

# SITE PLAN REVIEW SET

## "WINGS ARENA"

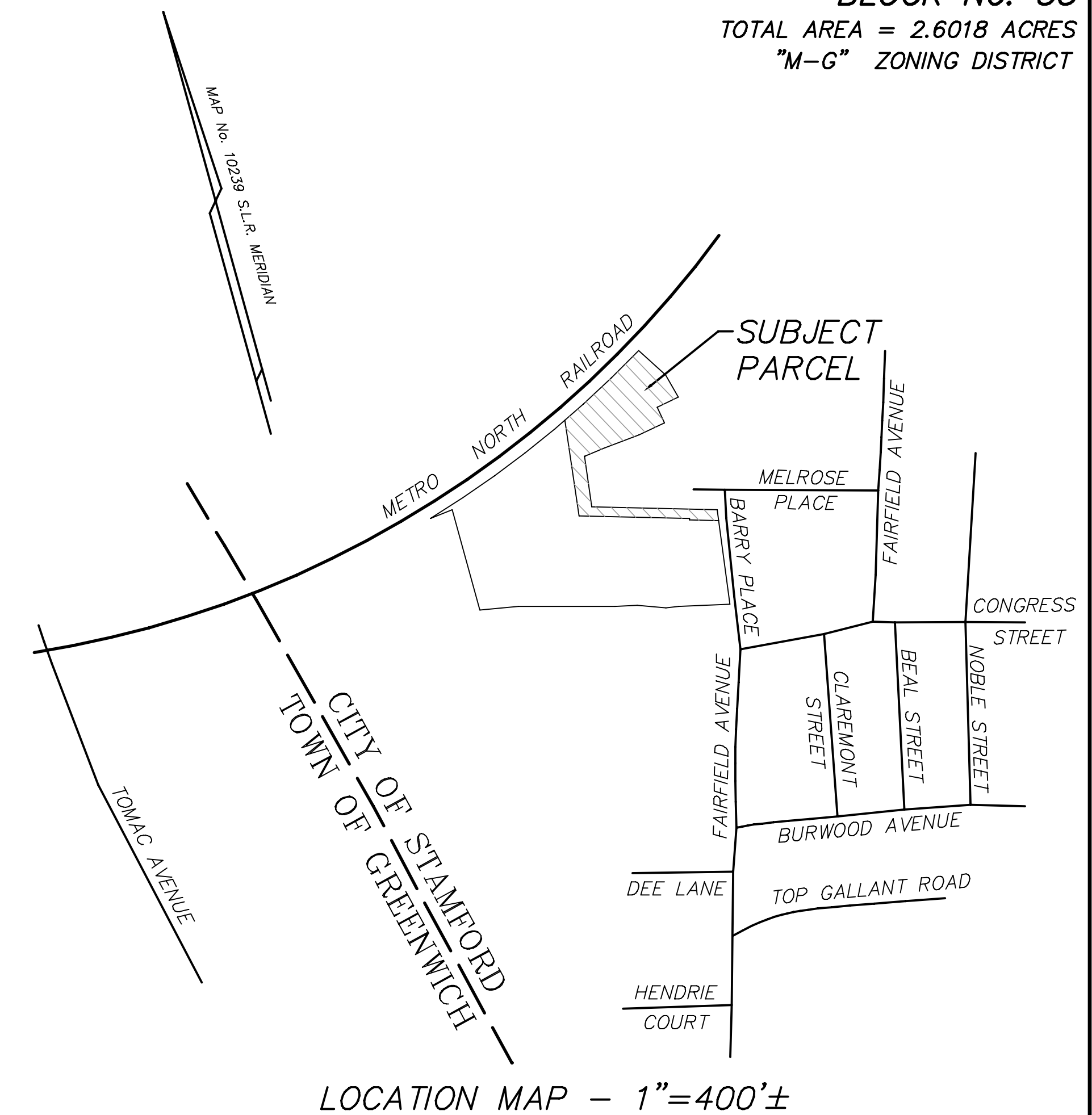
LOCATION

50 BARRY PLACE  
STAMFORD, CONNECTICUT

PREPARED FOR

WINGS REAL ESTATE HOLDINGS, LLC

BLOCK No. 35  
TOTAL AREA = 2.6018 ACRES  
"M-G" ZONING DISTRICT



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ENGINEERING PLANS PREPARED BY

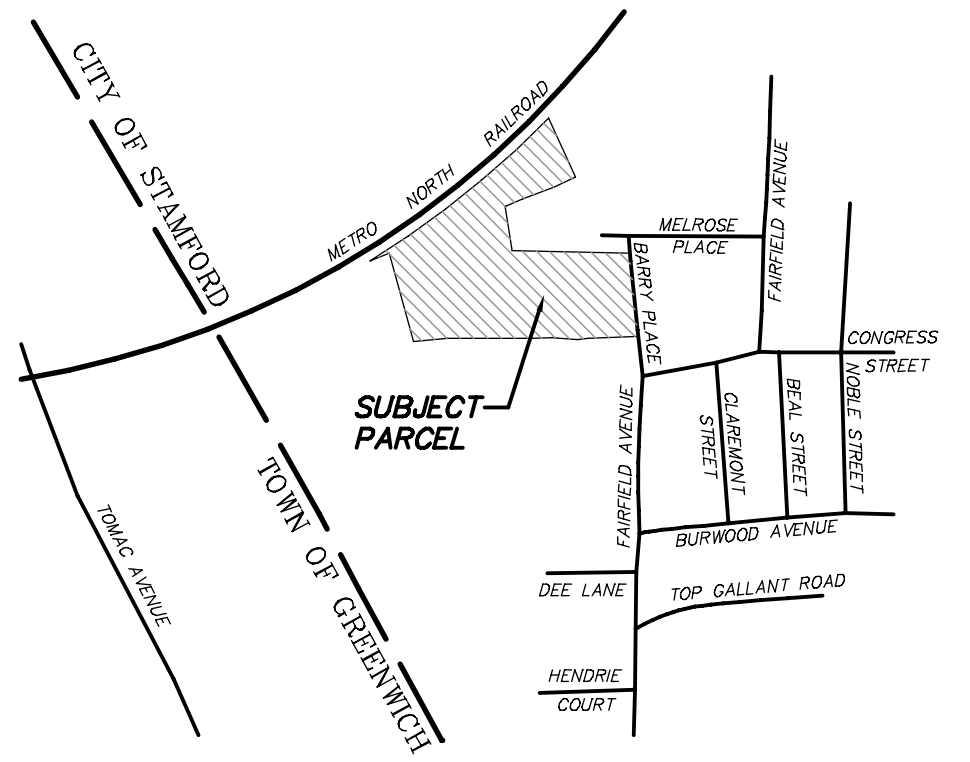
D'ANDREA SURVEYING & ENGINEERING, P.C. 12-15-22  
DEREK E. DAUNAIS, CT. PE No. 22861 DATE

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D'ANDREA SURVEYING & ENGINEERING, P.C.  
LAND PLANNERS  
ENGINEERS  
P.O. BOX 549 RIVERSIDE, CT 06878  
6 NEIL LANE TEL. 637-1779

PROJECT	WINGS ARENA
PREPARED FOR	WINGS REAL ESTATE HOLDINGS, LLC
LOCATION	50 BARRY PLACE STAMFORD, CONNECTICUT
	COVER SHEET

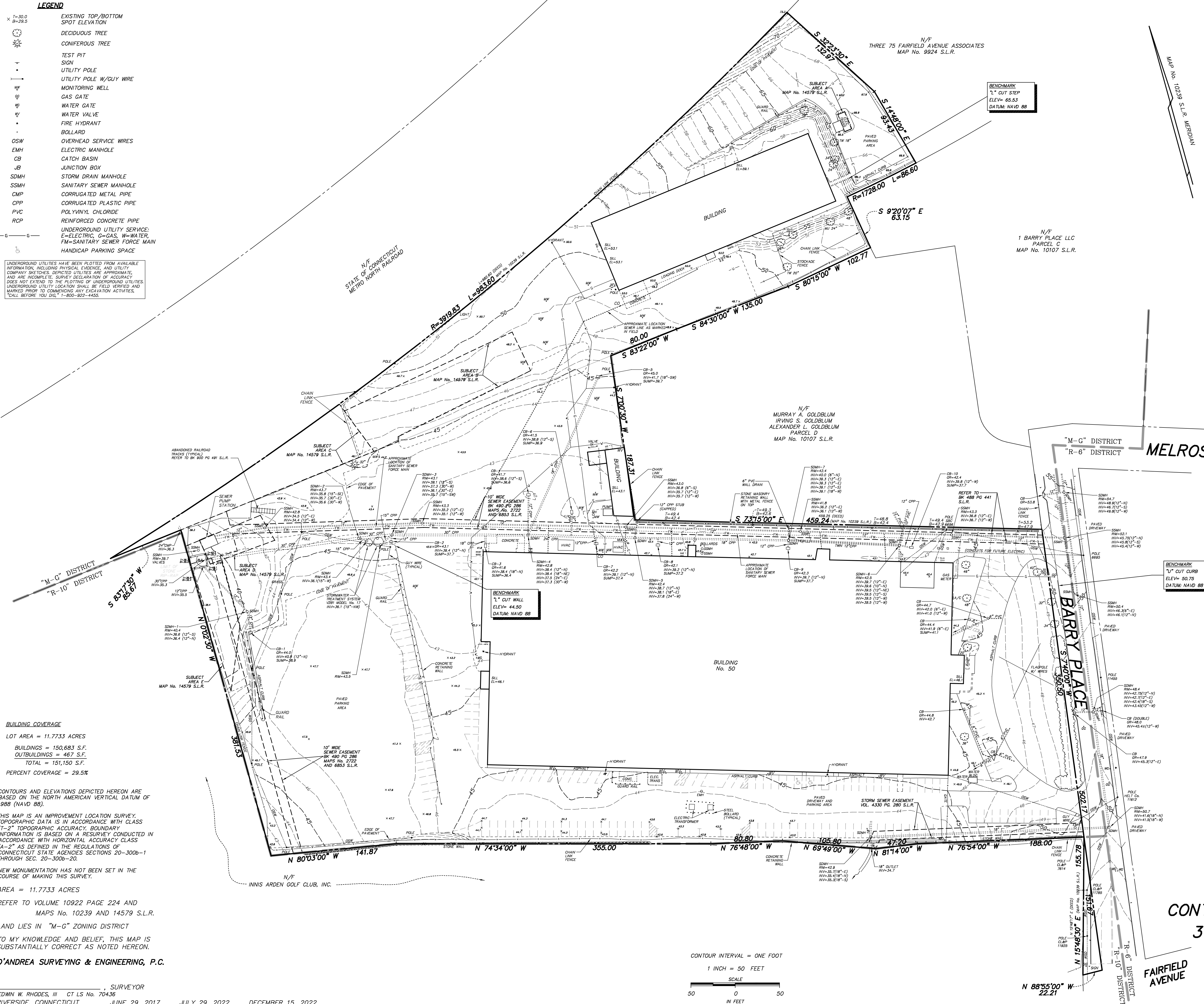
REV.	DATE	DESCRIPTION
0	12-15-22	ZONING SUBMISSION



LOCATION MAP - 1" = 800'

- LEGEND**
- ⊕ T=30.0  
⊕ B=29.5 EXISTING TOP/BOTTOM SPOT ELEVATION
  - ⊙ DECIDUOUS TREE
  - ⊙ CONIFEROUS TREE
  - ⊙ TEST PIT
  - ⊙ SIGN
  - ⊙ UTILITY POLE
  - ⊙ UTILITY POLE W/GUY WIRE
  - ⊙ MONITORING WELL
  - ⊙ GAS GATE
  - ⊙ WATER GATE
  - ⊙ WATER VALVE
  - ⊙ FIRE HYDRANT
  - ⊙ BOLLARD
  - OSW OVERHEAD SERVICE WRES
  - EMH ELECTRIC MANHOLE
  - CB CATCH BASIN
  - JB JUNCTION BOX
  - SDMH STORM DRAIN MANHOLE
  - SSMH SANITARY SEWER MANHOLE
  - CMP CORRUGATED METAL PIPE
  - CPP CORRUGATED PLASTIC PIPE
  - PVC POLYVINYL CHLORIDE
  - RCP REINFORCED CONCRETE PIPE
  - UNDERGROUND UTILITY SERVICE:  
E-ELECTRIC, G-GAS, W-WATER,  
FM-SANITARY SEWER, FORCE MAIN  
HANDICAP PARKING SPACE

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION, INCLUDING PHYSICAL EVIDENCE, AND UTILITY COMPANY SKETCHES. DEPICTED UTILITIES ARE APPROXIMATE, AND ARE INCOMPLETE. SURVEY DECLARATION OF ACCURACY DOES NOT EXTEND TO THE PLOTTING OF UNDERGROUND UTILITIES. UNDERGROUND UTILITY LOCATION SHALL BE FIELD VERIFIED AND MARKED PRIOR TO COMMENCING ANY EXCAVATION ACTIVITIES. \*CALL BEFORE YOU DIG, 1-800-922-4455.

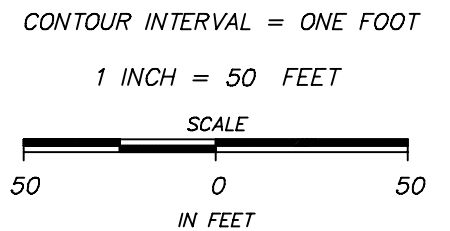


**BUILDING COVERAGE**  
 LOT AREA = 11.7733 ACRES  
 BUILDINGS = 150,683 S.F.  
 OUTBUILDINGS = 467 S.F.  
 TOTAL = 151,150 S.F.  
 PERCENT COVERAGE = 29.5%

CONTOURS AND ELEVATIONS DEPICTED HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).  
 THIS MAP IS AN IMPROVEMENT LOCATION SURVEY. TOPOGRAPHIC DATA IS IN ACCORDANCE WITH CLASS "T-2" TOPOGRAPHIC ACCURACY. BOUNDARY INFORMATION IS BASED ON A RESURVEY CONDUCTED IN ACCORDANCE WITH HORIZONTAL ACCURACY CLASS "A-2" AS DEFINED IN THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH SEC. 20-300b-20.

NEW MONUMENTATION HAS NOT BEEN SET IN THE COURSE OF MAKING THIS SURVEY.  
 AREA = 11.7733 ACRES  
 REFER TO VOLUME 10922 PAGE 224 AND MAPS No. 10239 AND 14579 S.L.R.  
 LAND LIES IN "M-G" ZONING DISTRICT  
 TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.  
**D'ANDREA SURVEYING & ENGINEERING, P.C.**

EDWIN W. RHODES, III SURVEYOR  
 CT LS No. 70436  
 RIVERSIDE, CONNECTICUT  
 JUNE 29, 2017 JULY 29, 2022 DECEMBER 15, 2022



BENCHMARK  
 "U" CUT CURB  
 ELEV= 50.75  
 DATUM: NAVD 88

BENCHMARK  
 "T" CUT STEP  
 ELEV= 65.53  
 DATUM: NAVD 88

"M-G" DISTRICT  
 "R-6" DISTRICT  
**MELROSE AVENUE**

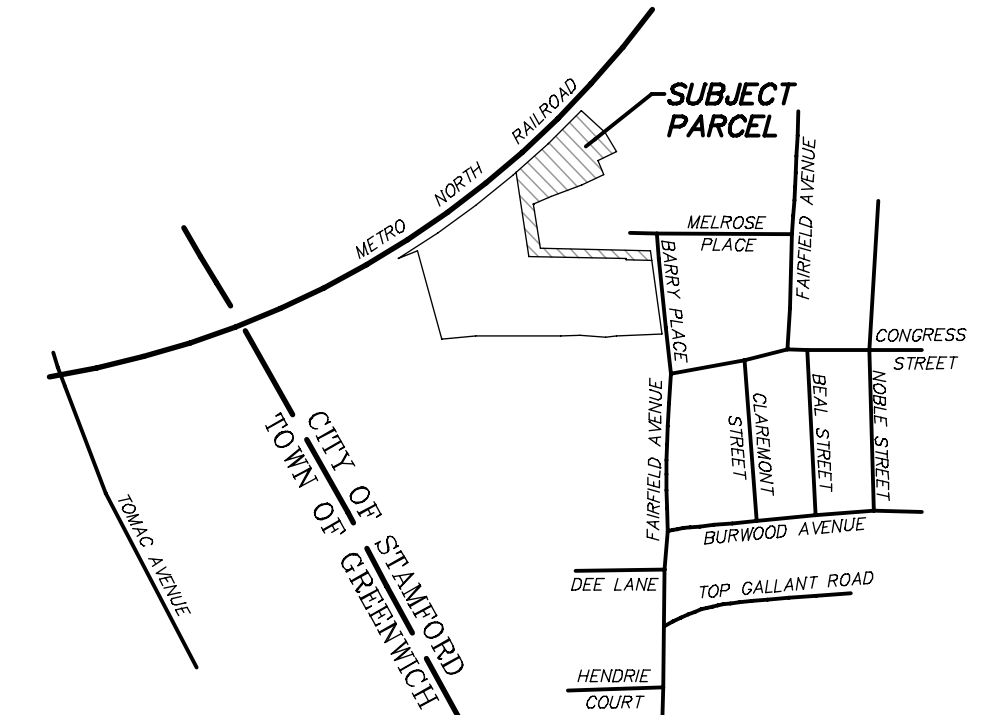
"M-G" DISTRICT  
 "R-10" DISTRICT

**BARRY PLACE**  
 S 74°00'00" W 50.50

**IMPROVEMENT LOCATION SURVEY**  
 OF PROPERTY AT  
**23-50 BARRY PLACE**  
 IN  
**STAMFORD, CONNECTICUT**  
 PREPARED FOR  
**CONTINENTAL FAMILY HOLDINGS, LLC**  
**375 FAIRFIELD AVE ASSOCIATES**

