

William P. Brink, P.E. BCEE
Executive Director
Stamford Water Pollution Control Authority
203-977-5809
wbrink@stamfordct.gov



Ed Kelly, Chairman
SWPCA Board of Directors
Stamford Water Pollution Control Authority

Date: 3/7/2023
To: Vineeta Mathur, Associate Planner
From: Ann Brown, P.E., Supervising Engineer *AMB*

Subject: Application 223-12-Landmark Square 1-6, LLC – 0 Atlantic Street, 3 Atlantic Street, 2 Broad Street, 4 Broad Street, 5 Broad Street & 101 Broad Street, Stamford, CT – Site & Architectural Plans and/or Requested Uses and a Special Permit

The Stamford Water Pollution Control Authority (SWPCA) has reviewed the applications submitted for the referenced project for redevelopment of Landmark Square Building 3 including demolition of the existing 134,000 sf office building and replacement with 400 apartments, 420 parking spaces, residential amenities and 5,200 sf of retail space.

Documents and Plans Submitted:

Interoffice Memorandum dated 2/15/23 prepared by Vineeta Marthur.
Letter to Mr. Blessing and Board Members dated 2/13/23 prepared by Redniss and Mead.
Application for Special Permit dated 2/8/23 prepared by Redniss and Mead.
Application for Approval of Site & Architectural Plans and/or Requested Uses dated 2/8/23 prepared by Redniss and Mead.
Letter for special permit, and final site and architectural plan and requested uses application dated 2/13/23 prepared by Redniss and Mead.
Project Narrative dated 2/14/23 prepared by Redniss and Mead.
Drawing list dated 2/13/23.
General Property Description dated 2/13/23.
Aerial dated 2/2/23 prepared by Redniss and Mead.
Context Area Map dated 2/2/23 prepared by Redniss and Mead.
Zoning Data dated 2/13/23 prepared by Redniss and Mead.
Site Engineering Report dated 2/8/23 prepared by Redniss and Mead.
Parking and Transportation Demand Management Plan dated February 13 2023 prepared by Redniss and Mead.
Traffic Study dated 2/2023 prepared by SLR.
Site/Survey: (Sheets Property Survey) dated 8/13/2015 (Sheets LPTS, SE-1, SE-1A, SE-2, SE-2A, SE-3, SE-3A, SE-4, SE-4A, SE-5 thru SE-11) dated 2/28/23 prepared by Redniss and Mead.
Architectural: (Sheets A.01 thru A.21) dated 2/10/23 prepared by Lessard Design.
Landscape: (SPL-1.0, SPL-1.0A, SPL-2.0, SPL-3.0, SPL-3.1) dated 2/10/23 prepared by Eric Rains Landscaping Architecture, LLC.

Stamford WPCA, 111 Harbor View Ave., Stamford, CT 06902



Based on the review of the above, SWPCA provides comments as follows:

Sanitary Lateral

1. Any existing lateral(s) that will be abandoned must be cut, capped, and encased in concrete. This activity must be scheduled with the City Plumbing Inspector. The sewer cap form must be completed, accordingly. Please provide photo documentation of the work to SWPCA for review and approval.
2. Sewer Tie-in Connection Requirements:
 - a. Proposed sanitary tie-in connection must be an approved saddle connection to the public sewer line. A chimney connection may be required to ensure the private lateral slope does not exceed 2%, and it must meet either the City standard specification and/or the approved modular style chimney design requirements. Both saddle and/or chimney connections must be encased in concrete. Attached are the approved saddle and chimney specification information;
 - b. Applicant and/or Contractor needs to schedule the tie-in activity with Stamford WPCA's Collection Systems Supervisor via email (spietrzyk@stamfordct.gov) at least 3-days in advance for scheduling WPCA personnel to witness and photograph the sewer tie-in connection. Anytime between 7:30 a.m. and 2 p.m. (Mon. thru Fri.).
 - c. The contractor is not to break into the public sewer line without WPCA being present; and,
 - d. Additionally, the sewer tie-in distance information from at least 2-permanent stations, i.e., telephone pole and number, distance from nearest manhole cover, corner of building with address number, etc., and depth of tie-in, along with a sketched drawing depicting these monuments and distances must be submitted for final approval.

Connection Charge

3. A connection charge may be assessed by the SWPCA in accordance with Section 200-41. Please be aware that the connection charge based on the new development and prior use of the site can be substantial. The connection charge is levied after a Certificate of Occupancy or Temporary Certificate of Occupancy is issued. Questions regarding connection charge fees should be directed to the WPCA's Supervising Engineer, Ann Brown, via email abrown2@stamfordct.gov or phone 203-977-5896.

Covered Parking Garage Drains

4. The wastewater generated by covered parking garage drains shall be directed to an adequately sized SWPCA approved treatment system (Oil/Water/Grit/Sand Separator).
 - a. Sizing calculations for the chamber are based on the maximum flow, including but not limited to power washing the garage. A minimum 1,500 gallon capacity and six hour retention time is required. The treatment system shall meet all of the requirements outlined Appendix H: (12) of the 2020 State of CT DEEP General Permit for Discharges from Miscellaneous Industrial Users.



- b. Provide a Cross Section/Installation Detail of the Oil/Grit Separator with pertinent installation requirements (i.e. H₂O loading, high water table, proper venting, etc.). Below the detail, please add the following language:

“The oil/grit separator shall be installed in accordance with all applicable codes and with strict adherence to the manufacturer instructions, specifications, and recommendations. Prior to backfilling, all necessary inspections and approvals shall be obtained (i.e. Building Dept., Design).
5. No less than 60 days in advance of the CO, TCO, or PCO, the owner/operator(s) of the development shall complete and submit to SWPCA for review and approval, CT DEEP’s Miscellaneous General Permit for Discharge from Industrial Users (MIU GP) Notification Form associated with the parking garage sanitary wastewater treatment system. A signed post construction Operation and Maintenance Manual shall be attached to the Notification Form and shall include the manufacturer’s maintenance requirements and the following language:
 - a. Inspections:
 - i. Inspections of the treatment system shall include but not limited to the oil/sand separator and components thereof, all floor drains, troughs, piping that collect transport and discharge wastewater into the chamber, and piping that transport wastewater from the chamber to the sanitary. The amount of oil, grit, sand, and debris observed in the chamber shall be measured and recorded.
 - ii. Sand, grit, oil, and debris observed in all other components of the treatment system shall be identified and noted on the Log Sheets as light, moderate, or heavy amounts. Post pump-out inspections of the empty chamber shall occur to determine if it is structurally intact and water tight. The findings shall be noted on the Log Sheets.
 - b. Maintenance
 - i. Routine maintenance of the treatment system shall occur by clearing all drains, troughs, and the conveyance system of oil, grit, sand, and debris. The chamber shall be completely cleaned by a certified waste hauler. At no time shall the combined amount of oil, grit, sand, and debris in the chamber equal to or exceed 20% of the total volume capacity. The contents removed from the treatment system shall be properly transported and disposed in accordance with all applicable laws and regulations. Broken or deteriorated components of the treatment system shall be immediately repaired or replaced.
 - c. Frequency of Inspections and Maintenance
 - i. The treatment system shall be inspected on a monthly basis. The chamber and all other components of the treatment system shall be completely cleaned no less than twice per year.
 - ii. More frequent cleaning intervals of the treatment system may become necessary. In some instances, a waiver may be granted by SWPCA to perform less inspections and maintenance on the treatment system. The request to



obtain a waiver must be put in writing and shall be accompanied with supporting documentation as to why the waiver is being requested.

d. Record Keeping and Reporting

- i. All inspection findings, maintenance activities, and repairs shall be recorded on the Inspection and Maintenance Log Sheets. Log sheet entries shall be complete with the dated and type of service, the qualified individual name and title, signature, inspection findings, quantities observed and/or removed from the treatment system, maintenance work performed, etc. All pumping reports shall include the date and time the chamber was pumped, the name, address, and phone number of the certified hauler, the total volume removed and what percentage of the volume was oil and solids, the location and phone number of the approved disposal site and date of disposal. Copies of all documents relating to the inspection and maintenance of the treatment system (i.e. pumping reports, inspections reports, manifests, service contracts, receipt, etc.) shall be kept on file with the Log Sheets.
- ii. No later than December 15th of each calendar year, copies of the previous 12 months of Log Sheets and all related documents described above shall be mailed to SWPCA at the following address:

Stamford Water Pollution Control Authority
Attn: Regulatory Compliance Inspector
111 Harbor View Avenue, Building 6A
Stamford, CT 06902

Restaurant/Community Kitchens

6. Sheet A.06 shows a ground floor 2 story retail area restaurant. As part of the building permit process for this development, food service establishments (FSE) and/or other facilities where there is potential for Fats, Oils, and Grease (FOG) to discharge into the sanitary sewer are obliged to comply with *Stamford's Fats, Oils, and Grease (FOG) Abatement Program* administered by the Stamford Water Pollution Control Authority. Facilities include but are not limited to restaurants, office cafeterias, church kitchens, and community kitchens, etc. The FSE or facility shall be equipped with adequately sized, properly functioning, and SWPCA approved grease management equipment. In addition, all of the correct kitchen equipment, fixtures, and/or drains shall discharge into the grease management equipment (GME). (See attached guidance document).

