

May 30, 2023

Vineeta Mathur, Principal Planner
Stamford Land Use Bureau
888 Washington Boulevard
Stamford, CT 06901

Re: *Landmark Square Building 3*
ZB Application #223-12

Dear Ms. Mathur,

As discussed, we offer the following responses and updated materials pursuant to our review of the application materials with you on 4/14/23 and subsequent discussions with LUB and TTP staff on 5/23/23.

1. Zoning data charts have been revised to reference specific section of the regulations and Special Permit requests, where applicable. Parking charts have been updated to more clearly describe required EV and Bicycle parking calculations.
2. A separate chart laying out the parking counts and unit types by floor has been provided.
3. Architectural plans have been updated as follows:
 - a. Directional arrows added to garage floor plans.
 - b. Elevations revised to more clearly depict elements of each particular façade that are, in reality, set back or angled along a particular view.
 - c. Additional detail and real-life images are included to depict:
 - i. the façade grid lines (which have been confirmed to have a 3” to 4” depth) and bay windows with a 2’ depth.
 - ii. Metal panel garage screening which will be aluminum and not susceptible to rust. This type of screen is used on Atlantic Station and is available in a variety of finishes including flat, specular and gloss.
4. A rendered Landscape Plan is included to which we offer the following comments and clarifications:
 - a. No hanging plantings are proposed for the amenity terrace. Such plantings would be difficult to maintain. The glass railing provides unobstructed view of the substantial landscaping proposed on the amenity deck which will complement the adjacent park.
 - b. The open lawn areas are proposed as artificial turf for several reasons, including ongoing maintenance as grass would require mowing and an irrigation system. Additionally the artificial surface is better suited for regular, repeat use, and use by those with disabilities.
 - c. Additional plantings along the base of the building frontage were considered. In the applicant’s many experiences with such plant beds in urban settings with high foot traffic,

they have proved to be more of a nuisance – trip hazard and “trash catcher” – than a benefit. Raised, self-contained, planters near the building entrances are possible and depicted in the additional images.

- d. Paving treatment to accent the building entrance is shown. The applicant is happy to implement this subject to approval from Engineering and TTP.
5. Pursuant to discussions with LUB and TTP staff, the proposed building and sidewalk alignment, in the event that the City’s proposed Atlantic Street redesign is not implement and existing roadway design is maintained, has been updated. The building has been cut back at the ground level along the garage and utility rooms, and the sidewalk has been pushed out where feasible to maintain the existing 22’ travel width between the curb and median along the frontage. This provides the requested 15’ sidewalk dimension along the entire frontage except for a pinch-point at the north end of the lobby where it is minimally 12.5’.

We understand this to be an acceptable “fall-back” position in the event that Atlantic Street is not redesigned and is a significant improvement from existing conditions where the clear path is as narrow as 4’ in some instances.

The potential for a raised crosswalk will need to be further reviewed with TTP staff.

In support of these modifications, enclosed please find:

- Unit and Parking Matrix dated 5/9/23;
- Updated Zoning Data charts dated 5/26/23;
- Revised Architectural plan set dated 5/19/23;
- Revised Landscaping plan set dated 5/18/23;
- Supplemental Sidewalk Exhibit dated 5/26/23;

Please let us know if you have any further questions or require additional information.

Sincerely,



Raymond R. Mazzeo, AICP

Enclosures

Cc: R. Blessing
F. Petise
L. Buttenwieser
J. Wang

Landmark - Zoning Data
MP Category 11, Downtown
Zoning District CC

Standard	Existing	Req/Allowed	Proposed	Notes
Lot Area	227,596	Min. 4000 SF	no change	(Appendix B, Table IV) Area excludes additional leasehold parcels which carry additional development rights and support existing commercial floor area.
Frontage	903'	Min. 40'	no change	(Appendix B, Table IV) Broad Street, Atlantic Street, Luther Street
Building Coverage	94%±	Max. 100%	95%±	Special Permit (Appendix B, Footnote 7)
Commercial FAR	646,000 (2.84)	Base: 2.0 Premium: 2.5	517,000 (2.27)	Special Permit (Appendix B, Footnote 13) Proposed reduction of 134,000 sf of commercial space to be replaced with residential and 5,000sf retail. All numbers are gross sf with no exemptions for ground floor retail space.
Building Height	295'± approx. height of One Landmark	Base: 290' Max: 350-400'	320'±	Special Permit (Appendix B, Table IV and Footnote 13)
Density (DU)	n/a	505+	400	(Appendix B, Table IV and Footnote 4) Additional units permissible with onsite BMRs and/or trade-in of commercial floor area rights
BMR Requirement	n/a	10%	40/FIL	Special Permit for FIL per §7.4 estimated at \$10.7M
Front Setback	Broad St.: 3' Atlantic St.: 0' Luther St.: 0'	0'	Broad St.: 3' Atlantic St.: 0' Luther St.: 0'	Appendix B, Table IV
Side Setback	0'	0' or 4'	0'	(Appendix B, Table IV) Existing buildings (to remain) on property lines
Rear Setback	0'	0'	0'	(Appendix B, Table IV) Existing buildings (to remain) on property lines
Open Space	n/a	per ZB	18,000±	§7.Q; Proposed amenity deck and terraces only. Excludes additional outdoor space within the Landmark complex.

<u>Base Density Calculation</u>		<u>Notes</u>
Lot Area:	227,596	per R&M survey
Base Density:	$227,596 \div 450 = \mathbf{505}$	Appendix B, Table IV
BMR Requirement:	$505 \times 10\% = \mathbf{51}$	Appendix B, Footnote 4
BMR Bonus (if onsite):	$51 \times 2 = \mathbf{102}$	Additional density permitted through bonuses and/or commercial trade-in
Permitted Density:	$505 + 102 = \mathbf{607}$	

Landmark - Zoning Data (cont.)

Parking Calculation

Residential (by unit)		Required	(total req)	Provided	Notes
Studio	20	1.00	20.0	420	Complies. §12.G Counts include 18 EV spaces (which count as 0.5 spaces each or 411 equivalent spaces).
1-BR	180	1.00	180.0		
2-BR	180	1.00	180.0		
3-BR	20	1.25	25.0		
TOTAL	400	-	405.0		

Bicycle Parking Calculation

Use	Class A		Provided	Class B		Notes
	Required			Required	Provided	
Residential	1 per 5 DU (60 units or less)	12	48	1 per 10 Units	40	Complies. §12.J
	1 per 10 Units (in excess of 60 units)	34				
Restaurant	1 per 5,000sf	1		1 per 500sf	10	
TOTAL	47	48		TOTAL	50	

Electric Vehicle Parking

Required EV Spaces		Provided	Notes
50-99 required Parking Spaces: 5 Spaces	5	18	Complies. §12.L
100+ Parking Spaces: 1 per 25 spaces in excess of 99	$405 - 99 = 306$ $306 \div 25 = 12.2$		
TOTAL	17.2		

Street Tree Requirement

Frontage	Requirement	Trees Req'd	Provided	Notes
251'	1 Tree per 30'	8.4	4	§12.K.6; Fee to be paid for remaining 4.4 trees