**FAIRFIELD AVENUE**

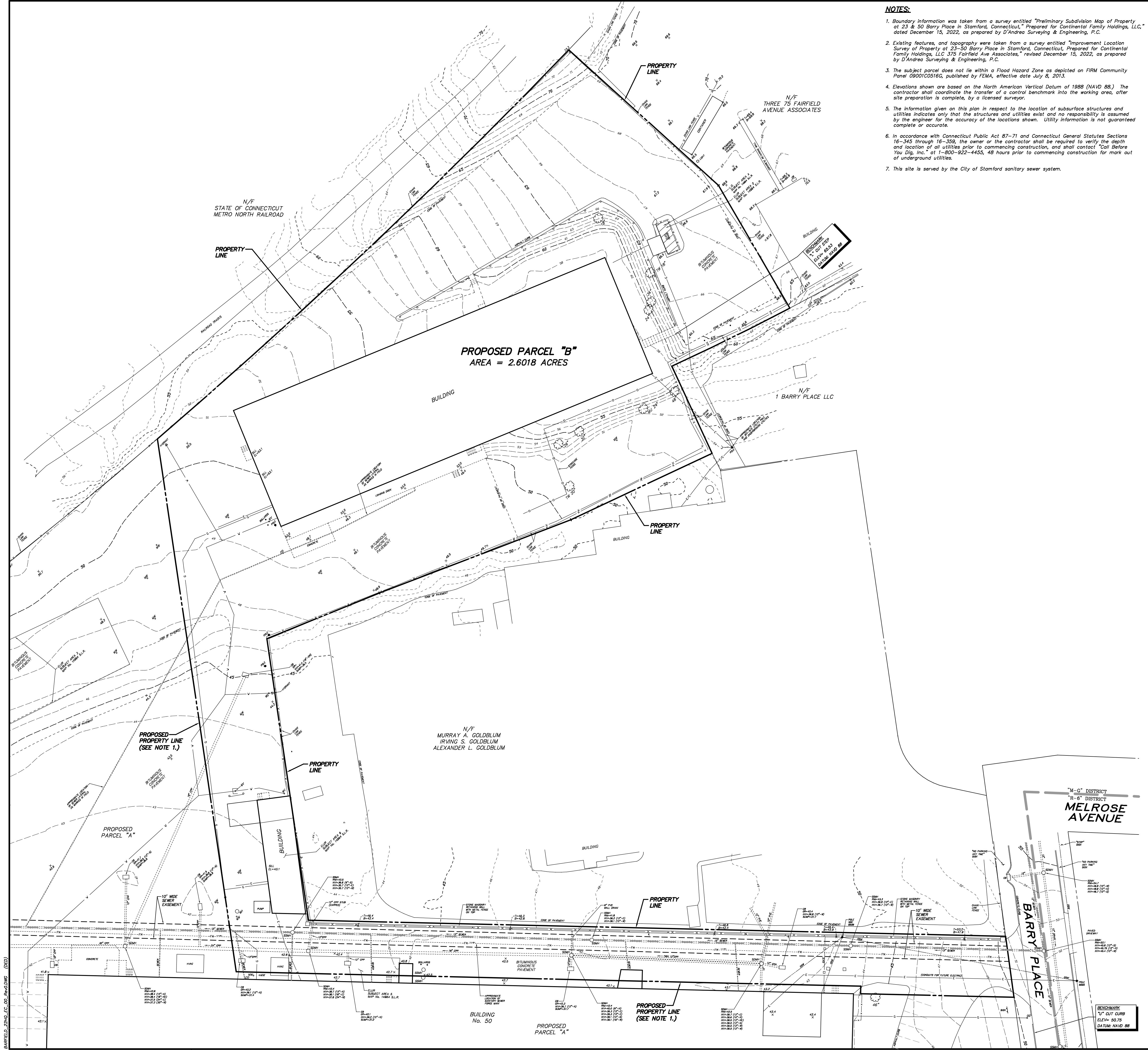
**BLOCK No. 35**  
**TOTAL AREA = 2.6018 ACRES**  
**"M-G" ZONING DISTRICT**



LOCATION MAP - 1"=800'±

**NOTES:**

- Boundary information was taken from a survey entitled "Preliminary Subdivision Map of Property at 23 & 50 Barry Place in Stamford, Connecticut," Prepared for Continental Family Holdings, LLC, dated December 15, 2022, as prepared by D'Andrea Surveying & Engineering, P.C.
- Existing features, and topography were taken from a survey entitled "Improvement Location Survey of Property at 23-50 Barry Place in Stamford, Connecticut, Prepared for Continental Family Holdings, LLC, 375 Fairfield Ave Associates," revised December 15, 2022, as prepared by D'Andrea Surveying & Engineering, P.C.
- The subject parcel does not lie within a Flood Hazard Zone as depicted on FIRM Community Panel 09001C0516G, published by FEMA, effective date July 8, 2013.
- Elevations shown are based on the North American Vertical Datum of 1988 (NAVD 88.) The contractor shall coordinate the transfer of a control benchmark into the working area, after site preparation is complete, by a licensed surveyor.
- The information given on this plan in respect to the location of subsurface structures and utilities indicates only that the structures and utilities exist and no responsibility is assumed by the engineer for the accuracy of the locations shown. Utility information is not guaranteed complete or accurate.
- In accordance with Connecticut Public Act 87-71 and Connecticut General Statutes Sections 16-345 through 16-352, the owner or the contractor shall be required to verify the depth and location of all utilities prior to commencing construction, and shall contact "Call Before You Dig, Inc." at 1-800-922-4455, 48 hours prior to commencing construction for mark out of underground utilities.
- This site is served by the City of Stamford sanitary sewer system.



**LEGEND**

--- 30 ---	EXISTING CONTOUR
- - - 30 - - -	EXISTING OFF-SITE CONTOUR (TAKEN FROM CITY GIS)
x 30.0	EXISTING SPOT ELEVATION
x T=30.0 B=29.5	EXISTING TOP/BOTTOM SPOT ELEVATION
(Tree symbol)	DECIDUOUS TREE
(Sign symbol)	SIGN
(Pole symbol)	UTILITY POLE
(Hydrant symbol)	HYDRANT
(Gas gate symbol)	GAS GATE
(Water gate symbol)	WATER GATE
(Water valve symbol)	WATER VALVE
(Monitoring well symbol)	MONITORING WELL
(Cleanout symbol)	CLEANOUT
(Overhead service wires symbol)	OVERHEAD SERVICE WIRES
(Catch basin symbol)	CATCH BASIN
(Manhole symbol)	MANHOLE
(Storm drain manhole symbol)	STORM DRAIN MANHOLE
(Sanitary sewer manhole symbol)	SANITARY SEWER MANHOLE
(Yard drain symbol)	YARD DRAIN
(Corrugated plastic pipe symbol)	CORRUGATED PLASTIC PIPE
(Polyvinyl chloride symbol)	POLYVINYL CHLORIDE
(Underground utility service symbol)	UNDERGROUND UTILITY SERVICE: C=CABLE, E=ELECTRIC, G=GAS, W=WATER, FM=FORCE MAIN
---	PROPERTY LINE

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION, INCLUDING PHYSICAL EVIDENCE, AND UTILITY COMPANY SKETCHES. DEPICTED UTILITIES ARE APPROXIMATE, AND MAY BE INCOMPLETE. UNDERGROUND UTILITY LOCATION SHALL BE FIELD VERIFIED AND MARKED PRIOR TO COMMENCING ANY EXCAVATION ACTIVITIES. "CALL BEFORE YOU DIG," 1-800-922-4455.

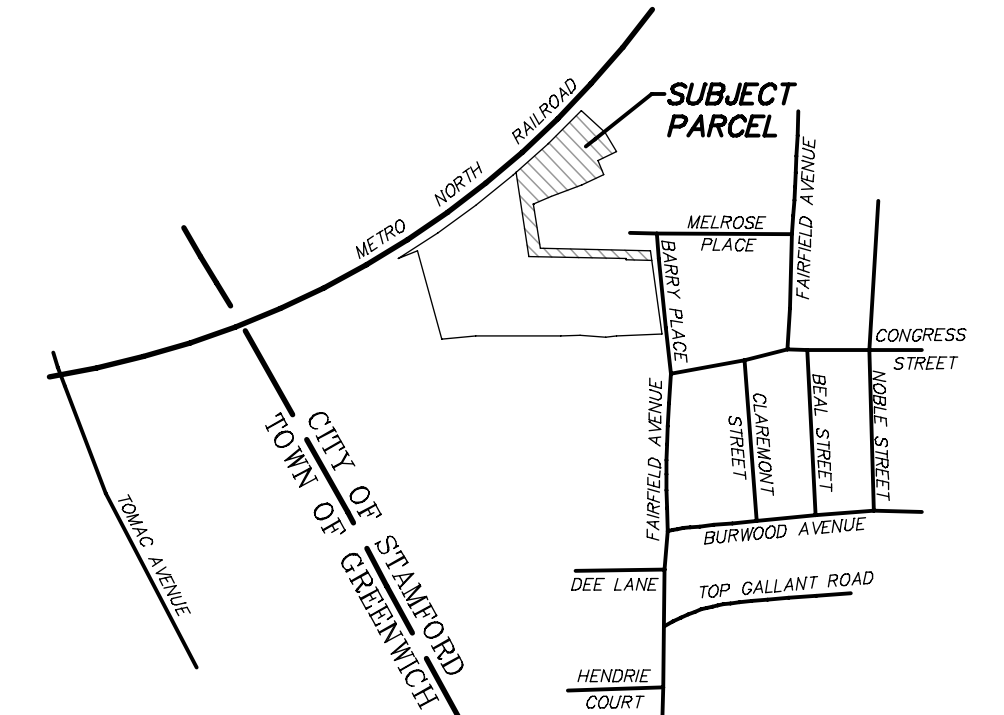
CONTOUR INTERVAL = ONE FOOT  
 1 INCH = 30 FEET  
 SCALE  
 30 0 30  
 IN FEET

**D'ANDREA SURVEYING & ENGINEERING, P.C.**  
 LAND PLANNERS  
 ENGINEERS  
 SURVEYORS  
 P.O. BOX 549 RIVERSIDE, CT 06878  
 6 NEIL LANE RIVERSIDE, CT 06878  
 TEL. 637-1779

REV.	DATE	DESCRIPTION
0	12-15-22	ZONING SUBMISSION
DEREK E. DAUNAIS, CT PE No. 22861		12-15-22
ENGINEER		

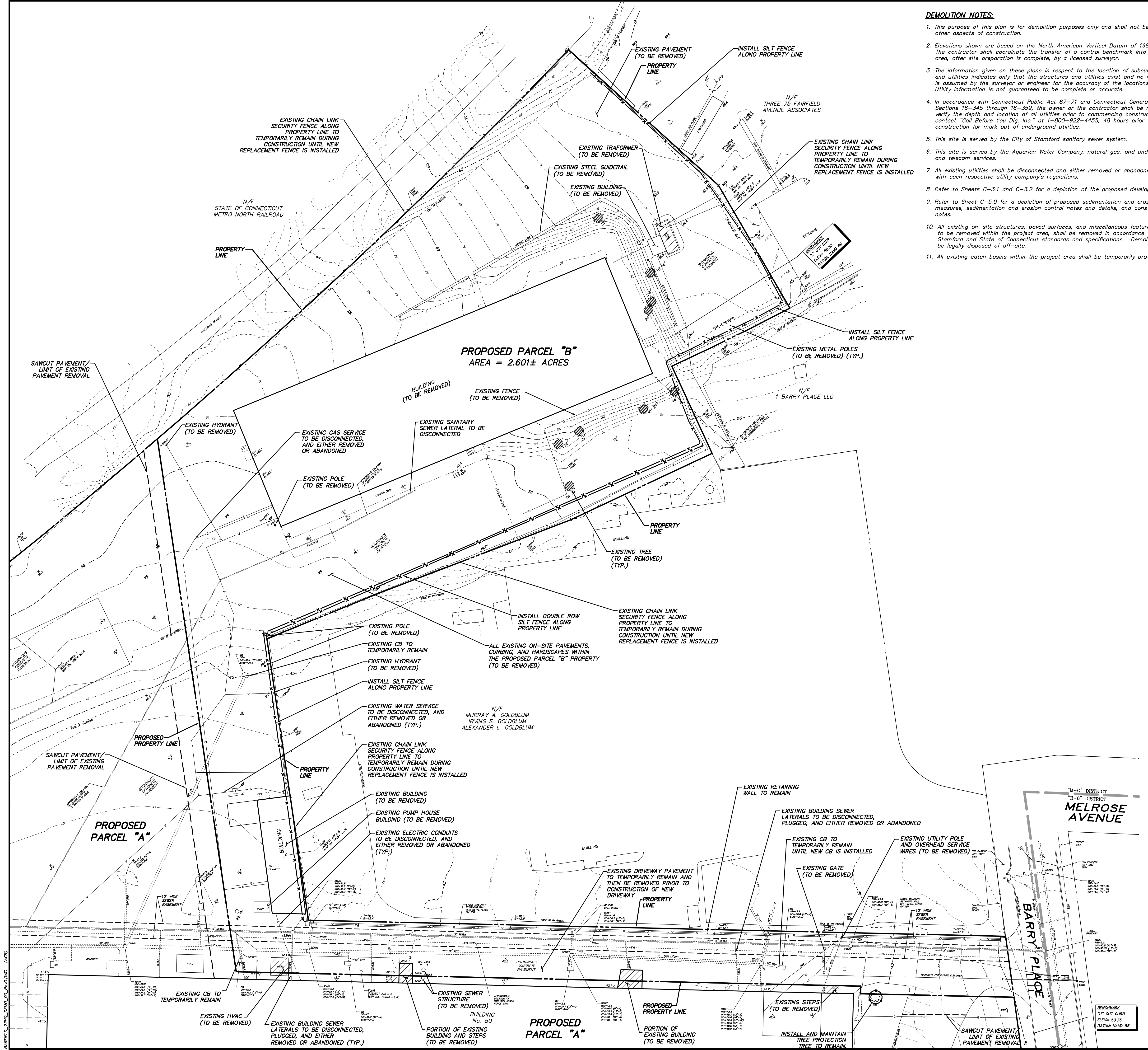
PROJECT	WINGS ARENA
PREPARED FOR	WINGS REAL ESTATE HOLDINGS, LLC
LOCATION	50 BARRY PLACE STAMFORD, CONNECTICUT
C-1.0	EXISTING CONDITIONS PLAN

ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.



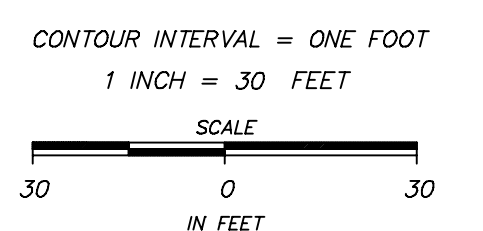
LOCATION MAP - 1"=800'±

- DEMOLITION NOTES:**
1. This purpose of this plan is for demolition purposes only and shall not be used for other aspects of construction.
  2. Elevations shown are based on the North American Vertical Datum of 1988 (NAVD 88). The contractor shall coordinate the transfer of a control benchmark into the working area, after site preparation is complete, by a licensed surveyor.
  3. The information given on these plans in respect to the location of subsurface structures and utilities indicates only that the structures and utilities exist and no responsibility is assumed by the surveyor or engineer for the accuracy of the locations shown. Utility information is not guaranteed to be complete or accurate.
  4. In accordance with Connecticut Public Act 87-71 and Connecticut General Statutes Sections 16-345 through 16-359, the owner or the contractor shall be required to verify the depth and location of all utilities prior to commencing construction, and shall contact "Call Before You Dig, Inc." at 1-800-922-4455, 48 hours prior to commencing construction for mark out of underground utilities.
  5. This site is served by the City of Stamford sanitary sewer system.
  6. This site is served by the Aquarion Water Company, natural gas, and underground electric and telecom services.
  7. All existing utilities shall be disconnected and either removed or abandoned in accordance with each respective utility company's regulations.
  8. Refer to Sheets C-3.1 and C-3.2 for a depiction of the proposed development.
  9. Refer to Sheet C-5.0 for a depiction of proposed sedimentation and erosion control measures, sedimentation and erosion control notes and details, and construction staging notes.
  10. All existing on-site structures, paved surfaces, and miscellaneous features, designated to be removed within the project area, shall be removed in accordance with City of Stamford and State of Connecticut standards and specifications. Demolition debris shall be legally disposed of off-site.
  11. All existing catch basins within the project area shall be temporarily protected with silt fences.



- LEGEND**
- 30 --- EXISTING CONTOUR
  - - - 30 - - - EXISTING OFF-SITE CONTOUR (TAKEN FROM CITY GIS)
  - x 30.0 EXISTING SPOT ELEVATION
  - x 30.0 EXISTING TOP/BOTTOM SPOT ELEVATION
  - (Tree symbol) DECIDUOUS TREE
  - (Tree symbol) EXISTING TREE TO BE REMOVED
  - (Circle symbol) TREE PROTECTION
  - (Triangle symbol) SIGN
  - (Circle with dot) UTILITY POLE
  - (Circle with cross) HYDRANT
  - (Circle with dot) GAS GATE
  - (Circle with cross) WATER GATE
  - (Circle with cross) WATER VALVE
  - (Circle with cross) MONITORING WELL
  - (Circle with cross) CLEANOUT
  - (Circle with cross) OSW OVERHEAD SERVICE WIRES
  - (Circle with cross) CB CATCH BASIN
  - (Circle with cross) MH MANHOLE
  - (Circle with cross) SDMH STORM DRAIN MANHOLE
  - (Circle with cross) SSMH SANITARY SEWER MANHOLE
  - (Circle with cross) YD YARD DRAIN
  - (Circle with cross) CPP CORRUGATED PLASTIC PIPE
  - (Circle with cross) PVC POLYVINYL CHLORIDE
  - (Line with G) UNDERGROUND UTILITY SERVICE: C=CABLE, E=ELECTRIC, G=GAS, W=WATER, FM=FORCE MAIN
  - - - - - PROPERTY LINE

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 LAND PLANNERS  
 ENGINEERS  
 SURVEYORS

P.O. BOX 549  
 RIVERSIDE, CT 06878

6 NEIL LANE  
 TEL. 637-1779

REV.	DATE	DESCRIPTION
0	12-15-22	ZONING SUBMISSION
		DEREK E. DAUNAIS, CT PE No. 22861
		ENGINEER 12-15-22

PROJECT	WINGS ARENA
PREPARED FOR	WINGS REAL ESTATE HOLDINGS, LLC
LOCATION	50 BARRY PLACE STAMFORD, CONNECTICUT
C-2.0	DEMOLITION PLAN

