/26/22 prepared by SLR.
Transportation Demand Management/Parking Management Plan dated 9/26/22 prepared by SLR.
Site Engineering Report dated 9/28/22 prepared by Redniss and Mead.
Market Retail Study dated 9/29/22 prepared by CBRE.
Site/Civil: (Sheet GDP) dated 2/26/2018 (Sheets ZLS, PSTS, SE-1 thru SE-9) dated 9/28/22 prepared by Redniss and Mead.
Architectural: (Sheets A-01 thru A-18) dated 9/29/22 prepared by Lessard Design.
Landscape: (Sheet L001, L100 thru L104, L201, L701 thru L704, L710 thru L714, L900, L901) dated 9/28/22 prepared by lee and associates inc.

Based on review of the above, Stamford Water Pollution Control Authority (SWPCA) provides the following comments:

Sanitary Lateral

1. Proposed sanitary tie-in connection must be an approved saddle connection to the public sewer line. Attached is the approved saddle specification information. Please revise the Sheet SE-7 Lateral Connection to Sanitary Sewer detail using the approved type.



Covered Parking Garage Drains

2. The wastewater generated by covered parking garage drains shall be directed to an adequately sized SWPCA approved treatment system (Oil/Water/Grit/Sand Separator).
 - a. Sizing calculations for the chamber are based on the maximum flow, including but not limited to power washing the garage. A minimum 1500 gallon capacity and six hour retention time is required. The treatment system shall meet all of the requirements outlined Appendix H: (12) of the 2020 State of CT DEEP General Permit for Discharges from Miscellaneous Industrial Users.
 - b. Provide a Cross Section/Installation Detail of the Oil/Grit Separator with pertinent installation requirements (i.e. H₂O loading, high water table, proper venting, etc.). Below the detail, please add the following language:
 - i. "The oil/grit separator shall be installed in accordance with all applicable codes and with strict adherence to the manufacturer instructions, specifications, and recommendations. Prior to backfilling, all necessary inspections and approvals shall be obtained (i.e. Building Dept., Design
3. No less than 60 days in advance of the CO, TCO, or PCO, the owner/operator(s) of the development shall complete and submit to SWPCA for review and approval, CT DEEP's Miscellaneous General Permit for Discharge from Industrial Users (MIU GP) Notification Form associated with the parking garage sanitary wastewater treatment system. A signed post construction Operation and Maintenance Manual shall be attached to the Notification Form and shall include the manufacturer's maintenance requirements and the following language:
 - a. Inspections:
 - i. Inspections of the treatment system shall include but not limited to the oil/sand separator and components thereof, all floor drains, troughs, piping that collect transport and discharge wastewater into the chamber, and piping that transport wastewater from the chamber to the sanitary. The amount of oil, grit, sand, and debris observed in the chamber shall be measured and recorded.
 - ii. Sand, grit, oil, and debris observed in all other components of the treatment system shall be identified and noted on the Log Sheets as light, moderate, or heavy amounts. Post pump-out inspections of the empty chamber shall occur to determine if it is structurally intact and water tight. The findings shall be noted on the Log Sheets.
 - b. Maintenance
 - i. Routine maintenance of the treatment system shall occur by clearing all drains, troughs, and the conveyance system of oil, grit, sand, and debris. The chamber shall be completely cleaned by a certified waste hauler. At no time shall the combined amount of oil, grit, sand, and debris in the chamber equal to or exceed 20% of the total volume capacity. The



contents removed from the treatment system shall be properly transported and disposed in accordance with all applicable laws and regulations. Broken or deteriorated components of the treatment system shall be immediately repaired or replaced.

c. Frequency of Inspections and Maintenance

- i. The treatment system shall be inspected on a monthly basis. The chamber and all other components of the treatment system shall be completely cleaned no less than twice per year.
- ii. More frequent cleaning intervals of the treatment system may become necessary. In some instances, a waiver may be granted by SWPCA to perform less inspections and maintenance on the treatment system. The request to obtain a waiver must be put in writing and shall be accompanied with supporting documentation as to why the waiver is being requested.

d. Record Keeping and Reporting

- i. All inspection findings, maintenance activities, and repairs shall be recorded on the Inspection and Maintenance Log Sheets. Log sheet entries shall be complete with the dated and type of service, the qualified individual name and title, signature, inspection findings, quantities observed and/or removed from the treatment system, maintenance work performed, etc. All pumping reports shall include the date and time the chamber was pumped, the name, address, and phone number of the certified hauler, the total volume removed and what percentage of the volume was oil and solids, the location and phone number of the approved disposal site and date of disposal. Copies of all documents relating to the inspection and maintenance of the treatment system (i.e. pumping reports, inspections reports, manifests, service contracts, receipt, etc.) shall be kept on file with the Log Sheets.
- ii. No later than December 15th of each calendar year, copies of the previous 12 months of Log Sheets and all related documents described above shall be mailed to SWPCA at the following address:

Stamford Water Pollution Control Authority
Attn: Regulatory Compliance Inspector
111 Harbor View Avenue, Building 6A
Stamford, CT 06902

Amenity/Community Kitchens

5. Sheet A-04 shows two ground floor amenity spaces and Sheet A-06 shows two third floor amenity spaces in Blocks A and B. Please provide further details on what these amenity spaces will be used for. Submit a detailed list of all kitchen equipment fixtures and/or



drains in each amenity space, so SWPCA can determine whether there is potential for Fats, Oils, and Grease to discharge into sanitary sewer.

6. As part of the building permit process for this development, food service establishments (FSE) and/or other facilities where there is potential for Fats, Oils, and Grease (FOG) to discharge into the sanitary sewer are obliged to comply with *Stamford's Fats, Oils, and Grease (FOG) Abatement Program* administered by the Stamford Water Pollution Control Authority. Facilities include but are not limited to restaurants, office cafeterias, church kitchens, community barbeque stations and kitchens, etc. The FSE or facility shall be equipped with adequately sized, properly functioning, and SWPCA approved grease management equipment. In addition, all of the correct kitchen equipment, fixtures, and/or drains shall discharge into the grease management equipment (GME). (See attached guidance document).

Pet Wash

7. Sheet SE-3 indicates a Dog Spa and Dog Wash are proposed to be constructed. Wastewater generated from this area that is scheduled to discharge into the sanitary sewer will require a hair straining device to prevent excess hair/fur from entering the sanitary sewer. Please submit the specification sheet for the proposed straining device, and incorporate into the plans.

Green Roof/Courtyard

1. Sheet A-06 shows three courtyard/greenroofs on the third floor. All drainage from the courtyards/greenroofs shall not discharge to sanitary sewer.

Construction Dewatering

8. Prior to any discharge of wastewater into the sanitary sewer as a result of construction dewatering, a Misc. Discharge Permit Application shall be completed and submitted to SWPCA for review and approval. Please contact Robert Pudelka, Plant Supervisor at 203-977-5780 or by e-mail at rpudelka@stamfordct.gov for the necessary forms and requirements.
9. In the event construction dewatering into the sanitary sewer is approved, a flow meter shall be installed capable of recording, saving, and reporting the daily volume from the pumps. No later than the 15th of each calendar month, please forward to SWPCA, copies of the previous month report showing the daily discharge generated by the dewatering activity. Copies of the reports shall be mailed to:

Stamford Water Pollution Control Authority
Attn: Rhudean Bull
111 Harbor View Avenue, Building 6A
Stamford, CT 06902

William P. Brink, P.E. BCEE
Executive Director
Stamford Water Pollution Control Authority
203-977-5809
wbrink@stamfordct.gov



Ed Kelly, Chairman
SWPCA Board of Directors
Stamford Water Pollution Control Authority

Swimming Pools

10. The swimming pool water filtration system shall be of cartridge type. If a sand filtration system is used instead, the backwash shall discharge into a gravity fed treatment system prior to discharging into the sanitary. Please provide detailed information on the filtration system.
11. No less than 60 days in advance of a Certificate of Occupancy or Temporary Certificate of Occupancy, the owner/developer of the site shall complete and submit to SWPCA for review and approval a Registration Application for Miscellaneous Discharges of Sewer Compatible Wastewater for the sanitary discharge of swimming pool wastewater. Contact Robert Pudelka, Plant Supervisor at 203-564-7945 or by email at rpudelka@stamfordct.gov for additional information.

