

CITY OF STAMFORD
ZONING BOARD OF APPEALS

Stamford Government Center
888 Washington Blvd.
P.O. Box 10152
Stamford, CT 06904-2152

Telephone 203.977.4160 - Fax 203.977.4100 - E-mail mjudge@stamfordct.gov

PLEASE PRINT ALL INFORMATION IN INK

1. I/we hereby apply to the Zoning Board of Appeals for:

- Variance(s)
- Special Permit
- Appeal from Decision of Zoning Enforcement Officer

Extension of Time

Motor Vehicle Approval:

New Car Dealer Used Car Dealer General Repairer Limited Repairer Gasoline Station

2. Address of affected premises:

3 Juniper Hill Road , Stamford, CT

street

zip code

Property is located on the north south east west side of the street.

Block: 373 Zone: _____ Sewered Property yes no

RA-2

Is the structure 50 years or older yes No

Corner Lots Only: Intersecting Street:

N/A

Within 500 feet of another municipality: No Yes Town of Greenwich

3.

Owner of Property: Major Oak Builders and Consultants

Address of Owner: 62 Hawley Avenue, Milford, CT Zip 06460

Applicant Name: Ken Procino

Address of Applicant 62 Hawley Avenue, Milford, CT Zip 06460

Agent Name: Joseph Capalbo

Address of Agent: 1100 Summer Street, Stamford, CT Zip 06905

EMAIL ADDRESS: JJClaw@cshore.com
(Must be provided to receive comments from letters of referral)

Telephone # of Agent 203-324-8882 Telephone # of Owner 203 767-1729

(CONTACT IS MADE WITH AGENT, IF ONE)

4. List all structures and uses presently existing on the affected property:

There is a prior existing 2 story cottage approximately 470 square feet in area on a parcel of land previously subdivided. The cottage has existed since at least the 1950's according to assessor's records.

5. Describe in detail the proposed use and give pertinent linear and area dimensions:

The applicant is requesting that the cottage be permitted to remain prior to the construction of the new main dwelling and thereafter. The applicant is not proposing to increase the footprint, location or height of the existing cottage - only update it, and allow it to remain while the main structure is being constructed.

VARIANCES (complete this section for variance requests only) See a Zoning Enforcement Officer for help in completing this section

Variance(s) of the following section(s) of the Zoning Regulations is requested
(provide detail of what is sought per the applicable section(s) of the Zoning Regulations):

The applicant is requesting variances of Section 3.B Defined Terms, Accessory Structures to permit the erection of an accessory structure, or in this instance allow the accessory structure to remain, prior to the construction of the main building; allow the structure to remain 2 stories in lieu of the required 1 story; permit a height of 19.07 feet in lieu of the required 15 feet (currently 22.16 feet); and a side yard set back of 22.2 feet in lieu of the required 30 feet as existing. pursuant to Section 7 (d).

DO NOT WRITE ON BACK OF PAGE

Variances of the Zoning Regulations **may** be granted where there is unusual hardship in the way of carrying out the strict letter of the Regulations solely with respect to a parcel of land where conditions especially affect such parcel but do not affect generally the district in which it is situated. In your own words:

A. Describe the unusual hardship in being unable to carry out the strict letter of the Zoning Regulations:

The accessory structure referred to is already constructed and has been so since at least the 1950's. It would be unreasonable and a hardship to move or remove the accessory structure and then re-build it after the construction of the main dwelling especially since it has existed since the 1950's.

B. Explain why the variance(s) is/are the minimum necessary to afford relief:

The structure already exists. It is not intended to be expanded in any way, shape or form. Its location, size and dimensions will all remain as is.

C. Explain why granting of the variance(s) would not be injurious to the neighborhood.

The granting of this application will have no impact upon the surrounding properties as the structure already exists.

SPECIAL PERMIT

(Complete this section **only** for special exceptions)

SPECIAL EXCEPTION is requested as authorized by Section(s) N/A of the Zoning Regulations.

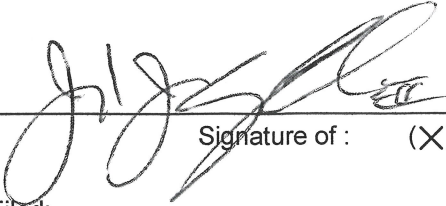
Provide details of what is being sought:

MOTOR VEHICLE APPLICATIONS

(Complete this section only for Motor Vehicle/Service Dealers Applications) Provide details of what is being sought.

N/A

SIGNATURE REQUIRED FOR ALL APPLICATIONS



Signature of: Agent Applicant Owner

Date Filed: _____

Zoning Enforcement Officer Comments:

DECISION OF THE ZONING ENFORMENT OFFICER

(Complete this section **only** for appeals of zoning enforcement officer decision)

DECISION OF THE ZONING ENFORCEMENT OFFICER dated _____ is appealed because:

DO NOT WRITE ON BACK OF PAGE



**CITY OF STAMFORD
ZONING BOARD OF APPEALS**

APPLICATION PACKET

Board Members
Joseph Pigott, Chair
John A. Sedlak
Nino Antonelli
Claire Friedlander
Lauren Jacobson

Alternate
Ernest Matarasso
Matthew Tripolitsiotis
Jeremiah Hourihan

Land Use Administrative Assistant
Mary Judge

ALL APPLICANTS MUST MAKE AN APPOINTMENT WITH THE ZONING ENFORCEMENT OFFICE FOR PLAN REVIEW OF ZBA APPLICATIONS AT LEAST TWO WEEKS PRIOR TO THE APPLICATION DEADLINE.