Pet Wash

7. Sheet SPL-2.0 shows a Dog Run. Please be advised, Dog Spas/Dog Washes scheduled to discharge into the sanitary sewer will require a hair straining device to prevent excess hair/fur from entering the sanitary sewer. Please submit the specification sheet for the proposed straining device, and incorporate into the plans.



Green Roof/Courtyard

1. Sheet SPL-2.0 shows a courtyard on the sixth floor. All drainage from the courtyards/green roofs shall not discharge to sanitary sewer.

Swimming Pools

8. Sheet A.09 shows a swimming pool on the 6th floor. The swimming pool water filtration system shall be of cartridge type. If a sand filtration system is used instead, the backwash shall discharge into a gravity fed treatment system prior to discharging into the sanitary. Please provide detailed information on the filtration system.
9. No less than 60 days in advance of a Certificate of Occupancy or Temporary Certificate of Occupancy, the owner/developer of the site shall complete and submit to SWPCA for review and approval a Registration Application for Miscellaneous Discharges of Sewer Compatible Wastewater for the sanitary discharge of swimming pool wastewater. Contact Robert Pudelka, Plant Supervisor at 203-564-7945 or by email at rpudelka@stamfordct.gov for additional information.

Construction Dewatering

10. Prior to any discharge of wastewater into the sanitary sewer as a result of construction dewatering, a Misc. Discharge Permit Application shall be completed and submitted to SWPCA for review and approval. Please contact Robert Pudelka, Plant Supervisor at 203-977-5780 or by e-mail at rpudelka@stamfordct.gov for the necessary forms and requirements.
11. In the event construction dewatering into the sanitary sewer is approved, a flow meter shall be installed capable of recording, saving, and reporting the daily volume from the pumps. No later than the 15th of each calendar month, please forward to SWPCA, copies of the previous month report showing the daily discharge generated by the dewatering activity. Copies of the reports shall be mailed to:

Stamford Water Pollution Control Authority
Attn: Rhudean Bull
111 Harbor View Avenue, Building 6A
Stamford, CT 06902

Attachments

If you have any questions, please call me at 203-977-5896.

Cc: William Brink, P.E., Executive Director WPCA
Stephen W. Pietrzyk, Collection Systems Supervisor WPCA



STAMFORDWPCA
Office of Regulatory Compliance
Building Permit Requirements
FSE/Facility FOG

Section 1. Introduction

Food Service Establishments (FSE) and/or other Facilities where there is potential for Fats, Oils, and Grease (FOG) to discharge into the sanitary sewer are obliged to comply with *Stamford's Fats, Oils, and Grease (FOG) Abatement Program* administered by the Stamford Water Pollution Control Authority. Facilities include but are not limited to restaurants, office cafeterias, church kitchens, community barbeque stations and kitchens, etc. As part of the compliance requirements, the FSE or facility shall be equipped with adequately sized, properly functioning, and SWPCA approved grease management equipment. In addition, all of the correct kitchen equipment, fixtures, and/or drains shall discharge into the grease management equipment (GME). Compliance shall be achieved even if the kitchen is not part of the scope of work in the permit application.

Described herein are guidelines for the design of GME and the submittal requirements for a building permit involving a new FSE or modifications to an existing FSE. In addition, no less than 30 days prior to the Certificate of Occupancy (CO) or Temporary Certificate of Occupancy (TCO), the owner/operator(s) of the food service establishment or other facility shall submit to SWPCA for review and approval, a Registration Application and FOG Abatement Plan. Approval of the FOG Abatement Plan must be obtained prior to the CO or TCO, and the FOG Abatement Plan shall be implemented when the kitchen is open for use. Please contact SWPCA at 203-977-4997 or visit our website at <https://www.stamfordct.gov/government/operations/water-pollution-control-authority/fats-oils-and-grease-fog-abatement-program> to obtain the documents and forms necessary for completing the above. The Registration Application and FOG Abatement Plan should not be completed until after SWPCA plan review process has been finalized and approval has been obtained.

Section 2. Grease Management Equipment

There are 3 types of approved grease management equipment, the Outdoor In-ground Chamber, the Active Grease Recovery Unit (AGRU), and the Super Capacity Grease Interceptor (SCGI). It is highly recommended the maintenance requirements are taken into consideration when choosing which type to install. Sharing the same GME among separate FSE's and/or Facilities is prohibited. (Rev.1)

A. Outdoor In-ground Chamber

Outdoor In-ground Chambers are typically constructed of concrete and can be single or two compartment. The minimum capacity for a chamber is 1000 gallons. The exterior of the chamber shall be waterproof and the inlet and outlet T-pipes shall extend to within 12" from the bottom of the chamber. The chamber shall also be equipped with a high efficient grease outlet filter. The chamber setback to the footprint of any building is 10'. For additional compliance requirements refer to Section 5(b)(1)(B thru M) of the State of CT DEEP General Permit for the Discharge of Wastewater Associated with Food Service Establishments. It is preferred chambers are installed in series if more than one is required. The amount of FOG and solids in the chamber must be routinely monitored using a sludge judge or similar device. The measured amounts shall be recorded on log sheets and kept on site. At no time shall the combined FOG and solids reach or exceed 25% of the total capacity of the chamber. The contents in the chamber shall be completely pumped out no less than once every 3 months by an outside contractor for proper disposal. Sizing the outdoor in-ground chamber is based on meals served and hours of operation utilizing the Uniform Plumbing Code Formula Grease Interceptor Sizing Worksheet.

Take-out meals and catering are to be factored in the formula. In the formula a single service kitchen is limited to pre-packaged food only, with no food preparation or cooking.

B. Active Grease Recovery Unit (AGRU)

AGRU's require electricity and run on a timer. The FOG on the wastewater is skimmed by a wheel and sent to a collection jug attached to the outside of the unit. With larger units, the FOG is skimmed and sent to a collection barrel. AGRU's equipped with the Automatic Solids Transfer feature are not permitted. There are ongoing maintenance requirements for AGRU's. On a daily basis, the amount of FOG in the collection jug must be measured, recorded, and deposited in a storage barrel labeled and designated for Non-renderable FOG. The internal food strainer must be removed daily and the contents emptied in the trash. The skimming blades on the wheel should be checked for grease built up and wiped clean when needed. In addition, it is required that an outside contractor pump out the unit no less than once every 3 months and inspect the AGRU to ensure it is functioning properly. Typically at that time, the contractor will pump out the contents of the non-renderable storage barrel for proper disposal. This type of GME should not be buried below floor grade. Sizing the AGRU is based on the GPM of the kitchen equipment discharging into it using a 2 minute drain time.

C. Super Capacity Grease Interceptors (SCGI)

SCGI's are passive grease interceptors which are 3rd party certified to hold 4 times the amount of FOG in pounds than the established GPM. Depending on the make and model number, SCGI's can be used in a variety of applications such as outdoor in-ground and indoor above or below floor grade. Clarification should be obtained from the manufacturer if the correct model is utilized for the proposed installation. Identical units shall be installed parallel with a flow splitter and not in series. For outdoor installations, SCGI's must be installed below the frost line. SCGI's with a volume of 250 gallons or less shall be located at least 5' from the footprint of any building, and if the volume in the unit is greater than 250 gallons a 10' setback is required. The amount of FOG and solids in the units must be routinely monitored using a sludge judge or similar device. The measured amounts shall be recorded on log sheets and kept on site. At no time shall the depth of the FOG or the height of the solids in the units reach or exceed the maximum amounts specified by the manufacturer. The location of the SCGI must allow for sufficient clearance above the unit to perform this maintenance requirement.^(Rev.1) Typically, with properly sized SCGI's, the pump-out requirements are approximately every 2 to 3 months.

Section 3. Kitchen Equipment, Fixtures, Drains

A. Separate sanitary and grease waste lines are required for the discharge of kitchen wastewater. Food Pulpers, garbage disposals/grinders are prohibited. Listed below are some but not all of the kitchen equipment, fixtures, and/or drains that should discharge into grease management equipment:

- | | |
|-------------------------------|---|
| Three Compartment Sinks | Two Compartment Sinks |
| Single Compartment Prep Sinks | Pre-Rinse Sinks (Soiled Dish Table) |
| Dump Sinks | Kitchen/Ware Washing Area Floor Drains* |
| Soup Kettles/Braising Pans | Pollution Control Units |
| Mop Sinks* | Self-Cleaning Exhaust Hoods |
| Wok Stations | Combi-Ovens** |

*With the lack of fryolators, limited menus, and low grease production, SWPCA may grant a waiver to allow the wastewater from kitchen/ware washing floor drains and mop sinks to discharge into the sanitary without treatment from grease management equipment. The request for a waiver shall be put in writing with justification as to why the waiver should be granted. A copy of the menu must be attached.