Connection Fees

12. A Connection Charge may be assessed by the SWPCA in accordance with the City Charter of the City of Stamford (Sec. 200-41) and as provided by state law (Connecticut General Statutes §7-255). The issuance of a Certificate of Occupancy (CO) signals the completion of construction and the CO is, therefore, the starting point of the Connection Charge process. Once each year the CO's issued (starting with March first and running through the end of February the following year) are reviewed to determine those that reflect a change in sewer usage. Those properties reflecting additional sewer units will receive an assessment in the fall following the above time period. Connection Charges are based on a "Sewer Unit" system. Questions regarding connection charge fees should be directed to the WPCA's Supervising Engineer, Ann Brown, via email ABrown2@stamfordct.gov or phone 203-977-5896.

Attachments

cc: Stephen A. Pietrzyk, Collections System Supervisor
Ann Brown, Supervising Engineer



Style "CB"[™] Sewer Saddle

A ROMAC ORIGINAL
- 1981 -



Patent #4494780

Design Advantages:

- **Inventory Reduction:** Unique gaskets fit wide range of diameters.
- **Ease of Installation:** Saddle can be installed by unskilled labor, using a socket or open end wrench. Built-in stop prevents blockages due to inadvertant insertion of branch into main.
- **Superior Strap:** Strong 304 stainless steel band GMAW & GTAW welded to roll threaded 304 stainless bolts adjusts over a wide range. Clamping force is well distributed by 3 1/2" width.
- **Flexibility:** Gasket allows considerable deflection due to earth movement, while large sealing surface and wide band strongly resist displacement.
- **Reliability:** Continuous rubber connection between rim and branch eliminates potential leak spots. Saddles have been tested to pressures well in excess of typical service test requirements.

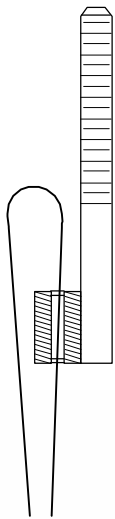
Note: A pipe stop capable of withstanding 1000 pounds of thrust is molded into the CB saddle gasket. Care must be taken during system design and installation to assure that this thrust limit is not exceeded.



Detail Specifications for Romac "CB"TM Sewer Saddles

Adjustable Strap

304 stainless steel band accommodates a wide range of pipe sizes. The stainless welds are fully passivated (chemically treated after welding to produce a highly corrosion resistant coating). The wide strap distributes the clamping force across the 3 1/2" width.



Gasket

SBR per ASTM D 2000 MBA 710, compounded for water and sewer service. Gaskets are especially formulated with antioxidant/antiozonant agent to increase shelf life.

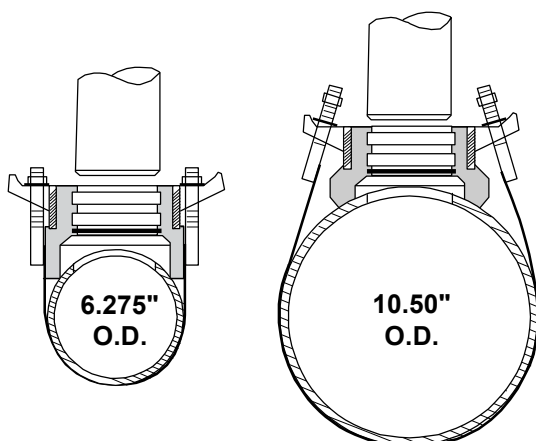


Saddle Casting

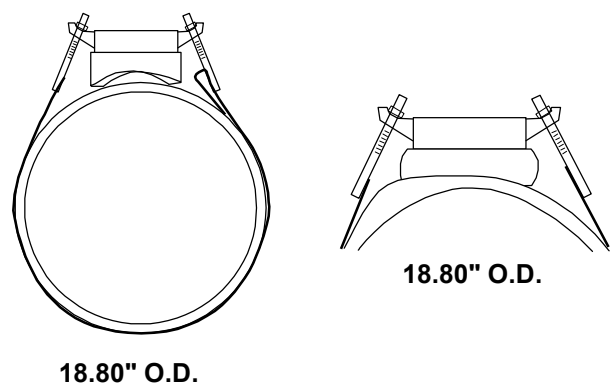
Ductile iron per ASTM 536, Grade 65-45-12. Protected with a yellow corrosion-resistant paint.

¹ **Passivated:** chemically treated after welding to produce a highly corrosion resistant coating.

Same saddle conforming to different outside diameters.



Saddle conforming to pipe.





Style "CB"™ Sewer Saddle

Material Specifications

Castings: Ductile iron per ASTM 536, Grade 65-45-12. Protected with a yellow shopcoat.

Adjustable Strap: 3 1/2" wide, stainless steel per ASTM A 240, type 304.

Bolts: 1/2" UNC rolled thread, lubricant coated, stainless steel per ASTM A 193, type 304.

Nuts: Stainless steel per ASTM A 194, type 304.

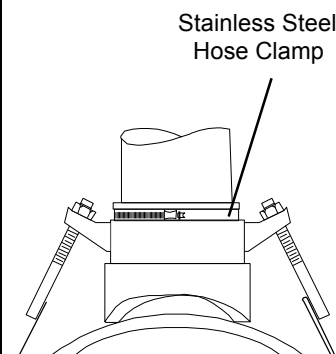
Washers: Stainless steel per ASTM A 240, type 304 and plastic lubricating washers.

Gasket: SBR per ASTM D 2000 MBA 710, compounded for water and sewer service. Other compounds available on request.



NOM. BRANCH SIZE	NOM. PIPE SIZE	RANGE	BRANCH TYPE	BRANCH O.D.	CATALOG NUMBER	LIST PRICE	ADD-ON EPOXY	APPROX. WEIGHT (lbs.)
4"	6"-12" 48" Strap	2 6.27-14.40 Regular Gasket	PVC Sewer	4.215	CB-4.215	\$131.05	\$39.86	10 #
			Tyseal	4.28	CB-4.28			
			C.I. Soil-No Hub	4.38	CB-4.38			
			PVC	4.50	CB-4.50			
			Universal ¹	4.20-4.80	CB-4.80UN ¹			
	Clay ¹	5.00-5.38	CB-5.38 ¹					
	14"-24" 96" Strap	14.40-25.80 Large O.D. Gasket	PVC Sewer	4.215	CB-4.215LS	166.65		
			Tyseal	4.28	CB-4.28LS			
			C.I. Soil-No Hub	4.38	CB-4.38LS			
			PVC	4.50	CB-4.50LS			
			Universal ¹	4.20-4.80	CB-4.80UNLS ¹			
	Clay ¹	5.00-5.38	CB-5.38LS ¹					
	24"-48" 192" Strap	25.80-54.00 Large O.D. Gasket	PVC Sewer	4.215	CB-4.215XLS	309.30		
			Tyseal	4.28	CB-4.28XLS			
			C.I. Soil-No Hub	4.38	CB-4.38XLS			
PVC			4.50	CB-4.50XLS				
Universal ¹			4.20-4.80	CB-4.80UNXLS ¹				
Clay ¹	5.00-5.38	CB-5.38XLS ¹						
6"	8"-12" 48" Strap	2 8.00-14.40 Regular Gasket	PVC Sewer	6.27-6.30	CB-6.30	174.70	60.29	12 #
			C.I. Soil-No Hub	6.27-6.66	CB-6.66UN ¹			
			Universal ¹	6.27-6.66	CB-6.66UNLS ¹			
			Cast Iron-D.I.	6.90	CB-6.90			
			Clay ¹	7.19-8.00	CB-8.00 ¹			
	14"-24" 96" Strap	14.40-25.80 Large O.D. Gasket	PVC Sewer	6.27-6.30	CB-6.30LS	208.61		
			C.I. Soil-No Hub	6.27-6.66	CB-6.66UNLS ¹			
			Universal ¹	6.27-6.66	CB-6.66UNLS ¹			
			Cast Iron-D.I.	6.90	CB-6.90LS			
			Clay ¹	7.19-8.00	CB-8.00LS ¹			
	24"-48" 192" Strap	25.80-54.00 Large O.D. Gasket	PVC Sewer	6.27-6.30	CB-6.30XLS	351.27		
			C.I. Soil-No Hub	6.27-6.66	CB-6.66UNXLS ¹			
			Universal ¹	6.27-6.66	CB-6.66UNXLS ¹			
			Cast Iron-D.I.	6.90	CB-6.90XLS			
			Clay ¹	7.19-8.00	CB-8.00XLS ¹			