Zoning Enforcement:  Date: 1/31/22

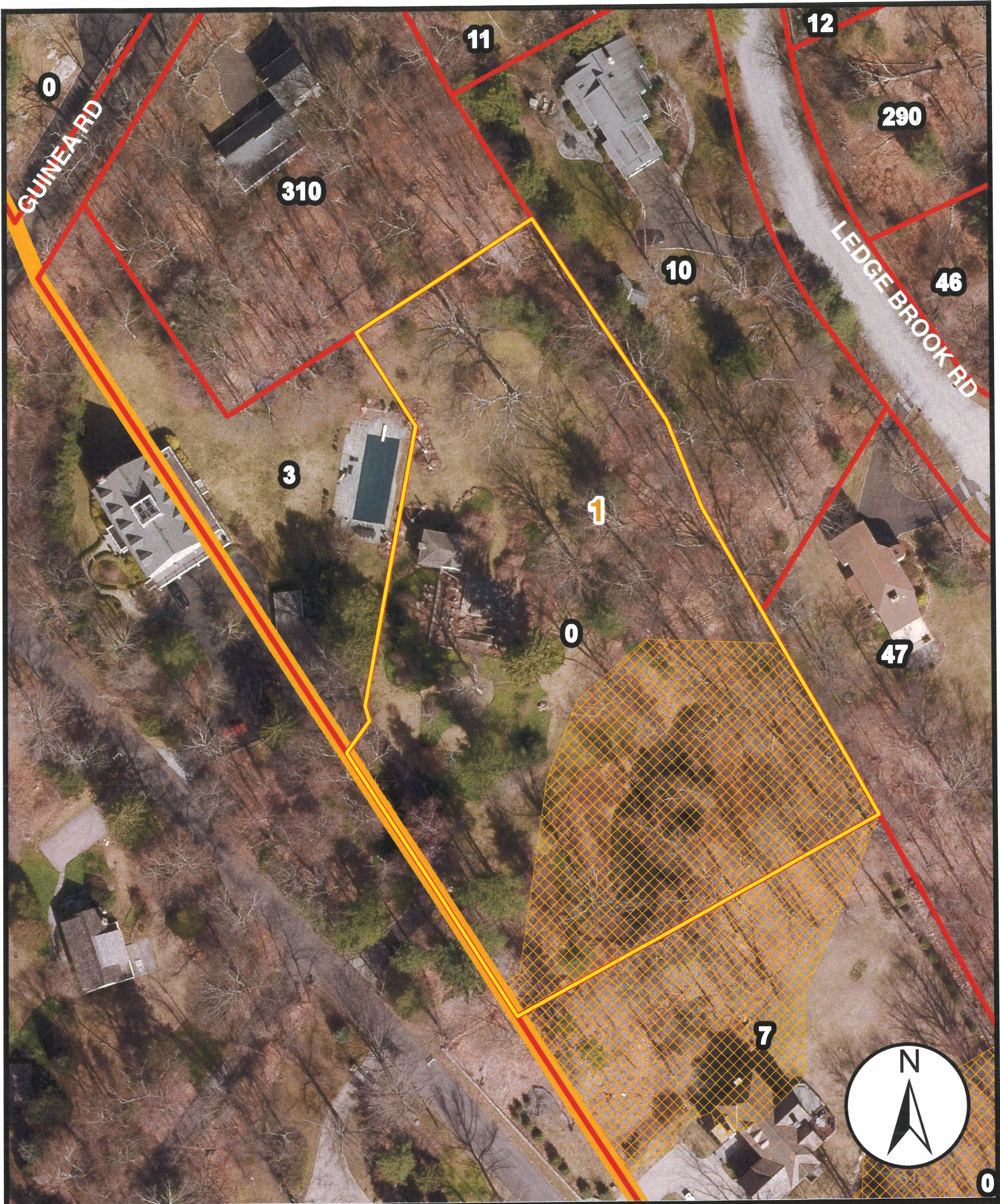
Is the project situated in the coastal boundary? Yes () No ()

Is the project exempt from the coastal regulation?
Yes () Exemption # _____ No () N/A ()

