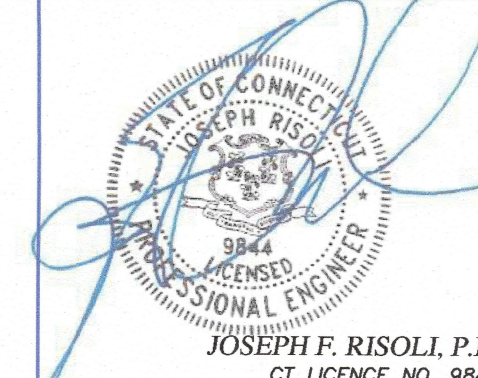


- GENERAL NOTES**
- The contractor shall obtain all permits necessary for construction from all local authorities.
 - All pavement, curb and sidewalk replacement within disturbed areas shall be in conformance with City of Stamford requirements, or indicated on plan.
 - Underground utility, structure and facility locations depicted and noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or governmental agencies, from parole testimony and from other sources. These locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to Edward J. Frattoni, Inc. The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction.
 - The contractor shall notify all public utility companies by calling Call-Before-You-Dig at 1-800-922-4455 at least 72 hours prior to crossing their lines.
 - Elevations are based on NAVD-88 Datum.
 - Generally accepted construction practices shall be used during construction in order to maintain existing traffic patterns on Juniper Hill Road.
 - If Applicable Polyvinyl chloride (P.V.C.) pipe shall conform to ASTM D3034-SDR 35. Joints shall conform to ASTM D2321. Also see Trench Installation Detail.
 - All soil erosion and sediment control measures shall conform to the State of Connecticut Guidelines For Soil Erosion And Sediment Control dated 2002.
 - Prior to issuance of a certificate of occupancy, a certified Improvement Location Survey (as-built plan) depicting the improvements shall be submitted to the Engineering Bureau for Review, plan must be prepared by a Land Surveyor Licensed in the State of Connecticut.
 - The dwelling shall utilize the proposed septic system, see septic design for further information.
 - Existing Utilities (Electric, Cable & Telephone) shall be installed underground in the proposed location.
 - Water service shall utilize the proposed well as shown on the plan.
 - Prior to issuance of a certificate of occupancy, a certified Improvement Location Survey (as-built plan) depicting the improvements shall be submitted to the Engineering Bureau for Review, plan must be prepared by a Land Surveyor Licensed in the State of Connecticut.
 - The Municipal Boundary Line depicted on this map is determined to be a boundary line with respect to Building Setback Requirements by the City of Stamford Zoning Enforcement Office, therefore a variance of Table II, Appendix "B" Minimum Lot Area, Lot Frontage and Circle Diameter as defined in the City of Stamford Zoning Regulations was obtained for Parcel "A" and the Stamford Portion of Proposed Parcel "B" Variance obtained from the Stamford Zoning Board of Appeals on January 14, 2015 Application No. 005-15 to allow for the following:
Parcel "A"
Zero Feet Frontage in Lieu of the 200' Required (Note: a 25' Accessway is provided in the Town of Greenwich)

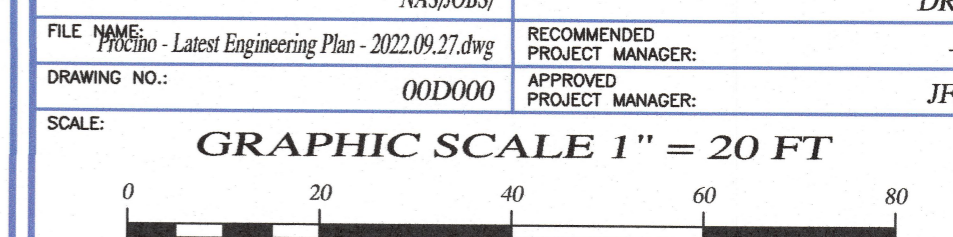
- Standard City of Stamford Notes:**
- A Street Opening Permit is required for all work within the City of Stamford Right-of-Way.
 - All work within the City of Stamford Right-of-Way shall be constructed to City of Stamford requirements, the State of Connecticut Basic Building Code and the Connecticut Guidelines for Soil Erosion and Sediment Control.
 - The Engineering Bureau of the City of Stamford shall be notified three days prior to any commencement of construction or work within the City of Stamford Right-of-Way.
 - Trees within the City of Stamford Right-of-Way to be removed shall be posted in accordance with the Tree Ordinance.
 - Prior to any excavation the Contractor and/or Applicant/Owner, in accordance with Public Act 77-350, shall be required to contact 'Call Before You Dig' at 1-800-922-4455 for mark out of underground utilities.
 - All retaining walls three (3) feet or higher measured from finished grade at the bottom of the wall to finished grade at the top of the wall and retaining walls supporting a surcharge or impounding Class I, II or III liquids are required to have a Building Permit. Retaining walls shall be designed and inspected during construction by a Professional Engineer licensed in the State of Connecticut. Prior to the issuance of a Certificate of Occupancy, retaining walls shall be certified by a Professional Engineer licensed in the State of Connecticut.
 - Certification will be required by a professional engineer licensed in the State of Connecticut that work has been completed in compliance with the approved drawings.
 - A Final Improvement Location Survey will be required by a professional land surveyor licensed in the State of Connecticut.
 - Connection to a city-owned storm sewer shall require the Waiver Covering Storm Sewer Connection to be filed with the City of Stamford Engineering Bureau.
 - Granite block or other decorative stone or brick, depressed curb, driveway apron and curbing within the City of Stamford Right-of-Way shall require the Waiver Covering Granite Block Depressed Curb and Driveway Aprons to be filed with the City of Stamford Engineering Bureau.
 - Sediment and erosion control shall be maintained and repaired as necessary throughout construction until the site is stabilized.
 - To obtain a Certificate of Occupancy, submit must include all items outlined in the Checklist for Certificate of Occupancy (Appendix D of the City of Stamford Drainage Manual).
 - Reference EPB Permit #, Zoning Permit #, Zoning Board of Appeals #, Subdivision #, if applicable.