**CB-4.80UN
Patent #4494780**



¹ CB Sewer Saddles for Universal and Clay pipe include stainless steel hose clamp.

² Regular gaskets are NOT interchangeable with large gaskets.

PARTS LIST

BRANCH SIZE	SIZE	GASKET	SADDLE CASTING	SLIDING BOLT	HOSE CLAMP ¹	STRAP
4"	6-12"	\$42.72	\$45.95	\$15.62	\$12.70	REG (48") \$42.38
	14-24"	58.27				LS (96") 62.42
	24-48"	58.27				XLS (192") 205.08
6"	8-12"	75.23	57.09	15.62	13.52	
	14-24"	89.10				
	24-48"	89.10				

To Order: Specify catalog number.

Example: To fit 4" branch to 6" -12" nominal pipe with branch 4.20 - 4.80, order

CB-4.80UN



STAMFORDWPCA
Office of Regulatory Compliance
Building Permit Requirements
FSE/Facility FOG

Section 1. Introduction

Food Service Establishments (FSE) and/or other Facilities where there is potential for Fats, Oils, and Grease (FOG) to discharge into the sanitary sewer are obliged to comply with *Stamford's Fats, Oils, and Grease (FOG) Abatement Program* administered by the Stamford Water Pollution Control Authority. Facilities include but are not limited to restaurants, office cafeterias, church kitchens, community barbeque stations and kitchens, etc. As part of the compliance requirements, the FSE or facility shall be equipped with adequately sized, properly functioning, and SWPCA approved grease management equipment. In addition, all of the correct kitchen equipment, fixtures, and/or drains shall discharge into the grease management equipment (GME). Compliance shall be achieved even if the kitchen is not part of the scope of work in the permit application.

Described herein are guidelines for the design of GME and the submittal requirements for a building permit involving a new FSE or modifications to an existing FSE. In addition, no less than 30 days prior to the Certificate of Occupancy (CO) or Temporary Certificate of Occupancy (TCO), the owner/operator(s) of the food service establishment or other facility shall submit to SWPCA for review and approval, a Registration Application and FOG Abatement Plan. Approval of the FOG Abatement Plan must be obtained prior to the CO or TCO, and the FOG Abatement Plan shall be implemented when the kitchen is open for use. Please contact SWPCA at 203-977-4997 or visit our website at <https://www.stamfordct.gov/government/operations/water-pollution-control-authority/fats-oils-and-grease-fog-abatement-program> to obtain the documents and forms necessary for completing the above. The Registration Application and FOG Abatement Plan should not be completed until after SWPCA plan review process has been finalized and approval has been obtained.

Section 2. Grease Management Equipment

There are 3 types of approved grease management equipment, the Outdoor In-ground Chamber, the Active Grease Recovery Unit (AGRU), and the Super Capacity Grease Interceptor (SCGI). It is highly recommended the maintenance requirements are taken into consideration when choosing which type to install. Sharing the same GME among separate FSE's and/or Facilities is prohibited. (Rev.1)

A. Outdoor In-ground Chamber

Outdoor In-ground Chambers are typically constructed of concrete and can be single or two compartment. The minimum capacity for a chamber is 1000 gallons. The exterior of the chamber shall be waterproof and the inlet and outlet T-pipes shall extend to within 12" from the bottom of the chamber. The chamber shall also be equipped with a high efficient grease outlet filter. The chamber setback to the footprint of any building is 10'. For additional compliance requirements refer to Section 5(b)(1)(B thru M) of the State of CT DEEP General Permit for the Discharge of Wastewater Associated with Food Service Establishments. It is preferred chambers are installed in series if more than one is required. The amount of FOG and solids in the chamber must be routinely monitored using a sludge judge or similar device. The measured amounts shall be recorded on log sheets and kept on site. At no time shall the combined FOG and solids reach or exceed 25% of the total capacity of the chamber. The contents in the chamber shall be completely pumped out no less than once every 3 months by an outside contractor for proper disposal. Sizing the outdoor in-ground chamber is based on meals served and hours of operation utilizing the Uniform Plumbing Code Formula Grease Interceptor Sizing Worksheet.

Take-out meals and catering are to be factored in the formula. In the formula a single service kitchen is limited to pre-packaged food only, with no food preparation or cooking.

B. Active Grease Recovery Unit (AGRU)

AGRU's require electricity and run on a timer. The FOG on the wastewater is skimmed by a wheel and sent to a collection jug attached to the outside of the unit. With larger units, the FOG is skimmed and sent to a collection barrel. AGRU's equipped with the Automatic Solids Transfer feature are not permitted. There are ongoing maintenance requirements for AGRU's. On a daily basis, the amount of FOG in the collection jug must be measured, recorded, and deposited in a storage barrel labeled and designated for Non-renderable FOG. The internal food strainer must be removed daily and the contents emptied in the trash. The skimming blades on the wheel should be checked for grease built up and wiped clean when needed. In addition, it is required that an outside contractor pump out the unit no less than once every 3 months and inspect the AGRU to ensure it is functioning properly. Typically at that time, the contractor will pump out the contents of the non-renderable storage barrel for proper disposal. This type of GME should not be buried below floor grade. Sizing the AGRU is based on the GPM of the kitchen equipment discharging into it using a 2 minute drain time.

C. Super Capacity Grease Interceptors (SCGI)

SCGI's are passive grease interceptors which are 3rd party certified to hold 4 times the amount of FOG in pounds than the established GPM. Depending on the make and model number, SCGI's can be used in a variety of applications such as outdoor in-ground and indoor above or below floor grade. Clarification should be obtained from the manufacturer if the correct model is utilized for the proposed installation. Identical units shall be installed parallel with a flow splitter and not in series. For outdoor installations, SCGI's must be installed below the frost line. SCGI's with a volume of 250 gallons or less shall be located at least 5' from the footprint of any building, and if the volume in the unit is greater than 250 gallons a 10' setback is required. The amount of FOG and solids in the units must be routinely monitored using a sludge judge or similar device. The measured amounts shall be recorded on log sheets and kept on site. At no time shall the depth of the FOG or the height of the solids in the units reach or exceed the maximum amounts specified by the manufacturer. The location of the SCGI must allow for sufficient clearance above the unit to perform this maintenance requirement.^(Rev.1) Typically, with properly sized SCGI's, the pump-out requirements are approximately every 2 to 3 months.

