

# CITY OF STAMFORD

MAYOR  
*CAROLINE SIMMONS*

DIRECTOR OF OPERATIONS  
*MATT QUINONES*  
Email: MQuinones@StamfordCT.gov



CITY ENGINEER  
*LOUIS CASOLO, JR., P.E.*  
Email: LCasolo@StamfordCT.gov

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## INTEROFFICE MEMORANDUM

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February 10, 2023

To: Vineeta Mathur Principal Planner

From: Willetta Capelle P.E. - Coordinator of Site Plan Reviews and Inspections

**Subject:**

**0 West Park Place - Well Built Company  
Zoning Application No. 223-03-PRE**

The Engineering Bureau received Zoning Pre-Application documents for the construction of a 95-room extended stay hotel in a 10-story building with retail/restaurant space at the ground level and associated amenities in the Center City (CC) Zoning District.

The following documents were reviewed:

- "Aerial Exhibit 0 West Park Place" by Redniss & Mead dated 1/27/23
- "Existing vs. Proposed Aerial Exhibit 0 West Park Place" by Redniss & Mead dated 1/27/23
- "Existing Conditions Exhibit 0 West Park Place" by Redniss & Mead dated 1/27/23
- "Site Plan Exhibit 0 West Park Place" by Redniss & Mead dated 1/27/23

The Engineering Bureau does not object to the project proceeding with the Zoning approval process, however, the following shall be provided at Building Permit submittal:

- 1) Supportive Excavation design for the footings and foundation by a CT professional structural engineer. The structural integrity of nearby buildings and the parking garage shall not be negatively impacted.
- 2) Complete site development plan set
- 3) Compliance with Engineering Bureau policies and the Stamford Stormwater Drainage Manual, including water quality improvements
- 4) Construction sequencing and clarification of impacts and restrictions on vehicle maneuverability and pedestrian sidewalk access along West Park Place during all construction phases
- 5) Demonstrated feasibility of constructing the building at the rear property line with a narrow separation with the

existing parking structure

6) Address assignment

The aforementioned list is not intended to be inclusive of all Engineering Building Permit requirements.

Please contact me at 203-977-4003 with any questions.

CC: Jaclyn Chapman

Reg. No.

William P. Brink, P.E. BCEE  
Executive Director  
Stamford Water Pollution Control Authority  
203-977-5809  
wbrink@stamfordct.gov



Ed Kelly, Chairman  
SWPCA Board of Directors  
Stamford Water Pollution Control Authority

Date February 28, 2023  
To: Vineeta Mathur, Associate Planner  
From: Ann Brown, P.E., Supervising Engineer  
Subject: **Application 223-03 - PRE-Well Built Company, 0 (004-4021) West Park Place, Stamford, CT – Pre-Application – Site & Architectural Plans and/or Requested Uses.**

The Stamford Water Pollution Control Authority (SWPCA) has reviewed the application submitted for the referenced project to construct a 95 room extended stay hotel in a 10 story building with retail/restaurant space at the ground level and associated amenities.

**Documents and Plans Submitted:**

Interoffice Memorandum dated 1/30/23 prepared by Vineeta Mathur.  
Application for Approval of Site & Architectural Plans and/or Requested Uses dated 1/27/23 prepared by Well Built Company.  
Letter to Ralph Blessing dated 1/27/23 prepared by Raymond R. Mazzeo, AICP.  
Letter to Ralph Blessing dated 1/26/23 prepared by Raymond R. Mazzeo, AICP.  
Pre-Application Narrative dated 1/27/23 prepared by Redniss and Mead.  
Drawing List dated 1/27/23 prepared by Redniss and Mead.  
General Property Description dated 1/27/23.  
Preliminary Zoning Data dated 1/27/23.  
Aerial Exhibit 1/27/23 prepared by Redniss and Mead.  
Existing vs. Proposed Aerial Exhibit dated 1/27/23 Redniss and Mead.  
Existing Conditions Exhibit dated 1/27/23 Redniss and Mead.  
Site Plan Exhibit dated 1/27/23 Redniss and Mead.  
Architectural: (Sheets A0.11, A0.21, A1.01 thru A1.04, A3.01, A5.01) dated 1/27/23 prepared by Beinfield Architecture.

Based on review of the above, the SWPCA provides the following comments:

**Food Service/Retail**

1. Please be advised, official SWPCA approval for the Building Permit Application and the Certificate of Occupancy shall be obtained in writing by SWPCA regardless of what is reflected in ViewPoint Cloud.
2. As part of the building permit process for this development, food service establishments (FSE) and/or other facilities, where there is potential for Fats, Oils, and Grease (FOG) to discharge into the sanitary sewer, are obliged to comply with Stamford's Fats, Oils, and



Grease Abatement Program. Facilities include but are not limited to restaurants, office cafeterias, church kitchens, community barbeque stations and kitchens, etc. The FSE or facility shall be equipped with adequately sized, properly functioning, and SWPCA approved grease management equipment. In addition, all of the correct kitchen equipment, fixtures, and/or drains shall discharge into the grease management equipment (GME). (See attached guidance document).

The turnaround time for the SWPCA plan review process can range from 14 to 21 business days or longer. Hard copies of the plans and documents are required and it is highly recommended the submission is done as soon as possible.

Please review the Building Permit Requirements Guidance Document located in the attachments section or on our website at:  
<https://www.stamfordct.gov/home/showpublisheddocument/6208/637588433902330000>.  
The checklist must be completed and included with the submission. **Incomplete submissions will be rejected.**

### Amenity

3. Please provide further details on what the amenity spaces will be used for. Submit a detailed list of all kitchen equipment fixtures and/or drains in the amenity space, so SWPCA can determine whether there is potential for Fats, Oils, and Grease to discharge into the sanitary sewer.

### Sanitary Lateral

4. Relative to the public sanitary sewer system, please provide a project overview and an electronic utility site plan for this application.
5. Preliminary comments for proposed direct sanitary sewer tie-in connections are provided below:
  - a. An outdoor clean-out for the building's lateral must be provided; and;
  - b. Sewer Tie-in Connection Requirements:
    - i. Proposed sanitary tie-in connection must be an approved saddle connection to the public sewer line. A chimney connection may be required to ensure the private lateral slope does not exceed 2%, and it must meet either the City standard specification and/or the approved modular style chimney design requirements. Both saddle and/or chimney connections must be encased in concrete. Attached are the approved saddle and chimney specification information;
    - ii. Applicant and/or Contractor needs to schedule the tie-in activity with Stamford WPCA's Collection Systems Supervisor at least 3-days in advance for scheduling WPCA personnel to witness and photograph the



- sewer tie-in connection. Anytime between 7:30 a.m. and 2 p.m. (Mon. thru Fri.).
- iii. The contractor shall not break into the public sewer line without WPCA being present; and,
  - iv. Additionally, the sewer tie-in distance information from at least 2-permanent stations, i.e., telephone pole and number, distance from nearest manhole cover, corner of building with address number, etc., and depth of tie-in, along with a sketched drawing depicting these monuments and distances must be submitted for final approval.
6. Preliminary comments for connection to existing stub laterals are provided below:
- a. Before connecting to the stub lateral, the owner/permit applicant must videotape this stub lateral to the public sanitary sewer line to ensure there are no obstructions and the lateral is in good operational condition. A copy of this video shall be provided to WPCA for review and approval.

Upon receipt of WPCA's approval, the owner/permit applicant shall coordinate and schedule the reconnection activity of the new lateral to the existing stub lateral with the City Plumber inspector.