**Combi-Ovens must be equipped with a tempering valve. A notation shall be included on the food service and plumbing plans.

Unless a waiver by SWPCA has been granted, floor sinks and/or drains scheduled for sanitary discharge shall be slightly raised to prevent the infiltration of mop water. A notation shall be included in the plumbing plans indicating the sanitary floor sinks/drains are to be slightly raised.

B. Listed below are some but not all of the kitchen equipment, fixtures, and/or drains that should NOT discharge into grease management equipment:

Ice Machines	Refrigeration Condensate
Dishwashers	Hot/Cold Holding Units
Water Heater Overflow/Relief Valves	Salad Dryers
Hand Sinks	Coffee/Esspresso Machines

Section 4. Plans (required)

For outdoor installations, the information on the proposed GME shall be on a Site Utility Plan and Details Plan prepared by a professional civil engineer registered in the State of CT. For indoor installations, the information on the proposed GME shall be on the plumbing plans. The information below provides a minimal overview of the plans and documents required when submitting to SWPCA for review. The information on the site, architectural, food service, and plumbing plans, as well as the information on the cut sheets and specification sheets must all match. Full size hard copies of the plans and documents are required. Full size hard copies of any and all revisions to the plans shall be submitted for additional review. Revisions shall be highlighted on the plans. Please deliver to 111 Harborview Avenue (Building 11). As part of the CO process, as-built record drawings and design engineer certification are required.

A. Site Plans (Exterior GME Installation)

1. Type, size, and location of proposed GME.
2. Existing and proposed grade elevations.
3. GME invert elevations.
4. Elevation of maximum ground water.
5. Cross Section/Detail of GME w/pertinent installation requirements.

For outdoor chambers: (Grease Outlet Filter, T-Pipes, Waterproofing, Manhole Covers, etc.)

The cross section should show all requirements have been met which are listed in Section 5 of the CT DEEP General Permit. The high water table in relation to the bottom of the GME needs to be taken into consideration.

For SCGI's: Ensure all aspects of the manufacturer's installation instructions, requirements, and recommendations are shown on the cross section. SCGI's shall be installed below the frost line. A high water table in relation may warrant additional installation requirements.

6. Outdoor Chambers: Add the following language to the site plans: "The chamber shall be installed in accordance with all applicable codes and shall meet the requirements set forth in Section 5(b)(1)(B thru M) of the State of CT DEEP General Permit for the Discharge of Wastewater Associated with Food Service Establishments. Prior to backfilling, all necessary inspections and approvals shall be obtained (i.e. Building Dept., SWPCA, Design Engineer). No less than 3 working days in advance, please contact SWPCA at 203-977-4997 or 203-977-4134 to schedule an installation inspection."
7. SCGI's: Add the following language to the site plans: "The grease management equipment shall be installed in accordance with all applicable codes, and shall be installed with strict adherence to the

manufacturer's installation instructions, requirements, and recommendations. Prior to backfilling, all necessary inspections and approvals shall be obtained (i.e. Building Dept., SWPCA, and the Design Engineer). No less than 3 working days in advance, please contact SWPCA at 203-977-4997 or 203-977-4134 to schedule an installation inspection.

B. Architectural/Food Service Plans

1. A complete set of the architectural and food service plans.
2. The plans shall include a chart containing an itemized list of all the food service/kitchen equipment. Indicate if the item is existing or proposed, provide the manufacturer and model number, sink bowl dimensions (if applicable), indicate if the item requires hot/cold water, direct/indirect discharge, and electric or gas supply. In the remarks column, indicate if the item is piped to grease waste.
3. Floor plan showing all of the existing and proposed food service/kitchen equipment clearly labeled with the corresponding item number.

C. MEP Plans

1. A complete set of MEP plans.
2. A MEP chart with a complete itemized list of the food service/kitchen equipment. The item numbers shall match those listed in the architectural/food service plans. Indicate, if the item is existing or proposed, provide the manufacturer and model number, sink bowl dimensions (if applicable), indicate the hot/cold water, direct/indirect discharge, and electric or gas supply requirements for each item. In the remarks column, indicate if the item is piped to grease waste.
3. Floor plan showing floor sinks, floor drains, the grease and sanitary waste lines. The plan shall clearly identify which equipment discharge into the sanitary and which equipment discharge into the grease waste. Include the equipment item numbers. (See Illustration 1).
4. Sanitary and grease waste riser diagrams showing all floor sinks and floor drains. Identify all the equipment by item number scheduled to discharge into each floor sink and/or drain. (See Illustration 2).
5. Sizing calculation chart for the proposed grease management equipment. For outdoor chambers utilize the Uniform Plumbing Code Formula Grease Interceptor Sizing Worksheet. For AGRU's and SCGI's, calculate the GPM for each equipment and include the items numbers. Provide separate sizing charts for separate GME.
6. For AGRU's and SCGI's on/or above the floor, add the following language to the plumbing plans: "The grease management equipment shall be installed in accordance with all applicable codes, and shall be installed with strict adherence to the manufacturer's installation instructions, requirements, and recommendations." Please note: SWPCA does not approve suspending grease management equipment. In the event it has been demonstrated there is no other alternative, an exception may be granted. However, the design for the support system shall be prepared and submitted by a CT Licensed Structural Engineer. The P.E. shall certify in writing the proposed support system is more than adequate to hold the maximum load of the GME. In addition, the area below the suspended GME including a safety buffer shall be permanently barricaded from vehicular and pedestrian trafficking.
7. For SCGI's below floor/buried installations, provide a Cross Section/Detail of GME with pertinent installation requirements. Ensure all aspects of the manufacturer's installation instructions, requirements, and recommendations are shown on the cross section. Add the following language: "The grease management equipment shall be installed in accordance with all applicable codes, and shall be installed with strict adherence to the manufacturer's installation instructions, requirements,

and recommendations. Prior to backfilling, all necessary inspections and approvals shall be obtained (i.e. Building Dept., SWPCA, and the Design Engineer). No less than 3 working days in advance, please contact SWPCA at 203-977-4997 or 203-977-4134 to schedule an installation inspection.

8. Detailed information on the exhaust hoods (existing and proposed). Verify if self-cleaning.

Illustration 1 (Floor Plan)

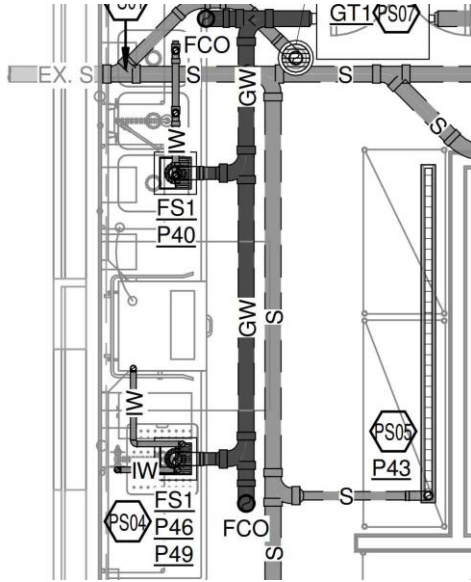
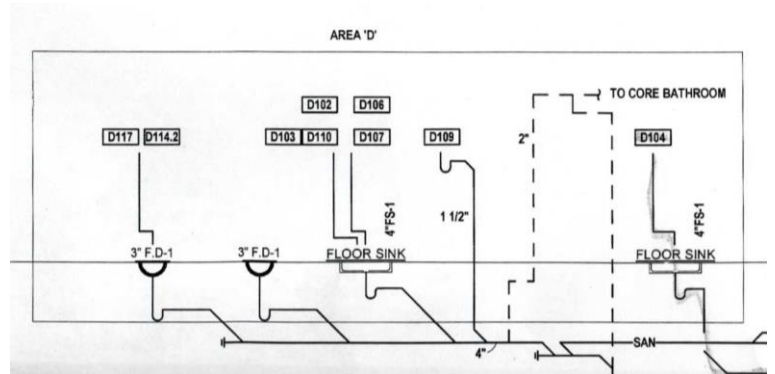


Illustration 2 (Riser Diagram)



Section 5. Documents (required)

- A. Copies of all of the manufacturer equipment cut sheets in numerical order with the item numbers listed on the cut sheets. Be sure the cut sheets provide the model number and other pertinent information such as sink bowl dimensions, GPM discharges, etc.
- B. Copies of the manufacturer specifications sheets on the proposed grease management equipment.
- C. For AGRU's and SCGI's, copies of the manufacturer installation instructions and owner's manual on the proposed grease management equipment.

SWPCA strongly advises against installing GME prior to the fit out of the FSE or Facility. In the event the owner(s) and/or developer opts to install GME in advance it is solely at their own risk. Should it be determined the GME is undersized at the time of the building permit application for the FSE or Facility, the GME shall be removed and replaced with adequately sized equipment or additional GME will be required.