Section 3. Kitchen Equipment, Fixtures, Drains

A. Separate sanitary and grease waste lines are required for the discharge of kitchen wastewater. Food Pulpers, garbage disposals/grinders are prohibited. Listed below are some but not all of the kitchen equipment, fixtures, and/or drains that should discharge into grease management equipment:

- | | |
|-------------------------------|---|
| Three Compartment Sinks | Two Compartment Sinks |
| Single Compartment Prep Sinks | Pre-Rinse Sinks (Soiled Dish Table) |
| Dump Sinks | Kitchen/Ware Washing Area Floor Drains* |
| Soup Kettles/Braising Pans | Pollution Control Units |
| Mop Sinks* | Self-Cleaning Exhaust Hoods |
| Wok Stations | Combi-Ovens** |

*With the lack of fryolators, limited menus, and low grease production, SWPCA may grant a waiver to allow the wastewater from kitchen/ware washing floor drains and mop sinks to discharge into the sanitary without treatment from grease management equipment. The request for a waiver shall be put in writing with justification as to why the waiver should be granted. A copy of the menu must be attached.

**Combi-Ovens must be equipped with a tempering valve. A notation shall be included on the food service and plumbing plans.

Unless a waiver by SWPCA has been granted, floor sinks and/or drains scheduled for sanitary discharge shall be slightly raised to prevent the infiltration of mop water. A notation shall be included in the plumbing plans indicating the sanitary floor sinks/drains are to be slightly raised.

B. Listed below are some but not all of the kitchen equipment, fixtures, and/or drains that should NOT discharge into grease management equipment:

Ice Machines	Refrigeration Condensate
Dishwashers	Hot/Cold Holding Units
Water Heater Overflow/Relief Valves	Salad Dryers
Hand Sinks	Coffee/Esspresso Machines

Section 4. Plans (required)

For outdoor installations, the information on the proposed GME shall be on a Site Utility Plan and Details Plan prepared by a professional civil engineer registered in the State of CT. For indoor installations, the information on the proposed GME shall be on the plumbing plans. The information below provides a minimal overview of the plans and documents required when submitting to SWPCA for review. The information on the site, architectural, food service, and plumbing plans, as well as the information on the cut sheets and specification sheets must all match. Full size hard copies of the plans and documents are required. Full size hard copies of any and all revisions to the plans shall be submitted for additional review. Revisions shall be highlighted on the plans. Please deliver to 111 Harborview Avenue (Building 11). As part of the CO process, as-built record drawings and design engineer certification are required.

A. Site Plans (Exterior GME Installation)

1. Type, size, and location of proposed GME.
2. Existing and proposed grade elevations.
3. GME invert elevations.
4. Elevation of maximum ground water.
5. Cross Section/Detail of GME w/pertinent installation requirements.

For outdoor chambers: (Grease Outlet Filter, T-Pipes, Waterproofing, Manhole Covers, etc.)

The cross section should show all requirements have been met which are listed in Section 5 of the CT DEEP General Permit. The high water table in relation to the bottom of the GME needs to be taken into consideration.

For SCGI's: Ensure all aspects of the manufacturer's installation instructions, requirements, and recommendations are shown on the cross section. SCGI's shall be installed below the frost line. A high water table in relation may warrant additional installation requirements.

6. Outdoor Chambers: Add the following language to the site plans: "The chamber shall be installed in accordance with all applicable codes and shall meet the requirements set forth in Section 5(b)(1)(B thru M) of the State of CT DEEP General Permit for the Discharge of Wastewater Associated with Food Service Establishments. Prior to backfilling, all necessary inspections and approvals shall be obtained (i.e. Building Dept., SWPCA, Design Engineer). No less than 3 working days in advance, please contact SWPCA at 203-977-4997 or 203-977-4134 to schedule an installation inspection."
7. SCGI's: Add the following language to the site plans: "The grease management equipment shall be installed in accordance with all applicable codes, and shall be installed with strict adherence to the

manufacturer's installation instructions, requirements, and recommendations. Prior to backfilling, all necessary inspections and approvals shall be obtained (i.e. Building Dept., SWPCA, and the Design Engineer). No less than 3 working days in advance, please contact SWPCA at 203-977-4997 or 203-977-4134 to schedule an installation inspection.

B. Architectural/Food Service Plans

1. A complete set of the architectural and food service plans.
2. The plans shall include a chart containing an itemized list of all the food service/kitchen equipment. Indicate if the item is existing or proposed, provide the manufacturer and model number, sink bowl dimensions (if applicable), indicate if the item requires hot/cold water, direct/indirect discharge, and electric or gas supply. In the remarks column, indicate if the item is piped to grease waste.
3. Floor plan showing all of the existing and proposed food service/kitchen equipment clearly labeled with the corresponding item number.

C. MEP Plans

1. A complete set of MEP plans.
2. A MEP chart with a complete itemized list of the food service/kitchen equipment. The item numbers shall match those listed in the architectural/food service plans. Indicate, if the item is existing or proposed, provide the manufacturer and model number, sink bowl dimensions (if applicable), indicate the hot/cold water, direct/indirect discharge, and electric or gas supply requirements for each item. In the remarks column, indicate if the item is piped to grease waste.
3. Floor plan showing floor sinks, floor drains, the grease and sanitary waste lines. The plan shall clearly identify which equipment discharge into the sanitary and which equipment discharge into the grease waste. Include the equipment item numbers. (See Illustration 1).
4. Sanitary and grease waste riser diagrams showing all floor sinks and floor drains. Identify all the equipment by item number scheduled to discharge into each floor sink and/or drain. (See Illustration 2).
5. Sizing calculation chart for the proposed grease management equipment. For outdoor chambers utilize the Uniform Plumbing Code Formula Grease Interceptor Sizing Worksheet. For AGRU's and SCGI's, calculate the GPM for each equipment and include the items numbers. Provide separate sizing charts for separate GME.
6. For AGRU's and SCGI's on/or above the floor, add the following language to the plumbing plans: "The grease management equipment shall be installed in accordance with all applicable codes, and shall be installed with strict adherence to the manufacturer's installation instructions, requirements, and recommendations." Please note: SWPCA does not approve suspending grease management equipment. In the event it has been demonstrated there is no other alternative, an exception may be granted. However, the design for the support system shall be prepared and submitted by a CT Licensed Structural Engineer. The P.E. shall certify in writing the proposed support system is more than adequate to hold the maximum load of the GME. In addition, the area below the suspended GME including a safety buffer shall be permanently barricaded from vehicular and pedestrian trafficking.
7. For SCGI's below floor/buried installations, provide a Cross Section/Detail of GME with pertinent installation requirements. Ensure all aspects of the manufacturer's installation instructions, requirements, and recommendations are shown on the cross section. Add the following language: "The grease management equipment shall be installed in accordance with all applicable codes, and shall be installed with strict adherence to the manufacturer's installation instructions, requirements,

and recommendations. Prior to backfilling, all necessary inspections and approvals shall be obtained (i.e. Building Dept., SWPCA, and the Design Engineer). No less than 3 working days in advance, please contact SWPCA at 203-977-4997 or 203-977-4134 to schedule an installation inspection.