PROPERTY:
BLOCK No. 373
TAX ID # 113683
UNIQUE ID: 004-9885
LOT: 80 373 A

REVISION SCHEDULE				
NO.	DATE	DESCRIPTION	REC.	APP.
1	08/03/2022	REVISE STAIRS AND PLANTING PLAN	JNV	JFR
2	09/14/2022	FUTURE SEPTIC SYSTEM FOR 2BR COTTAGE	ALL	JFR
3	09/25/2022	ADDRESS ENGINEERING COMMENTS	JNV	JFR
4	09/28/2022	ADDITIONAL SEPTIC TEST HOLES ADDED AND CONSIDERED	ALL	JFR
5	10/10/2022	ADDRESS HEALTH DEPARTMENT COMMENTS	ALL	JFR
6	10/13/2022	ADDRESS HEALTH DEPARTMENT COMMENTS	ALL	JFR



DATE: JUNE 22, 2022 SURVIVED BY: DR/HT
 DATUM: NAVD-88 DESIGNED BY: --
 FILE LOCATION: N/A/S/R/S/ DRAWN BY: DR -
 PROJECT: Latest Engineering Plan - 2022.09.27.dwg RECOMMENDED PROJECT MANAGER: --
 DRAWING NO.: 00D000 APPROVED PROJECT MANAGER: JFR
 SCALE: GRAPHIC SCALE 1" = 20 FT



IT IS THE REQUIREMENT OF THE OWNER AND/OR HIS/HER LEGAL REPRESENTATIVE TO ADVISE THE PLANNER/ENGINEER OF ANY AND/OR ALL DEED RESTRICTIONS ON THE PROPERTY WHICH MAY PRECLUDE FURTHER CONSTRUCTION ON THIS PROPERTY. THIS DOCUMENT, ITEMS & DESIGNS INCORPORATED HEREIN IS AN INSTRUMENT OF PROFESSIONAL SERVICES, IS ALSO THE PROPERTY OF THE JOSEPH F. RISOLI, P.E. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY EXTENSION TO THIS PROJECT AND/OR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE JOSEPH F. RISOLI, P.E.. THESE PLANS ARE VOID UNLESS THEY ARE PROVIDED AND USED IN COLOR.

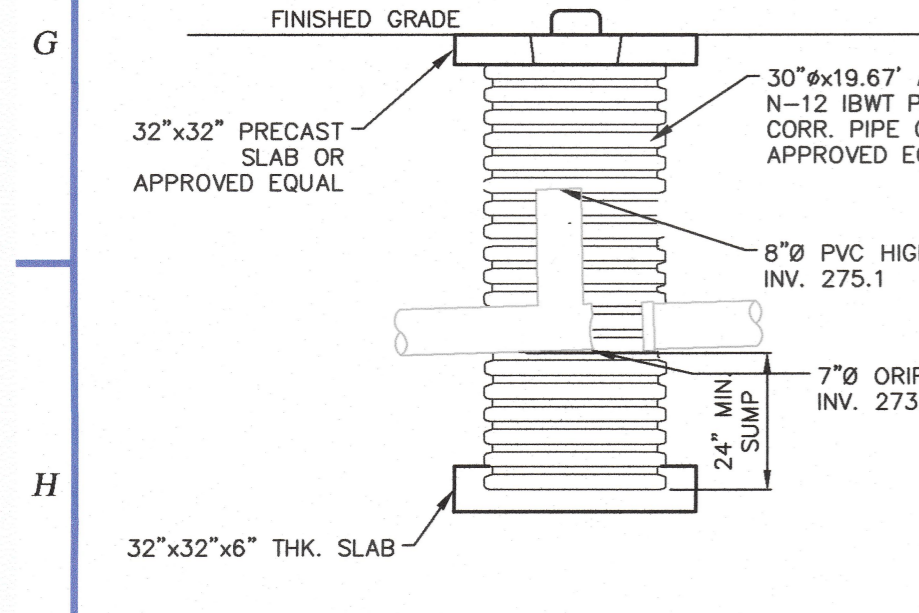
PREPARED FOR:
KEN PROCINO
 LOCATION:
3 JUNIPER HILL ROAD, STAMFORD, CT
 DRAWING:
GRADING AND UTILITY PLAN
C-3.0
 SHEET 03 OF 06