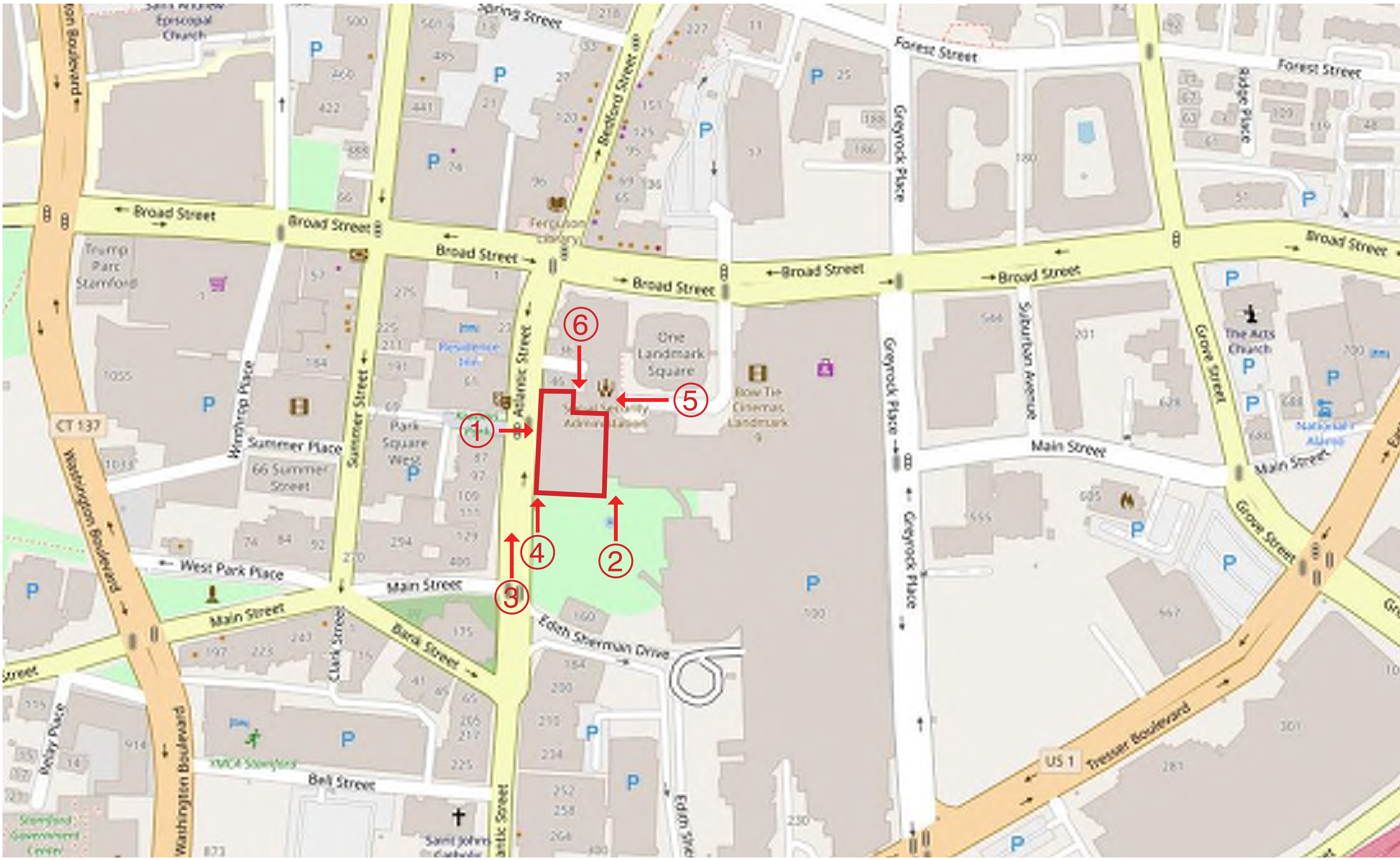


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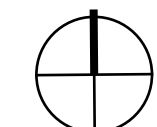
- A.01 COVER SHEET
- A.02 VICINITY MAP & EXISTING CONDITIONS
- A.03 ILLUSTRATIVE SITE PLAN
- A.04 GARAGE BASEMENT FLOOR PLAN (B2)
- A.05 GARAGE BASEMENT FLOOR PLAN (B1)
- A.06 GROUND FLOOR PLAN (GR/G1)
- A.07 GARAGE FLOOR PLAN (G2)
- A.08 TYPICAL GARAGE FLOOR PLAN (G3-G5)
- A.09 RESIDENTIAL FLOOR PLAN (R1) / 6TH FLOOR
- A.10 TYPICAL RESIDENTIAL FLOOR PLAN (R2-R21) / 7-26 FLOOR
- A.11 TYPICAL RESIDENTIAL FLOOR PLAN (R22-R26) / 27-31 FLOOR
- A.12 ROOF PLAN
- A.13 MATERIAL SAMPLE BOARD
- A.14 BUILDING ELEVATIONS
- A.15 BUILDING ELEVATIONS
- A.16 ENLARGED BUILDING ELEVATION
- A.17 ENLARGED BUILDING ELEVATION
- A.18 PERSPECTIVE 1
- A.19 PERSPECTIVE 2
- A.20 AERIAL PERSPECTIVE
- A.21 BUILDING SECTION
- A.22 REPRESENTATIVE IMAGES