8. Detailed information on the exhaust hoods (existing and proposed). Verify if self-cleaning.

Illustration 1 (Floor Plan)

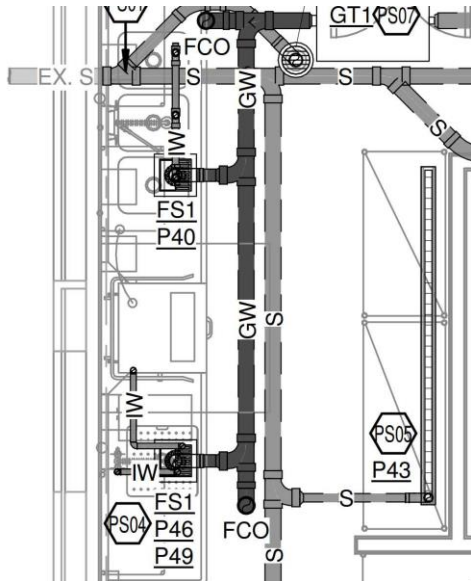
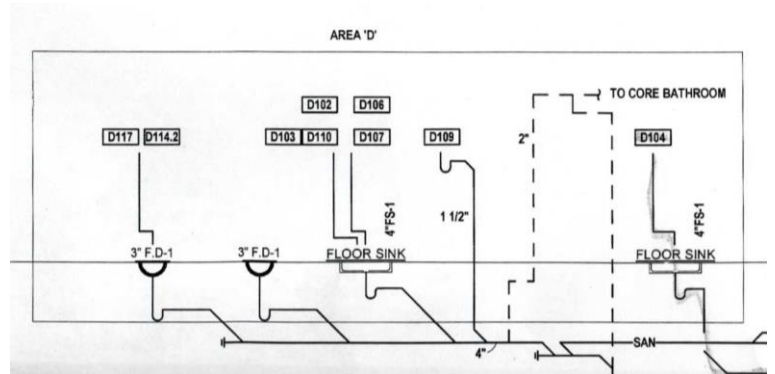


Illustration 2 (Riser Diagram)



Section 5. Documents (required)

- A. Copies of all of the manufacturer equipment cut sheets in numerical order with the item numbers listed on the cut sheets. Be sure the cut sheets provide the model number and other pertinent information such as sink bowl dimensions, GPM discharges, etc.
- B. Copies of the manufacturer specifications sheets on the proposed grease management equipment.
- C. For AGRU's and SCGI's, copies of the manufacturer installation instructions and owner's manual on the proposed grease management equipment.

SWPCA strongly advises against installing GME prior to the fit out of the FSE or Facility. In the event the owner(s) and/or developer opts to install GME in advance it is solely at their own risk. Should it be determined the GME is undersized at the time of the building permit application for the FSE or Facility, the GME shall be removed and replaced with adequately sized equipment or additional GME will be required.

PLEASE COMPLETE THE CHECKLIST PROVIDED BELOW AND SUBMIT WITH THE PLANS AND DOCUMENTS FOR REVIEW. Incomplete submissions will be rejected.



Office of Regulatory Compliance
Food Service/Facility Plan Review Checklist

Building Permit Application Number: _____ Date: _____

Address: _____

Name of Facility: _____

Applicant Name: _____

Phone: _____ Email: _____

Owner(s) Name: _____

Phone: _____ Email: _____

Yes	N/A	Section (see above)	Description
<input type="checkbox"/>		Section 2.	Adequately sized approved GME.
<input type="checkbox"/>		Section 3.A.	Correct kitchen equipment, fixtures, and/or drains discharge into GME.
<input type="checkbox"/>		Section 3.B.	Correct kitchen equipment, fixtures, and/or drains discharge into sanitary.
<input type="checkbox"/>		Section 4.	Information on the plans and documents match.
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.A.	Site plans (Exterior GME).
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.A.1.	Type, size, and location of proposed GME.
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.A.2.-4.	Grade, GME invert, maximum ground water elevations.
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.A.5.	Cross section/detail.
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.A.6.-7.	Installation language added to plans.
<input type="checkbox"/>		Section 4.B.1.	Complete set of the architectural and food service plans. Latest revision date: ____ / ____ / ____
<input type="checkbox"/>		Section 4.B.2.-3.	Equipment schedule and floor plan.
<input type="checkbox"/>		Section 4.C.1	Complete set of MEP plans. Latest revision date: ____ / ____ / ____

BP Appl. #: _____

Date: _____

<input type="checkbox"/>		Section 4.C.2.	MEP Equipment Chart.
<input type="checkbox"/>		Section 4.C.3.	MEP Floor Plan w/ sanitary, grease waste, and equipment item numbers.
<input type="checkbox"/>		Section 4.C.4.	Sanitary and grease waste riser diagrams w/ item numbers.
<input type="checkbox"/>		Section 4.C.5.	GME sizing calculation chart.
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.C.6.	Language for AGRU/SCGI installed on or above floor grade.
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.C.7.	Cross section and language for SCGI installed below floor grade.
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.C.8.	Information on exhaust hoods.
<input type="checkbox"/>		Section 5.A.	Manufacturer equipment cut sheets.
<input type="checkbox"/>		Section 5.B.	GME manufacturer specification sheets.
<input type="checkbox"/>	<input type="checkbox"/>	Section 5.C.	AGRU/SCGI installation instructions/owner's manual.

Prepared by: _____ Date: _____
(Print Name)

(Signature)

Company Name: _____

Phone: _____ E-mail: _____

MAYOR
Caroline Simmons



**CITY OF STAMFORD
PLANNING BOARD
LAND USE BUREAU**
888 WASHINGTON BOULEVARD
STAMFORD, CT 06904 -2152

DIRECTOR OF OPERATIONS
Matthew Quiñones

Land Use Bureau Chief
Ralph Blessing

Principal Planner
Vineeta Mathur
(203) 977-4716
vmathur@stamfordct.gov

January 25, 2023

Mr. David Stein, Chair
City of Stamford
Zoning Board
888 Washington Boulevard
Stamford, CT 06902

RE: ZB APPLICATION #222-32 - CP VIII 100 CLINTON, LLC - 0, 100, 102 CLINTON AVENUE; 29, 31, 37, 41 DIVISION STREET, & PARCEL N-1 (“BLOCK A”) & 75, 79, 99, 101, 107, 113 CLINTON AVENUE & 0, 1, 4, 6, 10, 17, 19, 25 DIVISION STREET (“BLOCK B”) (COLLECTIVELY, THE “PROPERTY”) - Applications for General Development Plan, Site & Architectural Plans and/or Requested Uses and a Coastal Site Plan Review

Dear Mr. Stein & Members of the Zoning Board:

During its regularly scheduled meeting held on Tuesday, January 24, 2023, the Planning Board reviewed the above captioned application referred in accordance with the requirements of the Stamford Charter.

Applicant is proposing to construct two (2) residential buildings totaling 471 units with ±453 total parking spaces and associated amenities, landscaping, drainage and utility infrastructure. The property is located within the CAM boundary.

The Applicant is requesting the five approvals described below:

- A. An amendment to the previously approved General Development Plan (GDP). In 2016, the Zoning Board granted GDP, Coastal Site Plan and Special Permit approvals for this subject property to facilitate a 456-unit residential development and ±35,693 sq. ft. Easement Area by the former property owner. The current property owner, CP VII 100 Clinton, LLC (the “Applicant”) is requesting an amendment to the GDP to increase in the number of apartments by 15 units from 456 units to 471 units. BMR units will be provided. Parking will comply with the recently updated Zoning Regulations. No changes to the previously approved Riverwalk area are proposed.
- B. Coastal Area Management (CAM) Approval to allow for the development of the Property that is located in the Coastal Area Boundary buffering the Mill (Rippowam) River.
- C. Final Site Plan Approval as required for development of the Property within the Designed Waterfront Development District (DW-D) and Mill River District (MRD).