Risoli Planning & Engineering
 ENGINEERS-PLANNERS-SURVEYORS
 Division of
AI Engineers, Inc.
 406 EAST PUTNAM AVENUE
 COS. COB, CT 06807
 WWW.RISOLIENGINEERING.COM
 PHONE: (203) 637-8036
 FAX: (203) 637-3968
 RISOLI@OPTONLINE.NET

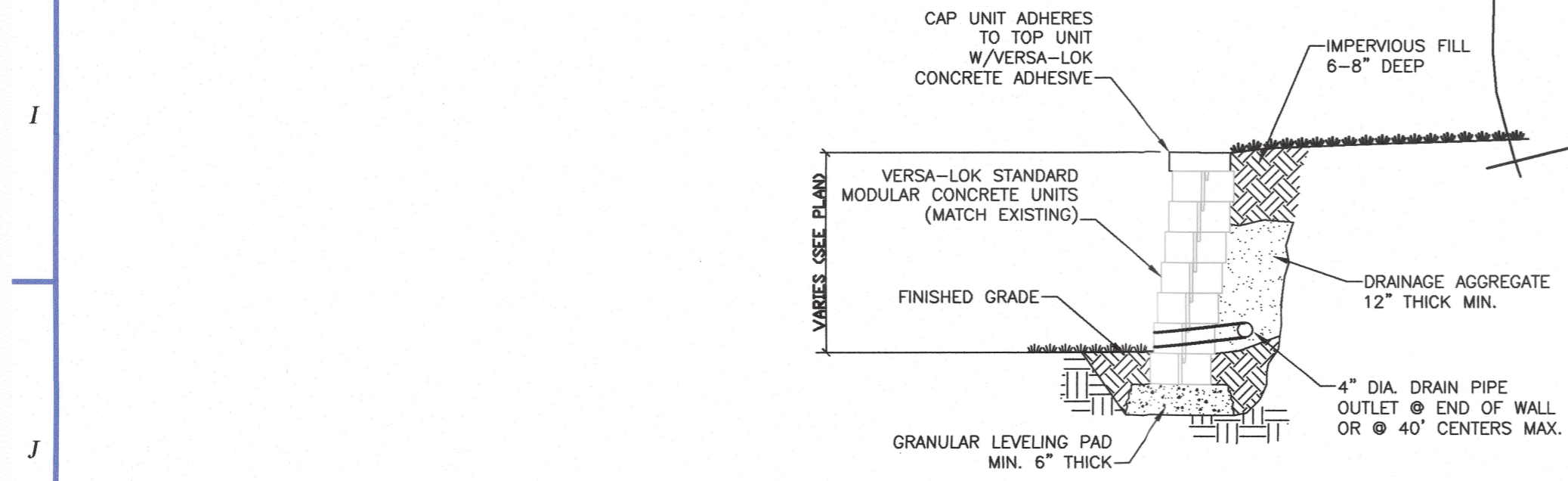
N/F
 Glenn Marziali
 #310 Guinea Road
 Parcel No. 1,
 Map 9817 S.L.R.

N/F
 Louis Zazzarino

Parcel B Reference Map
 No. 14,872
 N/F
 Michael Grunberg



USE EASTERN PRECAST CO. 32"x32" SLAB WITH COVER OR APPROVED EQUAL FOR COVER



RETAINING WALL DETAIL
 NOT TO SCALE

STORMWATER MAINTENANCE NOTES
 All stormwater components should be checked on a periodic basis and kept in full working order. Ultimately, the required frequency of inspection and service will depend on runoff quantities, pollutant loading, and clogging due to debris. At a minimum, we recommend that all stormwater components be inspected and serviced twice per year, once before winter begins and once during spring cleanup.
 The inspections must be completed by an individual experienced in the construction and maintenance of stormwater drainage systems. Once every five years the inspections must be completed by a professional engineer.