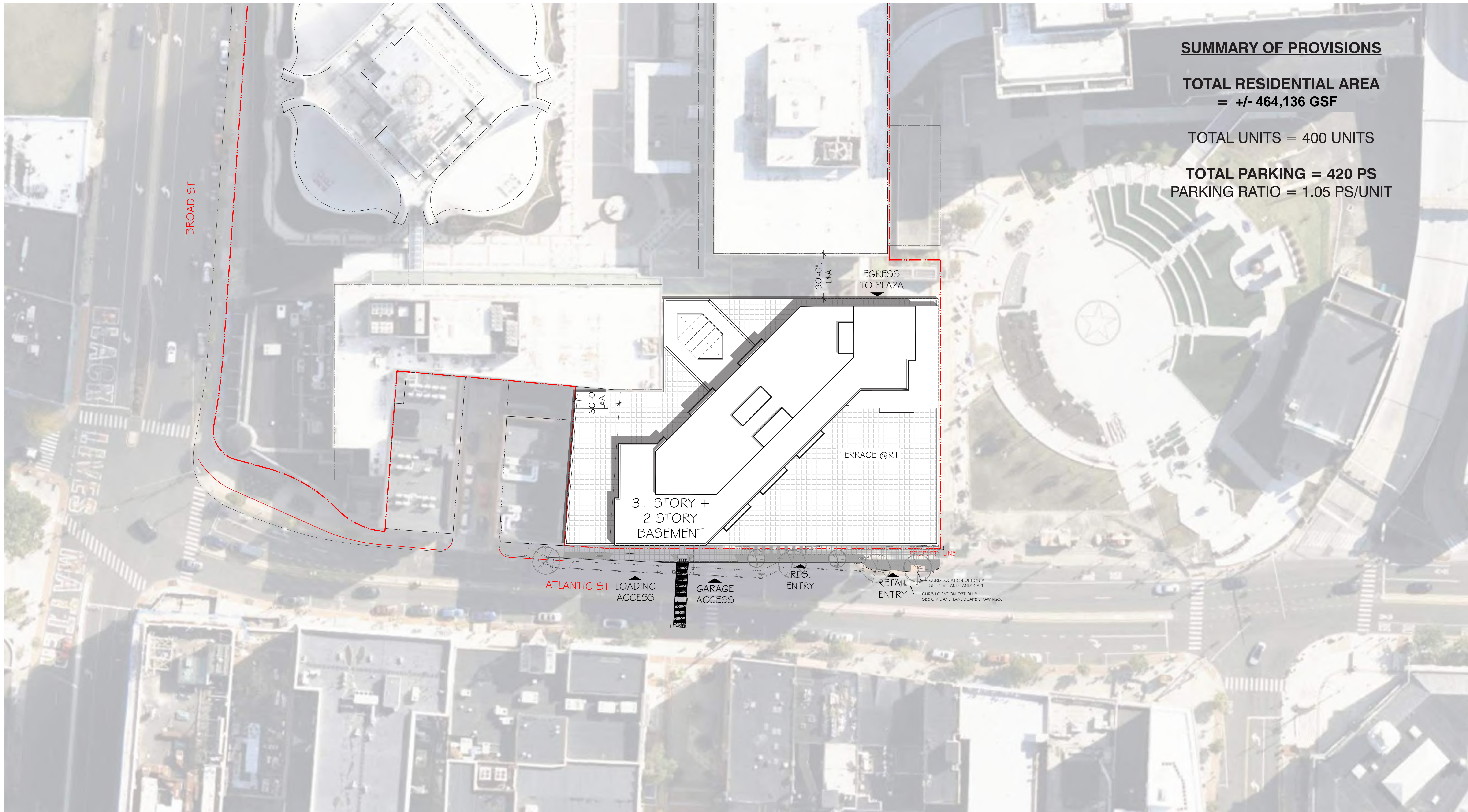
3 LANDMARK SQUARE SITE PLAN SUBMISSION

05/19/2023



*NOTE: REFER TO CIVIL FOR SITE PLAN AND CIVIL INFORMATION.
 LANDSCAPE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.
 REFER TO LANDSCAPE FOR TREES AND LANDSCAPE INFORMATION.





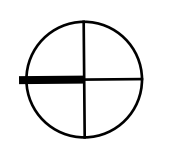
SUMMARY OF PROVISIONS

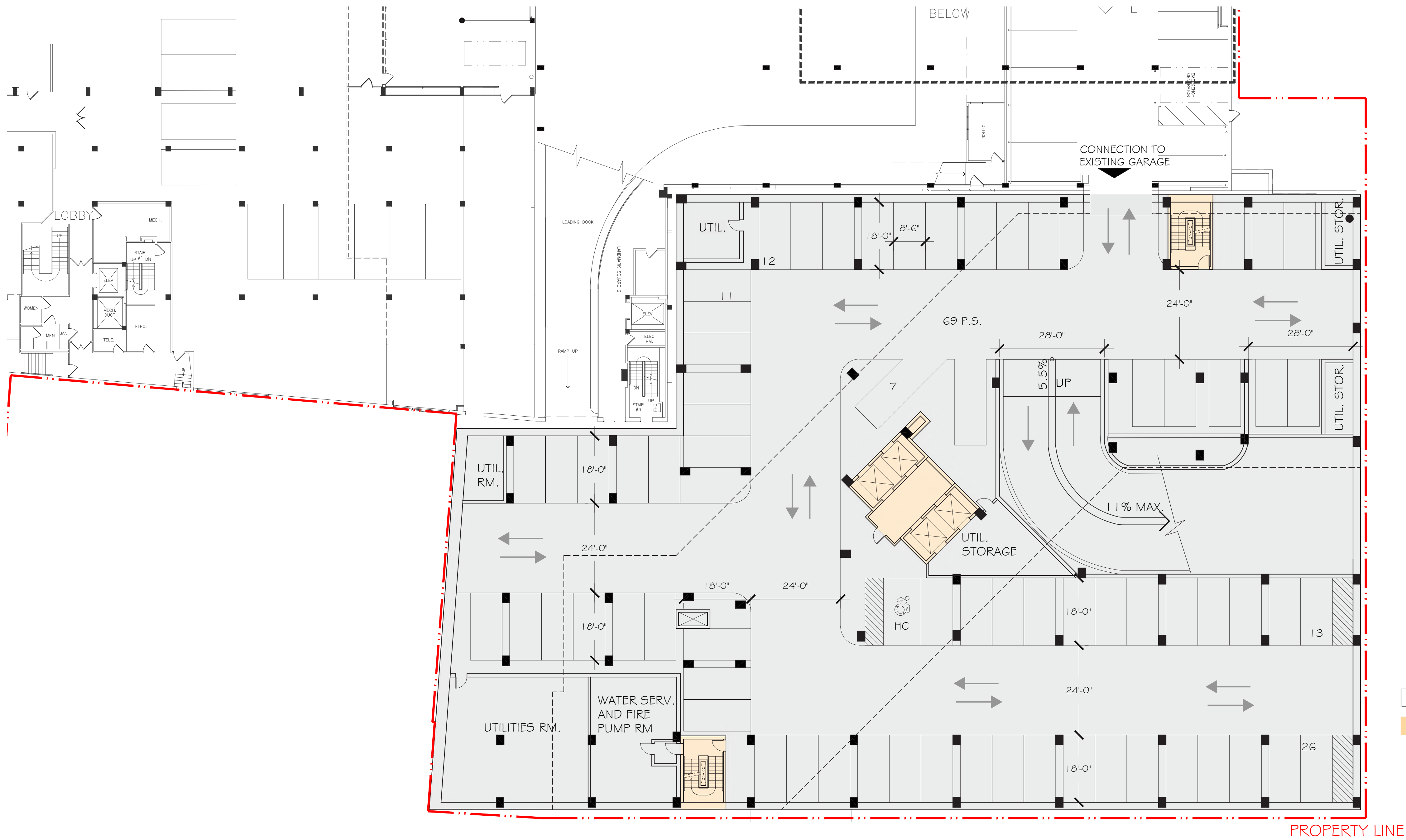
TOTAL RESIDENTIAL AREA
= +/- 464,136 GSF

TOTAL UNITS = 400 UNITS

TOTAL PARKING = 420 PS
PARKING RATIO = 1.05 PS/UNIT

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REFER TO LANDSCAPE FOR TREES AND LANDSCAPE INFORMATION.





GARAGE
 RESIDENTIAL

PROPERTY LINE

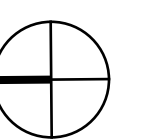
*NOTE: REFER TO LANDSCAPE ARCHITECT FOR LANDSCAPE AND TERRACE DESIGN
REFER TO CIVIL FOR SITE PLANS AND CIVIL INFORMATION.