Environmental Protection: _____ Date: _____

CAM Review by: _____ ZBA

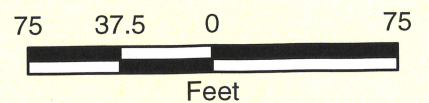
Zoning Board



ZBA Application #006-23
3 Juniper Hill Road

Date: 2/8/2023

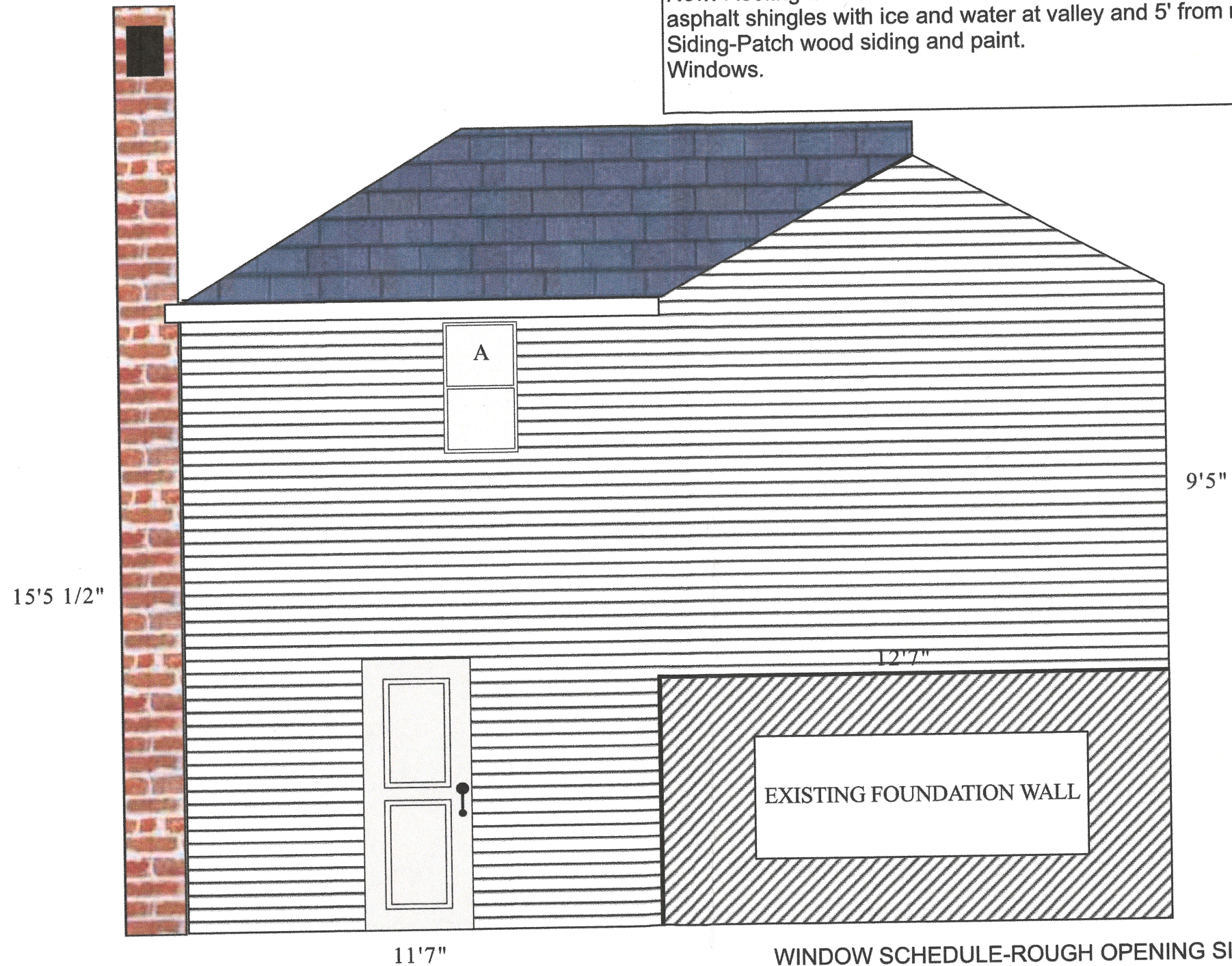
1 inch = 75 feet



0

EXISTING EXTERIOR ELEVATION-FRONT VIEW
SCALE 1/4"=1'0"

New: Roofing-Match the new home construction - lifetime Architectural asphalt shingles with ice and water at valley and 5' from roof line.
Siding-Patch wood siding and paint.
Windows.



#006-23

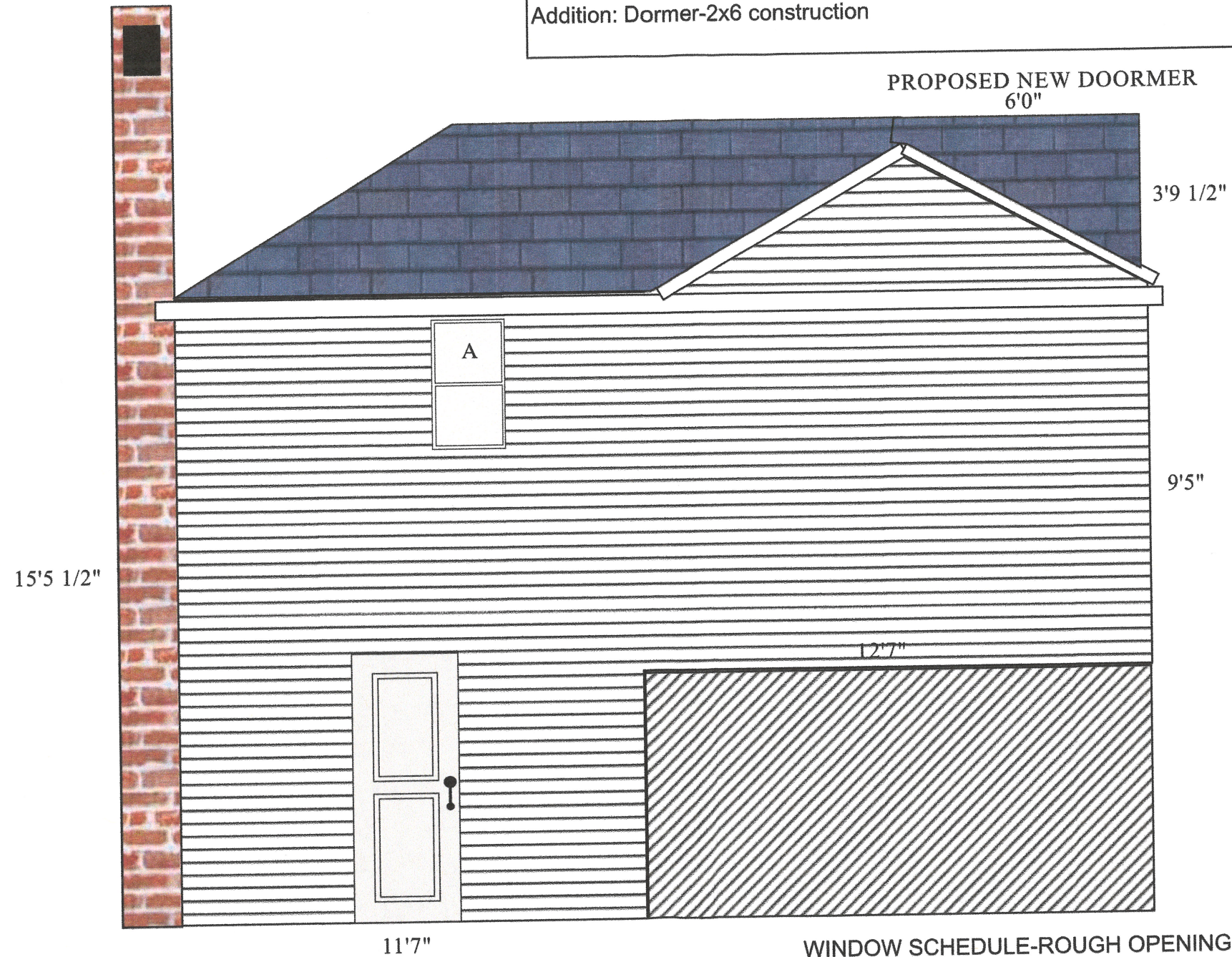
WINDOW SCHEDULE-ROUGH OPENING SIZES:
A- 1'10" x 6'6" Double Hung