- D. Approval pursuant to the General Procedures of the Architectural Review District (ARD) (Section 7.6.F of the Zoning Regulations) for the development of Block A, which is located in the ARD.
- E. Special Permit pursuant to Section 12.A.3.b to permit a two-way ramp width on Block A of 22 ft. without a 2 ft. center divider or 1 ft. curb and a two-way ramp width of Block B of 20.4 ft. without a 2 ft. center divider or a 1 ft. curb. This reduction has been approved by the Traffic, Transportation and Parking Bureau.

This development will contribute positively to the City's open spaces, the life of the streets and surrounding district (notably, the Downtown District), and the availability of housing close to alternative modes of transportation (the Stamford Transportation Center). This request is consistent with the following specific Master Plan policies:

- 5D.3: Open Space Connections - Continue to pursue the Mill River Plan and promote a continuous green-way from Scalzi Park to Kosciuszko Park.
- 6B: Preserve Existing and Create New Affordable Housing
- 7A: Expand and Link the City's Open Spaces
- 7F: Maximize Public Access to the Waterfront
- 7G: Create Compact and Complete Communities
- 7H: Encourage Infill Development

Lisa Feinberg and Jason Klein, of Carmody Torrance Sandak Hennessey, LLP, made a presentation and answered questions from the Board.

All members of the Board liked the new architectural design for the building and felt it was a positive improvement.

After a brief discussion, the Planning Board unanimously voted to recommended **approval** of **ZB Application #222-32** and that this request is compatible with the neighborhood and consistent with Master Plan Category #5 (Residential - High Density Multifamily) and Master Plan Category #14 (Open Space - Public Parks). **NOTE:** Those portions of the property located in Category #14 will only be utilized as passive landscaped areas.

Sincerely,

STAMFORD PLANNING BOARD



Theresa Dell, Chair

TD/lac

City of Stamford, Connecticut
URBAN REDEVELOPMENT COMMISSION
Office of Economic Development
888 Washington Boulevard

RESOLUTION NO. 2023-1

CONCERNING THE RECOMMENDATION OF APPROVAL FOR ZONING BOARD APPLICATION NO. 222-32

WHEREAS, the City of Stamford, Connecticut, Urban Redevelopment Commission (the “Commission”) has been empowered in accordance with the provisions of Chapter 130 of the General Statutes of the State of Connecticut and the Code of Ordinances of the City of Stamford, Connecticut, to prepare, approve and carry out redevelopment and renewal plans within the City of Stamford; and

WHEREAS, the redevelopment of the property commonly known as 100 Clinton Avenue, Stamford, Connecticut (the “Property”) is subject to the standards and procedures contained in the redevelopment and renewal plan known as the Mill River Corridor Project Plan (the “Plan”), as amended by the Commission; and

WHEREAS, CP VIII 100 Clinton LLC has filed land use applications with the Zoning Board of the City of Stamford (“Application No. 222-32”) to redevelop the Property with two (2) seven-story residential buildings containing a total of 471 apartment homes and associated site improvements; and

WHEREAS, the Commission, in accordance with Sections 402 and 404 of the Plan reviewed Application No. 222-32 at its regular meeting held on Thursday, January 12, 2023; and

WHEREAS, the Commission finds Application No. 222-32 is in keeping with the goals, objectives, and purpose of the Plan; and

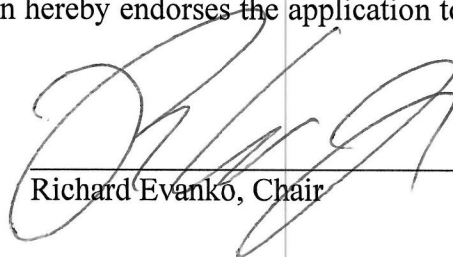
WHEREAS, the Commission finds Application No. 222-32 is consistent with the Stamford Mill River Corridor Design Guidelines; and

WHEREAS Application No. 222-32 will: (i) substantially increase the inventory of quality housing within walking distance of the central business district and the Stamford Transportation Center; (ii) create active and attractive urban streetscapes appropriate to the location; and (iii) locate and arrange residential redevelopment to enhance the use and security of the area’s public open space.

NOW, THEREFORE, be it resolved that:

The Commission finds Application No. 222-32 is fully consistent with the provisions and objectives of the Plan, and the Commission hereby endorses the application to the Zoning Board for approval.

Approved By:


Richard Evanko, Chair

CITY OF STAMFORD

MAYOR
CAROLINE SIMMONS

DIRECTOR OF OPERATIONS
MATT QUINONES
Email: MQuinones@StamfordCT.gov



CITY ENGINEER
LOUIS CASOLO, JR., P.E.
Email: LCasolo@StamfordCT.gov

INTEROFFICE MEMORANDUM

November 16, 2022

To: Vineeta Mathur Principal Planner

From: Willetta Capelle P.E. - Coordinator of Site Plan Reviews and Inspections

Subject:

**100 Clinton Avenue - CP VIII 100 Clinton, LLC
Zoning Application No. 222-32**

The Engineering Bureau received Zoning Application documents for the construction of two residential buildings totaling 471 units, parking, associated amenities, landscaping, drainage and utility infrastructure. The property is located within the CAM boundary.

The following documents were reviewed:

-SE-1 through SE-9 "Depicting 100 Clinton Avenue Prepared for CP VIII 100 Clinton, LLC" by Redniss & Mead dated 9/28/22

-"Property & Topographic Survey Depicting 0-41 Division Street; discontinued portion of Division Street; 0-113 Clinton Avenue; and Parcel N-1 Washington Boulevard Prepared for CP VIII 100 Clinton, LLC" by Redniss & Mead dated 6/30/22

-"Zoning Location Survey Depicting 100 Clinton Avenue prepared for CP VIII 100 Clinton, LLC" by Redniss & Mead dated 9/28/22

-"Site Engineering Report 0-41 Division Street & Discontinued portion of Division Street & 0-113 Clinton Avenue & Parcel N-1 Washington Boulevard Prepared for CP VIII 100 Clinton, LLC" Prepared by Redniss & Mead latest revision 9/28/22

-"L-900 Details 100 Clinton Avenue" by Lee and Associates Inc. dated 9/28/22

-"L-901 Details 100 Clinton Avenue" by Lee and Associates Inc. dated 9/28/22

The Engineer of Record, Ted Milone, P.E. stated, "The HGL analysis demonstrates the runoff within the piping network is self-contained with at least 2-feet of freeboard. As such, the proposed development will not result in adverse impacts to the City-owned infrastructure within Clinton Avenue and on property of 69 Clinton Avenue. As noted above, the proposed improvements are designed in accordance with the City of Stamford Stormwater Drainage Manual and will not adversely impact adjacent or downstream properties or City-owned drainage

facilities."

The following shall be addressed by a CT professional engineer:

- 1) Correct/verify the inverts for the sand/stone filter, MMH #2 and Outlet Device #4 for Pond 2P summary, for consistency with sheet SE-3.
- 2) For Pond 14P summary Outlet Device #1, specify EXISTING for JB #1.
- 3) For Pond 14P summary, Outlet Device #5 should be 10.35 according to sheet SE-3.
- 4) The HGL Analysis chart on p. 10 of the Site Engineering Report should reference JB #2 for the third structure.
- 5) Filt #1 appears to be in the restrictive layer according to TP #9. The bottom of the infiltration system must be at least 1 ft above any restrictive layer.
- 6) Sheet SE-3: Verify the inverts between Filt #1 and MMH #2.
- 7) Sheet SE-3: CB #1 callout should reference MH #4.
- 8) Sheet SE-3: AD #3 callout should reference JB #2.
- 9) Sheet SE-3: JB #2 callout should reference AD #3 and JB #3.
- 10) Sheet SE-3: MMH #1 callout should reference MH #3.
- 11) Sheet SE-3: Show the additional roof invert for the Infil #1 callout.
- 12) Sheet SE-3: MH #1 callout should specify JB #1 as EXISTING and the footing drain invert should be added.
- 13) The paving limits are unclear. Consider adding a colored exhibit for clarity. Expanded pavement restoration limits may be required.
- 14) Sheet SE-4: Show a silt sack in CB #1.
- 15) Add a tree protection detail.
- 16) Sheet SE-8: Verify the inverts and flow directions into/out of Filt #1 and Infil #1 on MMH #2 and MMH #1 details.
- 17) Sheet SE-8: The metering manhole detail should reference CT DOT Form 818 and the corresponding Article #.
- 18) Sheet L-900: Expanded pavement restoration limits may be required. Reference CT DOT Form 818 and the corresponding Section numbers for all details.
- 19) Sheet L-901: Add expansion material between the stair landing and patio on Detail 4 "Division Street Unit Entrance_Unit Patio."
- 20) The Engineering Bureau reserves the right to make additional comments.
Please contact me at 203-977-4003 with any questions.