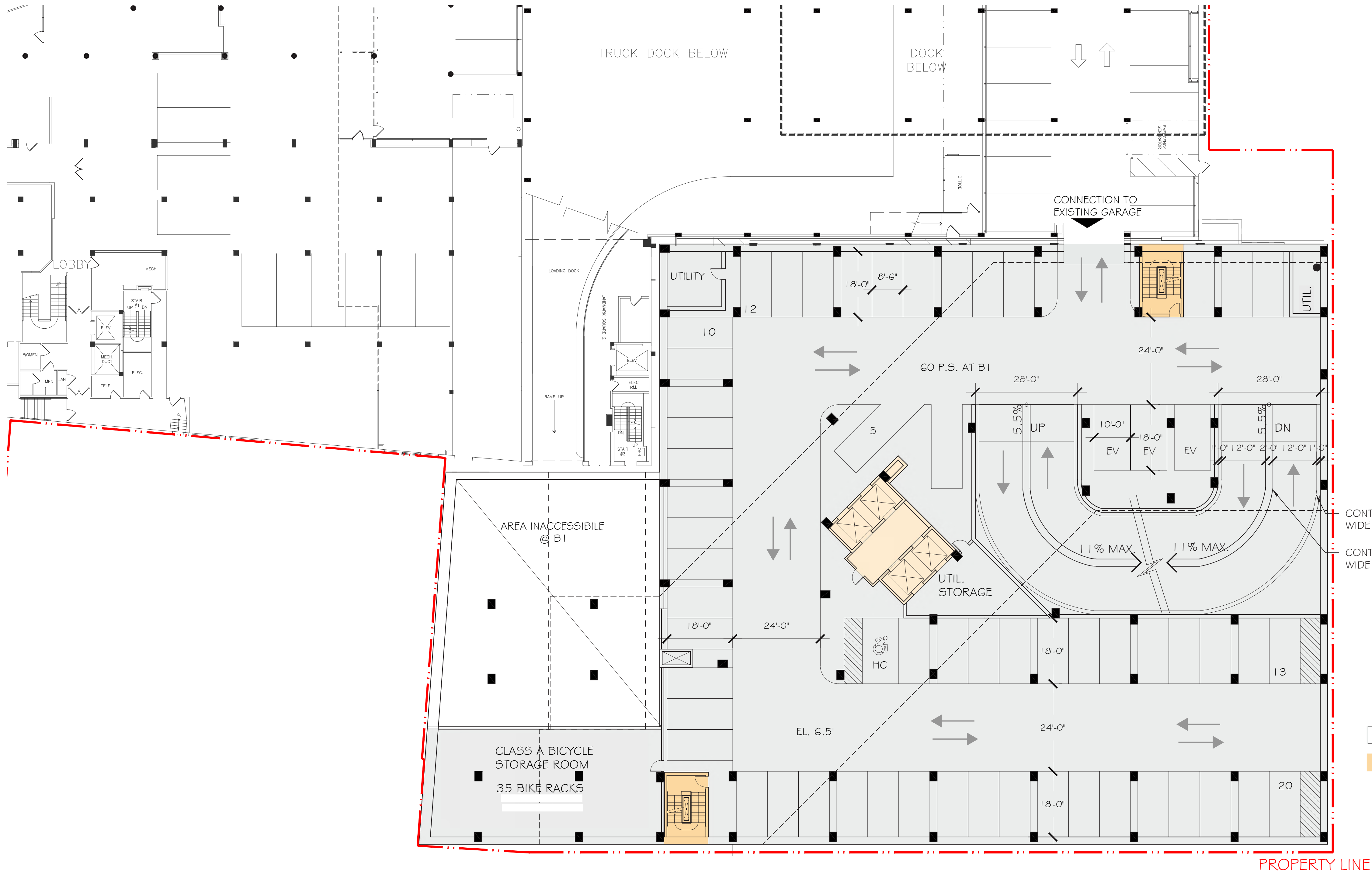
CONCEPT REPRESENTS CURRENT CC ZONING REGULATIONS DEC.22,2022

GARAGE BASEMENT FLOOR PLAN (B2)

SITE PLAN SUBMISSION

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CONTINUOUS 1' WIDE CURB
CONTINUOUS 2' WIDE CURB

□ GARAGE
■ RESIDENTIAL

PROPERTY LINE

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GARAGE BASEMENT FLOOR PLAN (B1)

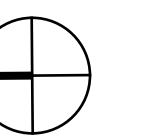
SITE PLAN SUBMISSION

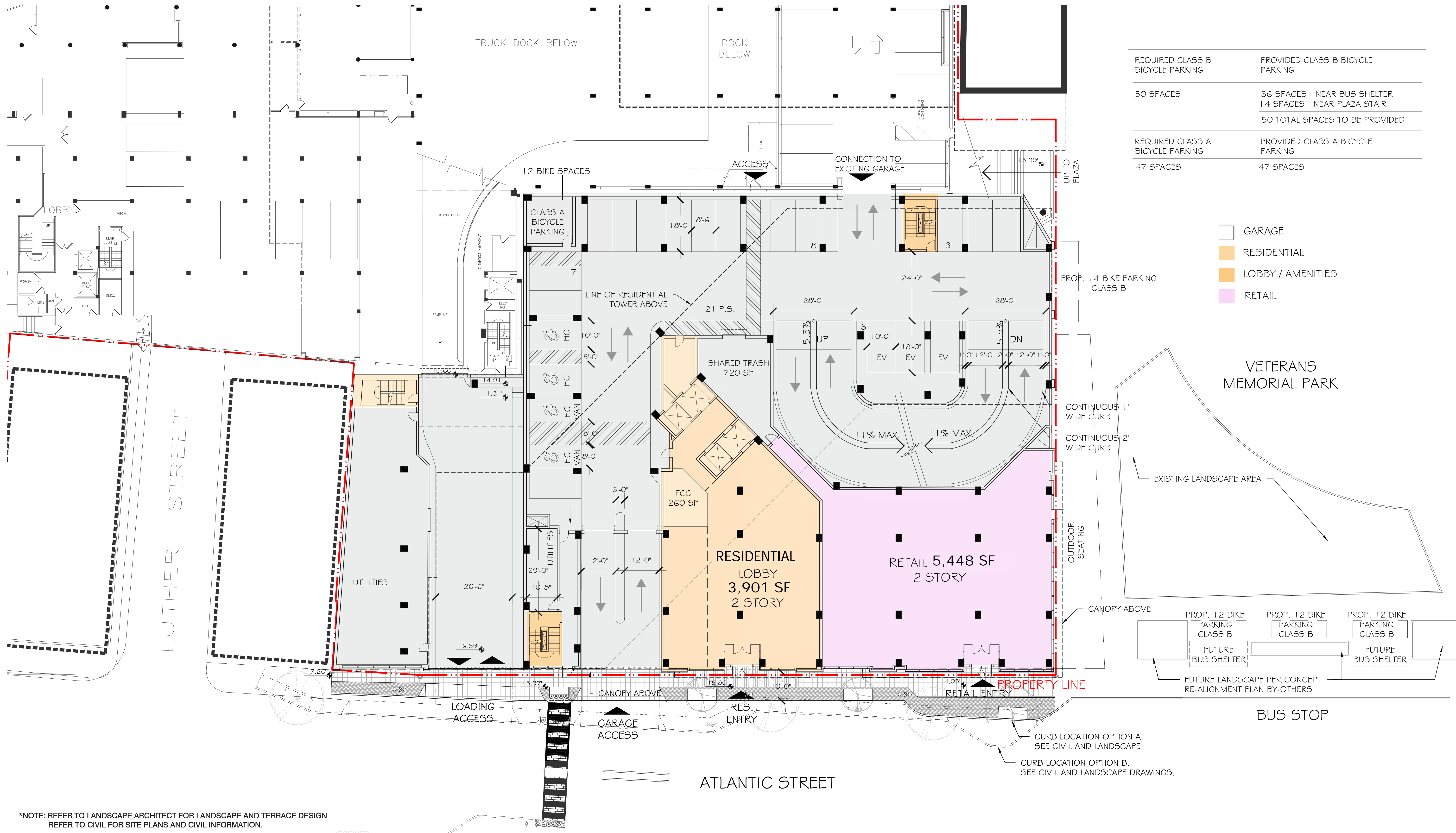
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02/10/2023
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A.05