DOOR SCHEDULE-ROUGH OPENING SIZES
101- 2'8" x 6'x8" Left Opening

PROPOSED EXTERIOR ELEVATION-FRONT VIEW
SCALE 1/4"=1'0"

New: Roofing-Match the new home construction - lifetime Architectural asphalt shingles with ice and water at valley and 5' from roof line.
Siding-Patch wood siding and paint.
Windows.
Addition: Dormer-2x6 construction

PROPOSED NEW DOORMER
6'0"



WINDOW SCHEDULE-ROUGH OPENING SIZES:
A- 1'10" x 6'6" Double Hung

DOOR SCHEDULE-ROUGH OPENING SIZES
101- 2'8" x 6'x8" Left Opening

EXISTING EXTERIOR ELEVATION-REAR #1
SCALE: 1/4"x1'0"

New: Roofing-Match the new home construction - lifetime Architectural asphalt shingles with ice and water at valley and 5' from roof line.
Siding-Patch wood siding and paint.
Windows.



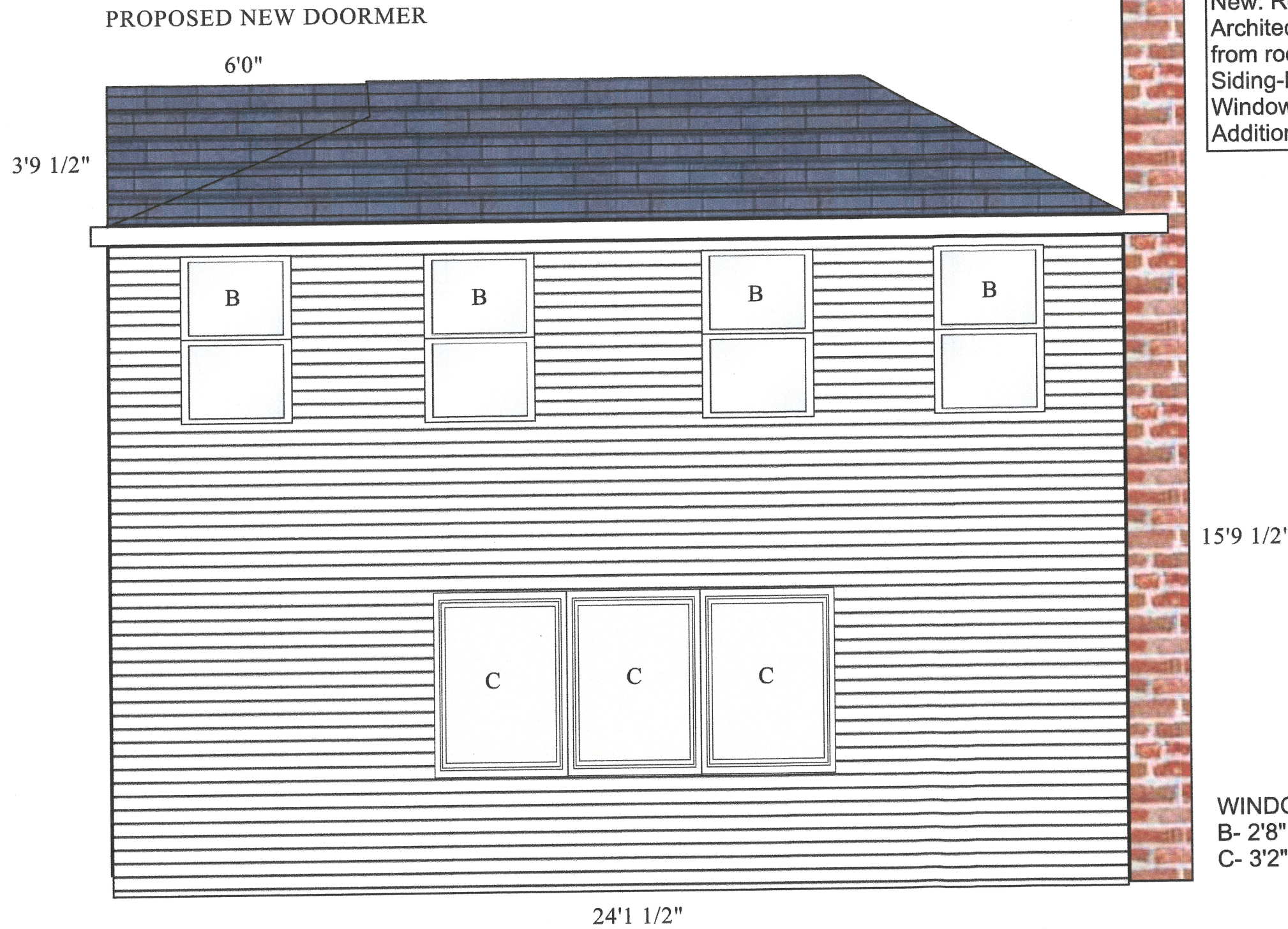
15'9 1/2"