#### **Connection Charge**

7. A connection charge may be assessed by the SWPCA in accordance with Section 200-41 of the City Ordinance. Please be aware that the connection charge based on the new development and prior use of the site can be substantial. The connection charge is levied after a Certificate of O Questions regarding connection charge fees should be directed to the WPCA's Supervising Engineer, Ann Brown, via email [ABrown2@stamfordct.gov](mailto:ABrown2@stamfordct.gov) or phone 203-977-5896.

#### **Construction Dewatering**

8. Prior to any discharge of wastewater into the sanitary sewer as a result of construction dewatering, a Misc. Discharge Permit Application shall be completed and submitted to SWPCA for review and approval. Please contact Robert Pudelka, Plant Supervisor at 203-977-5780 or by e-mail at [rpudelka@stamfordct.gov](mailto:rpudelka@stamfordct.gov) for the necessary forms and requirements.
9. In the event construction dewatering into the sanitary sewer is approved, a flow meter shall be installed capable of recording, saving, and reporting the daily volume from the pumps. No later than the 15th of each calendar month, please forward to SWPCA, copies of the previous month report showing the daily discharge generated by the dewatering activity. Copies of the reports shall be mailed to:

William P. Brink, P.E. BCEE  
Executive Director  
Stamford Water Pollution Control Authority  
203-977-5809  
wbrink@stamfordct.gov



Ed Kelly, Chairman  
SWPCA Board of Directors  
Stamford Water Pollution Control Authority

Stamford Water Pollution Control Authority  
Attn: Rhudean Bull  
111 Harbor View Avenue, Building 6A  
Stamford, CT 06902

If you have any questions, please call me at 203-977-5896.

Attachments

cc: William Brink, P.E., Executive Director WPCA  
Stephen A. Pietrzyk, Collections System Supervisor



**STAMFORDWPCA**  
**Office of Regulatory Compliance**  
**Building Permit Requirements**  
**FSE/Facility FOG**

## Section 1. Introduction

Food Service Establishments (FSE) and/or other Facilities where there is potential for Fats, Oils, and Grease (FOG) to discharge into the sanitary sewer are obliged to comply with *Stamford's Fats, Oils, and Grease (FOG) Abatement Program* administered by the Stamford Water Pollution Control Authority. Facilities include but are not limited to restaurants, office cafeterias, church kitchens, community barbeque stations and kitchens, etc. As part of the compliance requirements, the FSE or facility shall be equipped with adequately sized, properly functioning, and SWPCA approved grease management equipment. In addition, all of the correct kitchen equipment, fixtures, and/or drains shall discharge into the grease management equipment (GME). Compliance shall be achieved even if the kitchen is not part of the scope of work in the permit application.

Described herein are guidelines for the design of GME and the submittal requirements for a building permit involving a new FSE or modifications to an existing FSE. In addition, no less than 30 days prior to the Certificate of Occupancy (CO) or Temporary Certificate of Occupancy (TCO), the owner/operator(s) of the food service establishment or other facility shall submit to SWPCA for review and approval, a Registration Application and FOG Abatement Plan. Approval of the FOG Abatement Plan must be obtained prior to the CO or TCO, and the FOG Abatement Plan shall be implemented when the kitchen is open for use. Please contact SWPCA at 203-977-4997 or visit our website at <https://www.stamfordct.gov/government/operations/water-pollution-control-authority/fats-oils-and-grease-fog-abatement-program> to obtain the documents and forms necessary for completing the above. The Registration Application and FOG Abatement Plan should not be completed until after SWPCA plan review process has been finalized and approval has been obtained.

## Section 2. Grease Management Equipment

There are 3 types of approved grease management equipment, the Outdoor In-ground Chamber, the Active Grease Recovery Unit (AGRU), and the Super Capacity Grease Interceptor (SCGI). It is highly recommended the maintenance requirements are taken into consideration when choosing which type to install. Sharing the same GME among separate FSE's and/or Facilities is prohibited. (Rev.1)

### A. Outdoor In-ground Chamber

Outdoor In-ground Chambers are typically constructed of concrete and can be single or two compartment. The minimum capacity for a chamber is 1000 gallons. The exterior of the chamber shall be waterproof and the inlet and outlet T-pipes shall extend to within 12" from the bottom of the chamber. The chamber shall also be equipped with a high efficient grease outlet filter. The chamber setback to the footprint of any building is 10'. For additional compliance requirements refer to Section 5(b)(1)(B thru M) of the State of CT DEEP General Permit for the Discharge of Wastewater Associated with Food Service Establishments. It is preferred chambers are installed in series if more than one is required. The amount of FOG and solids in the chamber must be routinely monitored using a sludge judge or similar device. The measured amounts shall be recorded on log sheets and kept on site. At no time shall the combined FOG and solids reach or exceed 25% of the total capacity of the chamber. The contents in the chamber shall be completely pumped out no less than once every 3 months by an outside contractor for proper disposal. Sizing the outdoor in-ground chamber is based on meals served and hours of operation utilizing the Uniform Plumbing Code Formula Grease Interceptor Sizing Worksheet.

Take-out meals and catering are to be factored in the formula. In the formula a single service kitchen is limited to pre-packaged food only, with no food preparation or cooking.

**B. Active Grease Recovery Unit (AGRU)**

AGRU's require electricity and run on a timer. The FOG on the wastewater is skimmed by a wheel and sent to a collection jug attached to the outside of the unit. With larger units, the FOG is skimmed and sent to a collection barrel. AGRU's equipped with the Automatic Solids Transfer feature are not permitted. There are ongoing maintenance requirements for AGRU's. On a daily basis, the amount of FOG in the collection jug must be measured, recorded, and deposited in a storage barrel labeled and designated for Non-renderable FOG. The internal food strainer must be removed daily and the contents emptied in the trash. The skimming blades on the wheel should be checked for grease built up and wiped clean when needed. In addition, it is required that an outside contractor pump out the unit no less than once every 3 months and inspect the AGRU to ensure it is functioning properly. Typically at that time, the contractor will pump out the contents of the non-renderable storage barrel for proper disposal. This type of GME should not be buried below floor grade. Sizing the AGRU is based on the GPM of the kitchen equipment discharging into it using a 2 minute drain time.

**C. Super Capacity Grease Interceptors (SCGI)**

SCGI's are passive grease interceptors which are 3<sup>rd</sup> party certified to hold 4 times the amount of FOG in pounds than the established GPM. Depending on the make and model number, SCGI's can be used in a variety of applications such as outdoor in-ground and indoor above or below floor grade. Clarification should be obtained from the manufacturer if the correct model is utilized for the proposed installation. Identical units shall be installed parallel with a flow splitter and not in series. For outdoor installations, SCGI's must be installed below the frost line. SCGI's with a volume of 250 gallons or less shall be located at least 5' from the footprint of any building, and if the volume in the unit is greater than 250 gallons a 10' setback is required. The amount of FOG and solids in the units must be routinely monitored using a sludge judge or similar device. The measured amounts shall be recorded on log sheets and kept on site. At no time shall the depth of the FOG or the height of the solids in the units reach or exceed the maximum amounts specified by the manufacturer. The location of the SCGI must allow for sufficient clearance above the unit to perform this maintenance requirement.<sup>(Rev.1)</sup> Typically, with properly sized SCGI's, the pump-out requirements are approximately every 2 to 3 months.