PLEASE COMPLETE THE CHECKLIST PROVIDED BELOW AND SUBMIT WITH THE PLANS AND DOCUMENTS FOR REVIEW. Incomplete submissions will be rejected.



STAMFORDWPCA
Office of Regulatory Compliance
Food Service/Facility Plan Review Checklist

Building Permit Application Number: _____ Date: _____

Address: _____

Name of Facility: _____

Applicant Name: _____

Phone: _____ Email: _____

Owner(s) Name: _____

Phone: _____ Email: _____

Yes	N/A	Section (see above)	Description
<input type="checkbox"/>		Section 2.	Adequately sized approved GME.
<input type="checkbox"/>		Section 3.A.	Correct kitchen equipment, fixtures, and/or drains discharge into GME.
<input type="checkbox"/>		Section 3.B.	Correct kitchen equipment, fixtures, and/or drains discharge into sanitary.
<input type="checkbox"/>		Section 4.	Information on the plans and documents match.
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.A.	Site plans (Exterior GME).
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.A.1.	Type, size, and location of proposed GME.
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.A.2.-4.	Grade, GME invert, maximum ground water elevations.
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.A.5.	Cross section/detail.
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.A.6.-7.	Installation language added to plans.
<input type="checkbox"/>		Section 4.B.1.	Complete set of the architectural and food service plans. Latest revision date: ____ / ____ / ____
<input type="checkbox"/>		Section 4.B.2.-3.	Equipment schedule and floor plan.
<input type="checkbox"/>		Section 4.C.1	Complete set of MEP plans. Latest revision date: ____ / ____ / ____

BP Appl. #: _____

Date: _____

<input type="checkbox"/>		Section 4.C.2.	MEP Equipment Chart.
<input type="checkbox"/>		Section 4.C.3.	MEP Floor Plan w/ sanitary, grease waste, and equipment item numbers.
<input type="checkbox"/>		Section 4.C.4.	Sanitary and grease waste riser diagrams w/ item numbers.
<input type="checkbox"/>		Section 4.C.5.	GME sizing calculation chart.
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.C.6.	Language for AGRU/SCGI installed on or above floor grade.
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.C.7.	Cross section and language for SCGI installed below floor grade.
<input type="checkbox"/>	<input type="checkbox"/>	Section 4.C.8.	Information on exhaust hoods.
<input type="checkbox"/>		Section 5.A.	Manufacturer equipment cut sheets.
<input type="checkbox"/>		Section 5.B.	GME manufacturer specification sheets.
<input type="checkbox"/>	<input type="checkbox"/>	Section 5.C.	AGRU/SCGI installation instructions/owner's manual.

Prepared by: _____ Date: _____
(Print Name)

(Signature)

Company Name: _____

Phone: _____ E-mail: _____



Style "CB"[™] Sewer Saddle

A ROMAC ORIGINAL
- 1981 -



Patent #4494780

Design Advantages:

- **Inventory Reduction:** Unique gaskets fit wide range of diameters.
- **Ease of Installation:** Saddle can be installed by unskilled labor, using a socket or open end wrench. Built-in stop prevents blockages due to inadvertant insertion of branch into main.
- **Superior Strap:** Strong 304 stainless steel band GMAW & GTAW welded to roll threaded 304 stainless bolts adjusts over a wide range. Clamping force is well distributed by 3 1/2" width.
- **Flexibility:** Gasket allows considerable deflection due to earth movement, while large sealing surface and wide band strongly resist displacement.
- **Reliability:** Continuous rubber connection between rim and branch eliminates potential leak spots. Saddles have been tested to pressures well in excess of typical service test requirements.

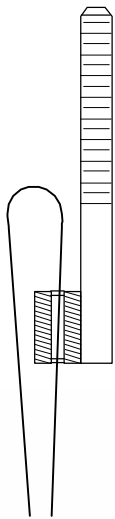
Note: A pipe stop capable of withstanding 1000 pounds of thrust is molded into the CB saddle gasket. Care must be taken during system design and installation to assure that this thrust limit is not exceeded.



Detail Specifications for Romac "CB"TM Sewer Saddles

Adjustable Strap

304 stainless steel band accommodates a wide range of pipe sizes. The stainless welds are fully passivated (chemically treated after welding to produce a highly corrosion resistant coating). The wide strap distributes the clamping force across the 3 1/2" width.



Gasket

SBR per ASTM D 2000 MBA 710, compounded for water and sewer service. Gaskets are especially formulated with antioxidant/antiozonant agent to increase shelf life.

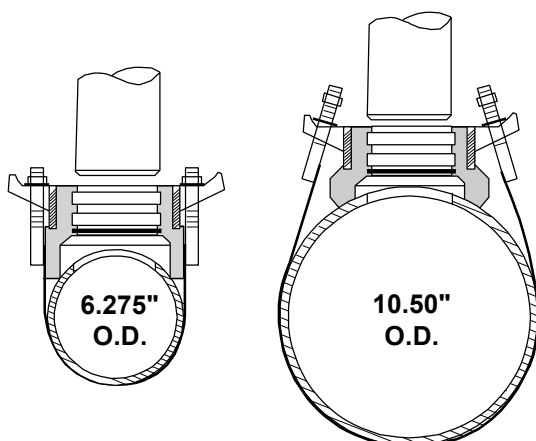


Saddle Casting

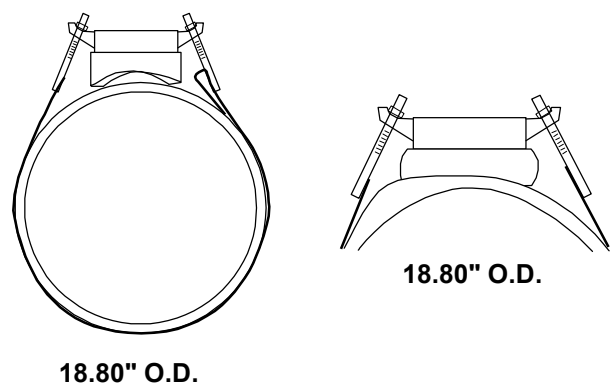
Ductile iron per ASTM 536, Grade 65-45-12. Protected with a yellow corrosion-resistant paint.

¹ **Passivated:** chemically treated after welding to produce a highly corrosion resistant coating.

Same saddle conforming to different outside diameters.



Saddle conforming to pipe.





Style "CB"™ Sewer Saddle

Material Specifications

Castings: Ductile iron per ASTM 536, Grade 65-45-12. Protected with a yellow shopcoat.

Adjustable Strap: 3 1/2" wide, stainless steel per ASTM A 240, type 304.

Bolts: 1/2" UNC rolled thread, lubricant coated, stainless steel per ASTM A 193, type 304.

Nuts: Stainless steel per ASTM A 194, type 304.

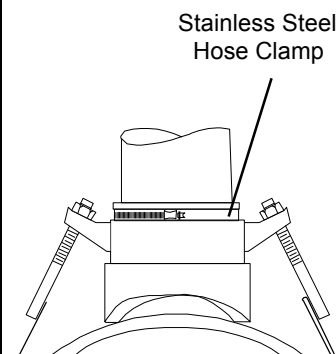
Washers: Stainless steel per ASTM A 240, type 304 and plastic lubricating washers.

Gasket: SBR per ASTM D 2000 MBA 710, compounded for water and sewer service. Other compounds available on request.



NOM. BRANCH SIZE	NOM. PIPE SIZE	RANGE	BRANCH TYPE	BRANCH O.D.	CATALOG NUMBER	LIST PRICE	ADD-ON EPOXY	APPROX. WEIGHT (lbs.)
4"	6"-12" 48" Strap	2 6.27-14.40 Regular Gasket	PVC Sewer	4.215	CB-4.215	\$131.05	\$39.86	10 #
			Tyseal	4.28	CB-4.28			
			C.I. Soil-No Hub	4.38	CB-4.38			
			PVC	4.50	CB-4.50			
			Universal ¹	4.20-4.80	CB-4.80UN ¹			
	Clay ¹	5.00-5.38	CB-5.38 ¹					
	14"-24" 96" Strap	14.40-25.80 Large O.D. Gasket	PVC Sewer	4.215	CB-4.215LS	166.65		11 #
			Tyseal	4.28	CB-4.28LS			
			C.I. Soil-No Hub	4.38	CB-4.38LS			
			PVC	4.50	CB-4.50LS			
			Universal ¹	4.20-4.80	CB-4.80UNLS ¹			
	Clay ¹	5.00-5.38	CB-5.38LS ¹					
	24"-48" 192" Strap	25.80-54.00 Large O.D. Gasket	PVC Sewer	4.215	CB-4.215XLS	309.30		13 #
			Tyseal	4.28	CB-4.28XLS			
			C.I. Soil-No Hub	4.38	CB-4.38XLS			
PVC			4.50	CB-4.50XLS				
Universal ¹			4.20-4.80	CB-4.80UNXLS ¹				
Clay ¹	5.00-5.38	CB-5.38XLS ¹						
6"	8"-12" 48" Strap	2 8.00-14.40 Regular Gasket	PVC Sewer	6.27-6.30	CB-6.30	174.70	60.29	12 #
			C.I. Soil-No Hub	6.27-6.66	CB-6.66UN ¹			
			Universal ¹	6.27-6.66	CB-6.66UNLS ¹			
			Cast Iron-D.I.	6.90	CB-6.90			
			Clay ¹	7.19-8.00	CB-8.00 ¹			
	14"-24" 96" Strap	14.40-25.80 Large O.D. Gasket	PVC Sewer	6.27-6.30	CB-6.30LS	208.61		13 #
			C.I. Soil-No Hub	6.27-6.66	CB-6.66UNLS ¹			
			Universal ¹	6.27-6.66	CB-6.66UNLS ¹			
			Cast Iron-D.I.	6.90	CB-6.90LS			
			Clay ¹	7.19-8.00	CB-8.00LS ¹			
	24"-48" 192" Strap	25.80-54.00 Large O.D. Gasket	PVC Sewer	6.27-6.30	CB-6.30XLS	351.27		15 #
			C.I. Soil-No Hub	6.27-6.66	CB-6.66UNXLS ¹			
			Universal ¹	6.27-6.66	CB-6.66UNXLS ¹			
			Cast Iron-D.I.	6.90	CB-6.90XLS			
			Clay ¹	7.19-8.00	CB-8.00XLS ¹			