24'1 1/2"

WINDOW SCHEDULE-ROUGH OPENING SIZES:
B- 2'8" x 4'0" Double Hung
C- 3'2" x 4'x5"

PROPOSED EXTERIOR ELEVATION-REAR
SCALE: 1/4"x1'0"

New: Roofing-Match the new home construction - lifetime
Architectural asphalt shingles with ice and water at valley and 5'
from roof line.
Siding-Patch wood siding and paint.
Windows.
Addition: Dormer-2x6 construction



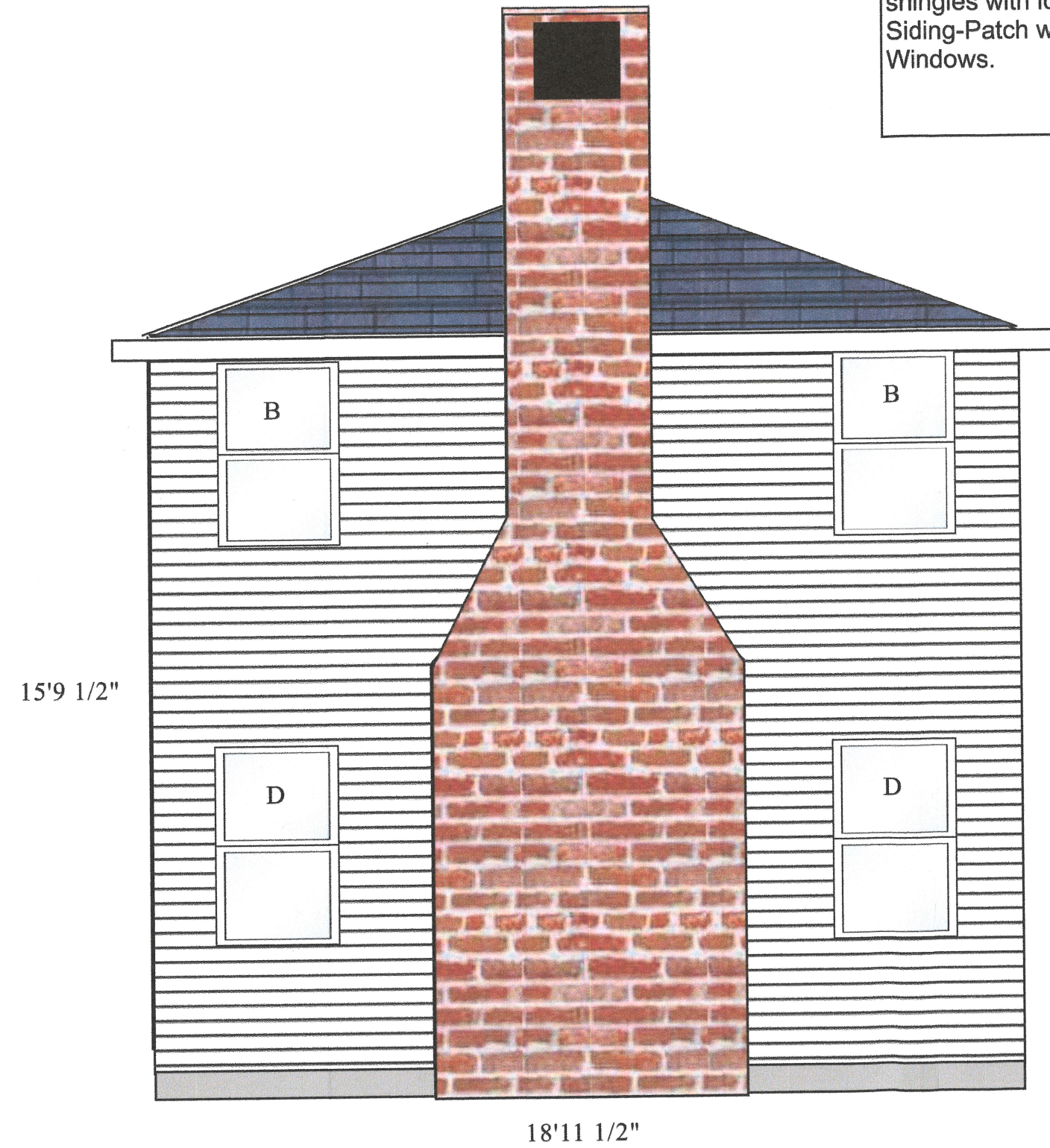
WINDOW SCHEDULE-ROUGH OPENING SIZES:

B- 2'8" x 4'0" Double Hung

C- 3'2" x 4'x5"

EXTERIOR ELEVATION-REAR VIEW
SCALE 1/4"=1'0"