**Section 3. Kitchen Equipment, Fixtures, Drains**

A. Separate sanitary and grease waste lines are required for the discharge of kitchen wastewater. Food Pulpers, garbage disposals/grinders are prohibited. Listed below are some but not all of the kitchen equipment, fixtures, and/or drains that should discharge into grease management equipment:

- |                               |   |
|-------------------------------|---|
| Three Compartment Sinks       | Two Compartment Sinks                   |
| Single Compartment Prep Sinks | Pre-Rinse Sinks (Soiled Dish Table)     |
| Dump Sinks                    | Kitchen/Ware Washing Area Floor Drains* |
| Soup Kettles/Braising Pans    | Pollution Control Units                 |
| Mop Sinks*                    | Self-Cleaning Exhaust Hoods             |
| Wok Stations                  | Combi-Ovens**                           |

\*With the lack of fryolators, limited menus, and low grease production, SWPCA may grant a waiver to allow the wastewater from kitchen/ware washing floor drains and mop sinks to discharge into the sanitary without treatment from grease management equipment. The request for a waiver shall be put in writing with justification as to why the waiver should be granted. A copy of the menu must be attached.



\*\*Combi-Ovens must be equipped with a tempering valve. A notation shall be included on the food service and plumbing plans.

Unless a waiver by SWPCA has been granted, floor sinks and/or drains scheduled for sanitary discharge shall be slightly raised to prevent the infiltration of mop water. A notation shall be included in the plumbing plans indicating the sanitary floor sinks/drains are to be slightly raised.

B. Listed below are some but not all of the kitchen equipment, fixtures, and/or drains that should NOT discharge into grease management equipment:

Ice Machines	Refrigeration Condensate
Dishwashers	Hot/Cold Holding Units
Water Heater Overflow/Relief Valves	Salad Dryers
Hand Sinks	Coffee/Esspresso Machines

#### **Section 4. Plans (required)**

For outdoor installations, the information on the proposed GME shall be on a Site Utility Plan and Details Plan prepared by a professional civil engineer registered in the State of CT. For indoor installations, the information on the proposed GME shall be on the plumbing plans. The information below provides a minimal overview of the plans and documents required when submitting to SWPCA for review. The information on the site, architectural, food service, and plumbing plans, as well as the information on the cut sheets and specification sheets must all match. Full size hard copies of the plans and documents are required. Full size hard copies of any and all revisions to the plans shall be submitted for additional review. Revisions shall be highlighted on the plans. Please deliver to 111 Harborview Avenue (Building 11). As part of the CO process, as-built record drawings and design engineer certification are required.

##### **A. Site Plans (Exterior GME Installation)**

1. Type, size, and location of proposed GME.
2. Existing and proposed grade elevations.
3. GME invert elevations.
4. Elevation of maximum ground water.
5. Cross Section/Detail of GME w/pertinent installation requirements.

For outdoor chambers: (Grease Outlet Filter, T-Pipes, Waterproofing, Manhole Covers, etc.)

The cross section should show all requirements have been met which are listed in Section 5 of the CT DEEP General Permit. The high water table in relation to the bottom of the GME needs to be taken into consideration.

For SCGI's: Ensure all aspects of the manufacturer's installation instructions, requirements, and recommendations are shown on the cross section. SCGI's shall be installed below the frost line. A high water table in relation may warrant additional installation requirements.

6. Outdoor Chambers: Add the following language to the site plans: "The chamber shall be installed in accordance with all applicable codes and shall meet the requirements set forth in Section 5(b)(1)(B thru M) of the State of CT DEEP General Permit for the Discharge of Wastewater Associated with Food Service Establishments. Prior to backfilling, all necessary inspections and approvals shall be obtained (i.e. Building Dept., SWPCA, Design Engineer). No less than 3 working days in advance, please contact SWPCA at 203-977-4997 or 203-977-4134 to schedule an installation inspection."
7. SCGI's: Add the following language to the site plans: "The grease management equipment shall be installed in accordance with all applicable codes, and shall be installed with strict adherence to the

manufacturer's installation instructions, requirements, and recommendations. Prior to backfilling, all necessary inspections and approvals shall be obtained (i.e. Building Dept., SWPCA, and the Design Engineer). No less than 3 working days in advance, please contact SWPCA at 203-977-4997 or 203-977-4134 to schedule an installation inspection.

#### B. Architectural/Food Service Plans

1. A complete set of the architectural and food service plans.
2. The plans shall include a chart containing an itemized list of all the food service/kitchen equipment. Indicate if the item is existing or proposed, provide the manufacturer and model number, sink bowl dimensions (if applicable), indicate if the item requires hot/cold water, direct/indirect discharge, and electric or gas supply. In the remarks column, indicate if the item is piped to grease waste.
3. Floor plan showing all of the existing and proposed food service/kitchen equipment clearly labeled with the corresponding item number.

#### C. MEP Plans

1. A complete set of MEP plans.
2. A MEP chart with a complete itemized list of the food service/kitchen equipment. The item numbers shall match those listed in the architectural/food service plans. Indicate, if the item is existing or proposed, provide the manufacturer and model number, sink bowl dimensions (if applicable), indicate the hot/cold water, direct/indirect discharge, and electric or gas supply requirements for each item. In the remarks column, indicate if the item is piped to grease waste.
3. Floor plan showing floor sinks, floor drains, the grease and sanitary waste lines. The plan shall clearly identify which equipment discharge into the sanitary and which equipment discharge into the grease waste. Include the equipment item numbers. (See Illustration 1).
4. Sanitary and grease waste riser diagrams showing all floor sinks and floor drains. Identify all the equipment by item number scheduled to discharge into each floor sink and/or drain. (See Illustration 2).
5. Sizing calculation chart for the proposed grease management equipment. For outdoor chambers utilize the Uniform Plumbing Code Formula Grease Interceptor Sizing Worksheet. For AGRU's and SCGI's, calculate the GPM for each equipment and include the items numbers. Provide separate sizing charts for separate GME.
6. For AGRU's and SCGI's on/or above the floor, add the following language to the plumbing plans: "The grease management equipment shall be installed in accordance with all applicable codes, and shall be installed with strict adherence to the manufacturer's installation instructions, requirements, and recommendations." Please note: SWPCA does not approve suspending grease management equipment. In the event it has been demonstrated there is no other alternative, an exception may be granted. However, the design for the support system shall be prepared and submitted by a CT Licensed Structural Engineer. The P.E. shall certify in writing the proposed support system is more than adequate to hold the maximum load of the GME. In addition, the area below the suspended GME including a safety buffer shall be permanently barricaded from vehicular and pedestrian trafficking.
7. For SCGI's below floor/buried installations, provide a Cross Section/Detail of GME with pertinent installation requirements. Ensure all aspects of the manufacturer's installation instructions, requirements, and recommendations are shown on the cross section. Add the following language: "The grease management equipment shall be installed in accordance with all applicable codes, and shall be installed with strict adherence to the manufacturer's installation instructions, requirements,