0' 8' 16' 32'
SCALE: 1/16" = 1'-0" (@ 22"x34")



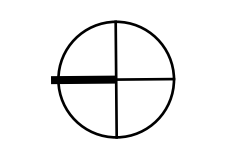


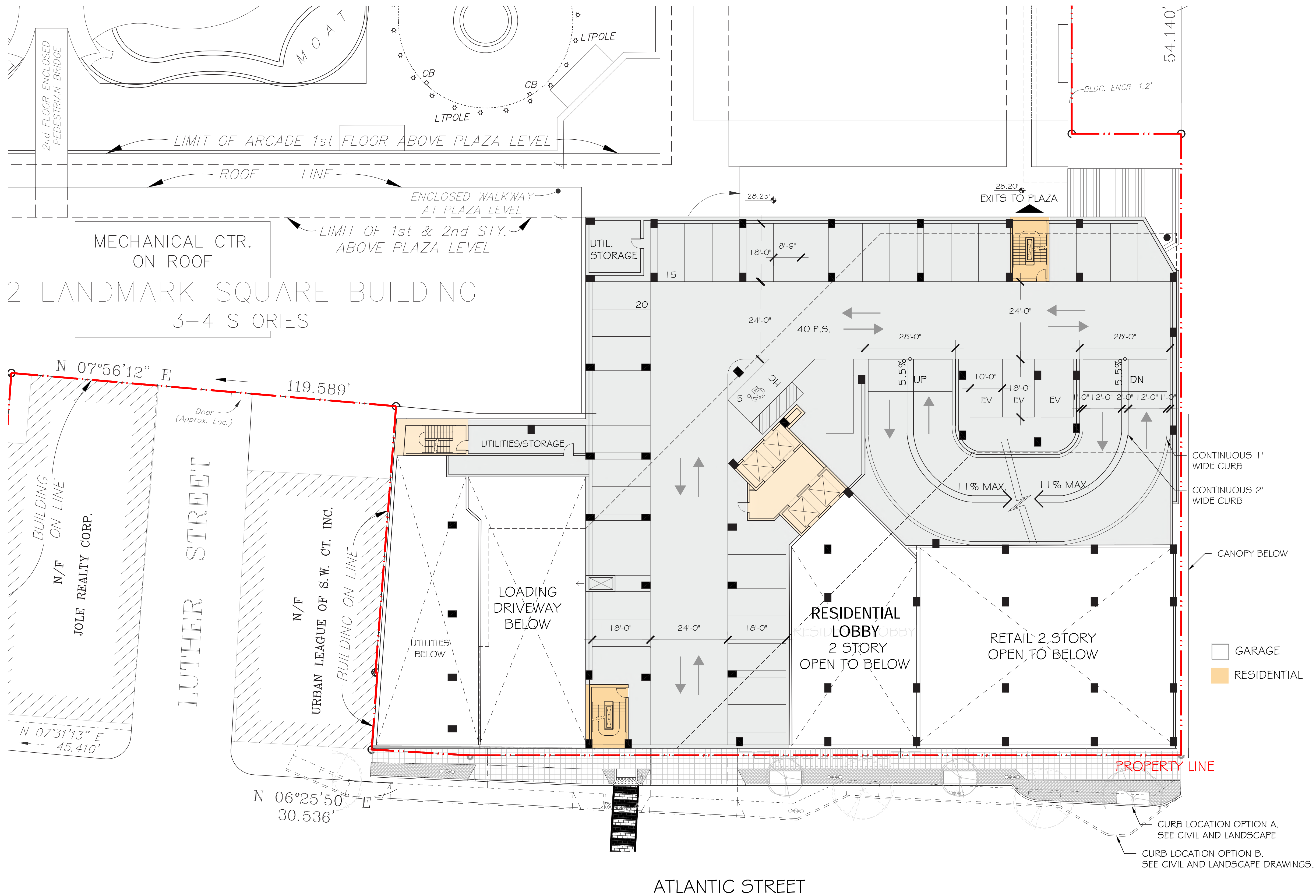
REQUIRED CLASS B BICYCLE PARKING	PROVIDED CLASS B BICYCLE PARKING
50 SPACES	36 SPACES - NEAR BUS SHELTER 14 SPACES - NEAR PLAZA STAIR
	50 TOTAL SPACES TO BE PROVIDED
REQUIRED CLASS A BICYCLE PARKING	PROVIDED CLASS A BICYCLE PARKING
47 SPACES	47 SPACES

- GARAGE
- RESIDENTIAL
- LOBBY / AMENITIES
- RETAIL

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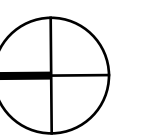