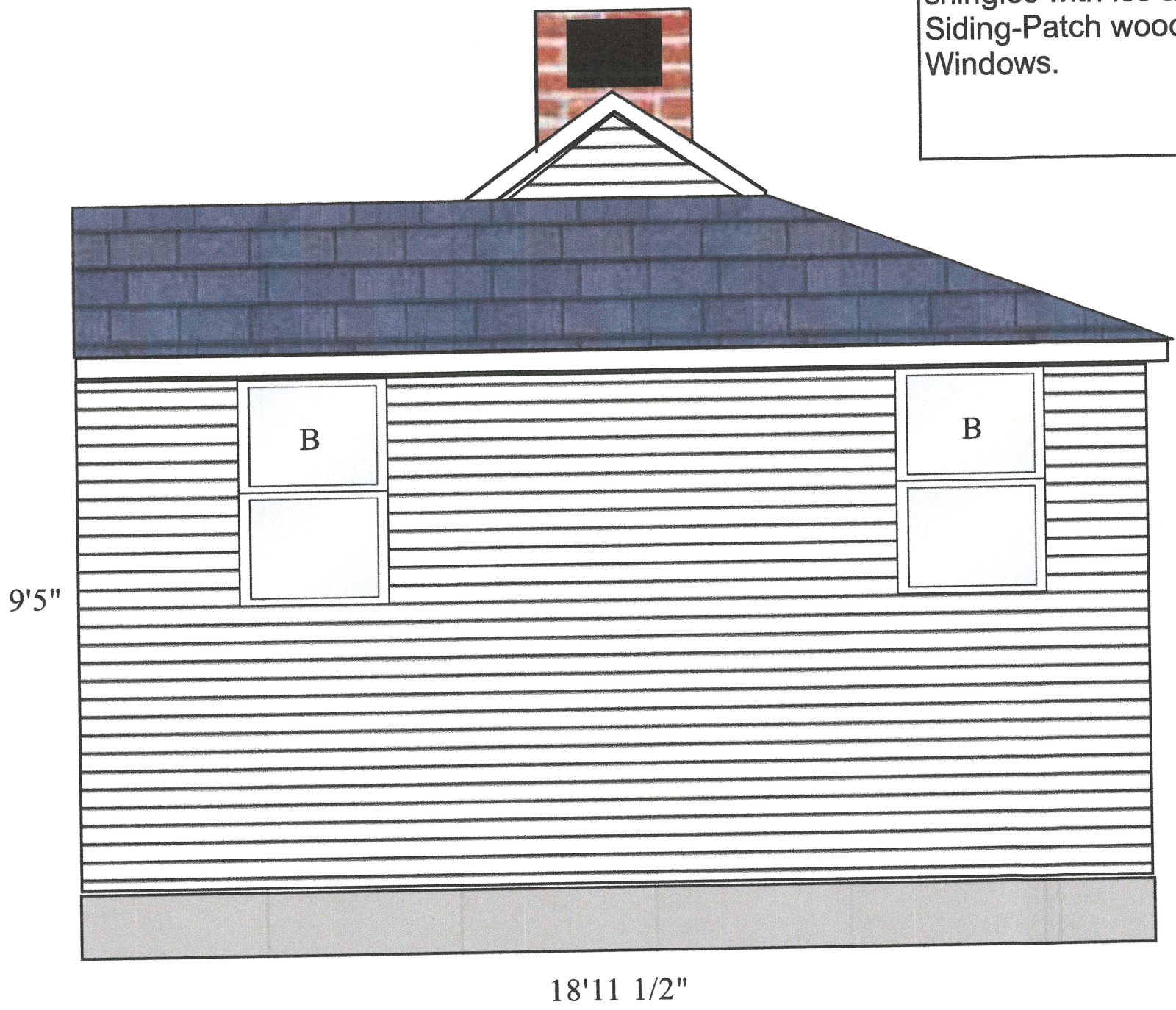
New: Roofing-Match the new home construction - lifetime Architectural asphalt shingles with ice and water at valley and 5' from roof line.
Siding-Patch wood siding and paint.
Windows.



WINDOW SCHEDULE-ROUGH OPENING SIZES:
B- 2'8" x 4'0" Double Hung
D- 2'9" x 4'x4"

EXISTING EXTERIOR ELEVATION-SIDE VIEW
1/4"=1'0"

New: Roofing-Match the new home construction - lifetime Architectural asphalt shingles with ice and water at valley and 5' from roof line.
Siding-Patch wood siding and paint.
Windows.