**Office of Regulatory Compliance**  
**Food Service/Facility Plan Review Checklist**

Building Permit Application Number: \_\_\_\_\_ Date: \_\_\_\_\_

Address: \_\_\_\_\_

Name of Facility: \_\_\_\_\_

Applicant Name: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Owner(s) Name: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Yes	N/A	Section (see above)	Description
<input type="checkbox"/>		Section 2.	Adequately sized approved GME.
<input type="checkbox"/>		Section 3.A.	Correct kitchen equipment, fixtures, and/or drains discharge into GME.
<input type="checkbox"/>		Section 3.B.	Correct kitchen equipment, fixtures, and/or drains discharge into sanitary.
<input type="checkbox"/>		Section 4.	Information on the plans and documents match.
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.A.	Site plans (Exterior GME).
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.A.1.	Type, size, and location of proposed GME.
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.A.2.-4.	Grade, GME invert, maximum ground water elevations.
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.A.5.	Cross section/detail.
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.A.6.-7.	Installation language added to plans.
<input type="checkbox"/>		Section 4.B.1.	Complete set of the architectural and food service plans. Latest revision date: ____ / ____ / ____
<input type="checkbox"/>		Section 4.B.2.-3.	Equipment schedule and floor plan.
<input type="checkbox"/>		Section 4.C.1	Complete set of MEP plans. Latest revision date: ____ / ____ / ____

BP Appl. #: \_\_\_\_\_

Date: \_\_\_\_\_

<input type="checkbox"/>		Section 4.C.2.	MEP Equipment Chart.
<input type="checkbox"/>		Section 4.C.3.	MEP Floor Plan w/ sanitary, grease waste, and equipment item numbers.
<input type="checkbox"/>		Section 4.C.4.	Sanitary and grease waste riser diagrams w/ item numbers.
<input type="checkbox"/>		Section 4.C.5.	GME sizing calculation chart.
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.C.6.	Language for AGRU/SCGI installed on or above floor grade.
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.C.7.	Cross section and language for SCGI installed below floor grade.
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.C.8.	Information on exhaust hoods.
<input type="checkbox"/>		Section 5.A.	Manufacturer equipment cut sheets.
<input type="checkbox"/>		Section 5.B.	GME manufacturer specification sheets.
<input type="checkbox"/>	<input type="checkbox"/>	Section 5.C.	AGRU/SCGI installation instructions/owner's manual.

Prepared by: \_\_\_\_\_ Date: \_\_\_\_\_  
(Print Name)

\_\_\_\_\_  
(Signature)

Company Name: \_\_\_\_\_

Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_



# Style "CB"<sup>™</sup> Sewer Saddle

**A ROMAC ORIGINAL**  
- 1981 -



Patent #4494780

## Design Advantages:

- **Inventory Reduction:** Unique gaskets fit wide range of diameters.
- **Ease of Installation:** Saddle can be installed by unskilled labor, using a socket or open end wrench. Built-in stop prevents blockages due to inadvertent insertion of branch into main.
- **Superior Strap:** Strong 304 stainless steel band GMAW & GTAW welded to roll threaded 304 stainless bolts adjusts over a wide range. Clamping force is well distributed by 3 1/2" width.
- **Flexibility:** Gasket allows considerable deflection due to earth movement, while large sealing surface and wide band strongly resist displacement.
- **Reliability:** Continuous rubber connection between rim and branch eliminates potential leak spots. Saddles have been tested to pressures well in excess of typical service test requirements.

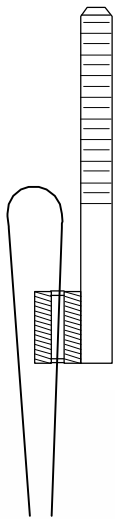
Note: A pipe stop capable of withstanding 1000 pounds of thrust is molded into the CB saddle gasket. Care must be taken during system design and installation to assure that this thrust limit is not exceeded.



# Detail Specifications for Romac "CB"<sup>TM</sup> Sewer Saddles

## Adjustable Strap

304 stainless steel band accommodates a wide range of pipe sizes. The stainless welds are fully passivated (chemically treated after welding to produce a highly corrosion resistant coating). The wide strap distributes the clamping force across the 3 1/2" width.



## Gasket

SBR per ASTM D 2000 MBA 710, compounded for water and sewer service. Gaskets are especially formulated with antioxidant/antiozonant agent to increase shelf life.

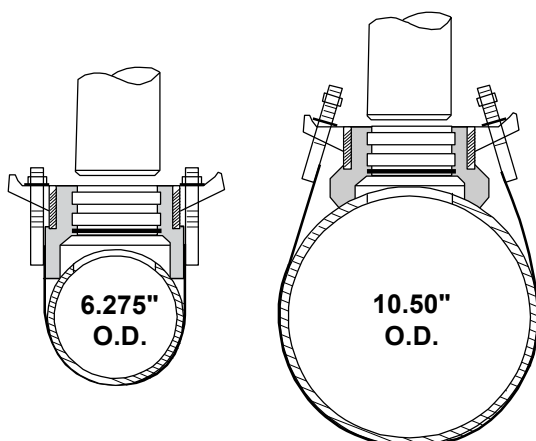


## Saddle Casting

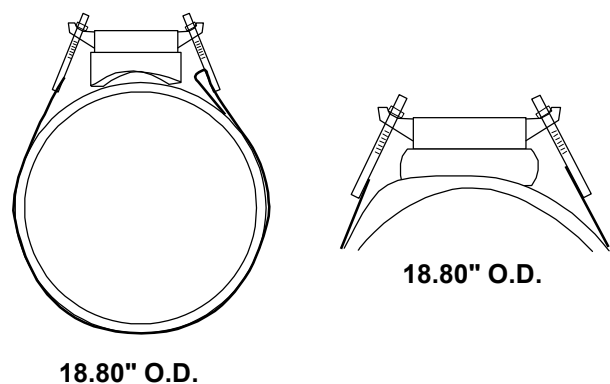
Ductile iron per ASTM 536, Grade 65-45-12. Protected with a yellow corrosion-resistant paint.

<sup>1</sup> **Passivated:** chemically treated after welding to produce a highly corrosion resistant coating.

Same saddle conforming to different outside diameters.



Saddle conforming to pipe.





# Style "CB"™ Sewer Saddle

**Material Specifications**

**Castings:** Ductile iron per ASTM 536, Grade 65-45-12. Protected with a yellow shopcoat.

**Adjustable Strap:** 3 1/2" wide, stainless steel per ASTM A 240, type 304.

**Bolts:** 1/2" UNC rolled thread, lubricant coated, stainless steel per ASTM A 193, type 304.

**Nuts:** Stainless steel per ASTM A 194, type 304.

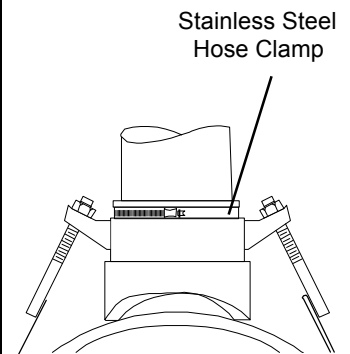
**Washers:** Stainless steel per ASTM A 240, type 304 and plastic lubricating washers.