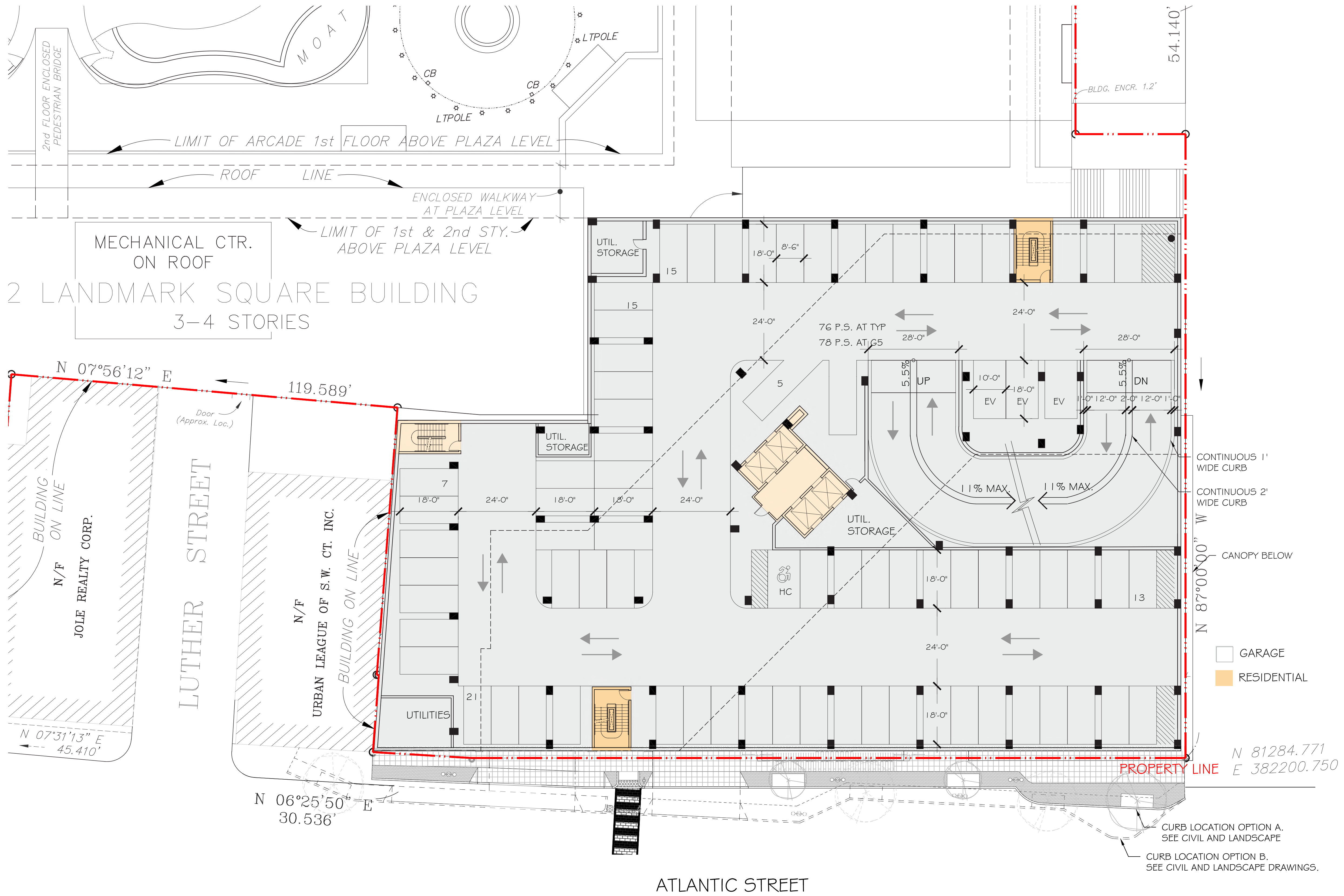


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RECEIVES DEVELOPS.



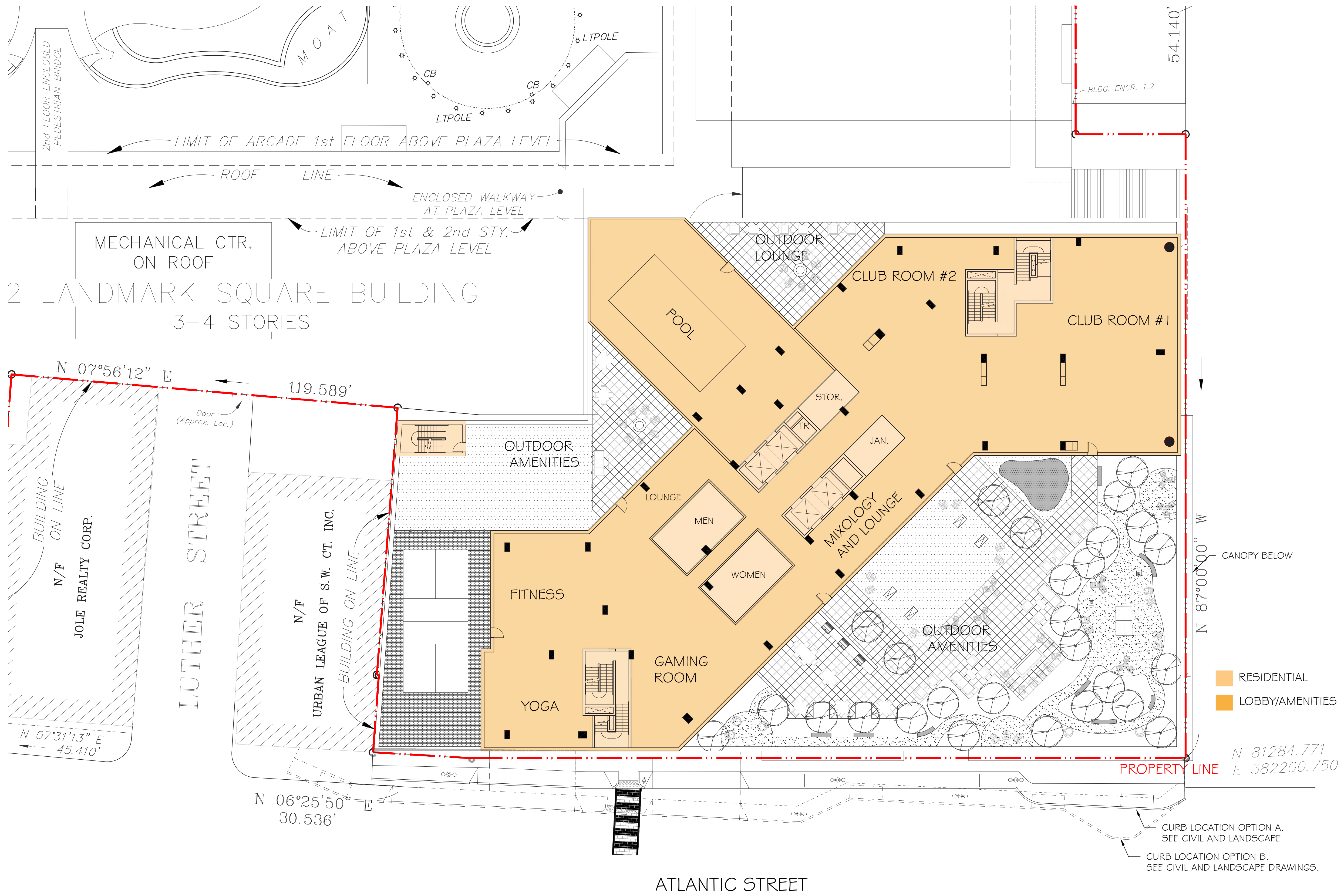


2 LANDMARK SQUARE BUILDING
3-4 STORIES

- CONTINUOUS 1' WIDE CURB
- CONTINUOUS 2' WIDE CURB
- CANOPY BELOW
- GARAGE
- RESIDENTIAL

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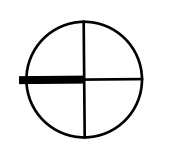