CC: Ted Milone
Robert Clausi

Reg. No.

Hi Bud,

Thanks for your comments.

Best,
Vineeta

From: Seely, Walter
Sent: Thursday, October 13, 2022 9:00 PM
To: Mathur, Vineeta
Cc: Armstrong, Chad; Repp, Christopher
Subject: Zoning Application 222-32

Hi Vinetta

I have reviewed the plans for two new buildings consisting of parking garages and 471 housing units. FM has no objections to the Application 222-32CP VIII 100 - 102 Clinton Avenue.

Have a good evening

Walter (Bud) Seely

Fire Marshal

Stamford Fire Department

Office of the Fire Marshal

888 Washington Blvd. 7th Floor

Stamford, CT. 06902

203-977-4651



City of Stamford
ENVIRONMENTAL PROTECTION BOARD
INTEROFFICE CORRESPONDENCE

December 21, 2022

To: Vineeta Mathur, Principal Planner
Land Use Bureau, Stamford

From: Robert Clausi, Executive Director 

Subject: ZB Application 222-32
CP VIII 100 Clinton, LLC, 0,100,102 Clinton Avenue, 29, 31, 37, 41 Division Street, and Parcel N-1 ("Block A") and 75,79,99,101,107,113 Clinton Avenue and 0,1,4,6,10,17,19,25 Division Street ("Block B") (collectively, the "Property").

Applications for General Development Plan, Site and Architectural Plans and/or Requested Uses and a Coastal Site Plan Review

Proposing to construct two residential buildings totaling 471 units with 453± total parking spaces and associated amenities, landscaping, drainage and utility infrastructure. The property is located within the CAM boundary.

REFERENCES

- Plans entitled "100 Clinton Avenue, Stamford CT – Prepared for CP VIII 100 Clinton, LLC" prepared by Redniss & Mead, Inc. – SE-1, Site Development Plan – SE-2, Site Grading Plan – SE-3, Site Utility Plan – SE-4, Sedimentation & Erosion Control Plan – SE-5, Notes & Soil Data – SE-6 thru SE-9, Details – certified by Teodoro Milone, CT PE #22563; and ZLS, Zoning Location Survey – certified by Jorge P. Pereira, CT LS #70179 – dated September 28, 2022.
- Plan entitled "Property & Topographic Survey" prepared by Redniss & Mead, Inc. – certified by Jorge P. Pereira, LS – dated June 30, 2022.
- Plan entitled "General Location Survey Depicting General Development Plan – Block A & Block B, Stamford, CT – Prepared for RBS Americas Property Corp." prepared by Redniss & Mead, Inc. – certified by Jorge P. Pereira, LS – dated February 28, 2018.
- Eighteen sheet set of landscaping plans entitled "100 Clinton Avenue – Stamford, CT" prepared by Lee and Associates, Inc. – certified by Bang Bhon, DC LAR #000141 – dated September 28, 2022.
- Eighteen sheet set of renderings, floor plans, cross sections, elevations, and details entitled "100 Clinton, Stamford, CT – CP VIII 100 Clinton, LLC" prepared by Lessard Design – certified by Luz Del Mar Rosado – CT LA #15148 – dated September 28, 2022.

- "Site Engineering Report" prepared by Redniss & Mead, Inc. – certified by Teodoro Milone, PE – dated September 28, 2022.
- Engineering Bureau referral comments prepared by Willetta Capelle, P.E., dated November 16, 2022.

PROPOSAL

Construct a 471-unit residential complex in two buildings with drainage and landscaping improvements on properties known as Block A and Block B located along Clinton Avenue to the north of Richmond Hill Road. The project design appears similar to the general development concept approved by the Zoning Board under Application #2016-26, except for the Block B building coverage increase noted in the first bullet point in the Discussion section below.

SITE CHARACTERISTICS

Block A is located on the east side of Clinton Avenue and is 1.31-acres in area, while Block B is to the west of Clinton Avenue and is just over three acres. Block B includes a 60-70 foot wide, 0.82-acre public access easement that was created along the Mill River as part of the 2016 Zoning Board approval. Two smaller open space zones were also created at the southern end of each Block.

A modification of ZB #216-26 and EPB Permit #1811 allowed abandonment of the portion of Division Street to the west of Clinton Avenue and relocation of a storm drainage pipe and headwall. Grading that was also approved raised the portion of Block B that is outside the public access easement above the 100-year flood elevation, as documented by the Letter of Map Revision based on fill (LOMR-F) issued by the Federal Emergency Management Agency on November 30, 2018. The public access easement strip remains in the special flood hazard area (Zone AE 11, FIRM Panel 0516G dated 7/6/13). The western edge of the public access easement strip also lies within the 25-foot wide inland watercourse upland review area. The last of the houses that occupied the small building lots that formerly comprised the subject area were demolished between 2016 and 2019.

The project site is in the coastal management zone. Coastal resources have been noted to include "Tidal Wetlands", "Coastal Flood Hazard Areas", "Developed Shorefront", and "Coastal Waters". The narrow band of tidal wetland soil along the edge of the river does not support much in the way of vegetation. Deciduous trees and shrubs line the top of the riverbank and the remainder of Block B is maintained as turf grass under a few scattered trees. Block A is covered by crushed stone.

DISCUSSION

The policies and use guidelines of the Coastal Area Management Act require the applicant to evaluate potential beneficial and adverse impacts to coastal resources and describe proposed methods to mitigate any adverse effects of the project. In this case, the applicant must demonstrate that the proposal will not degrade coastal habitats, impact or be impacted by the coastal flood hazard that is present, or adversely modify water quality or drainage. The applicant has addressed these concerns in the following manner:

1. The Site Engineering Report states the current plan proposes 6,730 square feet more impervious coverage than the general development concept approved by the Zoning Board under Application #2016-26. Almost all of this increase is along the west side of Block B, where the building has been extended to the limit of the development zone. During review of the 2016 application, EPB staff cited concerns that the extent of the previously proposed smaller building seemed out of balance with the need to “provide the space necessary to support a proper streetscape, river walk, and recreational areas”.

The expanded amenity terraces included in the current design will somewhat soften the interface between the west side of the building and the future Riverwalk. EPB staff recommends the Zoning Board require the developer to prepare a very robust landscaping plan for the Riverwalk and select materials for the Block B building which will complement and blend with this adjacent greenspace.