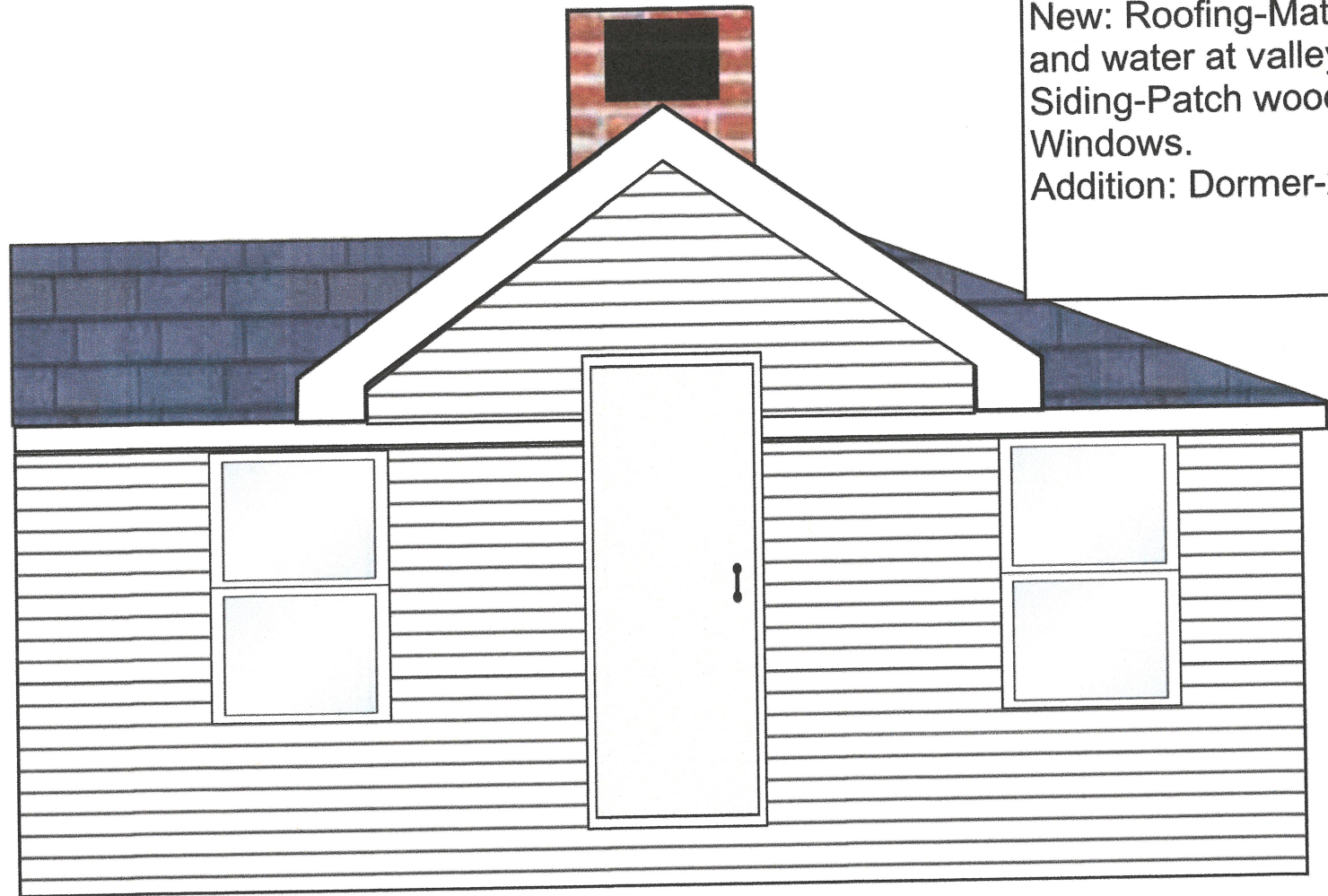


WINDOW SCHEDULE-ROUGH OPENING SIZES:
B- 2'8" x 4'0" Double Hung

PROPOSED EXTERIOR ELEVATION-SIDE VIEW

1/4"=1'0"

New: Roofing-Match the new home construction - lifetime Architectural asphalt shingles with ice and water at valley and 5' from roof line.
Siding-Patch wood siding and paint.
Windows.
Addition: Dormer-2x6 construction



6'6"

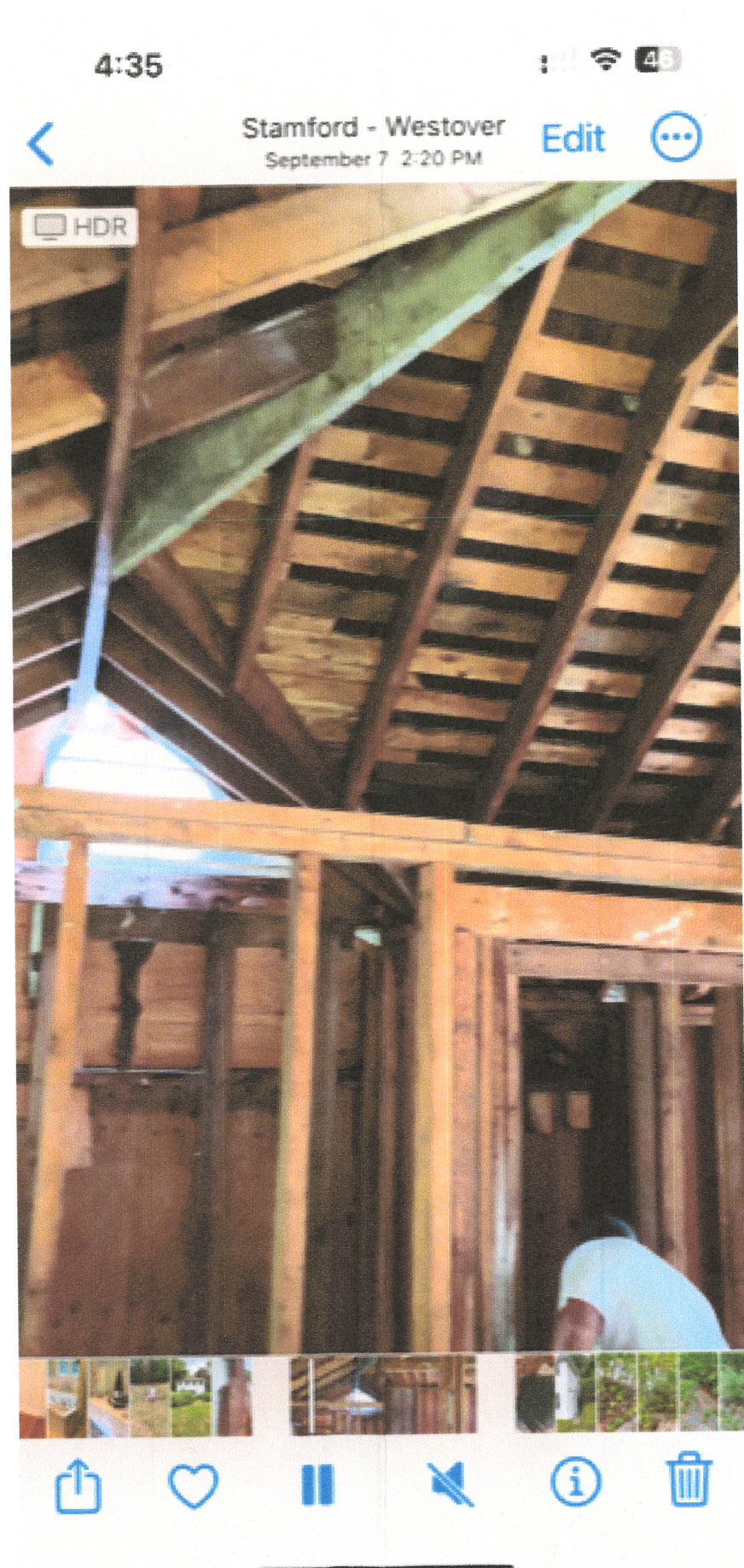
18'11 1/2"