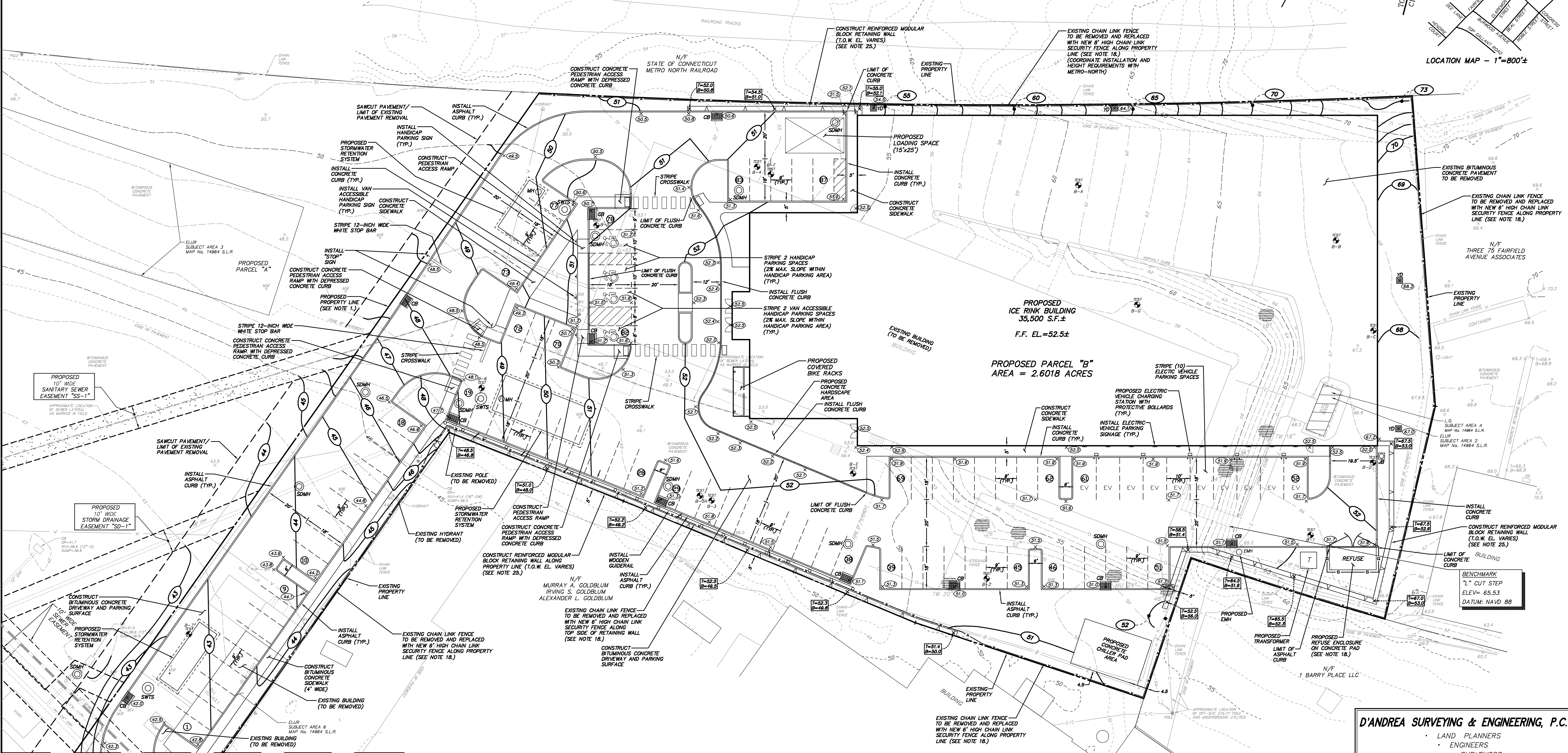
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**GENERAL NOTES:**

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- The information given on this plan in respect to the location of subsurface structures and utilities indicates only that the structures and utilities exist and no responsibility is assumed by the engineer for the accuracy of the locations shown. Utility information is not guaranteed complete or accurate.
- In accordance with Connecticut Public Act 87-71 and Connecticut General Statutes Sections 16-345 through 16-358, the owner or the contractor shall be required to verify the depth and location of all utilities prior to commencing construction, and shall contact "Call Before You Dig, Inc." at 1-800-922-4455, 48 hours prior to commencing construction for mark out of underground utilities.
- This site is served by the City of Stamford sanitary sewer system.
- This site is served by the Aquarion Water Company, natural gas, and underground electric and telecom services.
- The contractor shall be responsible for securing all required permits from the City of Stamford for completion of the project.
- All construction shall comply with applicable sections of the State of Connecticut, Local, and International Building Codes, and those criteria shall take precedent over these plans. Refer to Sheets C-6.1 and C-6.2 for construction notes and details.
- Upon completion of construction and prior to the issuance of a Certificate of Occupancy, an "As-Built" map and certification letter shall be prepared by a professional engineer and land surveyor and submitted to the Engineering Bureau for review and approval for the purpose of confirming that construction was completed substantially in compliance with the approved plans as amended from time to time.
- Roof drains from the proposed building shall be tied into the new storm drainage system, as depicted on the plan. Final locations of the roof drain downspouts shall be coordinated between the architect, the project engineer, and the contractor.
- All existing buildings, driveways, and miscellaneous debris shall be removed from the site and disposed of legally. Refer to Sheet C-1.0 for general demolition notes.
- Refer to Sheets C-4.1 and C-4.2 for a depiction and description of all proposed storm drainage, sanitary sewer, and utility installations and details.
- Refer to Sheets C-5.0 for sedimentation and erosion control notes and details and general construction staging notes.
- Refer to Sheet C-6.1 for City of Stamford Standard Notes.
- The proposed building shall be designed by an architect in order to conform with current applicable zoning setback criteria and regulations, and a building permit shall be obtained prior to commencing construction.
- Refer to Architectural Plans as prepared by Rogers McCagg Architects and Interior Designs, PC.
- Refer to Landscape Architectural plans as prepared by Environmental Land Solutions, LLC for final design of proposed landscaping, fencing, and exterior site lighting.
- All utility relocations and installations shall be coordinated with each respective utility company prior to construction. Coordinate all utility installation and connection specifications with each respective utility company.
- A "Street Opening Permit" must be obtained prior to any construction activity in the City of Stamford right-of-way. All construction within the right-of-way shall be coordinated with the City of Stamford Engineering Bureau.
- The Contractor shall be responsible for coordinating and maintaining traffic flow on adjoining roadways throughout the project.
- The contractor shall be responsible for delegating the structural design of the reinforced modular block retaining wall to the manufacturer of the wall system. The design and as-built certification of the wall system must be prepared, signed, and sealed by a professional engineer licensed in the State of Connecticut. Retaining wall shop drawings shall be to the project engineer for review prior to construction.
- Refer to Sheet C-6.2 for soil boring and test pit data.

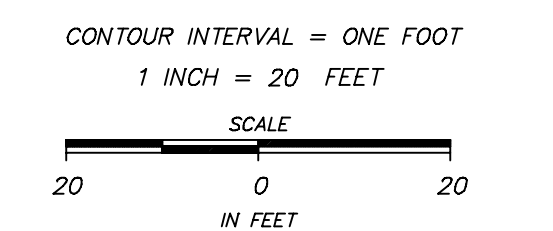
**BLOCK No. 35**  
**TOTAL AREA = 2.6018 ACRES**  
**"M-G" ZONING DISTRICT**

LOCATION MAP - 1"=800'±



MATCHLINE A-A (SEE SHEET C-3.2) MATCHLINE A-A

LEGEND	
---30---	EXISTING CONTOUR
- - -30- - -	EXISTING OFF-SITE CONTOUR (TAKEN FROM CITY GIS)
× 30.0	EXISTING SPOT ELEVATION
○ 30.0	EXISTING TOP/BOTTOM SPOT ELEVATION
× 30.0	PROPOSED CONTOUR
○ 30.0	PROPOSED SPOT ELEVATION
○ 30.0	PROPOSED TOP/BOTTOM SPOT ELEVATION
○	DECIDUOUS TREE
○	TREE TO BE REMOVED
YD	YARD DRAIN
OPP	CORRUGATED PLASTIC PIPE
PVC	POLYVINYL CHLORIDE
EV	ELECTRIC VEHICLE
A.O.B.E.	AS ORDERED BY ENGINEER
V.I.F.	VERIFY IN FIELD
T.O.W.	TOP OF WALL
—G—G—	UNDERGROUND UTILITY SERVICE: C=CABLE, E=ELECTRIC, G=GAS, W=WATER, FM=FORCE MAIN
---	PROPERTY LINE
TEST	TEST PIT/BORING LOCATION
Ⓟ	PROPOSED PARKING SPACE
○	UTILITY POLE
○	HYDRANT
○	GAS GATE
○	WATER GATE
○	WATER VALVE
○	MONITORING WELL
○	CLEANOUT
OSW	OVERHEAD SERVICE WIRES
CB	CATCH BASIN
MH	MANHOLE
SMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE



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REV.	DATE	DESCRIPTION
0	12-15-22	ZONING SUBMISSION
1	12-15-22	DEREK E. DAUNAIS, CT PE No. 22861

ENGINEER

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PROJECT **WINGS ARENA**

PREPARED FOR **WINGS REAL ESTATE HOLDINGS, LLC**

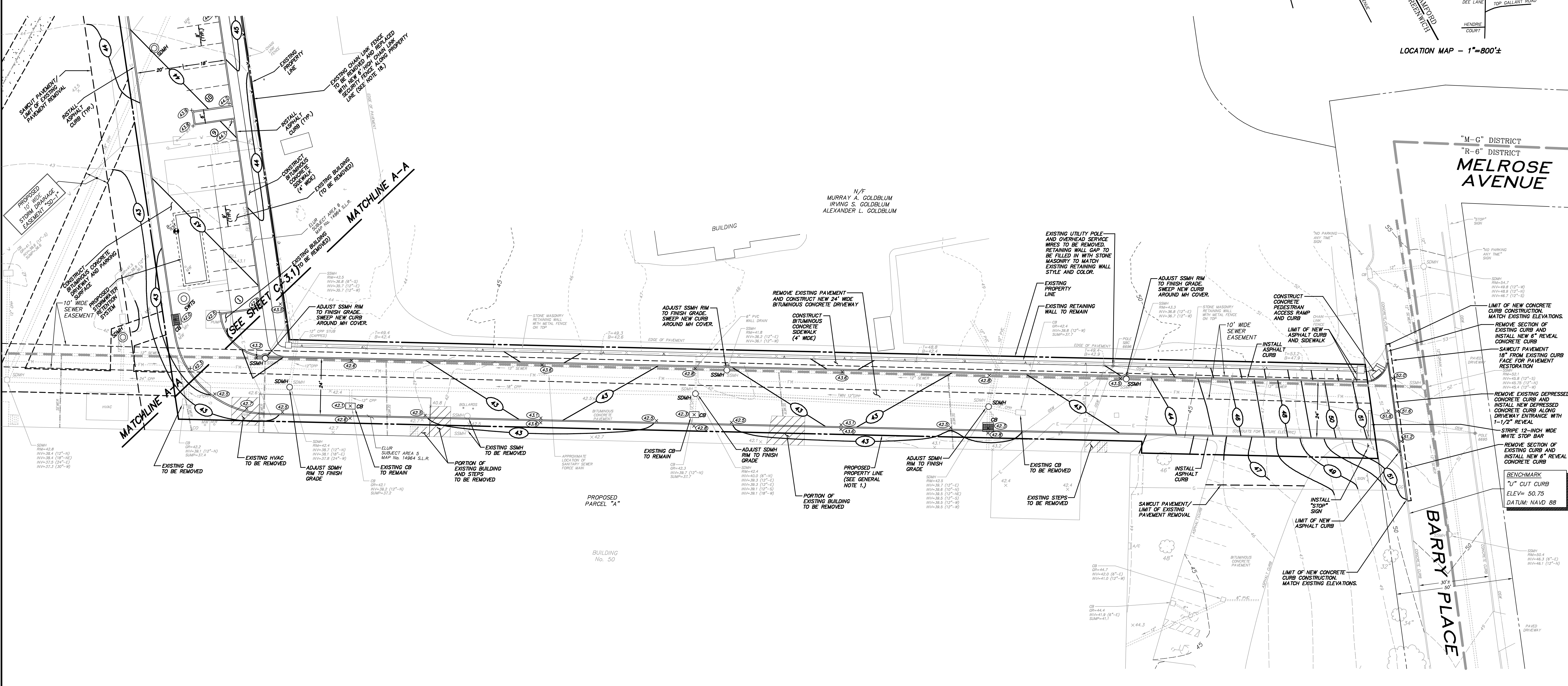
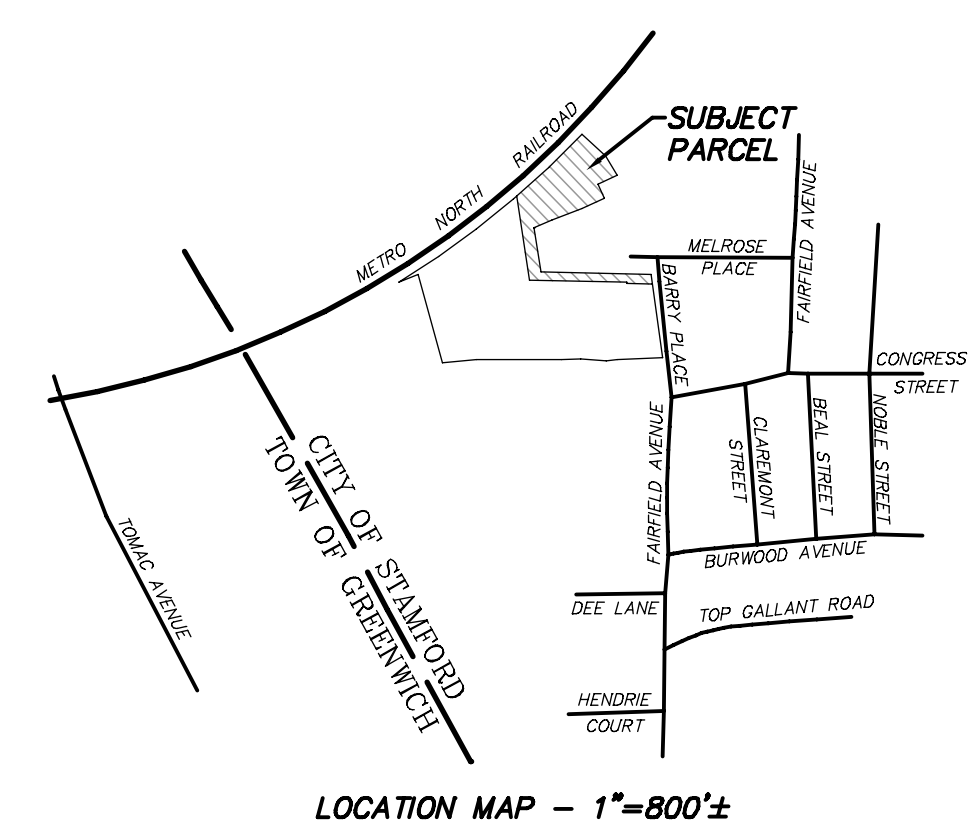
LOCATION **50 BARRY PLACE STAMFORD, CONNECTICUT**

**C-3.1 SITE GRADING PLAN**

**NOTES:**

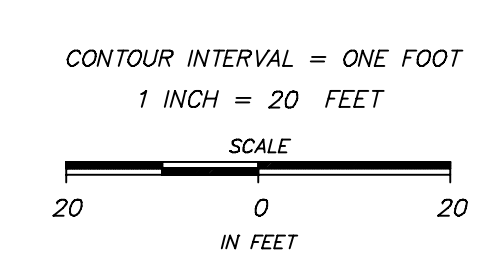
1. Refer to Sheet C-3.1 for General Notes.
2. Elevations shown are based on the North American Vertical Datum of 1988 (NAVD 88). The contractor shall coordinate the transfer of a control benchmark into the working area, after site preparation is complete, by a licensed surveyor.
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5. A "Street Opening Permit" must be obtained prior to any construction activity in the City of Stamford right-of-way. All construction within the right-of-way shall be coordinated with the City of Stamford Engineering Bureau.
6. The Contractor shall be responsible for coordinating and maintaining traffic flow on adjoining roadways throughout the project.

**BLOCK No. 35**  
**TOTAL AREA = 2.6018 ACRES**  
**"M-G" ZONING DISTRICT**



**LEGEND**

--- 30 ---	EXISTING CONTOUR	YD	YARD DRAIN
- - - 30 - - -	EXISTING OFF-SITE CONTOUR (TAKEN FROM CITY GIS)	OP	CORRUGATED PLASTIC PIPE
x 30.0	EXISTING SPOT ELEVATION	PVC	POLYVINYL CHLORIDE
x 30.0 B=29.5	EXISTING TOP/BOTTOM SPOT ELEVATION	EV	ELECTRIC VEHICLE
30	PROPOSED CONTOUR	A.O.B.E.	AS ORDERED BY ENGINEER
x 30.0	PROPOSED SPOT ELEVATION	V.I.F.	VERIFY IN FIELD
x 30.0 B=29.5	PROPOSED TOP/BOTTOM SPOT ELEVATION	T.O.W.	TOP OF WALL
(Tree symbol)	DECIDUOUS TREE	---	UNDERGROUND UTILITY SERVICE: C=CABLE, E=ELECTRIC, G=GAS, W=WATER, FM=FORCE MAIN
(Tree symbol)	TREE TO BE REMOVED	---	PROPERTY LINE
(Circle with cross)	UTILITY POLE	TEST	TEST PIT/BORING LOCATION
(Circle with cross)	HYDRANT	(Circle with cross)	PROPOSED PARKING SPACE
(Circle with cross)	GAS GATE		
(Circle with cross)	WATER GATE		
(Circle with cross)	WATER VALVE		
(Circle with cross)	MONITORING WELL		
(Circle with cross)	CLEANOUT		
(Circle with cross)	OVERHEAD SERVICE WRES		
(Circle with cross)	CATCH BASIN		
(Circle with cross)	MANHOLE		
(Circle with cross)	STORM DRAIN MANHOLE		
(Circle with cross)	SANITARY SEWER MANHOLE		



**D'ANDREA SURVEYING & ENGINEERING, P.C.**  
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 P.O. BOX 549  
 RIVERSIDE, CT 06878  
 6 NEIL LANE  
 TEL. 637-1779

PROJECT	WINGS ARENA
PREPARED FOR	WINGS REAL ESTATE HOLDINGS, LLC
LOCATION	50 BARRY PLACE STAMFORD, CONNECTICUT
DATE	12-15-22
DESCRIPTION	ZONING SUBMISSION
ENGINEER	DEREK E. DAUNAS, CT PE No. 22861
PROJECT	C-3.2
DESCRIPTION	SITE GRADING PLAN

ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

**STORM DRAIN AND UTILITY NOTES:**

- The purpose of this plan is only to depict the layout of the proposed storm drainage, sanitary sewer, and utilities, water, gas, electric, telephone, and cable. This plan shall not be used for the construction of any other aspect of this project.
- Elevations shown are based on the North American Vertical Datum of 1985 (NAVD 88). The contractor shall coordinate the transfer of a control benchmark into the working area, after site preparation is complete, by a licensed surveyor.
- The information given on these plans in respect to the location of subsurface structures and utilities indicates only that the structures and utilities exist and no responsibility is assumed by the surveyor or engineer for the accuracy of the locations shown. Utility information is not guaranteed to be complete or accurate.
- In accordance with Connecticut Public Act 87-71 and Connecticut General Statutes Sections 16-348 through 16-359, the owner or the contractor shall be required to verify the depth and location of all utilities prior to commencing construction, and shall contact "Call Before You Dig, Inc." at 1-800-922-4455, 48 hours prior to commencing construction for mark out of underground utilities.
- This site is served by the City of Stamford sanitary sewer system.
- This site is served by the Aquarion Water Company, natural gas, and underground electric, and telecom services.
- The contractor shall be responsible for securing all required permits from the City of Stamford for completion of the project.