2. The applicant does not propose to conduct any activities directly in tidal wetlands or coastal waters. Project activities will occur in upland areas spatially separated from coastal resources by the public access easement strip. The proposed erosion and sedimentation control measures provide a general sense that coastal resources will be adequately protected during construction (see #3 below). These measures include:
 - Double silt fencing with hay bales along down-gradient perimeters of Blocks A and B,
 - Stabilized construction entrances and filtered foundation dewatering for each block,
 - Hay bales surrounding stockpiles,
 - Silt sacks in the catch basins within the construction envelopes and in the streets,
 - Tree protection, and
 - Daily street sweeping
3. The phasing plan on Sheet SE-5 is generic. A detailed phasing plan based on how this project will actually be implemented must be developed once the project contractor is selected. This plan should be available for review at the pre-construction meeting noted in Phase I.A. EPB and Engineering Bureau staff should be included in this meeting. Besides describing the intended construction sequence, this plan should specify the erosion controls, protection of drainage facilities, and accommodations for materials laydown, worker parking, etc. that will be employed during each phase of the project.
4. According to the Site Engineering Report, the project will yield a 2/3-acre increase in site impervious coverage compared to when the project area was developed with numerous separate residential buildings. The stormwater management system that has been designed to treat water quality and attenuate peak runoff rates consists of a detention/filtration system under Block A, a retention/infiltration system under Block B, and areas of green roof on both buildings.

The Site Engineering Report states this system can accommodate the required water quality volume and will yield an overall reduction in peak runoff rates through the 50-year storm compared to existing conditions. The project engineer concludes this project will not result in adverse stormwater impacts to adjacent or downstream properties, or City-owned drainage facilities. The Stamford Engineering Bureau has reviewed the stormwater management plan and provided comments that must be addressed by the applicant before building permit submission.

5. As noted above, the portion of Block B that is to be developed was recently filled and removed from the 100-year flood plain. The Block B building is to be constructed with a ground floor elevation of 13 to 17. A retaining wall is also proposed along the building's west side with a top at about elevation 16. The project engineer has confirmed the wall will be located outside of the Special Flood Hazard Area. An elevation certificate will not be required at the conclusion of construction if the entirety of the Block B building (including any overhanging portions) is located outside the flood plain.
6. The plans indicate 18 trees will be removed as part of this project. The applicant's landscaping plan shows 13 new street trees will be planted to fill in gaps between the existing trees that will be preserved. In addition, 60 ornamental trees will be planted in the three third-floor amenity courtyards of the two buildings. Plant lists have not been provided for the areas labeled on the courtyard plans as "Buffer Plantings" and "Perennial Plantings". Detailed planting plans that include a minimum 50% native plants should be provided for these areas prior to the commencement of site work.
7. As noted in the application narrative, approvals for development of the Riverwalk in the public access easement will be sought through separate applications. The plan for the Riverwalk, including a very robust landscape design as noted in #1 above, should be submitted before endorsement of building permits for development of Blocks A and B.

Minor discrepancies within the plans and supporting documents¹ should be rectified as part of the final construction package. Bullet point 2.c in the application narrative Statement of Findings should reference Section 15.C of the Zoning Regulations rather than 15.B.

¹ e.g., 6" pipe from Block A drainage system referred to as 4" in Site Engineering Report, different depths of crushed stone noted in drawing vs. notes on 24" Gallery Filtration System #1 Detail on Sheet SE-8.

RECOMMENDATIONS

In light of the above, the EPB has no objection to this matter moving forward through the Zoning Board's review process, subject to the following conditions:

- 1) Work shall conform to the following plans and documents:
 - Plans entitled "100 Clinton Avenue, Stamford CT – Prepared for CP VIII 100 Clinton, LLC" prepared by Redniss & Mead, Inc. – SE-1, Site Development Plan – SE-2, Site Grading Plan – SE-3, Site Utility Plan – SE-4, Sedimentation & Erosion Control Plan – SE-5, Notes & Soil Data – SE-6 thru SE-9, Details – certified by Teodoro Milone, CT PE #22563; and ZLS, Zoning Location Survey – certified by Jorge P. Pereira, CT LS #70179 – dated September 28, 2022.
 - Plan entitled "General Location Survey Depicting General Development Plan – Block A & Block B, Stamford, CT – Prepared for RBS Americas Property Corp." prepared by Redniss & Mead, Inc. – certified by Jorge P. Pereira, LS – dated February 28, 2018.
 - Eighteen sheet set of landscaping plans entitled "100 Clinton Avenue – Stamford, CT" prepared by Lee and Associates, Inc. – certified by Bang Bhon, DC LAR #000141 – dated September 28, 2022.
 - Eighteen sheet set of renderings, floor plans, cross sections, elevations, and details entitled "100 Clinton, Stamford, CT – CP VIII 100 Clinton, LLC" prepared by Lessard Design – certified by Luz Del Mar Rosado – CT LA #15148 – dated September 28, 2022.
 - "Site Engineering Report" prepared by Redniss & Mead, Inc. – certified by Teodoro Milone, PE – dated September 28, 2022.
- 2) Final civil, architectural, landscaping, and related plans shall be subject to the review and approval of EPB Staff prior to issuance of a building permit and the start of any site activity. The final landscaping plans shall include detailed plant lists with a minimum 50% native plants provided for the "Buffer Plantings" and "Perennial Plantings" areas in the third-floor amenity courtyards.
- 3) The plan for the Riverwalk, including a very robust landscape design, shall be submitted before endorsement of building permits for development of Blocks A and B.
- 4) Engineering Department approval of the stormwater management plan shall be obtained prior to issuance of a building permit and the start of any site activity.
- 5) Submission of a performance bond or certified check or other acceptable form of surety to secure the timely and proper performance of sediment and erosion/construction controls, tree protection, drainage, landscaping, and professional supervision and certifications. A detailed estimate of these costs, plus a 15% contingency, shall be supplied to EPB and Engineering Bureau staff for approval prior to the submission of the performance surety. The performance surety shall be submitted to EPB Staff prior to the start of any site activity and issuance of a building permit.

- 6) The owner shall arrange a pre-construction site meeting to review the final development plans and the project logistics. This meeting shall include the project contractor, inspecting engineer, and staff from the Stamford Environmental Protection Board and Engineering Bureau. A plan shall be provided which gives details of the operational logistics, erosion control sequence, and measures to protect the drainage facilities to be employed during each phase of the project.
- 7) Property boundaries, including the eastern edge of the public access easement, shall be staked in the field by a Connecticut licensed surveyor prior to the start of any site activity.
- 8) Sediment and erosion controls shall be installed and approved in writing by EPB staff prior to the start of any site activity.
- 9) All landscaping shall be implemented under the supervision of a qualified landscape professional with written certification submitted to EPB staff prior to endorsement of a certificate of occupancy and return of surety.
- 10) Upon the completion of all construction activities and prior to the receipt of EPB authorization for a final certificate of occupancy/completion, all disturbed earth surfaces shall be stabilized with topsoil, seed, and mulch, sod, or other suitable alternatives. The stabilization requirement applies not only to lawn and landscape space, but to all gutter outfalls, driplines, walkways, drives, land areas under exterior stairs and decks, etc.
- 11) All drainage, grading, final stabilization measures, and other engineering elements shall be completed under the supervision of a Connecticut registered professional engineer/surveyor with an improvement location survey (surveyor) and written certifications (engineer) submitted to EPB staff prior to endorsement of a certificate of occupancy and release of surety.
- 12) A standard "National Flood Insurance Program Elevation Certificate" shall be submitted for the Block B building prior to endorsement of a certificate of occupancy and return of surety *if any portion of the building, including overhangs, is located within the Special Flood Hazard Area.*
- 13) Submit a standard City of Stamford landscape maintenance agreement prior to endorsement of a certificate of occupancy and return of surety.
- 14) Submit a standard City of Stamford drainage maintenance agreement to ensure the full and property function of all drainage structures prior to EPB endorsement of a certificate of occupancy and release of surety.

Thank you for the opportunity to provide these comments.