**CB-4.80UN
Patent #4494780**



¹ CB Sewer Saddles for Universal and Clay pipe include stainless steel hose clamp.

² Regular gaskets are NOT interchangeable with large gaskets.

PARTS LIST

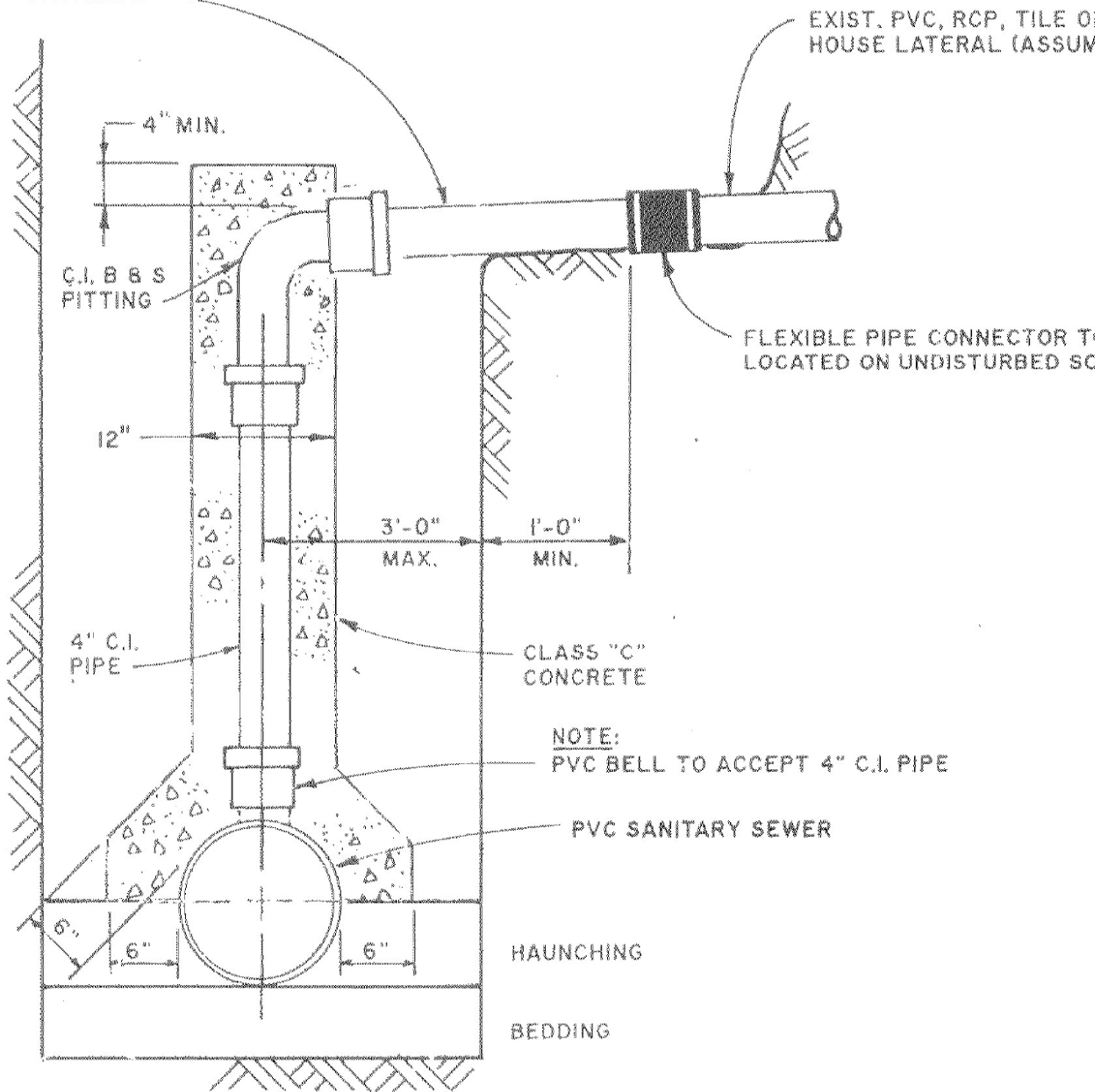
BRANCH SIZE	SIZE	GASKET	SADDLE CASTING	SLIDING BOLT	HOSE CLAMP ¹	STRAP
4"	6-12"	\$42.72	\$45.95	\$15.62	\$12.70	REG (48") \$42.38
	14-24"	58.27				LS (96") 62.42
	24-48"	58.27				XLS (192") 205.08
6"	8-12"	75.23	57.09	15.62	13.52	
	14-24"	89.10				
	24-48"	89.10				

To Order: Specify catalog number.

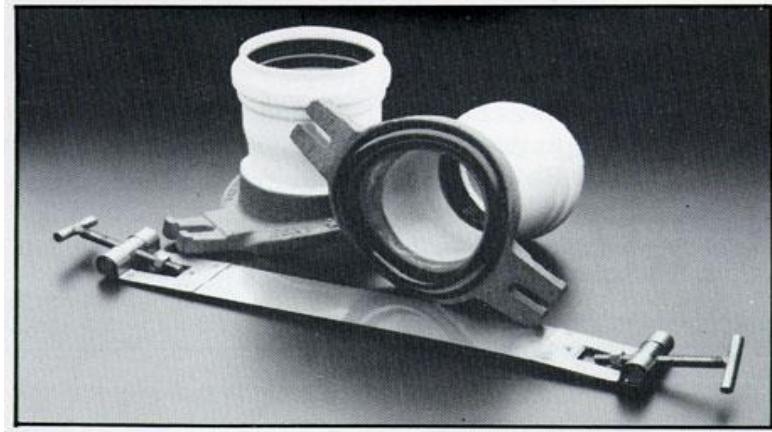
Example: To fit 4" branch to 6" -12" nominal pipe with branch 4.20 - 4.80, order

CB-4.80UN

STANDARD 4" CAST IRON PIPE,
 IF UNUSUAL CONDITIONS EXIST
 WITHIN THE TRENCH AREA, A
 CONCRETE REINFORCED CRADLE
 MAY BE REQUIRED AT THE
 DISCRETION OF THE FIELD
 ENGINEER



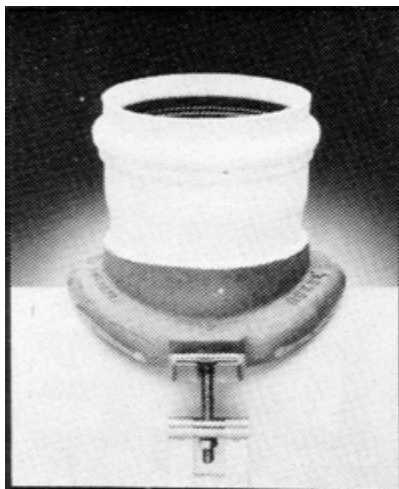
SEALTITE® * MULTI-RANGE SEWER PIPE SADDLES



- Absolutely infiltration - free connection
- Economical
- Reduces inventory
- Over ten inlet models available
- Will connect four, six or eight inch lateral
- Saddle base is constructed of tough, durable cast iron
- Stainless steel strap assemblies
- Eliminates haphazard connections
- Simple installation - immediate backfill
- Polyisoprene O-Ring forms seal between saddle and main

SEALTITE® TYPE "U" MULTI-RANGE TEE SEWER SADDLE VARIOUS CONTOURS TO FIT 6.275" THROUGH 30.00" OD GRAVITY SEWER MAINS

Models Available:



UH	4" & 6" Gasketed Bell to accept SDR-35
U40P	4" & 6" Solvent Weld PVC Hub to accept Sch 40
US	4" & 6" Spigot Can Connect Any Lateral with Proper FERNCO Coupling
UA	4" & 6" Spigot of SDR 35-PVC
UEX	4" & 6" Hub to accept Extra Heavy CI (Gasket Included)
USV	4" & 6" Hub to accept Service Weight CI (Gasket Included)
U26	4" & 6" NEW! Gasketed Bell to accept SDR-26

U40	4" & 6" NEW! Gasketed Bell to accept Sch 40
U40A	4" & 6" Spigot - Sch 40 PVC O.D.
U90A	4" & 6" Spigot - C900 O.D.
U90P	4" & 6" Solvent Weld PVC Hub to accept C900

All of Above Models Also Available With **Alignment Flange** (6.275" - 16.00" OD Mains)

SEALTITE® TYPE "E" MULTI-RANGE **WYE** SEWER SADDLE VARIOUS CONTOURS TO FIT 6.00" THROUGH 30.00" O.D. GRAVITY SEWER MAINS

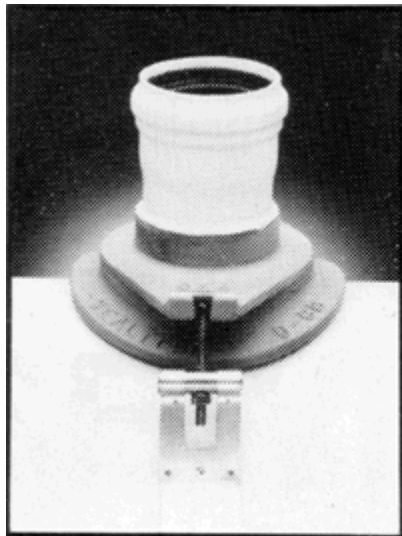
Models Available:



EH	4" & 6" Gasketed Bell to accept SDR-35
EI	4" Spigot - DI O.D.
E40P	4" & 6" Solvent Weld PVC Hub to accept Sch 40
ES	4" & 6" Spigot Can Connect Any Lateral with Proper FERNCO Coupling
EA	4" & 6" Spigot of SDR 35-PVC
EEX	4" & 6" Hub to accept Extra Heavy CI (Gasket Included)
ESV	4" & 6" Hub to accept Service Weight CI (Gasket Included)
E26	4" & 6" NEW! Gasketed Bell to accept SDR-26
E40	4" & 6" Gasketed Bell to accept Sch 40
E40A	4" & 6" Spigot - SCH 40 PVC O.D.
E90A	4" & 6" Spigot - C900 O.D.
E90P	4" & 6" Solvent Weld PVC Hub to accept C900

**SEALTITE® TYPE "C" MULTI-RANGE TEE SEWER SADDLE TWO
CONTOURS TO FIT 30.00" THROUGH 72.00" O.D. GRAVITY SEWER MAINS**

Models Available:

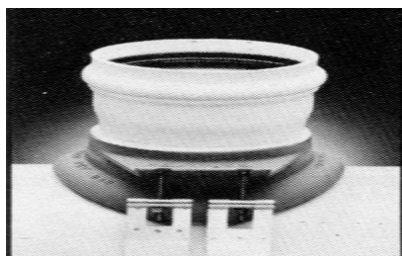


CH	4" & 6" Gasketed Bell to accept SDR-35
C40P	4" & 6" Solvent Weld PVC Hub to accept Sch 40
CS	4" & 6" Spigot Can Connect Any Lateral with Proper FERNCO Coupling
CA	4" & 6" Spigot of SDR 35-PVC
CEX	4" & 6" Hub to accept Extra Heavy CI (Gasket Included)
CSV	4" & 6" Hub to accept Service Weight CI (Gasket Included)
C26	4" & 6" NEW! Gasketed Bell to accept SDR-26
C40	4" & 6" NEW! Gasketed Bell to accept Sch 40
C40A	4" & 6" Spigot - Sch 40 PVC O.D.
C90A	4" & 6" Spigot - C900 O.D.
C90P	4" & 6" Solvent Weld PVC Hub to accept C900

Note: 6" Tap required in Main Regardless of Lateral Size

**SEALTITE® TYPE "8C" MULTI-RANGE TEE SEWER SADDLE VARIOUS
CONTOURS TO FIT 10.00" THROUGH 94.00" O.D. GRAVITY SEWER MAINS**

Models Available:

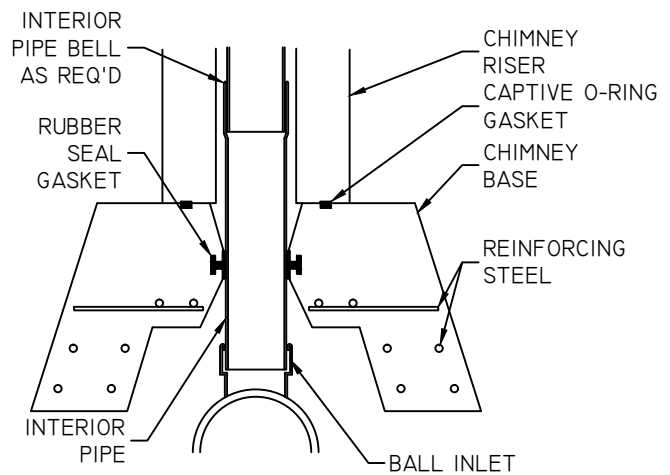
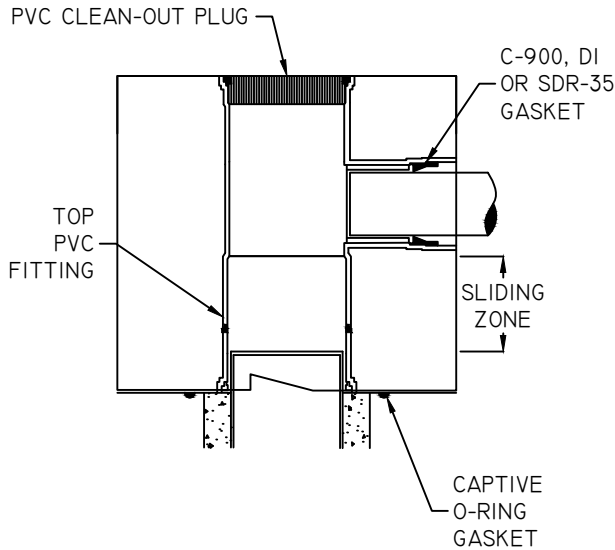
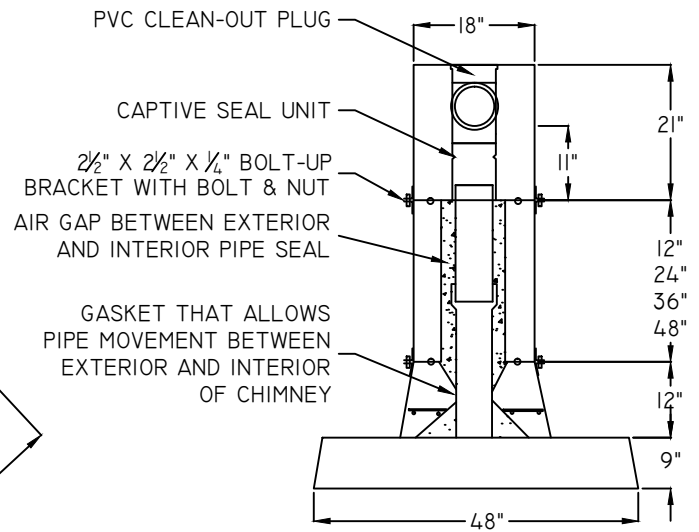
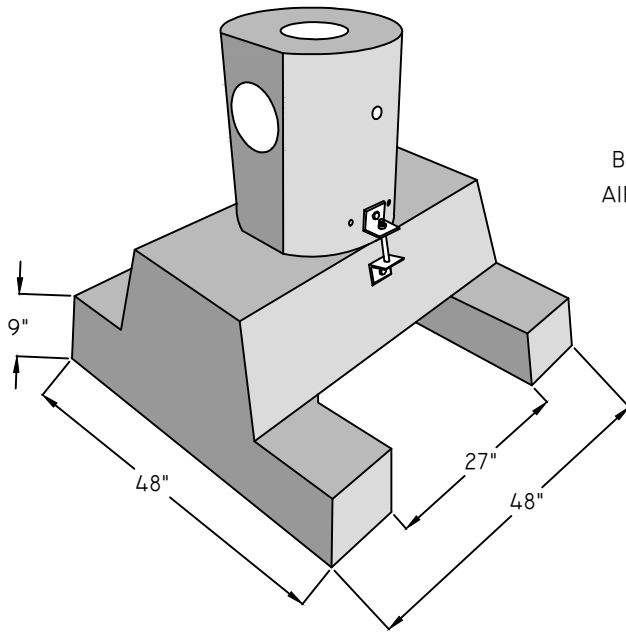


CH8	8" Gasketed Bell to accept SDR-35
8C40P	8" Solvent Weld PVC Hub to accept Sch 40
8C90A	8" Spigot C900 O.D.
CA8	8" Spigot of SDR 35-PVC
8C40	NEW! 8" Gasketed Bell to Accept Sch

40

8C40A 8" Spigot Sch 40 PVC O.D.