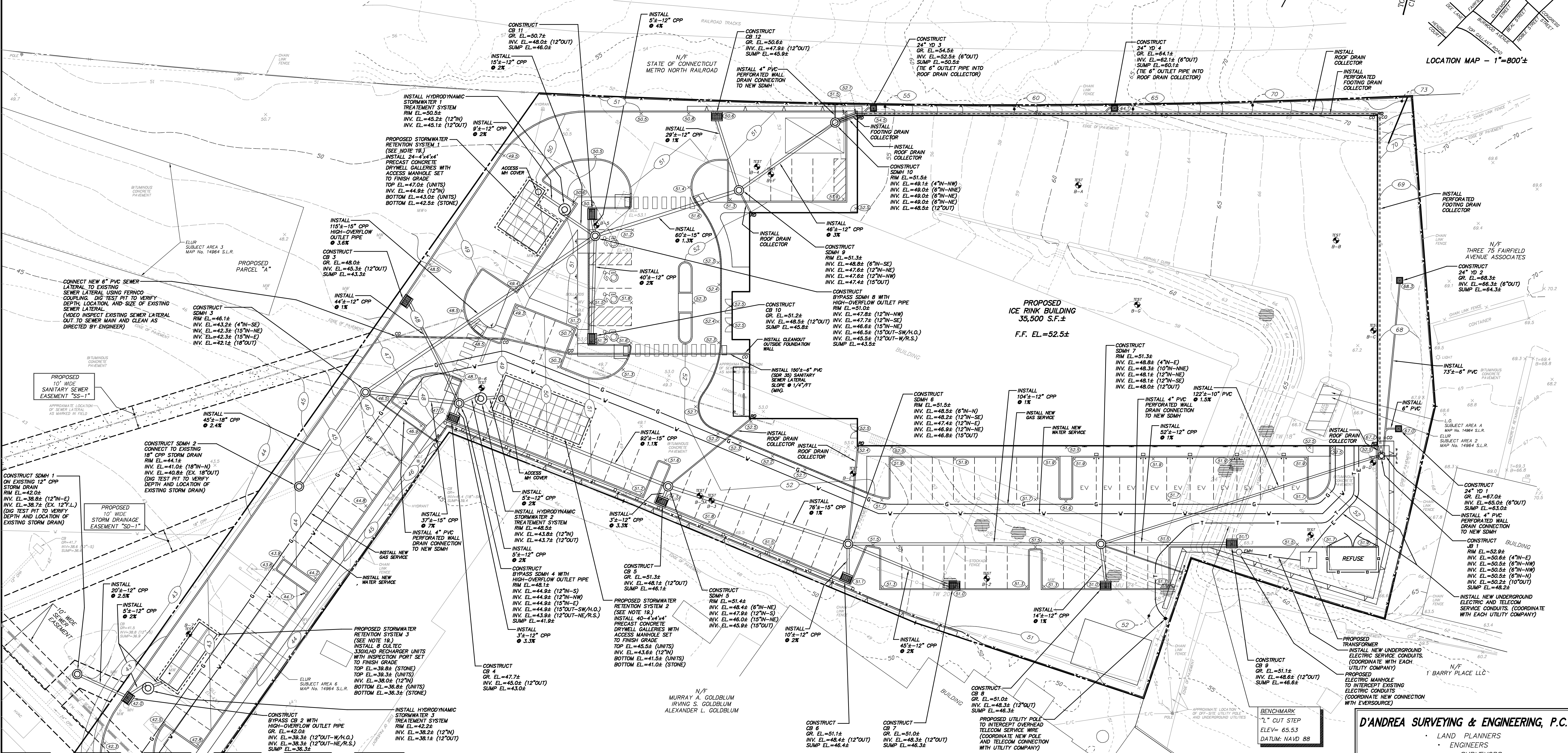
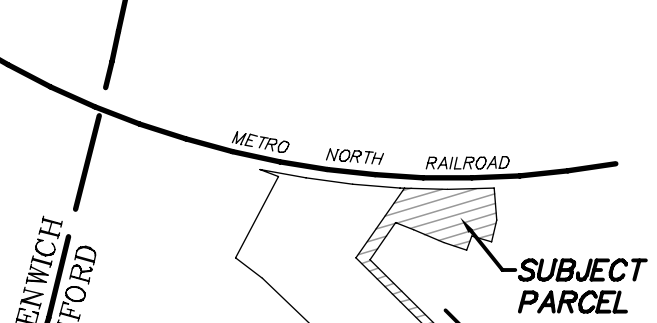
- All construction shall comply with applicable sections of the State of Connecticut, Local, and International Building Codes, and those criteria that take precedent over these plans. Refer to Sheets C-6.1 and C-6.2 for construction notes and details.
- All utility relocations and installations shall be coordinated with each respective utility company prior to construction. Coordinate all utility installation and connection specifications with each respective utility company.
- Roof drains from the proposed building shall be tied into the new storm drainage system, as depicted on the plan. Final locations of the roof drain downspouts shall be coordinated between the architect, the project engineer, and the contractor.
- The locations and elevations of the proposed storm drainage system depicted herein may be modified with the approval of the project engineer to meet field conditions.
- The contractor shall excavate test pits where indicated herein or wherever design conflicts may occur prior to the installation of any portion of either the proposed sanitary sewer or storm drainage systems. The contractor shall notify the project engineer of the test pit schedule. Design conflicts if any, shall be brought to the immediate attention of the project engineer.
- New storm drain pipes greater than 8-inches in diameter shall not have bends. New storm drain pipes of diameter 8-inches or less shall not have bends that exceed 45-degree.
- Depicted locations of the proposed gas service, water service, and underground utilities, electric, telephone, and cable are approximate for approval purposes only. Final locations shall be coordinated between each respective utility company and the owner.

- The contractor shall coordinate the final location and installation of all proposed electric transformers, and other necessary utility splice boxes with each respective utility company.
- A Drainage Maintenance Agreement shall be provided to the City of Stamford prior to obtaining a final Certificate of Occupancy.
- Coordinate utility service connections to building with MEP plans.
- Refer to Sheet C-6.2 for soil boring and test pit data.
- Prior to installation of any infiltration system, deep test pits shall be performed in the presence of the Project Engineer to certify that no restrictive layer, such as matting, has been found and that the system will be installed a minimum of one foot above any restrictive layer. The Design Engineer shall also perform a hydraulic conductivity infiltration test in accordance with the City Stormwater Drainage Manual. Deep test pit and infiltration test results shall be submitted to the City Engineering Bureau for their records.

**DRAINAGE MAINTENANCE SCHEDULE**

- Catch Basins & Drainage Inlets:
  - Catch basins and drainage inlets shall be completely cleaned of accumulated debris and sediments at the completion of construction.
  - For the first year, catch basins and drainage inlets shall be inspected on a quarterly basis.
  - Any accumulated debris within the catch basins/inlets shall be removed and any repairs as required.
  - From the second year onward, visual inspections shall occur twice per year, once in the spring and once in the fall, after fall cleanup of leaves has occurred.
  - Accumulated debris within the catch basins/inlets shall be removed and repairs made as required.
  - Any accumulated debris shall be removed at which time they are within 12 inches of the invert of the outlet pipe.
  - Any additional maintenance required per the manufacturer's specifications shall also be completed.
- Storm Drainage Piping and Manholes/Junction Boxes:
  - All storm drainage piping shall be completely flushed of debris and accumulated sediment at the completion of construction.
  - Manholes/Junction Boxes shall be inspected and repaired on an annual basis.
  - Unless system performance indicates degradation of piping, comprehensive video inspection of storm drainage piping shall occur once every ten years.
- Drywells and Infiltration Systems:
  - All drywells/infiltrators shall be completely cleaned of accumulated debris and sediments upon the completion of construction.
  - For the first year, the drywells/infiltrators shall be inspected on a quarterly basis.
  - Any accumulated debris within the drywells/infiltrators shall be removed and any repairs made to the units as required.
  - From the second year onward, visual inspection shall occur twice per year, once in the spring and once in the fall, after fall cleanup of leaves has occurred.
  - Accumulated debris within the units shall be removed and repairs made as required.
  - Any additional maintenance required per the manufacturer's specifications shall also be completed.
- Roof Gutters - Remove accumulated debris and inspect for damage. Any damage should be repaired as required.
- Disposal of Debris and Sediment - All debris and sediment removed from the stormwater structures and bioretention/bioinfiltration basins shall be disposed of legally. There shall be no dumping of silt or debris into or in proximity to any inland or tidal wetlands.

**BLOCK No. 35**  
**TOTAL AREA = 2.6018 ACRES**  
**"M-G" ZONING DISTRICT**

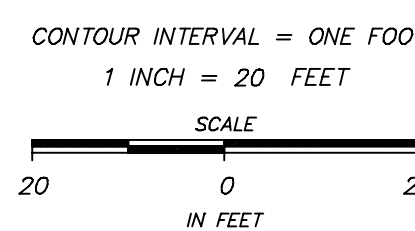


**MATCHLINE A-A**

**(SEE SHEET C-4.2)**

**MATCHLINE A-A**

LEGEND		LEGEND	
---30---	EXISTING CONTOUR	JB	JUNCTION BOX
---30---	EXISTING OFF-SITE CONTOUR (TAKEN FROM CITY GIS)	YD	YARD DRAIN
⊙	EXISTING SPOT ELEVATION	CPP	CORRUGATED PLASTIC PIPE
⊙	EXISTING TOP/BOTTOM SPOT ELEVATION	PVC	POLYVINYL CHLORIDE
⊙	PROPOSED CONTOUR	EV	ELECTRIC VEHICLE
⊙	PROPOSED SPOT ELEVATION	A.O.B.E.	AS ORDERED BY ENGINEER
⊙	DECIDUOUS TREE	V.I.F.	VERIFY IN FIELD
⊙	TREE TO BE REMOVED	T.O.W.	TOP OF WALL
---	UTILITY POLE	---	UNDERGROUND UTILITY SERVICE: C=CABLE, E=ELECTRIC, G=GAS, W=WATER, FM=FORCE MAIN
---	HYDRANT	---	PROPERTY LINE
---	GAS GATE	---	TEST BORING
---	WATER GATE		
---	WATER VALVE		
---	MONITORING WELL		
---	CLEANOUT		
---	OVERHEAD SERVICE WIRES		
---	CATCH BASIN		
---	MANHOLE		
---	STORM DRAIN MANHOLE		
---	SANITARY SEWER MANHOLE		



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PROJECT	WINGS ARENA
PREPARED FOR	WINGS REAL ESTATE HOLDINGS, LLC
LOCATION	50 BARRY PLACE STAMFORD, CONNECTICUT
	<b>STORM DRAINAGE AND UTILITY PLAN</b>

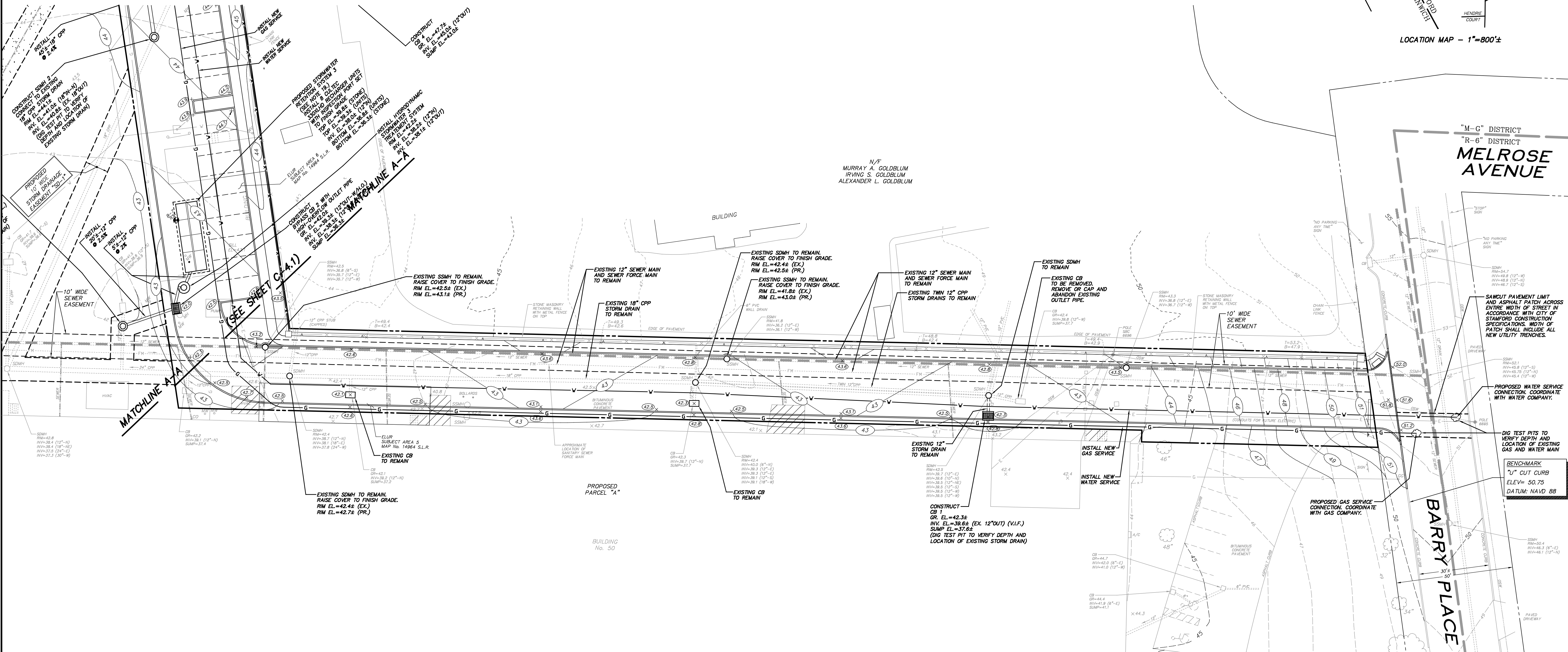
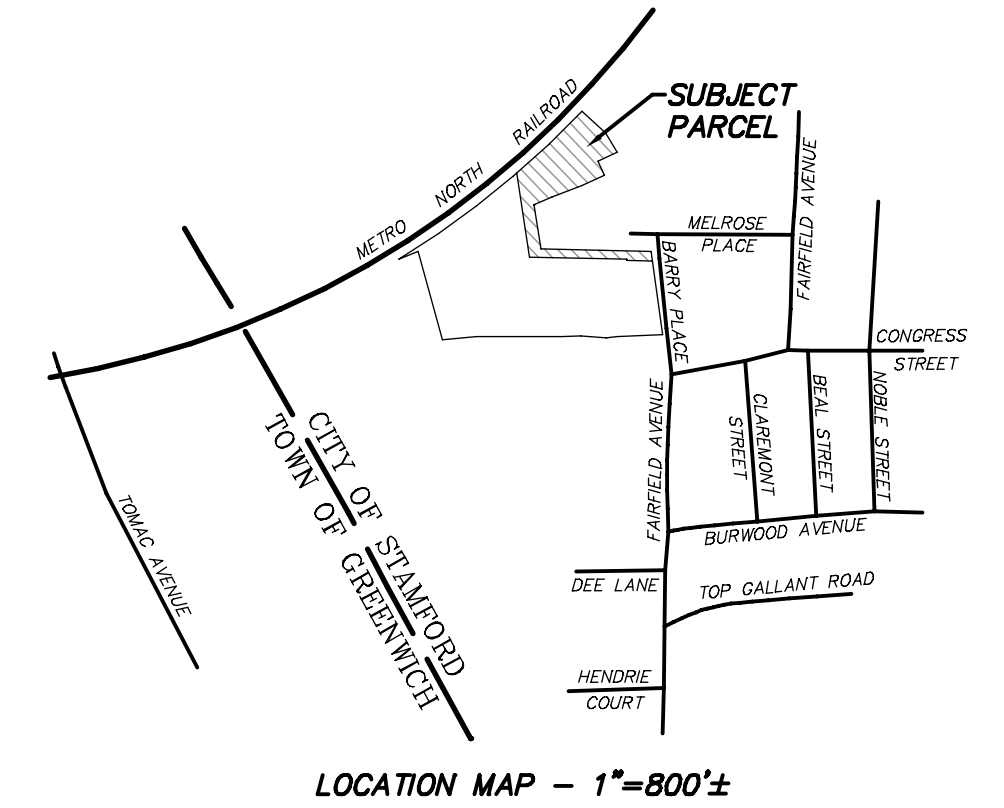
REV.	DATE	DESCRIPTION
0	12-15-22	ZONING SUBMISSION
1		DEREK E. DAUNAIS, CT PE No. 22861
	12-15-22	ENGINEER

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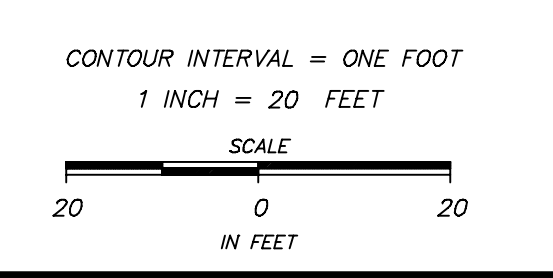
**NOTES:**

1. Refer to Sheet C-4.1 for Storm Drain and Utility Notes.
2. Elevations shown are based on the North American Vertical Datum of 1988 (NAVD 88). The contractor shall coordinate the transfer of a control benchmark into the working area, after site preparation is complete, by a licensed surveyor.
3. The information given on this plan in respect to the location of subsurface structures and utilities indicates only that the structures and utilities exist and no responsibility is assumed by the engineer for the accuracy of the locations shown. Utility information is not guaranteed complete or accurate.
4. In accordance with Connecticut Public Act 87-71 and Connecticut General Statutes Sections 16-345 through 16-358, the owner or the contractor shall be required to verify the depth and location of all utilities prior to commencing construction, and shall contact "Call Before You Dig, Inc." at 1-800-922-4455, 48 hours prior to commencing construction for mark out of underground utilities.
5. A "Street Opening Permit" must be obtained prior to any construction activity in the City of Stamford right-of-way. All construction within the right-of-way shall be coordinated with the City of Stamford Engineering Bureau.
6. The Contractor shall be responsible for coordinating and maintaining traffic flow on adjoining roadways throughout the project.