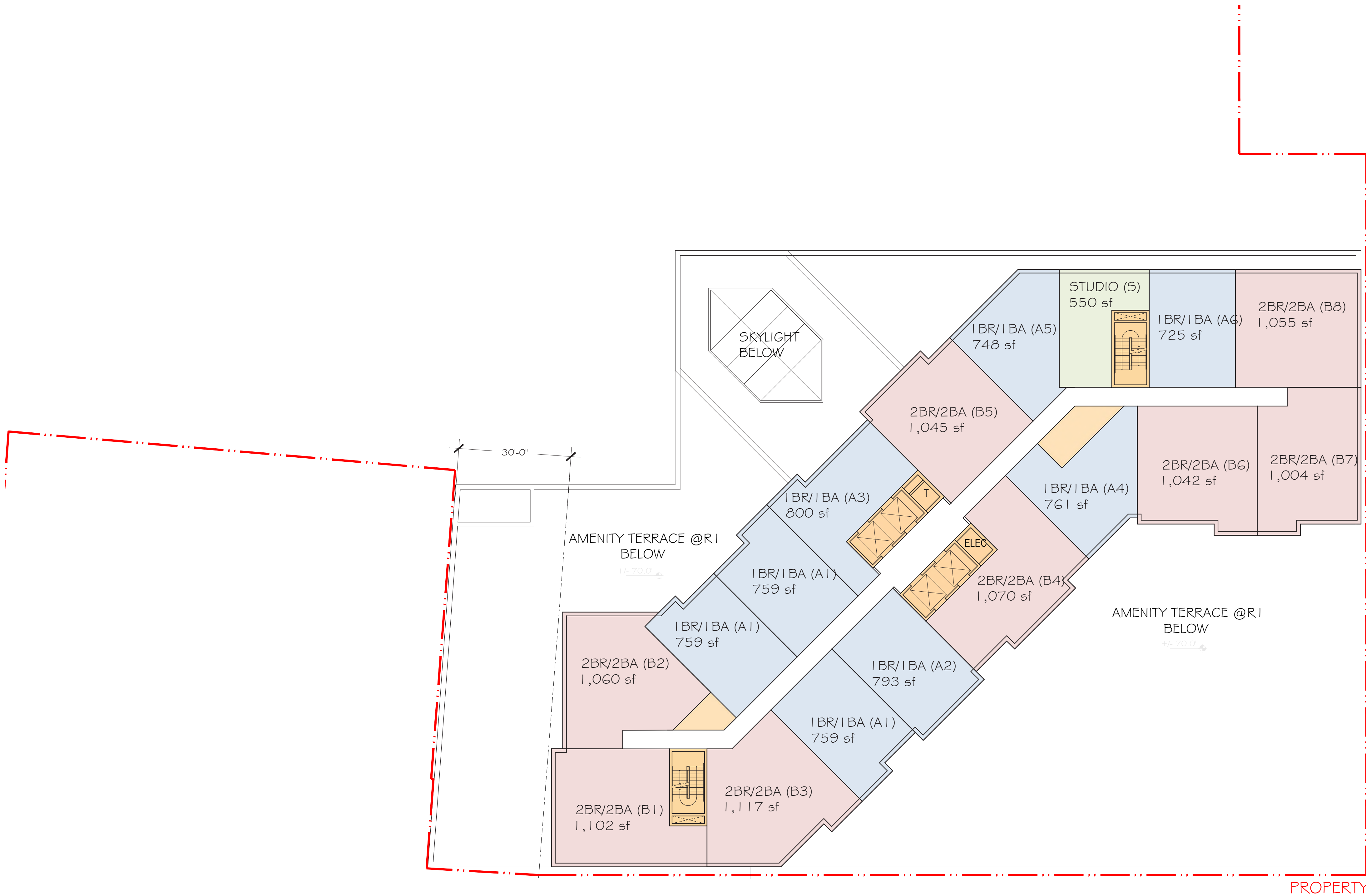
2 LANDMARK SQUARE BUILDING
3-4 STORIES

RESIDENTIAL
LOBBY/AMENITIES

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ATLANTIC STREET

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DEVELOPS.

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TYPICAL RESIDENTIAL FLOOR PLAN (R2-R21)/7-26 FLOOR

SITE PLAN SUBMISSION

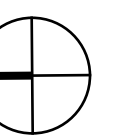
3 LANDMARK SQUARE

STAMFORD, CT
1-3 LANDMARK SQUARE LLC

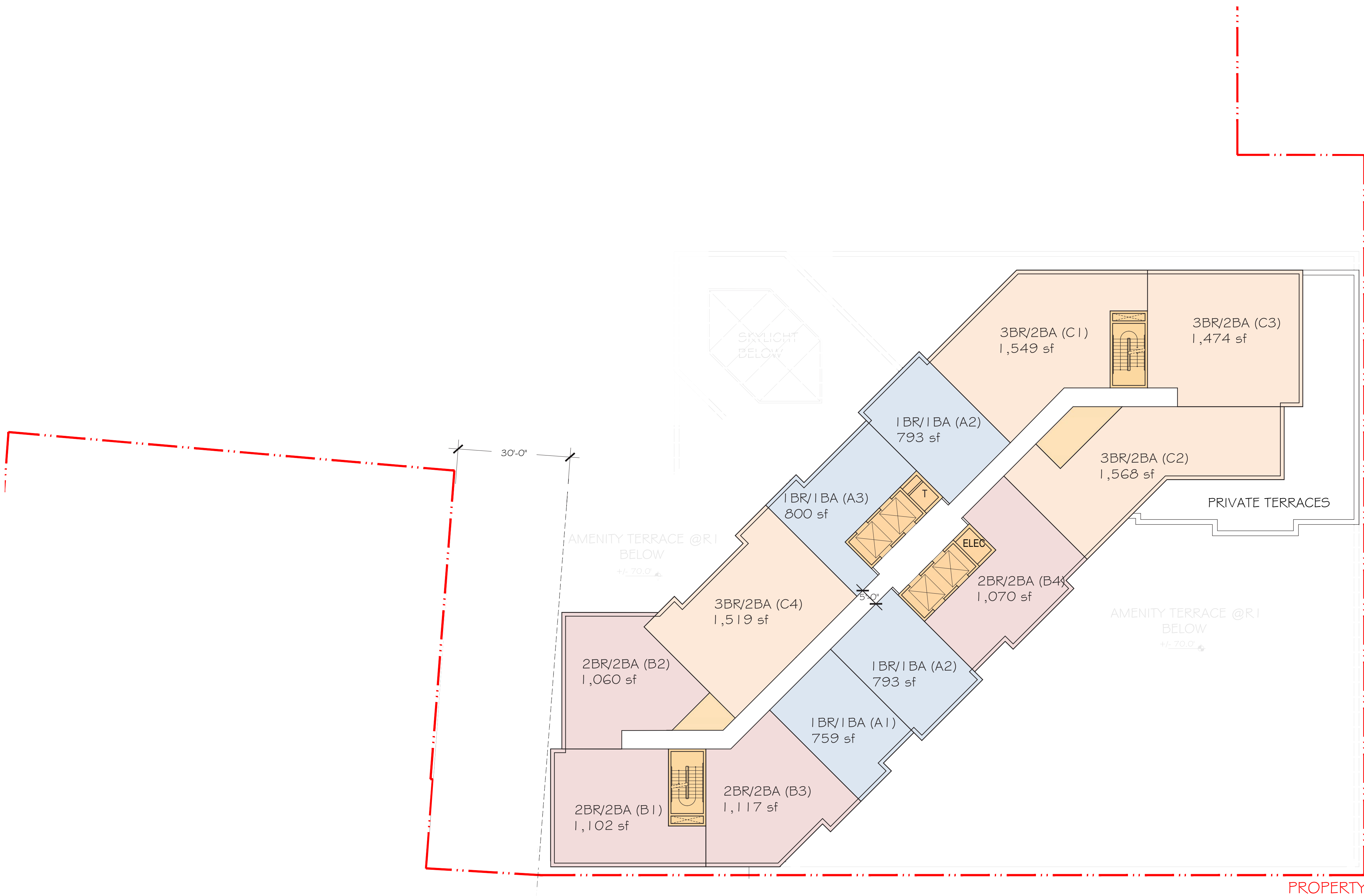
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A.10

0' 8' 16' 32'
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TYPICAL RESIDENTIAL FLOOR PLAN (R22-R26)/27-31 FLOOR

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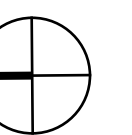
3 LANDMARK SQUARE