WINDOW SCHEDULE-ROUGH OPENING SIZES:
B- 2'8" x 4'0" Double Hung

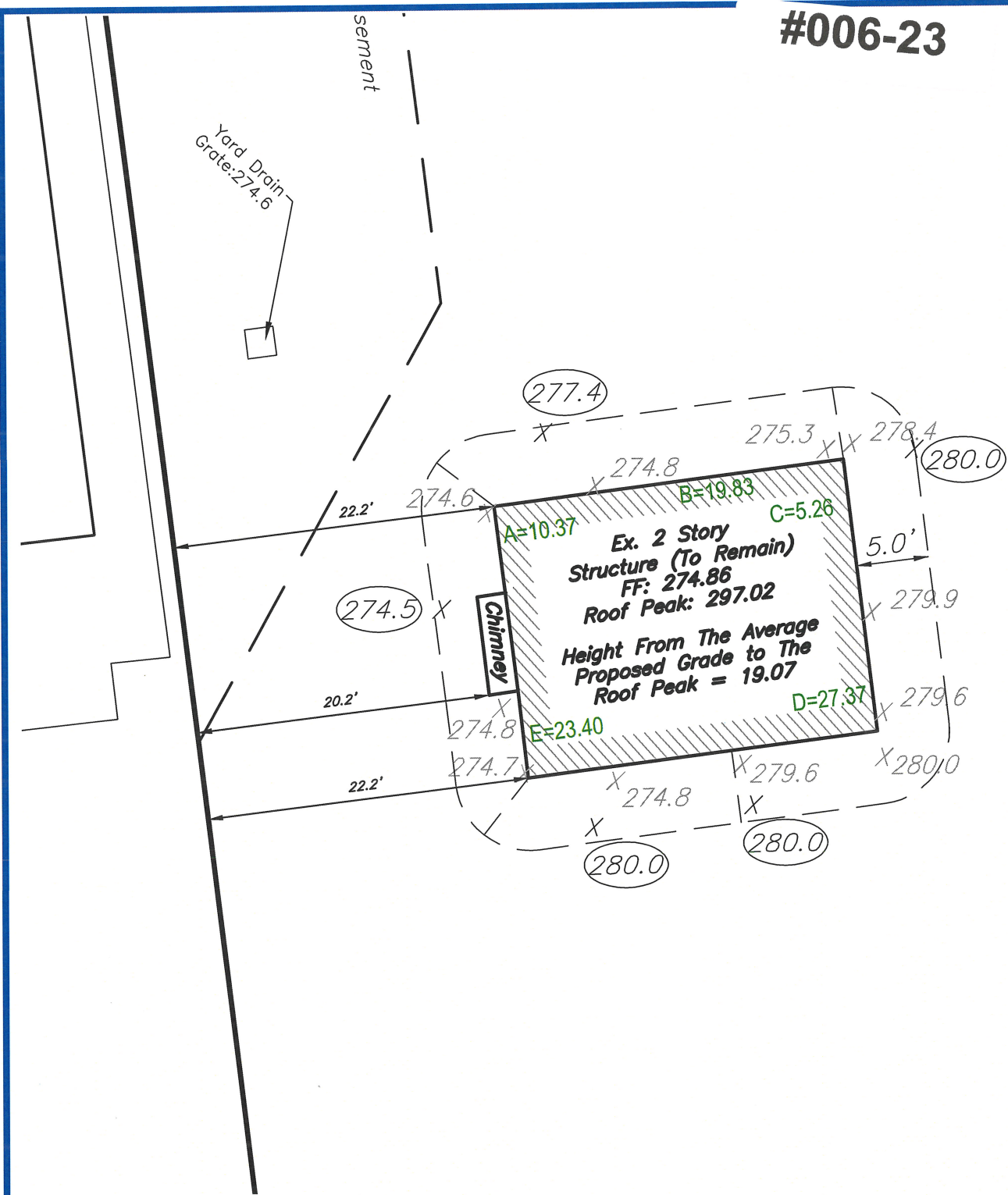
DOOR SCHEDULE-ROUGH OPENING SIZE:
102-2'x8"x7'0" Glass Right Opening



#006-23



#006-23



LEGEND

- X 279.6 = Existing Spot Grade
- X (280.0) = Proposed Spot Grade

Premises shown hereon being Lot 11 as shown on a certain map entitled "Map of Section Three, Maplewood..." filed in the Westchester County Clerks Office, Division of Land Records on March 29, 1965 as map number 14279.

Property subject to any and all public or private restrictive covenants, declarations and/or easements of record, if any.

Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 7209, subdivision 2, of the New York Education Law.

REVISED: JANUARY 24, 2023 TO SHOW PROPOSED SPOT GRADES

Risoli Planning & Engineering
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 A Division of
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 COS COB, CT 06807
 WWW.RISOLIENGINEERING.COM
 PHONE: (203) 637-8036
 FAX: (203) 637-3968
 RISOLI@OPTONLINE.NET



BAR SCALE: 0 10 20 30	
SCALE: 1" = 10'	DATE: DECEMBER 21, 2022
FILE NAME: 20_2-10-19_Procino Stake out steps JNV.dwg	DATUM: ASSUMED

PROJECT:	KEN PROCINO
LOCATION:	3 JUNIPER HILL ROAD, STAMFORD, CT
DRAWING:	COTTAGE GRADE PLANE
SHEET:	FIGURE 1