**BLOCK No. 35**  
**TOTAL AREA = 2.6018 ACRES**  
**"M-G" ZONING DISTRICT**



LEGEND	
---30---	EXISTING CONTOUR
- - -30 - - -	EXISTING OFF-SITE CONTOUR (TAKEN FROM CITY GIS)
x 30.0	EXISTING SPOT ELEVATION
x 30.0 B=29.5	EXISTING TOP/BOTTOM SPOT ELEVATION
(30)	PROPOSED CONTOUR
x (30.0)	PROPOSED SPOT ELEVATION
(Tree symbol)	DECIDUOUS TREE
(Tree symbol)	TREE TO BE REMOVED
(Symbol)	UTILITY POLE
(Symbol)	HYDRANT
(Symbol)	GAS GATE
(Symbol)	WATER GATE
(Symbol)	WATER VALVE
(Symbol)	MONITORING WELL
(Symbol)	CLEANOUT
(Symbol)	OVERHEAD SERVICE WIRES
(Symbol)	CATCH BASIN
(Symbol)	MANHOLE
(Symbol)	STORM DRAIN MANHOLE
(Symbol)	SANITARY SEWER MANHOLE
(Symbol)	JUNCTION BOX
(Symbol)	YARD DRAIN
(Symbol)	CORRUGATED PLASTIC PIPE
(Symbol)	POLYVINYL CHLORIDE
(Symbol)	ELECTRIC VEHICLE
(Symbol)	AS ORDERED BY ENGINEER
(Symbol)	VERIFY IN FIELD
(Symbol)	TOP OF WALL
(Symbol)	UNDERGROUND UTILITY SERVICE: C=CABLE, E=ELECTRIC, G=GAS, W=WATER, FM=FORCE MAIN
(Symbol)	PROPERTY LINE
(Symbol)	TEST BORING



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PROJECT	WINGS ARENA	
PREPARED FOR	WINGS REAL ESTATE HOLDINGS, LLC	
LOCATION	50 BARRY PLACE STAMFORD, CONNECTICUT	
ENGINEER	C-4.2 STORM DRAINAGE AND UTILITY PLAN	
REV.	DATE	DESCRIPTION
0	12-15-22	ZONING SUBMISSION
		DEREK E. DAUNAS, CT PE No. 22861
		12-15-22

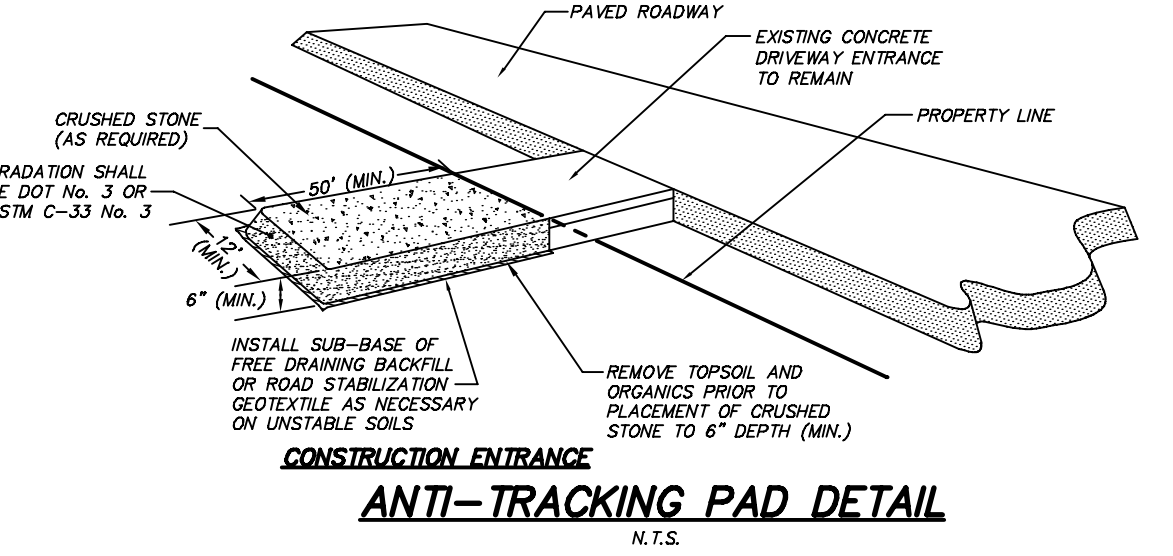
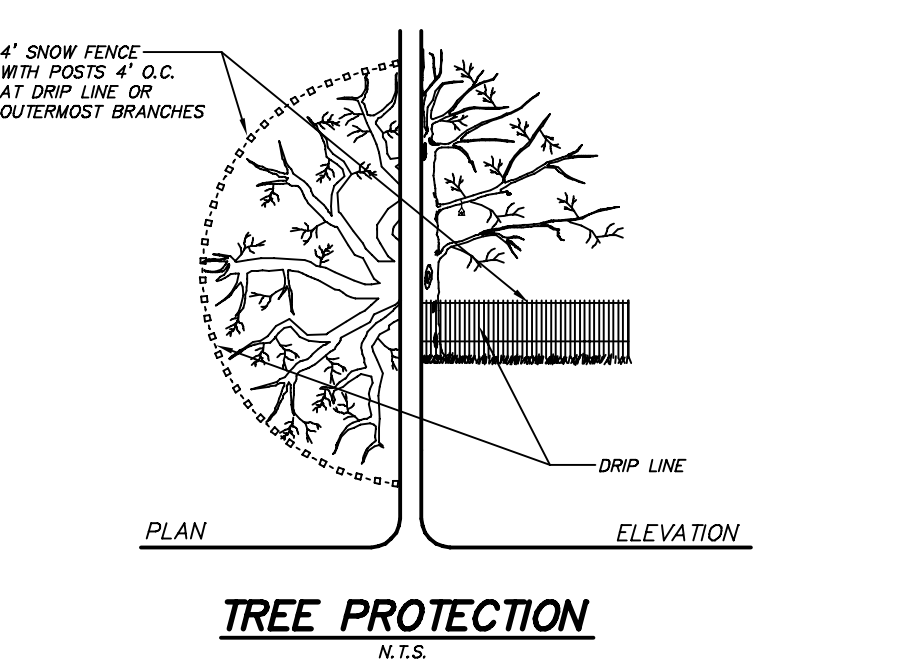
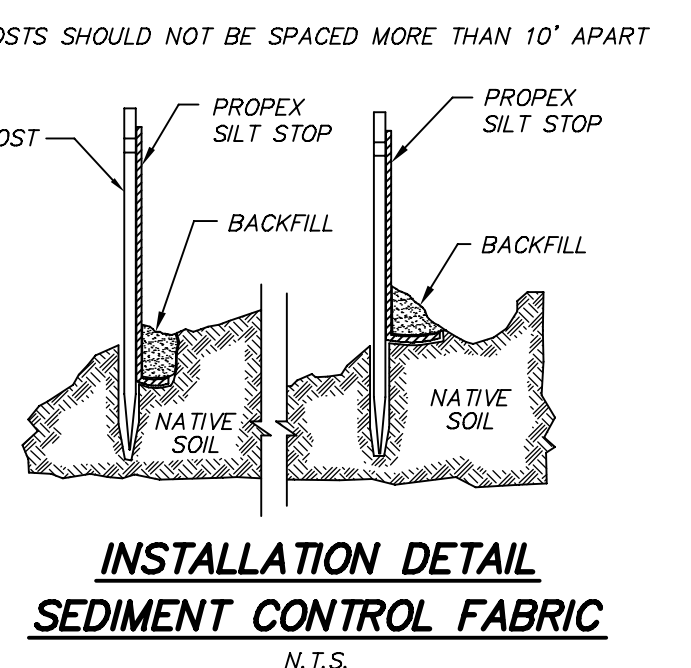
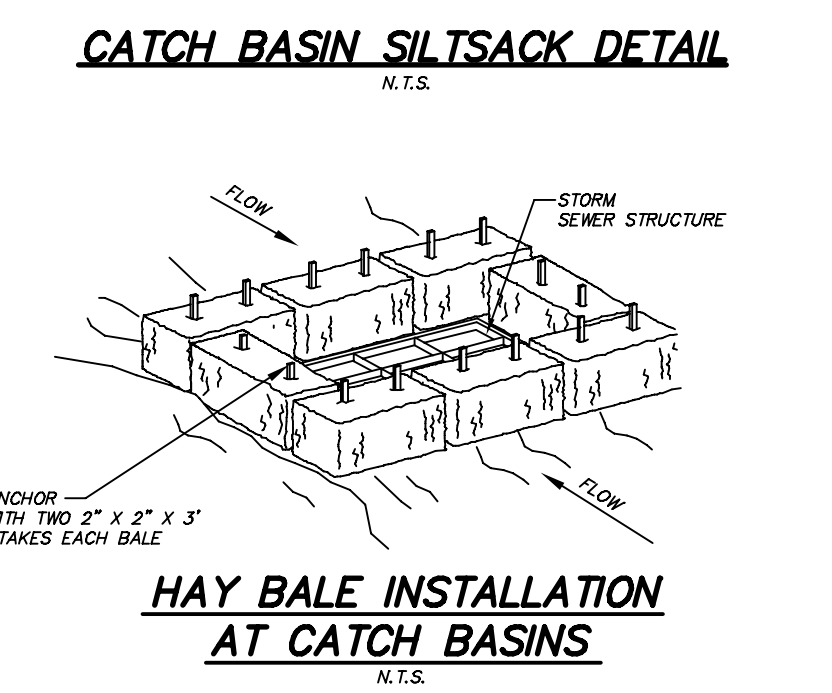
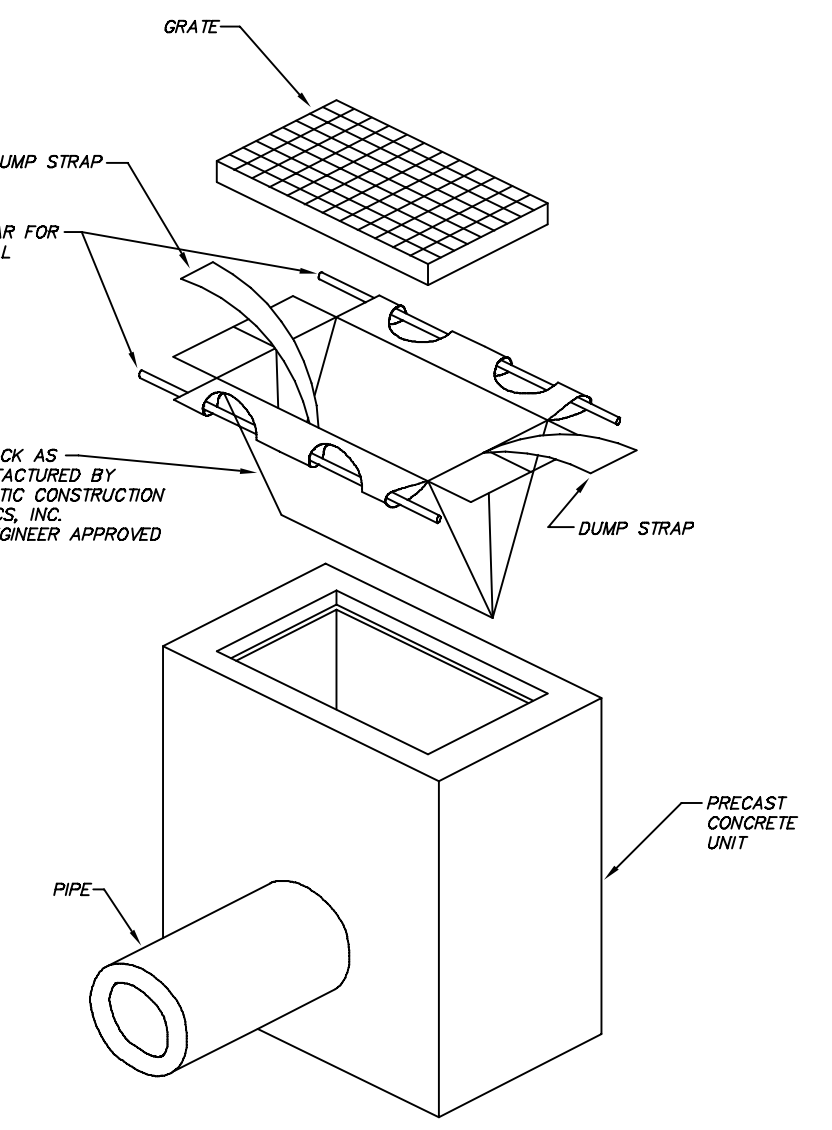
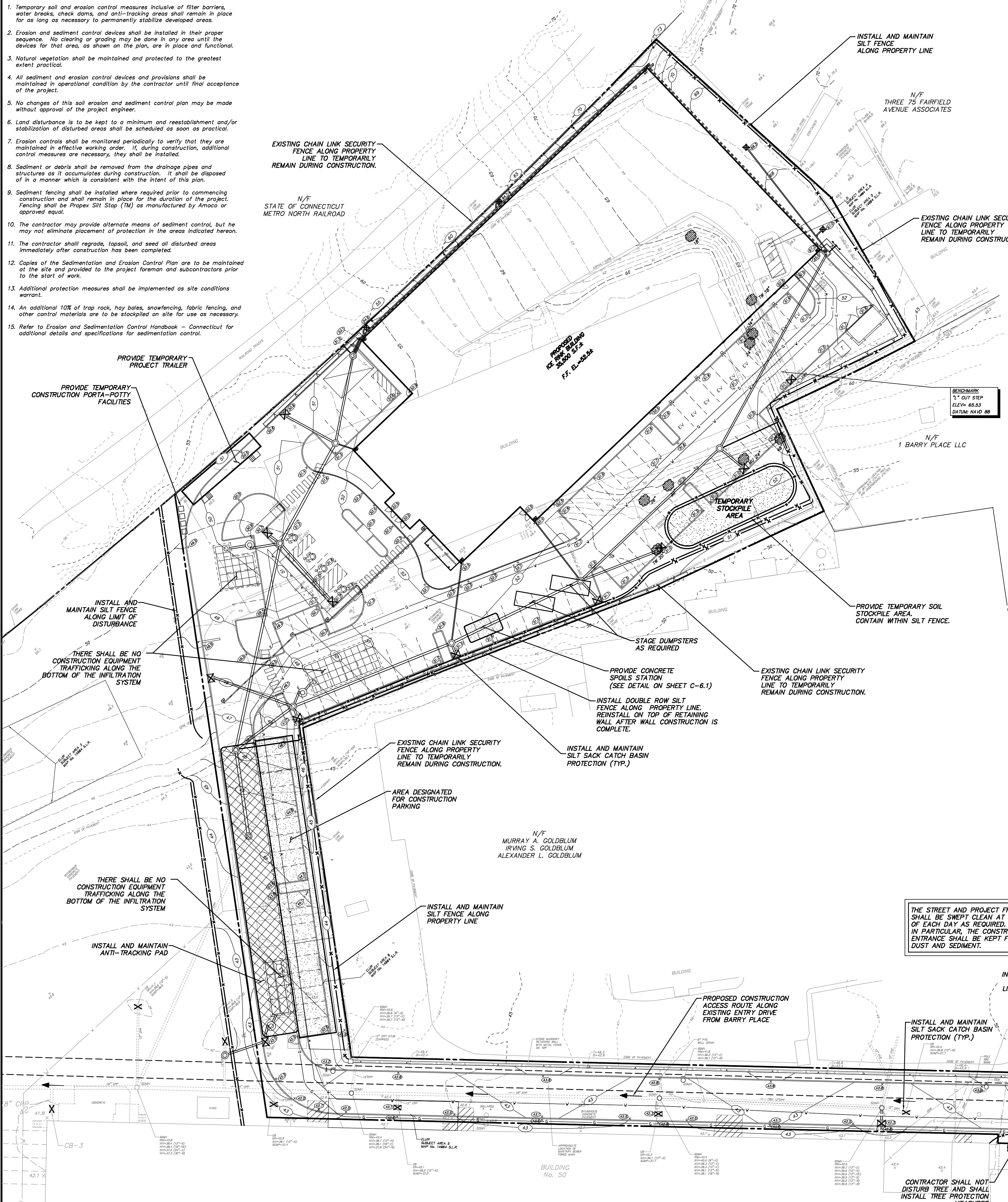
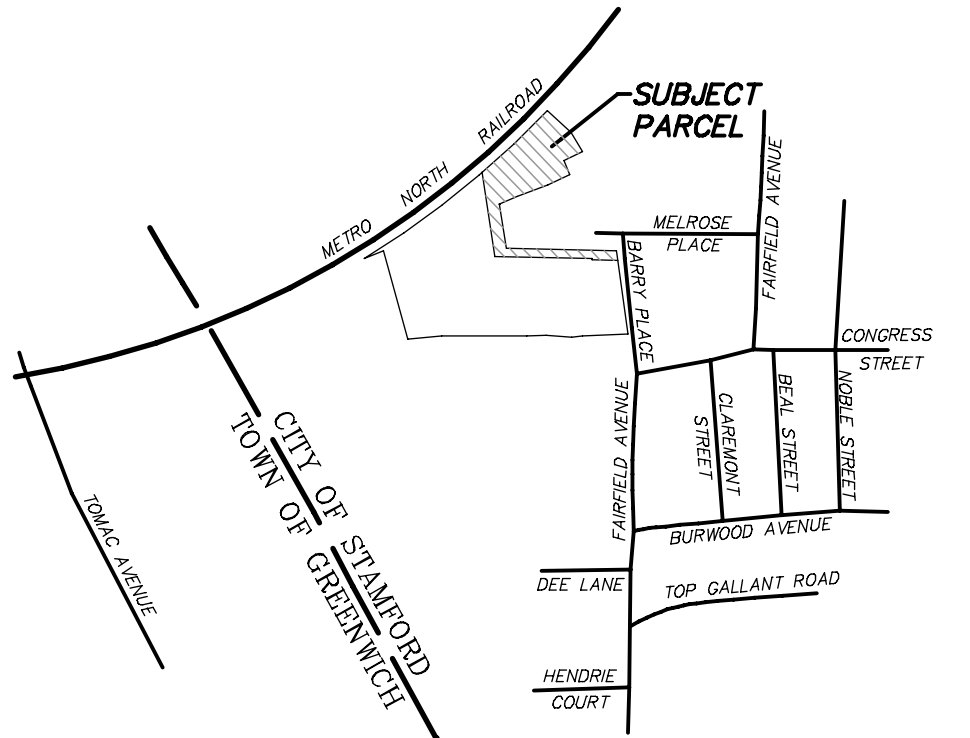
ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.



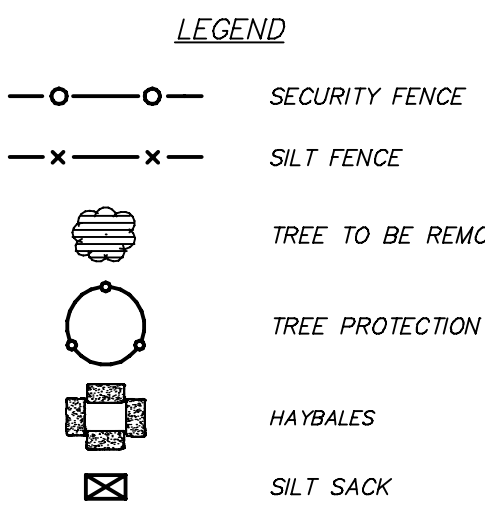
**SEDIMENTATION AND EROSION CONTROL NOTES:**

1. Temporary soil and erosion control measures inclusive of filter barriers, water breaks, check dams, and anti-tracking areas shall remain in place for as long as necessary to permanently stabilize developed areas.
2. Erosion and sediment control devices shall be installed in their proper sequence. No clearing or grading may be done in any area until the devices for that area, as shown on the plan, are in place and functional.
3. Natural vegetation shall be maintained and protected to the greatest extent practical.
4. All sediment and erosion control devices and provisions shall be maintained in operational condition by the contractor until final acceptance of the project.
5. No changes of this soil erosion and sediment control plan may be made without approval of the project engineer.
6. Land disturbance is to be kept to a minimum and reestablishment and/or stabilization of disturbed areas shall be scheduled as soon as practical.
7. Erosion controls shall be monitored periodically to verify that they are maintained in effective working order. If, during construction, additional control measures are necessary, they shall be installed.
8. Sediment or debris shall be removed from the drainage pipes and structures as it accumulates during construction. It shall be disposed of in a manner which is consistent with the intent of this plan.
9. Sediment fencing shall be installed where required prior to commencing construction and shall remain in place for the duration of the project. Fencing shall be Proplex Silt Stop (TM) as manufactured by Amso or approved equal.
10. The contractor may provide alternate means of sediment control, but he may not eliminate placement of protection in the areas indicated hereon.
11. The contractor shall regrade, topsoil, and seed all disturbed areas immediately after construction has been completed.
12. Copies of the Sedimentation and Erosion Control Plan are to be maintained at the site and provided to the project foreman and subcontractors prior to the start of work.
13. Additional protection measures shall be implemented as site conditions warrant.
14. An additional 10% of trap rock, hay bales, snowfencing, fabric fencing, and other control materials are to be stockpiled on site for use as necessary.
15. Refer to Erosion and Sedimentation Control Handbook - Connecticut for additional details and specifications for sedimentation control.