8C90P 8" Solvent Weld PVC Hub to Accept
C900



DESIGN NOTES:

1. CONCRETE - 5000 PSI, 28 DAYS
2. REINFORCING STEEL CONFORMS TO LATEST ASTM A615.
3. H-20 DESIGN LOADING PER AASHTO HS-20-44
4. FILL VOID UNDER BRIDGE SECTION WITH SUITABLE BEDDING MATERIAL
5. FOR USE WITH 18"Ø PIPE AND UP

PATENT 4,243,068
 PATENT 5,189,861
 PATENT 5,293,719
 PATENT 5,345,728
 PATENT 1,129,455 (CANADIAN)

ANY MODIFICATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF ARROW CONCRETE PRODUCTS SHALL RENDER IT INVALID AND UNUSABLE.



DOUBLE - SEAL
SEWER CHIMNEY

WIDE BASE

SCALE: N.T.S.
 DATE: 2/10/12
 DRAWN: JPW
 DWG #

539 ORONOQUE ROAD
MILFORD, CONNECTICUT
(203) 301-5091

560 SALMON BROOK STREET
GRANBY, CT 06035
(860) 653-5063

21 VERGASON AVENUE
NORWICH, CONNECTICUT
(860) 889-2213

CITY OF STAMFORD

MAYOR
CAROLINE SIMMONS

DIRECTOR OF OPERATIONS
MATT QUINONES
Email: MQuinones@StamfordCT.gov



CITY ENGINEER
LOUIS CASOLO, JR., P.E.
Email: LCasolo@StamfordCT.gov

INTEROFFICE MEMORANDUM

March 22, 2023

To: Vineeta Mathur Principal Planner

From: Willetta Capelle P.E. - Coordinator of Site Plan Reviews and Inspections

**Subject: 3 Atlantic Street
2-5 & 101 Broad Street - Landmark Square 1-6 LLC
Zoning Application No. 223-12**

The Engineering Bureau received Zoning Application plans for the redevelopment of Landmark Square Building 3 including demolition of the existing 134,000 sq ft office building and the construction of 400 apartments, 420 parking spaces, residential amenities and retail space.

The following plans were reviewed:

- "Property Survey Depicting 'Landmark Square' Prepared for Landmark Square 1-6 LLC" by Redniss & Mead dated 8/13/2015

- "Limited Property & Topographic Survey Depicting Landmark Square Building 3 Prepared for The Capelli Organization" by Redniss & Mead dated 10/26/22

- Site Plan Set consisting of sheets SE-1, SE-1A, SE-2, SE-2A, SE-3, SE-3A, SE-4, SE-4A, SE-5 through SE-11 "Depicting 3 Landmark Square Prepared for Landmark Square 1-6 LLC" by Redniss & Mead dated 2/8/23

- Landscape Architect Plans SPL-1.0, SPL-1.0A, SPL-2.0, SPL-3.0, SPL-3.1, 3 Landmark Square, Atlantic Street by Eric Rains Landscape Architecture, LLC dated 2/10/23

- "Site Engineering Report Landmark Square Building 3 Prepared for Landmark Square 1-6 LLC" by Redniss & Mead dated 2/8/23

The Engineer of Record Ted Milone, P.E. stated, "Based on the above information, the proposed improvements are designed in accordance with the City of Stamford Stormwater Drainage Manual and will not adversely impact adjacent or downstream properties or City-owned drainage facilities."

The Engineering Bureau has determined that the following shall be addressed by a CT professional engineer at the time of Building Permit submittal:

1) Final lane configuration and amenity zone layout will be subject to approval from the Traffic, Zoning and

Engineering Departments.

- 2) Sheet SE-1: Add a tree pit (with Flexipave) in the northernmost amenity zone.
- 3) Sheet SE-1: Increasing the buffer on both sides of the proposed crosswalk may be warranted, for pedestrian safety.
- 4) Sheet SE-1: Swap the locations of the middle street light and adjacent tree pit for more even light distribution along Atlantic Street.
- 5) Sheet SE-1A: Add a street light in the northernmost amenity zone.
- 6) Sheet SE-2A: The lip curbing reveal is too low (less than 1"). Increase to the standard height.
- 7) Sheet SE-5: Clarify on Turning Movement Sheets SE-5 and SE-6 if this is two-directional or one-way.
- 8) Sheet SE-9: Planting and staking notes are shown on the Light Pole Foundation Detail, although a tree pit detail is not shown.
- 9) Confirm the decorative lighting type, color and spacing is consistent with City standards. Revise the site plans and Landscape Architect plans accordingly.
- 10) Landscape Architect plan sheet SPL-1.0A refers to 3 streetlights and only 2 are shown on the plan.
- 11) The Custom Soil Map in the Site Engineering Report shows the Luther Street label at the wrong location.
- 12) A new address assignment may be required and must be determined prior to Building Permit submittal.
- 13) The Engineering Bureau reserves the right to make additional comments.

Please contact me at 203-977-4003 with any questions.

CC: Ted Milone
Frank Petise

Reg. No. 77

From: Seely, Walter <WSeely@StamfordCT.gov>
Sent: Thursday, February 23, 2023 7:28 PM
To: Mathur, Vineeta <VMathur@StamfordCT.gov>
Cc: Armstrong, Chad <CArmstrong1@StamfordCT.gov>; Repp, Christopher <CREpp@StamfordCT.gov>
Subject: Application 223-12 Landmark Square #3

Good evening Vineeta

I have reviewed the proposed 31 story apartment building with retail on the ground floor to replace the existing building at #3 Landmark Square.

The FM office has no issues with the proposal Application 223-12

Have a good weekend

Walter (Bud) Seely

**Fire Marshal
Stamford Fire Department
Office of the Fire Marshal
888 Washington Blvd. 7th Floor
Stamford, CT. 06902
203-977-4651**

RECEIVED

JUN 22 2023

ZONING BOARD

MAYOR
Caroline Simmons



**CITY OF STAMFORD
PLANNING BOARD
LAND USE BUREAU**
888 WASHINGTON BOULEVARD
STAMFORD, CT 06904-2152

DIRECTOR OF OPERATIONS
Matthew Quiñones

Land Use Bureau Chief
Ralph Blessing

Principal Planner
Vineeta Mathur
(203) 977-4716
vmathur@stamfordct.gov

Associate Planner
Lindsey Cohen
(203) 977-4388
lcohen@stamfordct.gov

March 10, 2023

Mr. David Stein, Chair
City of Stamford
Zoning Board
888 Washington Boulevard
Stamford, CT 06902

**RE: ZB APPLICATION #223-12 - LANDMARK SQUARE 1-6, LLC - 0 ATLANTIC STREET;
3 ATLANTIC STREET; 2 BROAD STREET; 4 BROAD STREET; 5 BROAD STREET &
101 BROAD STREET - Site & Architectural Plans and/or Requested Uses & Special Permit**

Dear Mr. Stein & Members of the Zoning Board:

During its regularly scheduled meeting held on Tuesday, March 7, 2023, the Planning Board reviewed the above captioned application referred in accordance with the requirements of the Stamford Charter.

Applicant is proposing the redevelopment of Landmark Square Building #3 including demolition of the existing 134,000 sq. ft. office building and replacing with 400 apartments, 420 parking spaces, residential amenities and 5,200 sq. ft. of retail space.

This proposal supports the City's Housing Plan recommendations to increase use of the Fee-in-Lieu program for BMR units. Specifically, the proposal is aligned with Master Plan Category #11 (Downtown) that "is intended to provide for and protect an intensive, pedestrian-oriented mixed-use district" with a full array of uses serviced by mass transportation and integrated pedestrian access systems. The proposal also supports the following Master Plan policies and strategies:

- Policy 3B: Growth Management
- Strategy 3C.3: Maintain the affordable housing stock to ensure that people who work in Stamford can afford to live in Stamford.
- Policy 5B: Make downtown a more pedestrian-friendly neighborhood.
- Strategy 5D.3-c: Maximize the potential of public plazas and open spaces Downtown.
- Strategy 5E.1: Promote neighborhood revitalization.
- Policy 6B: Preserve Existing and Create New Affordable Housing.
- Policy 6C: Encourage Development of Mixed-Income Housing.

Richard Redniss, Redniss & Mead, presented the application and William Hennessey, Carmody Torrance Sandak Hennessey, LLP, spoke about the Fee-in-Lieu and both answered questions from the Board.

After a brief discussion, the Planning Board unanimously voted to recommended **approval** of **ZB Application #223-12** with the recommendation the Zoning Board look into the Affordable Housing Trust Fund to determine how to best use the Fee-in-Lieu funds of \$11M and this request is compatible with the neighborhood and consistent with Master Plan Category #11 (Downtown).