**Gasket:** SBR per ASTM D 2000 MBA 710, compounded for water and sewer service. Other compounds available on request.



NOM. BRANCH SIZE	NOM. PIPE SIZE	RANGE	BRANCH TYPE	BRANCH O.D.	CATALOG NUMBER	LIST PRICE	ADD-ON EPOXY	APPROX. WEIGHT (lbs.)
4"	6"-12" 48" Strap	2 6.27-14.40 Regular Gasket	PVC Sewer	4.215	CB-4.215	\$131.05	\$39.86	10 #
			Tyseal	4.28	CB-4.28			
			C.I. Soil-No Hub	4.38	CB-4.38			
			PVC	4.50	CB-4.50			
			Universal <sup>1</sup>	4.20-4.80	CB-4.80UN <sup>1</sup>			
	Clay <sup>1</sup>	5.00-5.38	CB-5.38 <sup>1</sup>					
	14"-24" 96" Strap	14.40-25.80 Large O.D. Gasket	PVC Sewer	4.215	CB-4.215LS	166.65		
			Tyseal	4.28	CB-4.28LS			
			C.I. Soil-No Hub	4.38	CB-4.38LS			
			PVC	4.50	CB-4.50LS			
			Universal <sup>1</sup>	4.20-4.80	CB-4.80UNLS <sup>1</sup>			
	Clay <sup>1</sup>	5.00-5.38	CB-5.38LS <sup>1</sup>					
	24"-48" 192" Strap	25.80-54.00 Large O.D. Gasket	PVC Sewer	4.215	CB-4.215XLS	309.30		
			Tyseal	4.28	CB-4.28XLS			
			C.I. Soil-No Hub	4.38	CB-4.38XLS			
PVC			4.50	CB-4.50XLS				
Universal <sup>1</sup>			4.20-4.80	CB-4.80UNXLS <sup>1</sup>				
Clay <sup>1</sup>	5.00-5.38	CB-5.38XLS <sup>1</sup>						
6"	8"-12" 48" Strap	2 8.00-14.40 Regular Gasket	PVC Sewer	6.27-6.30	CB-6.30	174.70	60.29	12 #
			C.I. Soil-No Hub	6.27-6.66	CB-6.66UN <sup>1</sup>			
			Universal <sup>1</sup>	6.27-6.66	CB-6.66UNLS <sup>1</sup>			
			Cast Iron-D.I.	6.90	CB-6.90			
			Clay <sup>1</sup>	7.19-8.00	CB-8.00 <sup>1</sup>			
	14"-24" 96" Strap	14.40-25.80 Large O.D. Gasket	PVC Sewer	6.27-6.30	CB-6.30LS	208.61		
			C.I. Soil-No Hub	6.27-6.66	CB-6.66UNLS <sup>1</sup>			
			Universal <sup>1</sup>	6.27-6.66	CB-6.66UNLS <sup>1</sup>			
			Cast Iron-D.I.	6.90	CB-6.90LS			
			Clay <sup>1</sup>	7.19-8.00	CB-8.00LS <sup>1</sup>			
	24"-48" 192" Strap	25.80-54.00 Large O.D. Gasket	PVC Sewer	6.27-6.30	CB-6.30XLS	351.27		
			C.I. Soil-No Hub	6.27-6.66	CB-6.66UNXLS <sup>1</sup>			
			Universal <sup>1</sup>	6.27-6.66	CB-6.66UNXLS <sup>1</sup>			
			Cast Iron-D.I.	6.90	CB-6.90XLS			
			Clay <sup>1</sup>	7.19-8.00	CB-8.00XLS <sup>1</sup>			

**CB-4.80UN  
Patent #4494780**



<sup>1</sup> CB Sewer Saddles for Universal and Clay pipe include stainless steel hose clamp.

<sup>2</sup> Regular gaskets are NOT interchangeable with large gaskets.

## PARTS LIST

BRANCH SIZE	SIZE	GASKET	SADDLE CASTING	SLIDING BOLT	HOSE CLAMP <sup>1</sup>	STRAP
4"	6-12"	\$42.72	\$45.95	\$15.62	\$12.70	REG (48") \$42.38
	14-24"	58.27				LS (96") 62.42
	24-48"	58.27				XLS (192") 205.08
6"	8-12"	75.23	57.09	15.62	13.52	
	14-24"	89.10				
	24-48"	89.10				

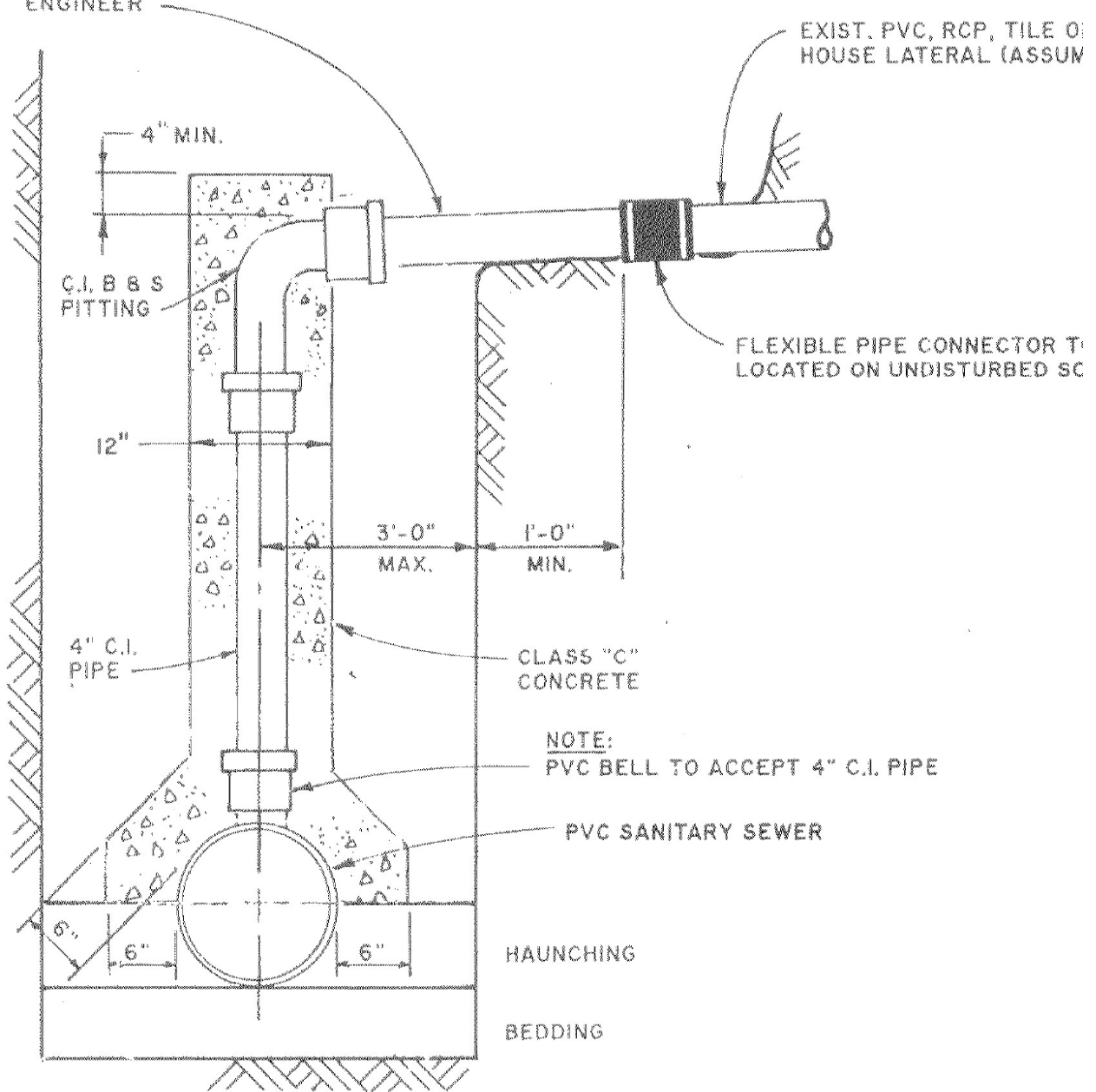
**To Order:** Specify catalog number.