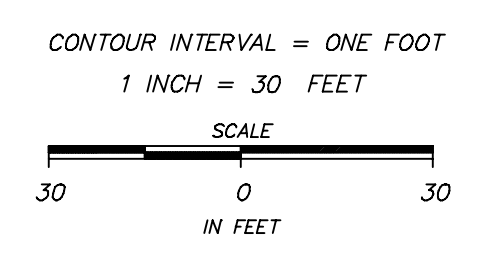
**BLOCK No. 35**  
**TOTAL AREA = 2.6018 ACRES**  
**"M-G" ZONING DISTRICT**



- GENERAL CONSTRUCTION PHASING:**
- PHASE 1: DEMOLITION**
1. Access site using existing driveway entrance along Barry Place.
  2. Contractor parking and stockpiling to be on-site.
  3. Remove vegetation.
  4. Remove existing structures, hardscapes, and site features, excluding the existing access driveway.
  4. Install sedimentation and erosion controls.
- PHASE 2: SITE GRADING/FOUNDATION CONSTRUCTION**
1. Rough in proposed driveway and construction access.
  2. Rough grade site.
  3. Construct retaining walls.
  4. Excavate for proposed building foundation.
  5. Construct proposed building foundation.
  6. Backfill and rough grade around building foundation.
- PHASE 3: SITE UTILITIES**
1. Install storm drainage system.
  2. Install utilities and sewer lateral connection.
- PHASE 4: BUILDING CONSTRUCTION**
1. Construct proposed building.
- PHASE 5: SITE FEATURES**
1. Construct remainder of retaining walls, as required.
  2. Construct curbing and hardscapes.
  3. Construct driveway.
  4. Fine grade and stabilize all slopes.
  5. Landscape as required.
  6. Remove sedimentation and erosion controls.
- PHASE 6: ENTRY DRIVEWAY**
1. Remove existing pavement.
  2. Construct new entry driveway and curbing.
  3. Fine grade and stabilize slopes.
  4. Landscape as required.
  5. Remove sedimentation and erosion controls.



**NOTE:**  
 THIS PLAN SHALL BE USED EXPRESSLY FOR THE IMPLEMENTATION OF SEDIMENTATION AND EROSION CONTROL MEASURES. IN NO WAY IS THIS PLAN INTENDED FOR PURPOSES OTHER THAN SEDIMENTATION AND EROSION CONTROL MEASURES.



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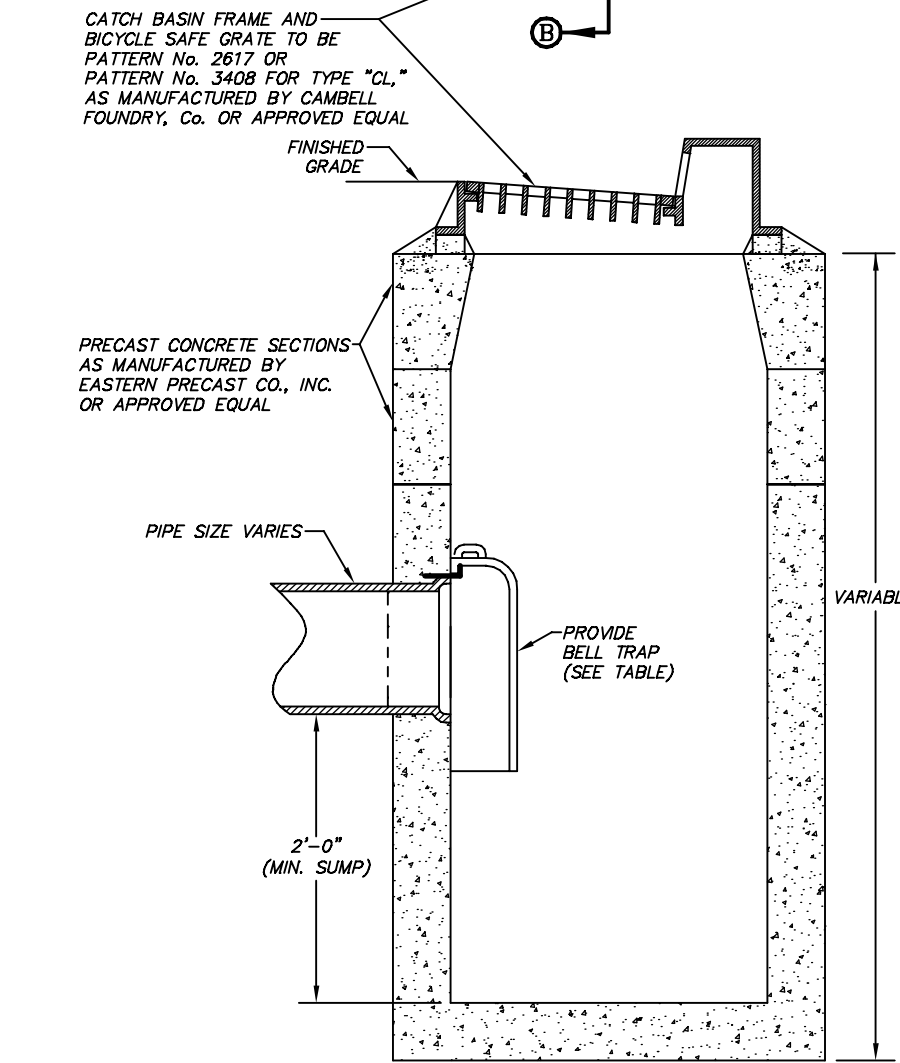
REV.	DATE	DESCRIPTION
0	12-15-22	ZONING SUBMISSION
REV.	DATE	DESCRIPTION
		DEREK E. DAUNAIS, CT PE No. 22861
		ENGINEER 12-15-22

PROJECT	WINGS ARENA
PREPARED FOR	WINGS REAL ESTATE HOLDINGS, LLC
LOCATION	50 BARRY PLACE STAMFORD, CONNECTICUT
C-5.0	SEDIMENTATION AND EROSION CONTROL PLAN

SHAW-WALKER SURVEYING & ENGINEERING, P.C.

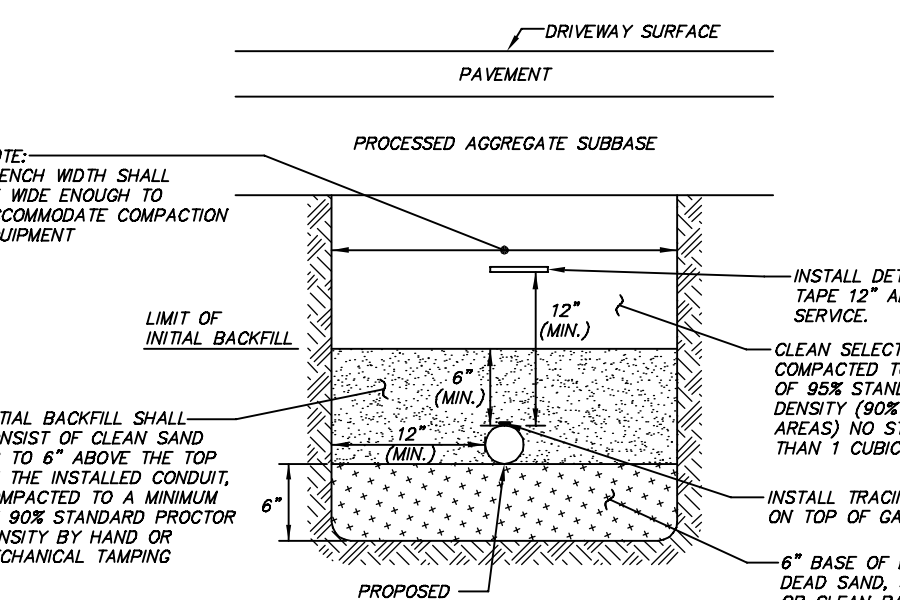


PIPE SIZE	CAMPBELL FOUNDRY PATTERN NUMBER
6"	2563
8"	2563
10"	2563
12"	2563
14"	2564
16"	2565



**SINGLE CATCH BASIN DETAIL (TYPE "C")**  
N.T.S.

**NOTES:**  
CATCH BASIN SHALL HAVE A MINIMUM SUMP OF 2 FEET AS MEASURED FROM THE LOWEST PIPE INVERT ELEVATION TO THE INTERIOR BOTTOM OF THE STRUCTURE.  
CONTRACTOR SHALL PURCHASE AND INSTALL A SEPARATE SUMP SECTION, NO OUTLET OR INLET PIPES SHALL PENETRATE THE BOTTOM SUMP SECTION.  
REFER TO DEVELOPMENT PLAN FOR SIZES, LOCATIONS, AND INVERT ELEVATIONS OF ALL PIPES.

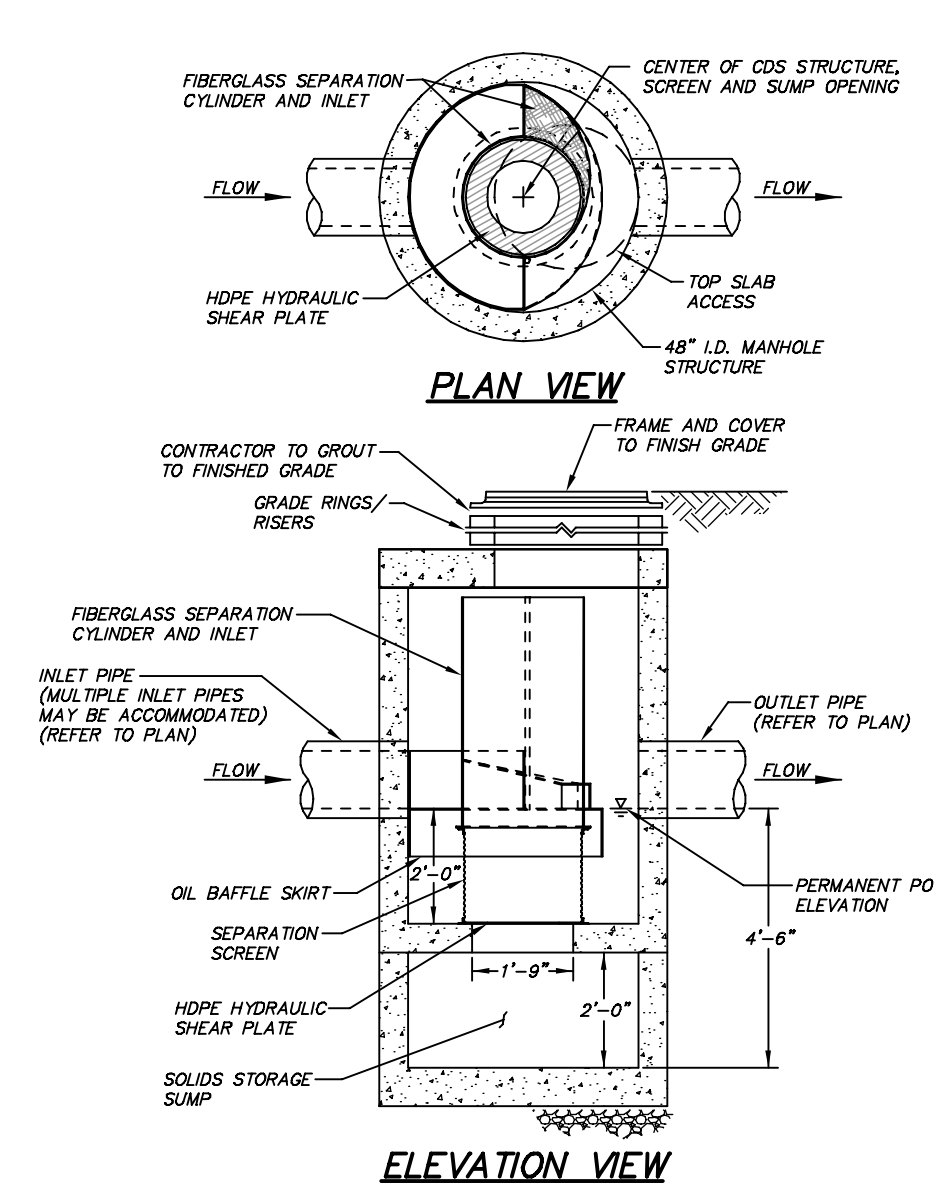


**DETAIL FOR GAS SERVICE INSTALLATION**  
N.T.S.

**NOTES:**  
1. THE CONTRACTOR SHALL HAVE ALL MATERIAL SELECTION AND INSTALLATION SPECIFICATIONS APPROVED BY THE GAS COMPANY PRIOR TO INSTALLATION.  
2. ACTUAL NUMBER AND SIZE OF SERVICES TO BE INSTALLED MAY VARY. CONTRACTOR SHALL COORDINATE ACTUAL NUMBER AND SIZE OF SERVICES TO BE INSTALLED WITH BOTH THE OWNER AND THE GAS COMPANY.

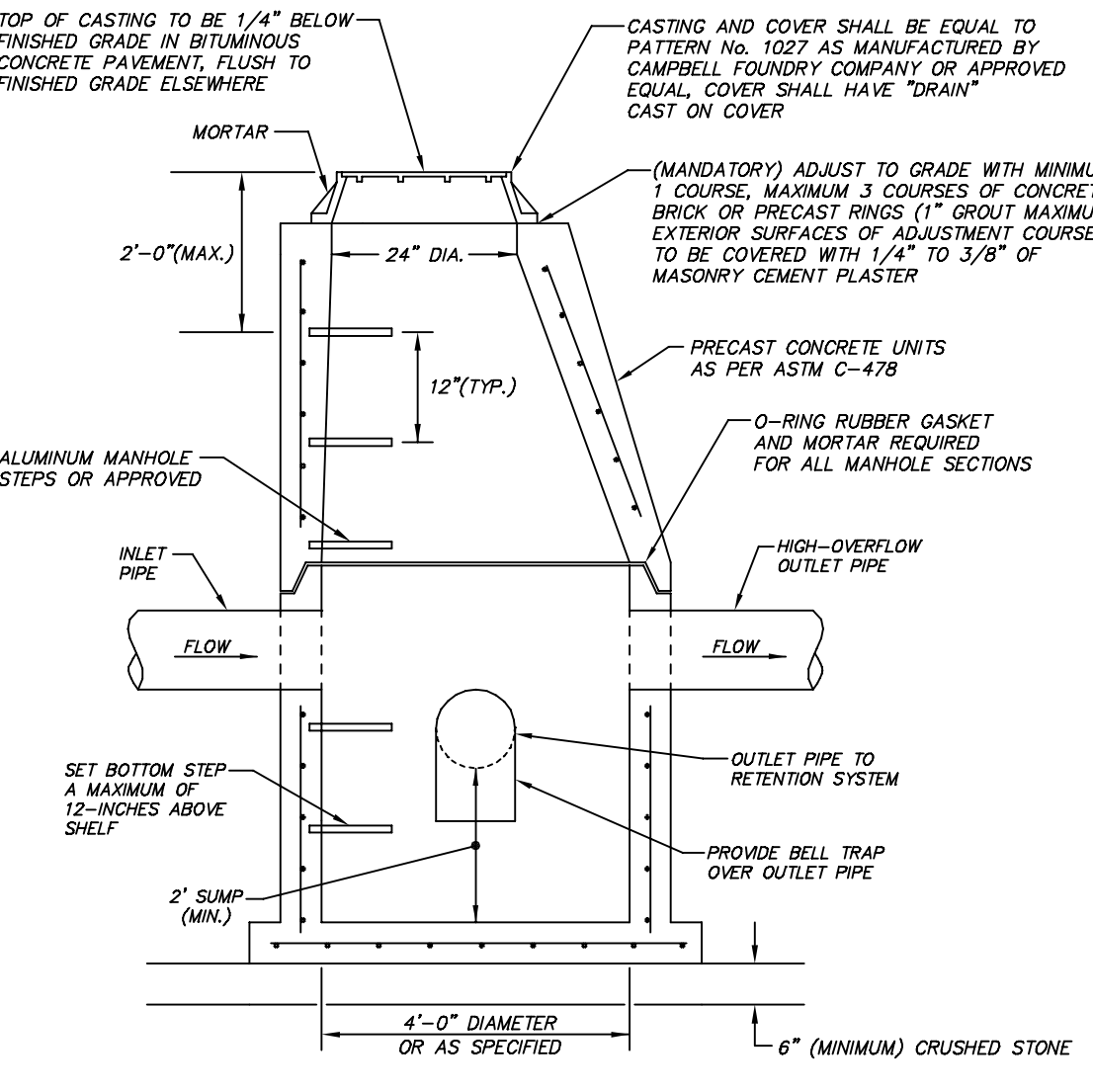
Soil Boring Data:  
Soil borings performed on November 28, 2022 through December 5, 2022.