Sincerely,

STAMFORD PLANNING BOARD

A handwritten signature in blue ink that reads "Theresa Dell (a)".

Theresa Dell, Chair

TD/lac



City of Stamford

ENVIRONMENTAL PROTECTION BOARD

INTEROFFICE CORRESPONDENCE

MEMO TO: Vineeta Mathur, Principal Planner
Zoning Board of the City of Stamford

FROM: Lindsay Tomaszewski, Environmental Analyst
Environmental Protection Board

SUBJECT: 0 & 3 Atlantic Street, 2, 4, 5, & 101 Broad Street
Landmark Square 1-6 LLC
Zoning Application No. 223-12

DATE: March 6, 2023

Landmark Square 1-6 LLC seeks approval of Site & Architectural Plans and/or Requested Uses and a Special Permit for demolition of Landmark Square Building 3 and redevelopment into a mixed use building with 400 apartments, parking, amenities, office and retail space. The parcel is identified as follows in the records maintained by the Stamford Tax Assessor:

Address	Lot No.	Account	Card	Map	Block	Zone	Area
2 Broad Street	3A	002-8012	S-013	121	174	CCN	±6.297 Acres

The site currently supports an existing office building. The property is located on the east side of Atlantic Street adjacent to the recently renovated Veterans Memorial Park. This park provides some plantings and natural features, but lawn areas are limited to the northern section of the property. The site is surrounded by dense, primarily commercial uses, including restaurants, office buildings, the Palace Theatre, residential units, and stores.

The property does not lie within a special flood hazard area (Zone X, FIRM 09001C0516G, 7/8/2013). The property does not support any wetlands or watercourses and is not located within the coastal area boundary; therefore, there are no regulated areas that would warrant a permit by the Environmental Protection Board (EPB). Demolition includes removal of three tiered planting beds along the south side of the building, three street trees, and planting beds outside the existing ground level retail. Proposed landscaping includes replacement of the three street trees and plantings on the 6th floor roof deck. The roof deck landscape plan includes 27 trees, an unspecified number of ornamental plantings, and turf

0 & 3 Atlantic Street, 2, 4, 5, & 101 Broad Street
Landmark Square 1-6 LLC
ZB No. 223-12

lawn. EPB staff recommends, if compliant with ADA sidewalk requirements, that the ground level planting beds be restored with this construction.

The erosion and sedimentation control plan includes a catch basin silt sack, anti-tracking pad, one stock pile area, and dewatering pump. Prior to building permit approval, the erosion control plan must be updated to include construction fencing, multiple possible stock pile areas, multiple construction entrances as needed, silt fencing or similar measure around the construction area, and a phased erosion control/construction plan.

The EPB has no objections to the Zoning Board approving the proposed development. To ensure that the project enhances and protects existing natural features, EPB recommends the following:

- Prior to endorsement for the issuance of a Building Permit by EPB staff, the erosion and sedimentation control plan shall be updated to include construction fencing, multiple possible stock pile areas, multiple construction entrances as needed, silt fencing or similar measure around the construction area, and a phased erosion control/construction plan.
- Prior to endorsement for the issuance of a Building Permit, final approval by the Engineering Bureau of all site grading and drainage mitigation plans.
- Prior to endorsement for the issuance of a Building Permit, proof of approval from CT DEEP and Stamford stormwater management of the temporary dewatering discharge to the storm system.
- Prior to endorsement for the issuance of a Building Permit, please update landscaping plan to include name, size, type, location and quantity of all plants. EPB recommends that the ground level planting beds be restored with this construction.

Thank you for the opportunity to comment.

MAYOR
CAROLINE SIMMONS

DIRECTOR OF OPERATIONS
MATT QUIÑONES
Email: mquinones@stamfordct.gov



TRANSPORTATION BUREAU CHIEF
FRANK W. PETISE, PE
Email: fpetise@stamfordct.gov

OFFICE OF OPERATIONS
TRANSPORTATION, TRAFFIC & PARKING
Tel: (203) 977-5466/Fax: (203) 977-4004
Government Center, 888 Washington Blvd., 7TH Floor, Stamford, CT 06901

INTEROFFICE MEMORANDIUM

TO: Zoning Board Office

FROM: Frank W. Petise, PE
Transportation Bureau Chief

DATE: June 8, 2023

RE: Zoning Board Application 223-12

A handwritten signature in blue ink, appearing to read "Frank W. Petise", is written over the "FROM:" line of the memorandum.

Application #223-12

3 Landmark Square
Landmark Square 1-6 LLC

The Transportation, Traffic & Parking Department (TTP) has reviewed the following documents:

- Project Narrative dated February 14, 2023;
- Traffic Study prepared by SLR dated February 2023;
- Parking and Transportation Demand Management Plan dated February 13, 2023;
- Property Survey prepared by Redniss and Mead dated October 13, 2015;
- Site Development Plan prepared by Redniss and mead dated February 8, 2023;
- Landscape Plan prepared by Eric Rains Landscape Architects dated February 10, 2023.
- Architectural Plans prepared by Lessard Design dated February 10, 2023 (revised May 19 2023); and,
- Revised and Updated documents prepared by Redniss and Mead and others dated May 30th, 2023.

The TTP Department provides the following comments on the zoning board application.

Site Development Plan

1. The removal of the HAWK signal (cost to be borne by the applicant) with a Rectangular Rapid Flashing Beacon (RRFB) and the relocation of mid-block crosswalk on Atlantic Street is acceptable to the Department, provided that the applicant coordinates with the Department on and pays for, either through construction of and/or a cash conveyance for the cost of, the following through the process of the City's roadway project which shall be completed by the Department's sign off on the Certificate of Occupancy:
 - a. Install a raised crosswalk and supplement with an RRFB to facilitate pedestrian crossing at the mid-block crosswalk location.
 - b. The raised crosswalk shall be flush with the height of the sidewalk and at least 10 feet wide. The raised crosswalk should also be stamped thermoplastic, complying with City standards.
 - c. Modify the bump out along the west side of Atlantic Street and prohibit on-street parking within 25' of the raised crosswalk.
 - d. Reduce the driveway width of the loading zone based on vehicle tracking analysis for an SU-30 truck. The applicant shall explore the use of mountable curb to narrow the width of the driveway. Turning templates shall be provided to ensure large vehicles do not impact the RRFB or potentially stopping on the raised crosswalk and conflicting with pedestrians.
 - e. The widths of driveways to the parking garage should be modified in order to maximize the distance from the raised crosswalk.
2. The Department accepts the revised sidewalk layout plan and widths as depicted in plans titled "Supplemental Exhibit: Site Plan Submission" prepared by Lessard Design dated May 26th, 2023. A sidewalk easement for portions of sidewalk on private property shall be conveyed to the City prior to issuance of a Certificate of Occupancy.
3. The applicant shall coordinate with TTP on all the proposed modifications on roadway, traffic signals, sidewalk, driveway access, and other impacts on City infrastructure associated with the site redevelopment.
4. The proposed garage driveway on Atlantic Street shall remain as right-in/right-out only to minimize potential conflicts between vehicles and pedestrians/cyclists, which may include a raised island to channelize the right-in/right-out only movements with appropriate signage and markings in place.
5. Prior to a Building Permit, provide a construction management plan for review given the potential construction impacts on roadway, on-street parking, sidewalk and other City infrastructure in the vicinity of the Site. The plan shall include construction parking, loading and unloading and vehicles and materials associated with the site, and sidewalk and roadway detours.
6. Approximately half of the required Class A bike parking shall be provided on the ground floor.
7. The applicant shall complete the required site work within Veterans Park in the vicinity of the bus stop in conjunction with the new bus shelter and Class B Bike racks. All Class B bike parking shall be covered. The applicant shall be responsible for the new bus shelters, bike racks, and overhead structures and this obligation shall be met in kind construction

and/or in cash for the cost of work prior to the Department's signing off on the Certificate of Occupancy.

8. Stone Pavers are not approved on the sidewalk.
9. The concrete walking area on the sidewalk shall be a minimum of 6' in width.
10. Based on a review of the application, the Applicant and TTP department discussed a contribution of \$500,000 by the Applicant for cash and/or in-kind construction toward improving the pedestrian experience in the area. This shall include items #1 and #7 above with any remaining funding and/or services to be provided to the Veterans Park Partnership, with final details to be coordinated with LUB staff. If items #1 and #7 exceed \$500,000 in cost, the applicant will still be required to complete them fully as described.

Prior to a Building Permit, Applicant shall make the following plan updates:

1. Doors shall not swing out into the sidewalk.
2. Provide specifications for the EV Charging Stations.
3. Provide the specifications for the Class A and Class B Bike parking.
4. Provide a stop bar and stop sign inside the garage whenever the internal ramp meets a new level.
5. Provide a stop bar and stop sign for the connection between the existing garage and the new garage.
6. Provide a stop bar and stop sign for exiting both the garage and loading dock onto Atlantic Street.