**Example:** To fit 4" branch to 6" -12" nominal pipe with branch 4.20 - 4.80, order

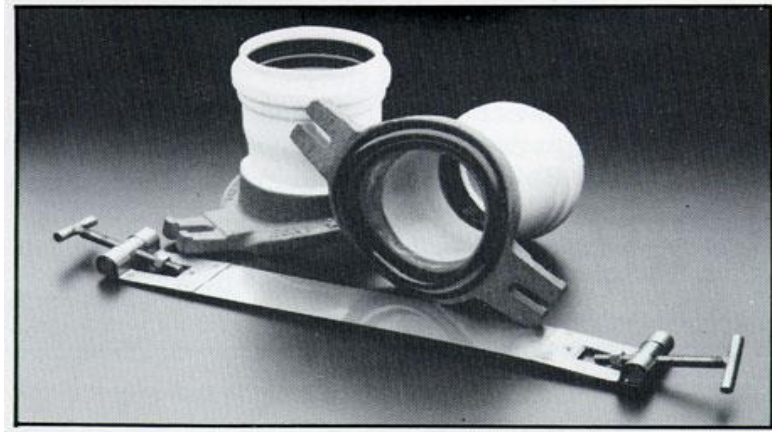
**CB-4.80UN**



STANDARD 4" CAST IRON PIPE,  
 IF UNUSUAL CONDITIONS EXIST  
 WITHIN THE TRENCH AREA, A  
 CONCRETE REINFORCED CRADLE  
 MAY BE REQUIRED AT THE  
 DISCRETION OF THE FIELD  
 ENGINEER



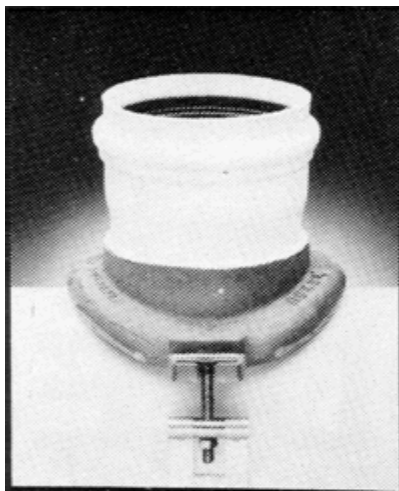
## SEALTITE® \* MULTI-RANGE SEWER PIPE SADDLES



- Absolutely infiltration - free connection
- Economical
- Reduces inventory
- Over ten inlet models available
- Will connect four, six or eight inch lateral
- Saddle base is constructed of tough, durable cast iron
- Stainless steel strap assemblies
- Eliminates haphazard connections
- Simple installation - immediate backfill
- Polyisoprene O-Ring forms seal between saddle and main

### SEALTITE® TYPE "U" MULTI-RANGE TEE SEWER SADDLE VARIOUS CONTOURS TO FIT 6.275" THROUGH 30.00" OD GRAVITY SEWER MAINS

#### Models Available:



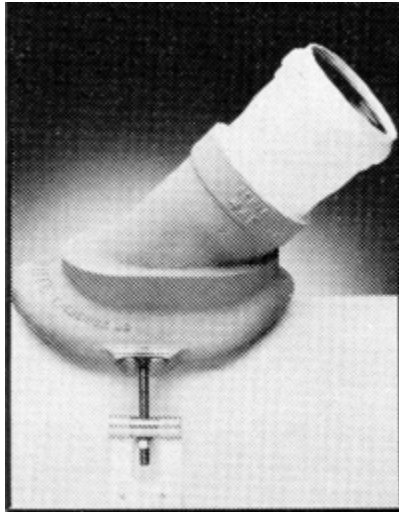
UH	4" & 6" Gasketed Bell to accept SDR-35
U40P	4" & 6" Solvent Weld PVC Hub to accept Sch 40
US	4" & 6" Spigot Can Connect Any Lateral with Proper FERNCO Coupling
UA	4" & 6" Spigot of SDR 35-PVC
UEX	4" & 6" Hub to accept Extra Heavy CI (Gasket Included)
USV	4" & 6" Hub to accept Service Weight CI (Gasket Included)
U26	4" & 6" NEW! Gasketed Bell to accept SDR-26

U40	4" & 6" <b>NEW!</b> Gasketed Bell to accept Sch 40
U40A	4" & 6" Spigot - Sch 40 PVC O.D.
U90A	4" & 6" Spigot - C900 O.D.
U90P	4" & 6" Solvent Weld PVC Hub to accept C900

All of Above Models Also Available With **Alignment Flange** (6.275" - 16.00" OD Mains)

**SEALTITE® TYPE "E" MULTI-RANGE WYE SEWER SADDLE VARIOUS CONTOURS TO FIT 6.00" THROUGH 30.00" O.D. GRAVITY SEWER MAINS**

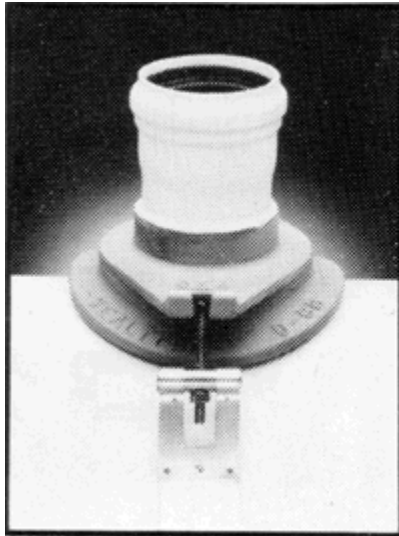
**Models Available:**



EH	4" & 6" Gasketed Bell to accept SDR-35
EI	4" Spigot - DI O.D.
E40P	4" & 6" Solvent Weld PVC Hub to accept Sch 40
ES	4" & 6" Spigot Can Connect Any Lateral with Proper FERNCO Coupling
EA	4" & 6" Spigot of SDR 35-PVC
EEX	4" & 6" Hub to accept Extra Heavy CI (Gasket Included)
ESV	4" & 6" Hub to accept Service Weight CI (Gasket Included)
E26	4" & 6" <b>NEW!</b> Gasketed Bell to accept SDR-26
E40	4" & 6" Gasketed Bell to accept Sch 40
E40A	4" & 6" Spigot - SCH 40 PVC O.D.
E90A	4" & 6" Spigot - C900 O.D.
E90P	4" & 6" Solvent Weld PVC Hub to accept C900

**SEALTITE® TYPE "C" MULTI-RANGE TEE SEWER SADDLE TWO  
CONTOURS TO FIT 30.00" THROUGH 72.00" O.D. GRAVITY SEWER MAINS**

**Models Available:**

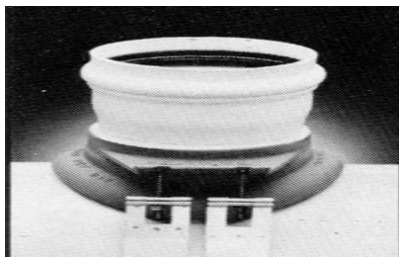


CH	4" & 6" Gasketed Bell to accept SDR-35
C40P	4" & 6" Solvent Weld PVC Hub to accept Sch 40
CS	4" & 6" Spigot Can Connect Any Lateral with Proper FERNCO Coupling
CA	4" & 6" Spigot of SDR 35-PVC
CEX	4" & 6" Hub to accept Extra Heavy CI (Gasket Included)
CSV	4" & 6" Hub to accept Service Weight CI (Gasket Included)
C26	4" & 6" <b>NEW!</b> Gasketed Bell to accept SDR-26
C40	4" & 6" <b>NEW!</b> Gasketed Bell to accept Sch 40
C40A	4" & 6" Spigot - Sch 40 PVC O.D.
C90A	4" & 6" Spigot - C900 O.D.
C90P	4" & 6" Solvent Weld PVC Hub to accept C900