B-A 0.0'----- Asphalt 0.4'----- Brown black fine to coarse sand with some silt little gravel (fill) 1.0'----- Cobbles with fractured partly weathered bedrock 6.0'----- Augur Refusal/Bedrock 11.0'----- No Groundwater End boring @ 11.0'	B-C 0.0'----- Asphalt 0.5'----- Brown fine coarse sand and silt little gravel 2.5'----- Fractured Bedrock 6.0'----- No Groundwater End boring @ 6.0'	B-E 0.0'----- Asphalt 0.4'----- Brown fine to medium sand and silt medium sand and fine to coarse gravel with some silt (fill) 1.0'----- Partly decomposed bedrock 6.5'----- Augur Refusal/Bedrock 9.5'----- No Groundwater End boring @ 9.5' (refusal)	B-G 0.0'----- Topsoil 0.5'----- Brown fine to medium sand and silt, some fine gravel with silt 1.5'----- Partly decomposed bedrock 2.2'----- Augur Refusal/Bedrock 2.2'----- No Groundwater End boring @ 2.2' (refusal)	B-2 0.0'----- Topsoil 0.2'----- Brown fine to medium sand and silt, some fine gravel 3.0'----- Partly decomposed bedrock 10.2'----- End boring @ 10.2' (refusal)	B-5 0.0'----- Asphalt 0.3'----- Gravel Base 1.0'----- Brown fine to medium sand and fine gravel with some silt (fill) 5.0'----- Grey fine to medium sand and silt 8.5'----- Brown fine to medium sand and silt with some gravel (possibly partly decomposed bedrock) 11.0'----- Augur Refusal 11.0'----- No Groundwater End boring @ 11.0' (refusal)	B-3 0.0'----- Asphalt 0.4'----- Dark brown fine to medium sand and fine gravel with some silt (fill) 2.0'----- Augur Refusal 2.0'----- No Groundwater End boring @ 2.0' (refusal)	B-1 0.0'----- Asphalt 0.4'----- Brown fine to coarse sand, little silt, fine gravel 5.0'----- Brown fine to coarse sand, little silt, fine gravel 6.0'----- Boulders and/or fractured bedrock 10.0'----- Brown fine to coarse sand with some fine gravel, little silt (possibly partly decomposed bedrock) 6.5'----- Augur Refusal/Bedrock 15.0'----- partly decomposed/fractured bedrock 20.7'----- No Groundwater End boring @ 20.7'	B-4/B-F 0.0'----- Asphalt 0.3'----- Gravel Base 1.0'----- Brown fine to medium sand and silt little fine to coarse gravel (fill) 3.0'----- Grey brown fine sand and silt, little cobbles 6.0'----- Partly weathered bedrock 6.5'----- Augur Refusal/Bedrock 6.5'----- No Groundwater End boring @ 6.5'	B-6 0.0'----- Asphalt 0.6'----- Dark brown tan fine to medium sand and silt with little fine to coarse gravel (fill) 3.0'----- Grey fine sand and silt with little fine to coarse gravel 9.0'----- No Groundwater End boring @ 9.0'	B-7 0.0'----- Asphalt 0.5'----- Brown fine to medium sand and fine to coarse gravel, little silt (fill) 5.0'----- Grey fine to medium sand and silt with little fine gravel 8.0'----- Partly decomposed bedrock 8.5'----- Spoon Refusal 8.5'----- No Groundwater End boring @ 8.5' (refusal)
---	---	--	--	--	---	--	---	---	--	---



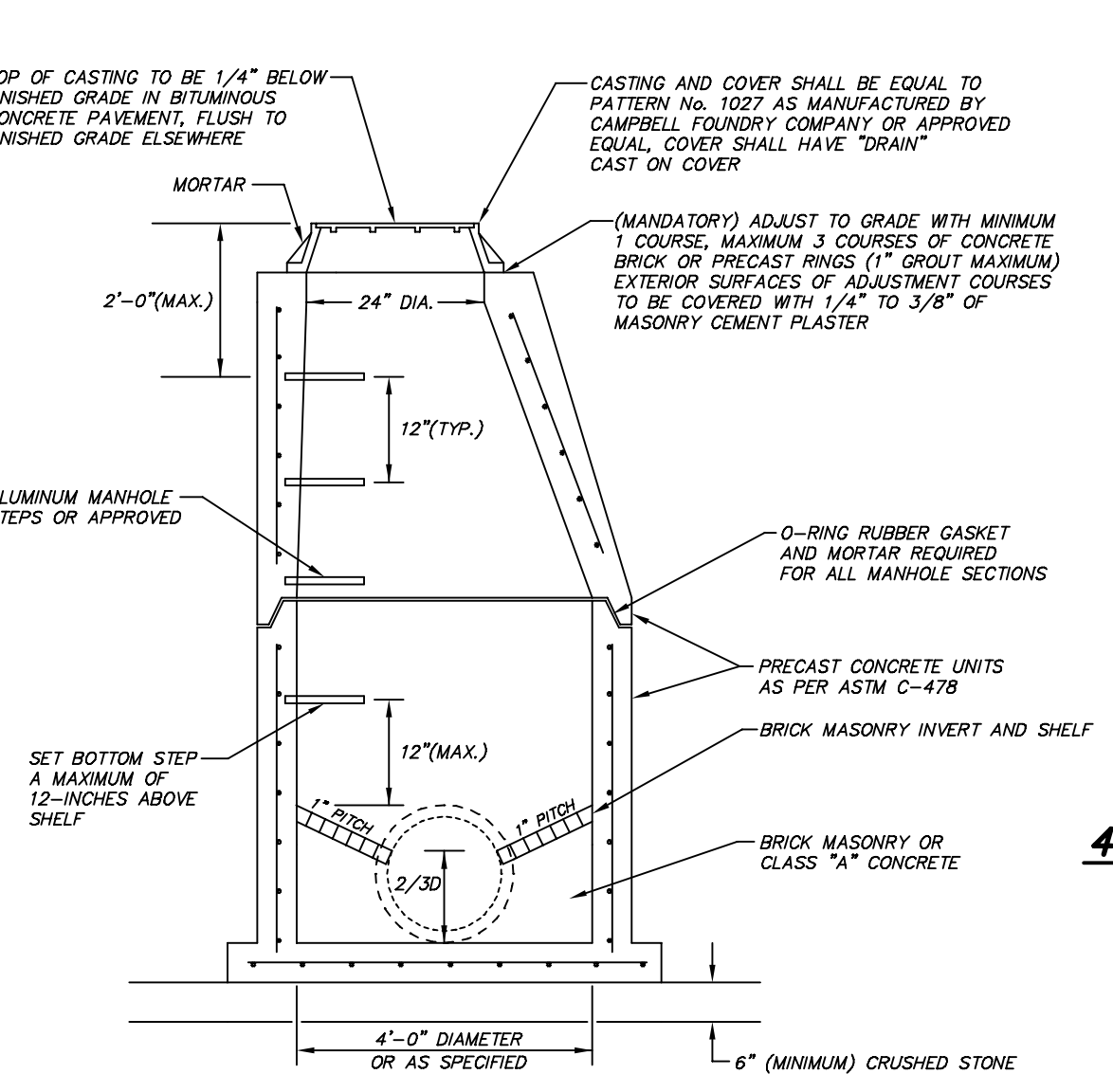
**STORMWATER TREATMENT SYSTEM TYPICAL CONTECH CDS2015-4 DETAIL**  
N.T.S.

**NOTES:**  
1. FINAL MODEL SIZE AND DIMENSIONS OF STORMWATER TREATMENT SYSTEM SHALL BE DETERMINED BY THE SYSTEM MANUFACTURER AND APPROVED BY THE SUPERVISING ENGINEER. ALTERNATE STORMWATER TREATMENT SYSTEM STRUCTURES AND DESIGNS SHALL BE APPROVED BY THE SUPERVISING ENGINEER.  
2. STORMWATER TREATMENT SYSTEM CDS2015-4 IS MANUFACTURED BY CONTECH ENGINEERING SOLUTIONS LLC, 14805-358-2044.  
3. DESIGN OF INTERNAL PVC PIPING AND BAFFLES WILL BE PROVIDED BY CONTECH ENGINEERING SOLUTIONS LLC.  
4. LOCATION AND SIZE OF MANHOLE OPENINGS MAY BE ADJUSTED BY LICENSED MANUFACTURER.  
5. STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET HS20 (AASHTO M306) LOAD RATING.



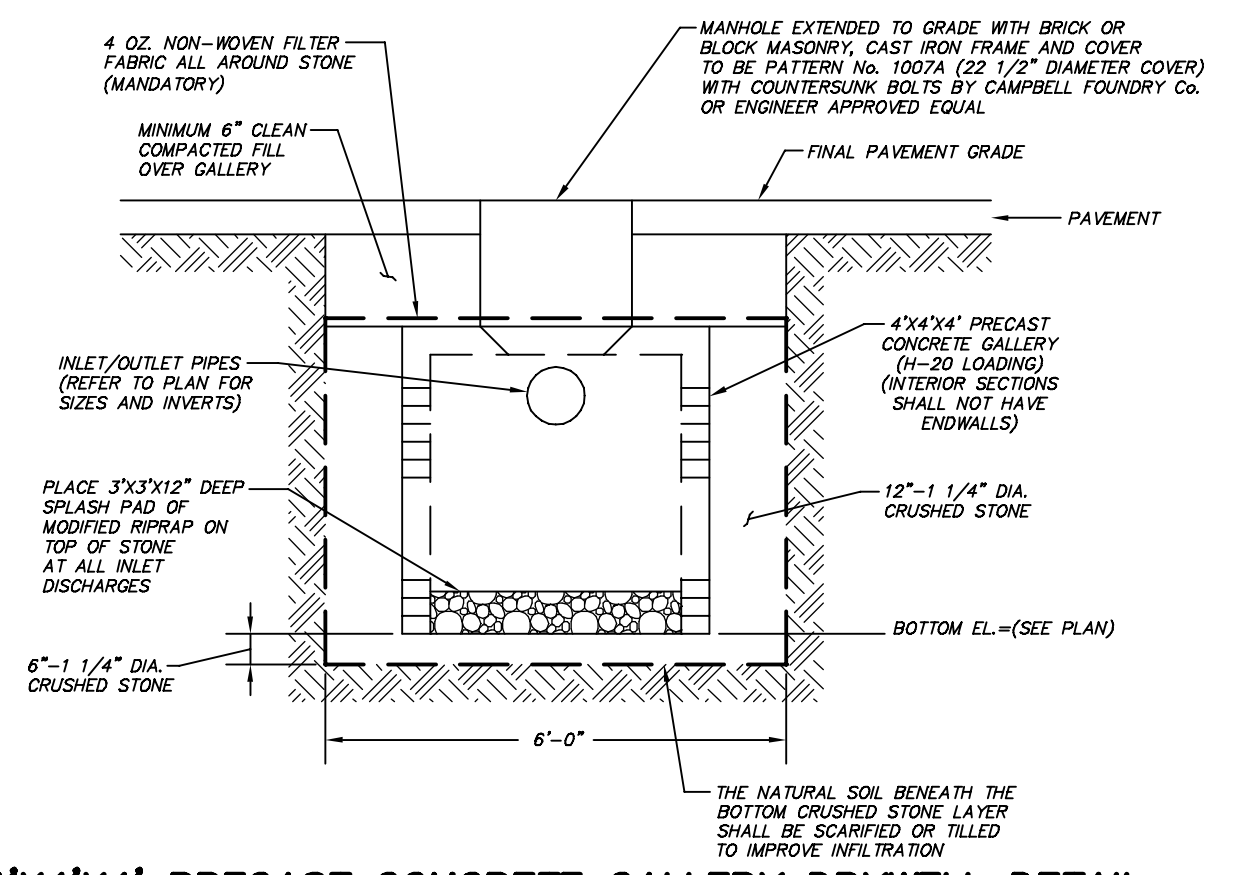
**STORM DRAIN MANHOLE WITH HIGH-OVERFLOW OUTLET DETAIL**  
N.T.S.

**NOTES:**  
MANHOLE SHALL HAVE A MINIMUM SUMP OF 2 FEET AS MEASURED FROM THE LOWEST PIPE INVERT ELEVATION TO THE INTERIOR BOTTOM OF THE STRUCTURE.  
REFER TO DEVELOPMENT PLAN FOR SIZES, LOCATIONS, AND INVERT ELEVATION OF ALL PIPES.



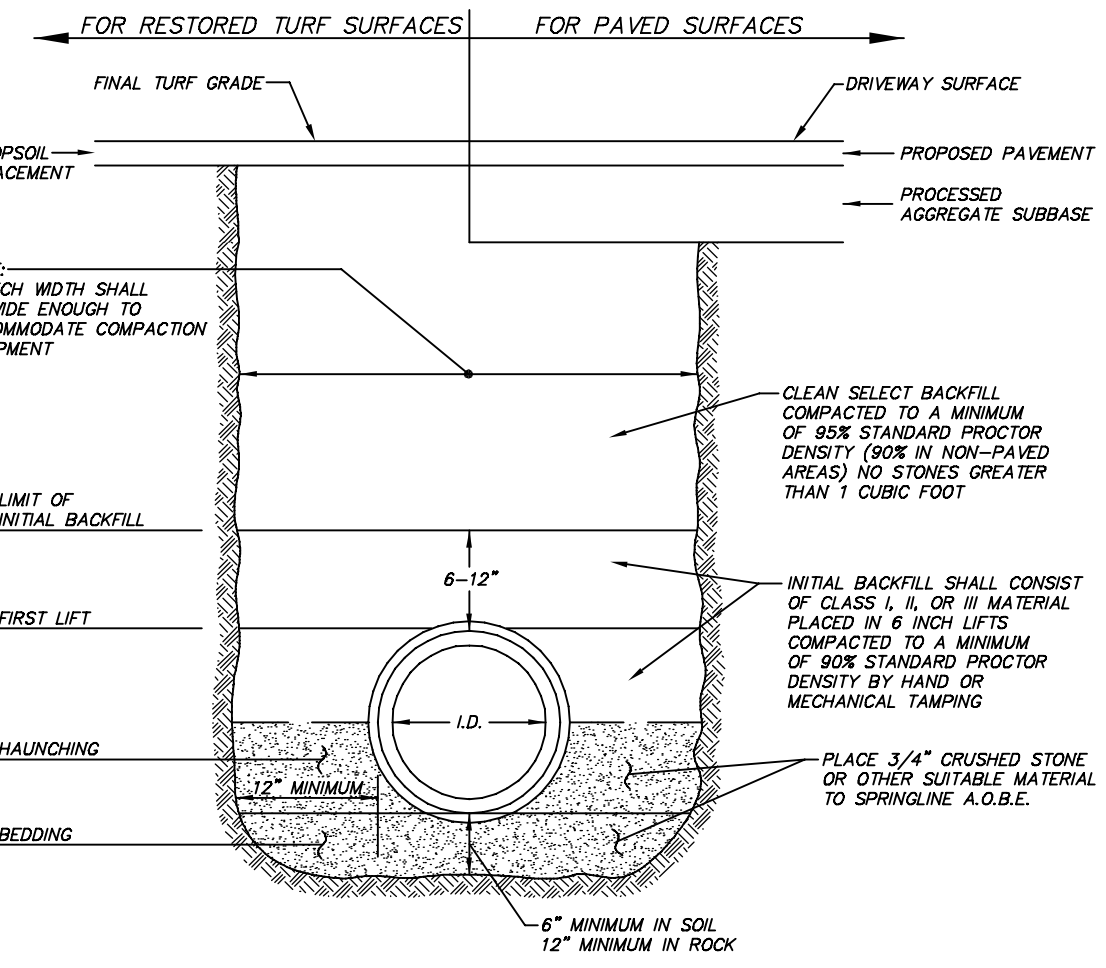
**TYPICAL STORM DRAIN MANHOLE DETAIL**  
N.T.S.

**NOTE:** REFER TO DEVELOPMENT PLAN FOR SIZES, LOCATIONS, AND INVERT ELEVATIONS OF ALL PIPES.



**4'X4' PRECAST CONCRETE GALLERY DRYWELL DETAIL FOR STORMWATER RETENTION/INFILTRATION SYSTEMS (RS-1 & RS-2)**  
N.T.S.

**NOTE:** DURING CONSTRUCTION MUDDY AND TURBID WATER SHALL BE PREVENTED FROM ENTERING THE DRYWELLS.

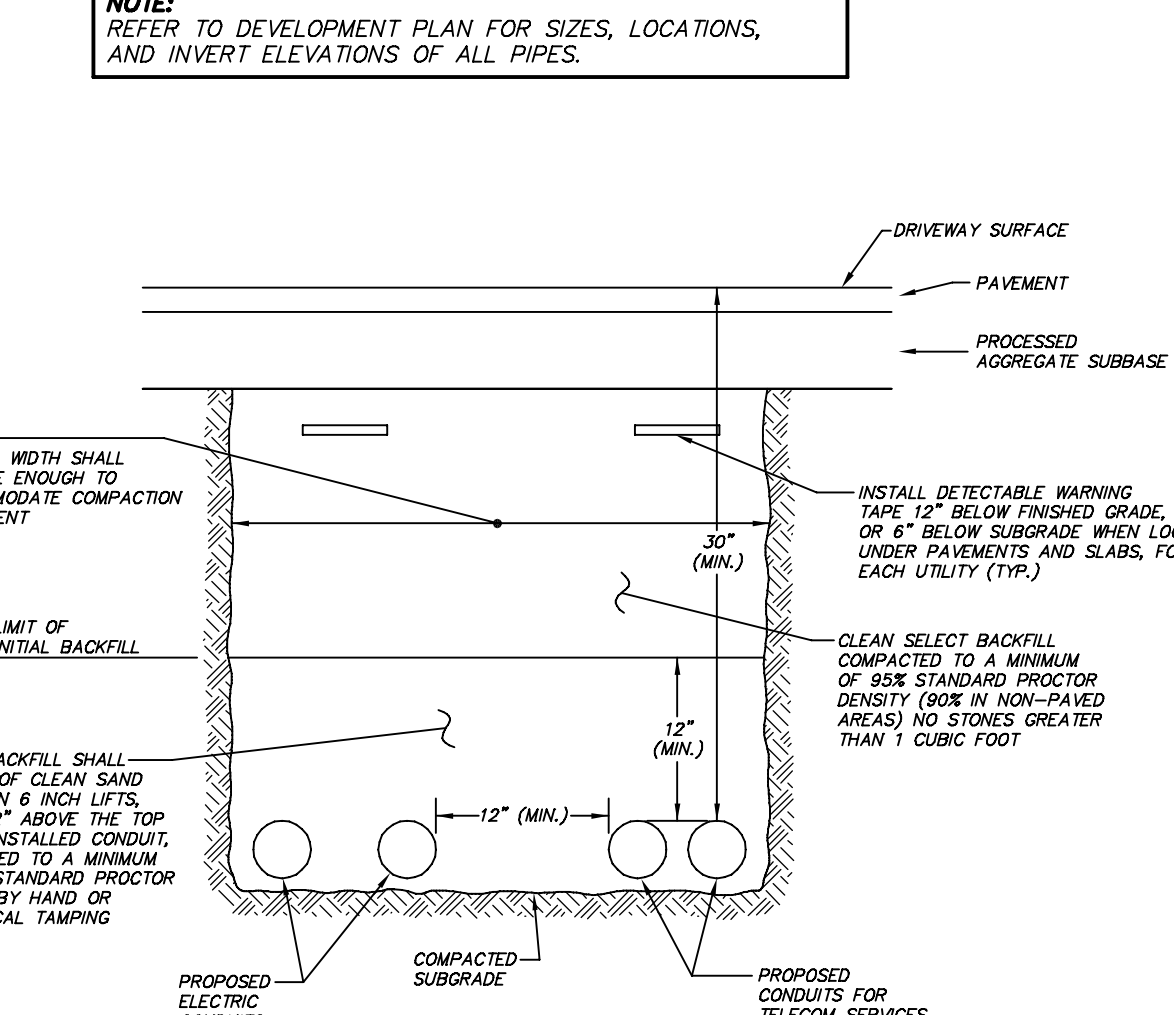


**DETAIL FOR WATER SERVICE INSTALLATION**  
N.T.S.

**NOTES:**  
1. THE CONTRACTOR SHALL HAVE ALL MATERIAL SELECTION AND INSTALLATION SPECIFICATIONS APPROVED BY THE AQUARIUM WATER COMPANY PRIOR TO INSTALLATION.  
2. ACTUAL NUMBER AND SIZE OF SERVICES TO BE INSTALLED MAY VARY. CONTRACTOR SHALL COORDINATE ACTUAL NUMBER AND SIZE OF SERVICES TO BE INSTALLED WITH BOTH THE OWNER AND THE AQUARIUM WATER COMPANY.