Note: 6" Tap required in Main Regardless of Lateral Size

**SEALTITE® TYPE "8C" MULTI-RANGE TEE SEWER SADDLE VARIOUS  
CONTOURS TO FIT 10.00" THROUGH 94.00" O.D. GRAVITY SEWER MAINS**

**Models Available:**

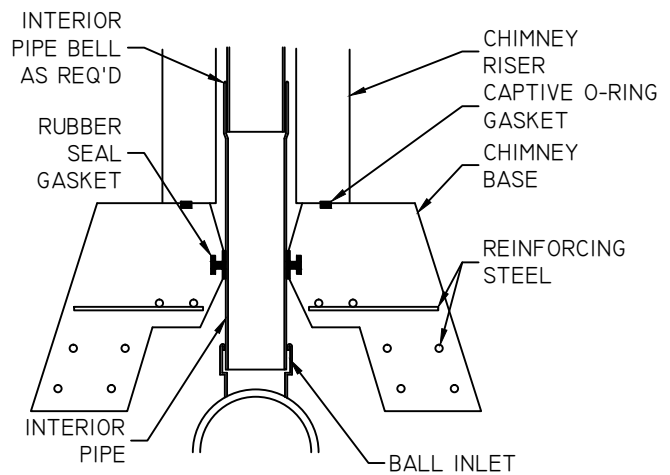
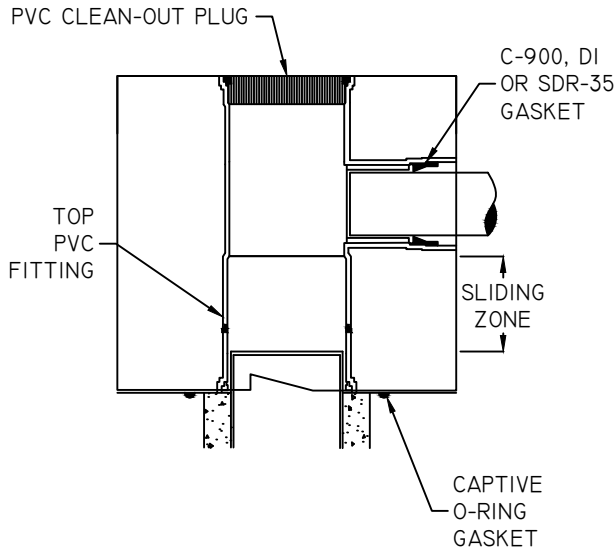
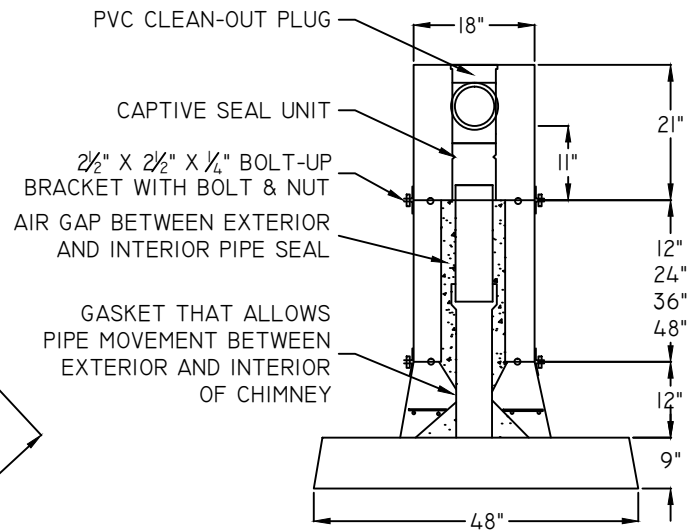
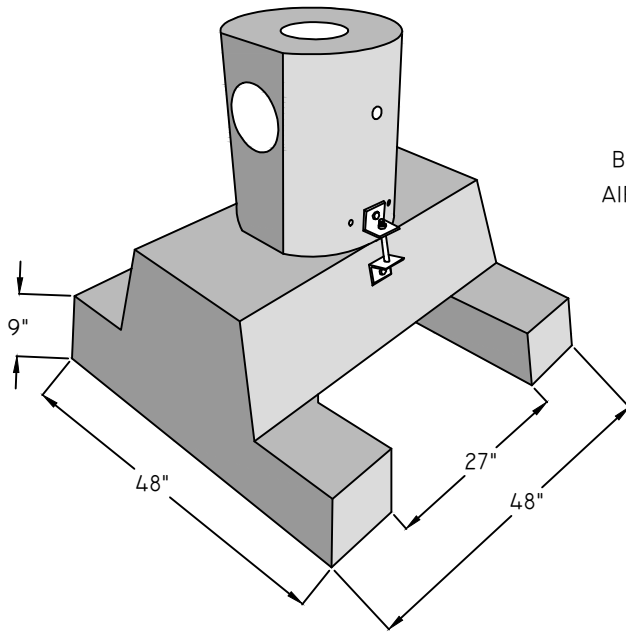


CH8	8" Gasketed Bell to accept SDR-35
8C40P	8" Solvent Weld PVC Hub to accept Sch 40
8C90A	8" Spigot C900 O.D.
CA8	8" Spigot of SDR 35-PVC
8C40	<b>NEW!</b> 8" Gasketed Bell to Accept Sch

40

8C40A 8" Spigot Sch 40 PVC O.D.

8C90P 8" Solvent Weld PVC Hub to Accept  
C900



**DESIGN NOTES:**

1. CONCRETE - 5000 PSI, 28 DAYS
2. REINFORCING STEEL CONFORMS TO LATEST ASTM A615.
3. H-20 DESIGN LOADING PER AASHTO HS-20-44
4. FILL VOID UNDER BRIDGE SECTION WITH SUITABLE BEDDING MATERIAL
5. FOR USE WITH 18"Ø PIPE AND UP

PATENT 4,243,068  
 PATENT 5,189,861  
 PATENT 5,293,719  
 PATENT 5,345,728  
 PATENT 1,129,455 (CANADIAN)

ANY MODIFICATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF ARROW CONCRETE PRODUCTS SHALL RENDER IT INVALID AND UNUSABLE.



DOUBLE - SEAL  
SEWER CHIMNEY

WIDE BASE

SCALE: N.T.S.  
 DATE: 2/10/12  
 DRAWN: JPW  
 DWG #

539 ORONOQUE ROAD  
MILFORD, CONNECTICUT  
(203) 301-5091

560 SALMON BROOK STREET  
GRANBY, CT 06035  
(860) 653-5063

21 VERGASON AVENUE  
NORWICH, CONNECTICUT  
(860) 889-2213



City of Stamford

ENVIRONMENTAL PROTECTION BOARD

INTEROFFICE CORRESPONDENCE

MEMO TO: Vineeta Mathur, Principal Planner  
Zoning Board of the City of Stamford

FROM: Jaclyn Chapman, Environmental Analyst  
Environmental Protection Board

SUBJECT: 0 West Park Place (004-4021)  
Well Built company  
Zoning Application No. 223-03

DATE: January 31, 2023

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Well Built Company seeks approval of Site & Architectural Plans and/or Requested Uses to redevelop an existing parking lot into a 95 room extended stay hotel in a 10-story building with retail and restaurant space at the ground level and associated amenities. Both the restaurant space and hotel lobby will have pedestrian entrances along West Park Place. Second floor amenity space and an open-air roof deck are also proposed. The development is not large enough for structured onsite parking. Therefore, parking will be provided in the Bell Street garage. The property is approximately 12,000 square feet and is located on the north side of West Park Place, approximately 215 feet east of the intersection with Washington Avenue and approximately 285 feet west of the intersection with Summer Street, Bank Street, and Main Street. The parcel is identified as follows in the records maintained by the Stamford Tax Assessor:

<u>Address</u>	<u>Lot No.</u>	<u>Account</u>	<u>Card</u>	<u>Map</u>	<u>Block</u>	<u>Zone</u>	<u>Area</u>
0 West Park Place	City Ga	004-4021	W-006A	121	237	CC	±0.269 Acres

The site currently supports a vacant parking lot. The property is bordered by the Curly's diner property to the west and several restaurants with office space above to the east. Columbus Park is located across West Park Place to the south and provides some plantings and natural features, but the site does not currently support any lawn or other natural features. The site is surrounded by dense, primarily commercial uses, including restaurants, office buildings, residential units, and stores.

0 West Park Place  
Well Built Company  
ZB No. 223-03

The project provides for the construction of a new hotel consisting of parking, service drive, walks, and other related features. The property does not lie within a special flood hazard area (Zone X, FIRM 09001C0516G, 7/8/13). The property does not support any wetlands or watercourses and is not located within the coastal area boundary; therefore, there are no regulated areas that would warrant a permit by the Environmental Protection Board (EPB). Further, there are no trees that are proposed for removal.

**The EPB has no objections to the Zoning Board approving the proposed development. To ensure that the project provides the opportunity for natural features and to protect the natural features of adjacent properties, EPB recommends the following:**

- Prior to endorsement for the issuance of a Building Permit by EPB staff, the site development plan shall be updated for final approval to include temporary and permanent soil and sediment erosion controls including silt fencing or similar around all areas of disturbance, stockpile area, inlet protection, and note to stabilize all areas with seed and hay upon completion.
- All disturbed areas shall be stabilized with topsoil, seed and mulch, sod or other suitable alternatives prior to the issuance of a certificate of occupancy/completion.
- Positive endorsement of the drainage summary by the Stamford Engineering Bureau including City approval of the Stormwater Management Exemption Form.
- Streetscape enhancements that include natural and planted features, as well as measures to ensure the long term maintenance and success of any approved planted features.

Thank you for the opportunity to comment.

cc: W. Capelle, City Engineer  
R. Mazzeo, AICP, Redniss & Mead



MAYOR  
**CAROLINE SIMMONS**

DIRECTOR OF OPERATIONS  
**MATT QUIÑONES**  
Email: [mquinones@stamfordct.gov](mailto:mquinones@stamfordct.gov)



TRANSPORTATION BUREAU CHIEF  
**FRANK W. PETISE, PE**  
Email: [fpetise@stamfordct.gov](mailto:fpetise@stamfordct.gov)

TRAFFIC ENGINEER  
**JIANHONG WANG, PE, PTOE, RSP1**  
Email: [jwang@stamfordct.gov](mailto:jwang@stamfordct.gov)

**OFFICE OF OPERATIONS**  
**TRANSPORTATION, TRAFFIC & PARKING**  
Tel: (203) 977-5466/Fax: (203) 977-4004  
Government Center, 888 Washington Blvd., 7<sup>TH</sup> Floor, Stamford, CT 06901

## **INTEROFFICE MEMORANDIUM**

**TO:** Zoning Board Office

**FROM:** Frank W. Petise, PE  
Transportation Bureau Chief

  
Jianhong Wang, PE, PTOE, RSP1  
Traffic Engineer

**DATE:** February 15, 2023

**RE:** Zoning Board Pre-Application 223-03

Pre-Application #223-03

0 West Park Place  
Well Built Company

The Transportation, Traffic & Parking Department (TTP) has reviewed the following documents:

- Pre-Application Narrative prepared by Redness & Mead (dated January 27, 2023);
- Existing Conditions Exhibit prepared by Redness & Mead (dated January 27, 2023);
- Site Plan Exhibit prepared by Redness & Mead (dated January 27, 2023);
- Existing vs Proposed Aerial Exhibit prepared by Redness & Mead (dated January 27, 2023);
- Architectural Plans prepared by Beinfield Architecture (dated January 27, 2023).

The applicant proposes to redevelop the parking lot on 0 West Park Place (Site) to a 95-Room extended stay hotel in a 10 story building with retail/restaurant space at the ground level. The Site redevelopment will maintain the vehicular driveway to/from Curly's rear parking lot, as well as the staircase at the rear of the property that provides pedestrian connection between Summer Street Garage and West Park Place. The Site will provide vehicular access via the existing driveway of Curly's, circulate under the building, and exit via a one-way driveway at the eastern end of the Site. Vehicle court will serve as drop-off/pick-up for guests and loading area for the building. Parking for the Site will be provided in the Bell Street Garage, located less than 500 feet from the

Site. The TTP department provides the following preliminary comments in support of the Zoning Board Pre-application for the proposed redevelopment at 0 West Park Place.

1. The Department is supportive of downtown infill development in close proximity of municipal parking facility that promotes walking, biking and transit uses of the roadways.
2. The Site Plan Exhibit shows that vehicles will enter the Site via the existing driveway of Curly's, circulate under the building for pick-up/drop-off and loading, and exit via a one-way driveway at the eastern end of the Site. The applicant should review vehicle tracking to ensure that the driveways are wide enough to accommodate loading vehicle's maneuver without backing onto West Park Place or encroaching into the adjacent properties.
3. The applicant should install way-finding signs for Curly's and the proposed Hotel on the shared driveway.
4. The proposed sidewalk on-site shall comply with ADA mobility guidelines. ADA compliant ramps should be installed along with the proposed sidewalk and the modified staircase to Summer Street Garage.
5. The applicant should reconstruct the sidewalk along the site frontage on West Park Place associated with the site redevelopment.
6. The applicant should coordinate with the Department on relocation of the existing parking pay station, wooden pole, and signs in front of the Site associated with the site redevelopment.
7. The applicant should coordinate with the Fire Department on potential impact on the hydrant in front of the Site associated with the site redevelopment.
8. Bike parking should be provided on site per Zoning Regulation Section 12.J.
9. The Department is in support of providing off-site parking for the proposed development in the Bell Street Garage. The applicant shall apply for and receive City garage permits for all required off-site parking spaces prior to the issuance of a Certificate of Occupancy.
10. Due to the size of the development and the number of parking spaces to be generated, the applicant should submit a Traffic and Access Study to review the impacts on the roadways adjacent to both the Site and the Bell Street Garage.
11. The applicant should submit a Parking Study to evaluate the parking demand of the Site based on review of parking requirements included in the City Zoning Regulation, industry parking data, and existing available parking data for similar uses proposed by the applicant.
12. A Transportation Demand Management Plan and Parking Management Plan shall be submitted for Parking Reduction Special Permit application.
13. The contribution to the improvement of mobility is required for Parking Reduction Special Permit application per Zoning Regulation Section 12.H.3.