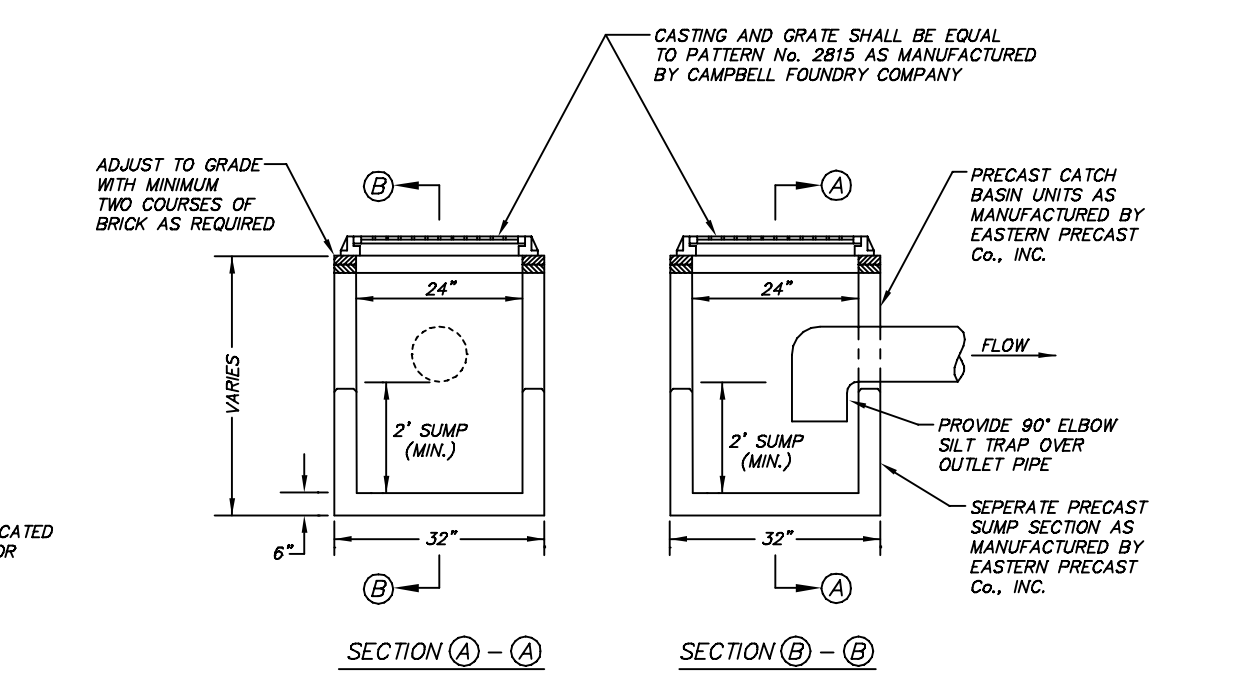
**DETAIL FOR PVC SANITARY SEWER AND PVC/CPP STORM DRAIN INSTALLATION**  
N.T.S.

**NOTES:**  
1. REFER TO ASTM D2321 (STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS) FOR TRENCHING SPECIFICATIONS.



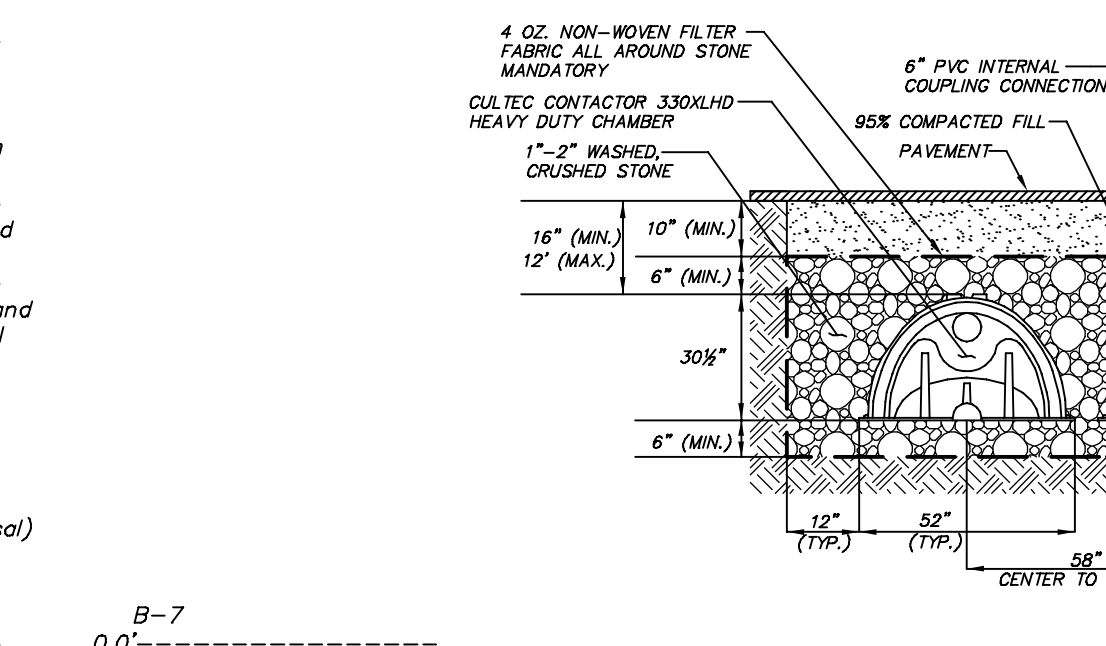
**DETAIL FOR UNDERGROUND UTILITY TRENCH**  
N.T.S.

**NOTES:**  
1. COORDINATE INSTALLATION WITH EACH RESPECTIVE UTILITY COMPANY PRIOR TO INSTALLATION.  
2. ACTUAL NUMBER AND SIZE OF CONDUITS TO BE INSTALLED MAY VARY. CONTRACTOR SHALL COORDINATE ACTUAL NUMBER AND SIZE OF CONDUITS TO BE INSTALLED WITH BOTH THE OWNER AND EACH RESPECTIVE UTILITY COMPANY.



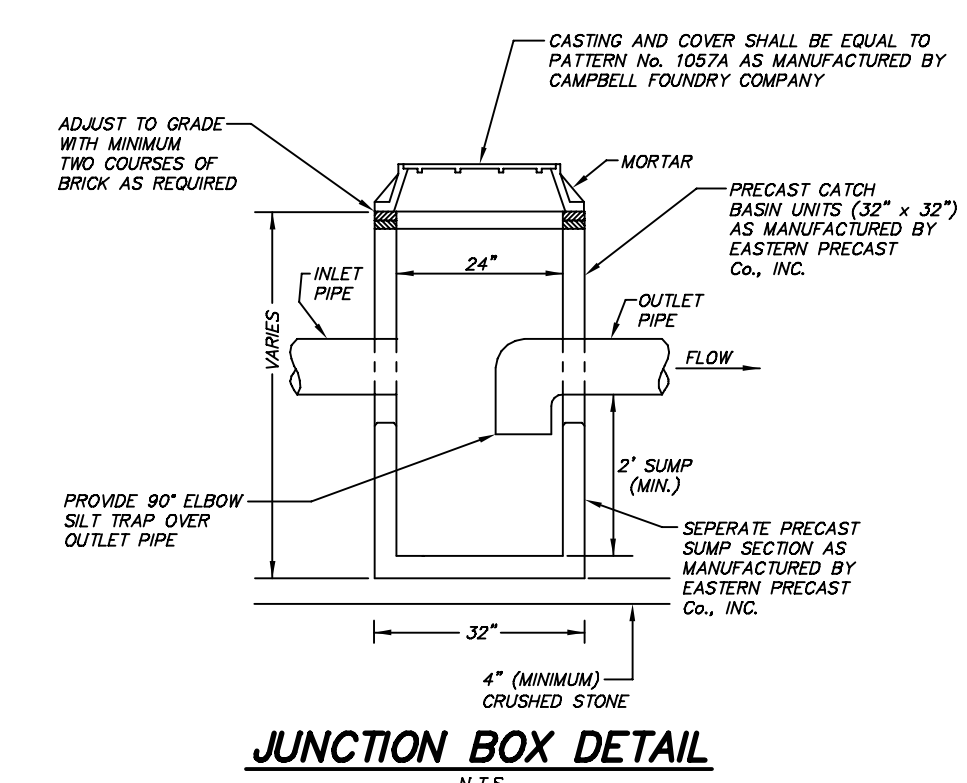
**24'X24' YD/CB DETAIL TYPE "C"**  
N.T.S.

**NOTES:**  
CATCH BASIN SHALL HAVE A MINIMUM SUMP OF 2 FEET AS MEASURED FROM THE LOWEST PIPE INVERT ELEVATION TO THE INTERIOR BOTTOM OF THE STRUCTURE.  
CONTRACTOR SHALL PURCHASE AND INSTALL A SEPARATE SUMP SECTION, NO OUTLET OR INLET PIPES SHALL PENETRATE THE BOTTOM SUMP SECTION.  
REFER TO DEVELOPMENT PLAN FOR SIZES, LOCATIONS, AND INVERT ELEVATIONS OF ALL PIPES.



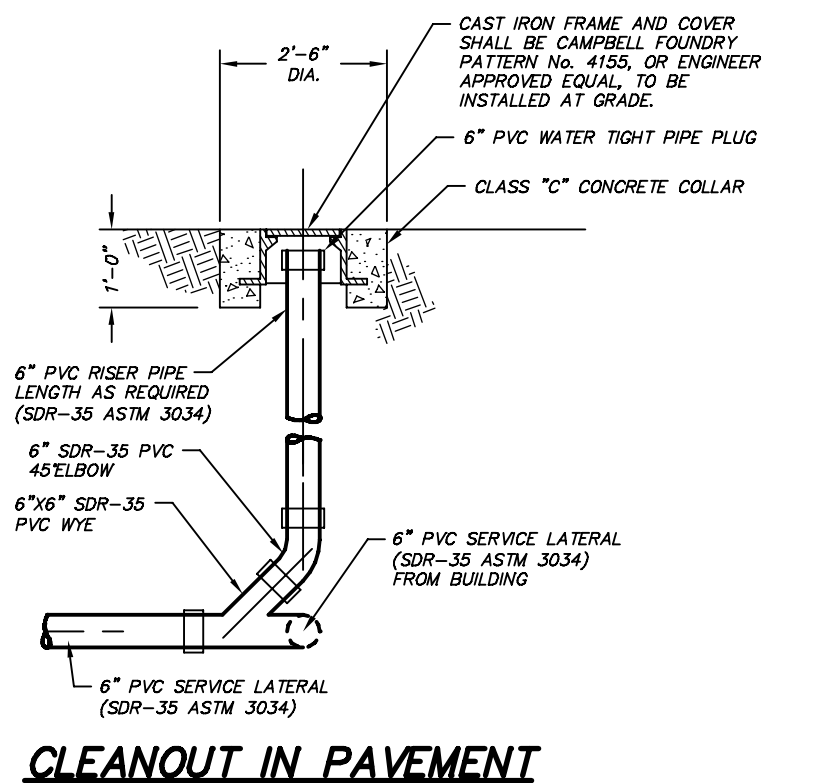
**TYPICAL CROSS SECTION DETAIL CULTEC CHAMBER SYSTEM RECHARGER 330XLHD PAVED (H-20) LOADING**

**NOTES:**  
1. STORMWATER CHAMBERS SHALL BE MANUFACTURED BY CULTEC, INC. (800) 428-5832 OR ENGINEER APPROVED EQUAL.  
2. ALL CHAMBERS SHALL BE INSTALLED ACCORDING TO MANUFACTURER SPECIFICATIONS.  
3. THE SOILS BENEATH THE INFILTRATION SYSTEM SHALL BE SCARIFIED OR TILLED TO IMPROVE INFILTRATION.



**JUNCTION BOX DETAIL**  
N.T.S.

**NOTES:**  
JUNCTION BOX SHALL HAVE A MINIMUM SUMP OF 2 FEET AS MEASURED FROM THE LOWEST PIPE INVERT ELEVATION TO THE INTERIOR BOTTOM OF THE STRUCTURE.  
CONTRACTOR SHALL PURCHASE AND INSTALL A SEPARATE SUMP SECTION, NO OUTLET OR INLET PIPES SHALL PENETRATE THE BOTTOM SUMP SECTION.  
REFER TO DEVELOPMENT PLAN FOR SIZES, LOCATIONS, AND INVERT ELEVATION OF ALL PIPES.



**CLEANOUT IN PAVEMENT**  
N.T.S.

**D'ANDREA SURVEYING & ENGINEERING, P.C.**  
LAND PLANNERS  
ENGINEERS  
SURVEYORS  
P.O. BOX 549  
RIVERIDE, CT 06878  
6 NEIL LANE  
TEL. 637-1779

REV.	DATE	DESCRIPTION
0	12-15-22	ZONING SUBMISSION
		12-15-22
		ENGINEER

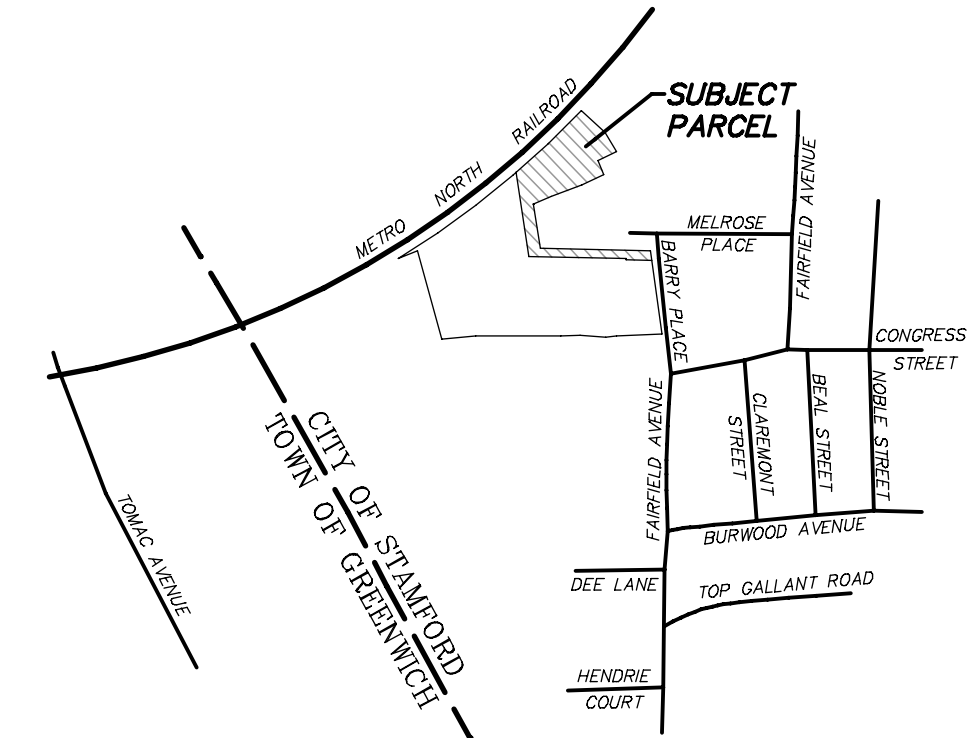
PROJECT	WINGS ARENA
PREPARED FOR	WINGS REAL ESTATE HOLDINGS, LLC
LOCATION	50 BARRY PLACE STAMFORD, CONNECTICUT
PROJECT NO.	C-6.2
DATE	DETAILS

ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

**NOTES:**

1. The purpose of this plan is only to highlight the Low Impact Development portions of the project, as per City requirements. This plan shall not be used for any other portion of construction.
2. Elevations shown are based on the North American Vertical Datum of 1988 (NAVD 88).
3. Refer to Sheets C-3.1, C-3.2, C-4.1, and C-4.2 for a detailed depiction of the proposed site development and storm drainage improvements.
4. Refer to Sheet C-6.2 for soil boring data.

**BLOCK No. 35**  
**TOTAL AREA = 2.6018 ACRES**  
**"M-G" ZONING DISTRICT**



LOCATION MAP - 1"=800'±

**HYDROLOGIC SOIL GROUP SUMMARY**

MAP UNIT SYMBOL	MAP UNIT NAME	HYDROLOGIC SOIL GROUP (HSG)
306	UDORTMENTS-URBAN LAND COMPLEX	B
307	URBAN LAND	D

SOIL INFORMATION TAKEN FROM THE NATURAL RESOURCES CONSERVATION SERVICE (NRCS).

TOTAL SITE AREA	113,335 SQ.FT.
DISTURBED AREA	111,935 SQ.FT.
PRE-DEVELOPMENT IMPERVIOUS AREA	91,662 SQ.FT.
POST-DEVELOPMENT IMPERVIOUS AREA	92,234 SQ. FT.
REQUIRED 1/2 WQV	3,694.9 CUBIC FEET
PROVIDED RET. VOL.	4,214 CUBIC FEET

**DRAINAGE AREA 3A**  
 TOTAL AREA = 32,196 S.F.  
 IMPERVIOUS AREA = 28,462 S.F.  
 COLLECTED AND PIPED TO RETENTION SYSTEM #1 (RS-1)  
 1/2 WQV = 1,134.9 C.F.

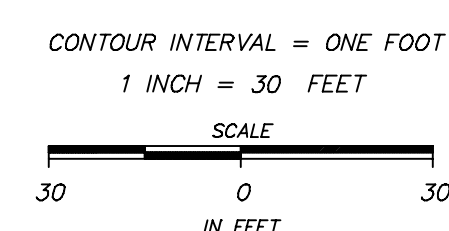
**PROPOSED "1/2 WQV" RETENTION/INFILTRATION SYSTEM #1 (RS-1) (STRUCTURAL BMP)**  
 24-4'x4'x4' PRECAST CONCRETE GALLERIES  
 (STORAGE VOLUME = 1,362 C.F.)

**DRAINAGE AREA 3B**  
 TOTAL AREA = 48,758 S.F.  
 IMPERVIOUS AREA = 39,329 S.F.  
 COLLECTED AND PIPED TO RETENTION SYSTEM #2 (RS-2)  
 1/2 WQV = 1,576.5 C.F.

**PROPOSED "1/2 WQV" RETENTION/INFILTRATION SYSTEM #2 (RS-2) (STRUCTURAL BMP)**  
 40-4'x4'x4' PRECAST CONCRETE GALLERIES  
 (STORAGE VOLUME = 2,166 C.F.)

**DRAINAGE AREA 3C**  
 TOTAL AREA = 13,083 S.F.  
 IMPERVIOUS AREA = 10,801 S.F.  
 COLLECTED AND PIPED TO RETENTION SYSTEM #3 (RS-3)  
 1/2 WQV = 432.3 C.F.

**PROPOSED "1/2 WQV" RETENTION/INFILTRATION SYSTEM #3 (RS-3) (STRUCTURAL BMP)**  
 8-CULTEC 330XLHD UNITS  
 (STORAGE VOLUME = 686 C.F.)



REV.	DATE	DESCRIPTION
0	12-15-22	ZONING SUBMISSION
1	12-15-22	DEREK E. DAUNAIS, CT PE No. 22861

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 LAND PLANNERS  
 ENGINEERS  
 SURVEYORS  
 P.O. BOX 549 RIVERSIDE, CT 06878  
 6 NEIL LANE TEL. 637-1779

PROJECT	WINGS ARENA
PREPARED FOR	WINGS REAL ESTATE HOLDINGS, LLC
LOCATION	50 BARRY PLACE STAMFORD, CONNECTICUT
ENGINEER	DEREK E. DAUNAIS, CT PE No. 22861
DATE	12-15-22
SCALE	1"=30'
CONTOUR INTERVAL	ONE FOOT

**C-7.0**  
**LOW IMPACT DEVELOPMENT PLAN**

D'ANDREA SURVEYING & ENGINEERING, P.C.