STAMFORD, CT
1-3 LANDMARK SQUARE LLC

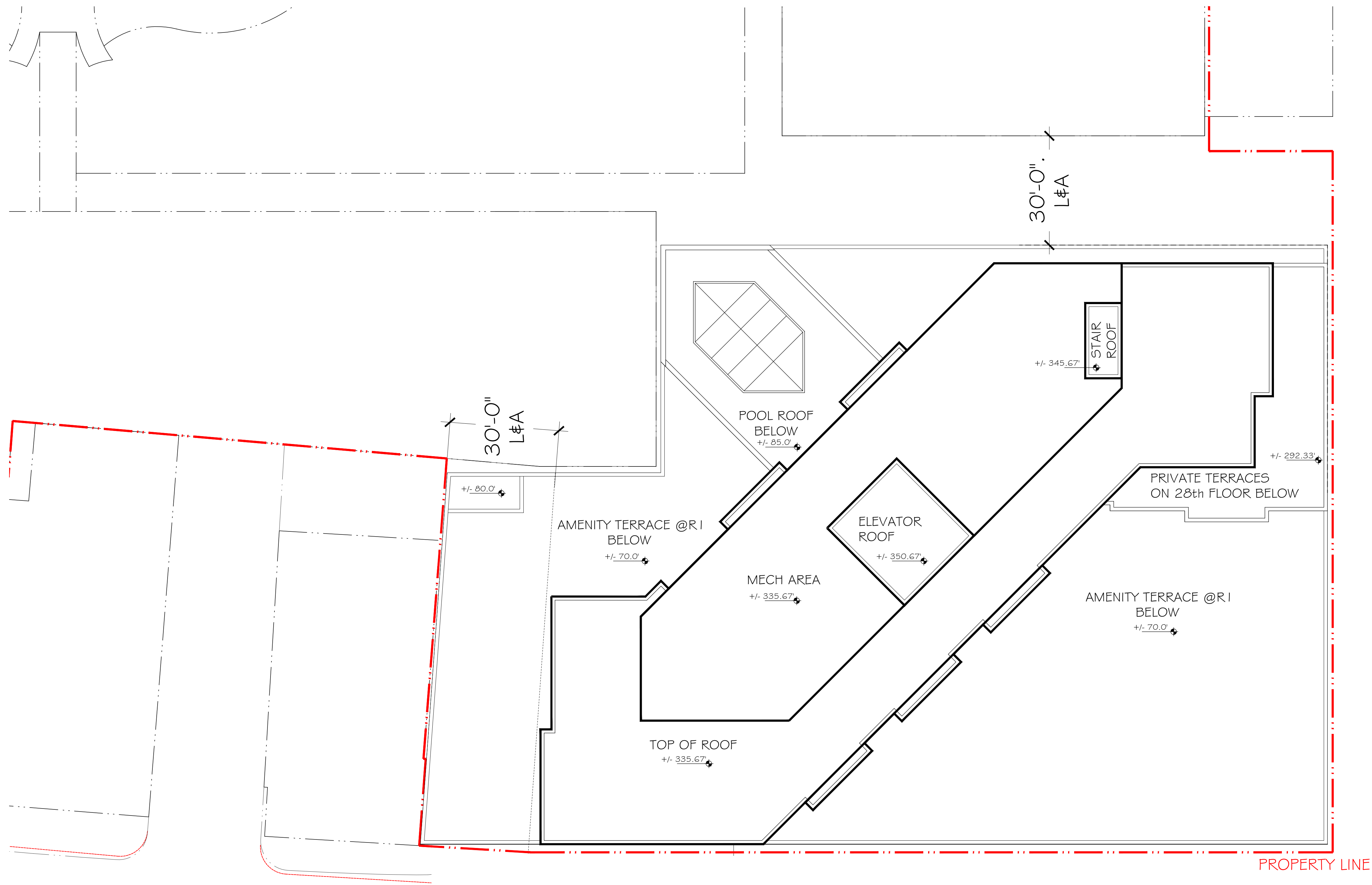
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A.11

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ATLANTIC ST

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RECEIVES
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ROOF PLAN

SITE PLAN SUBMISSION

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3 LANDMARK SQUARE

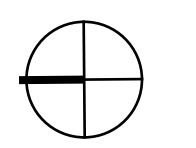
STAMFORD, CT

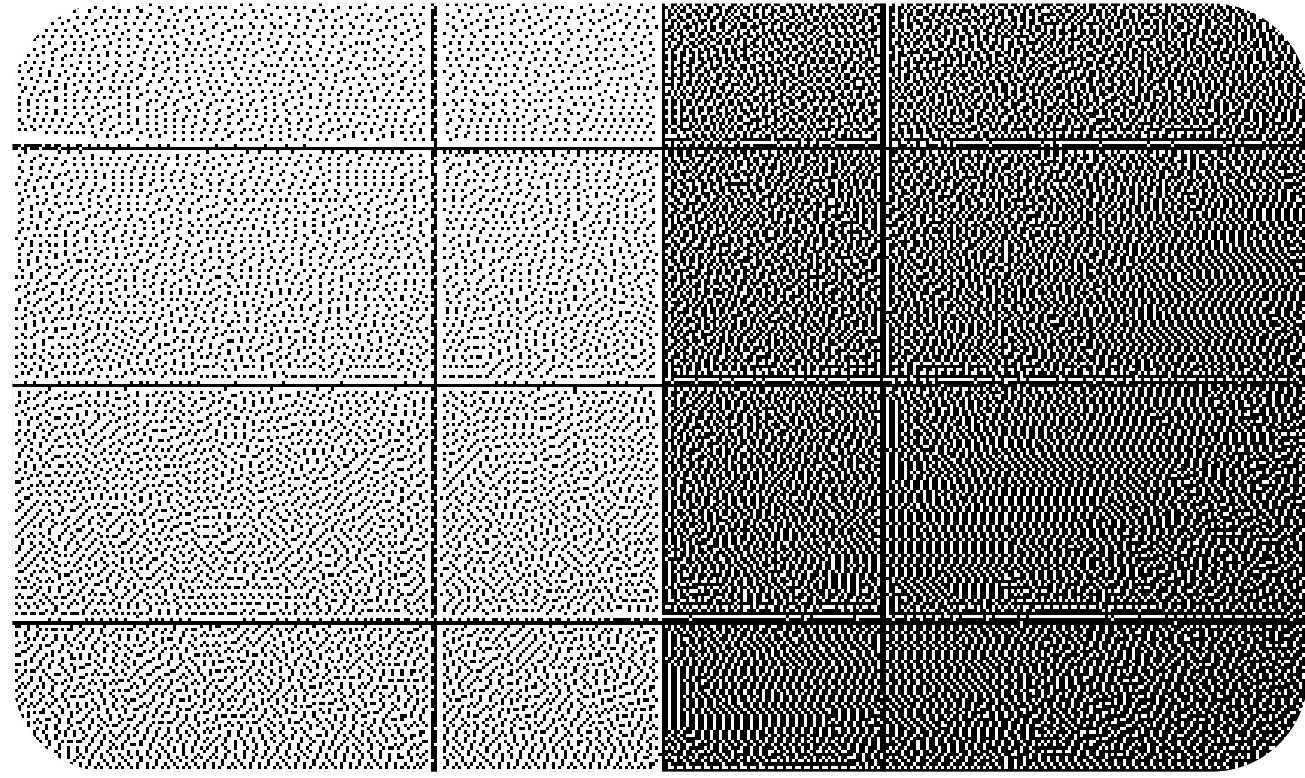
1-3 LANDMARK SQUARE LLC

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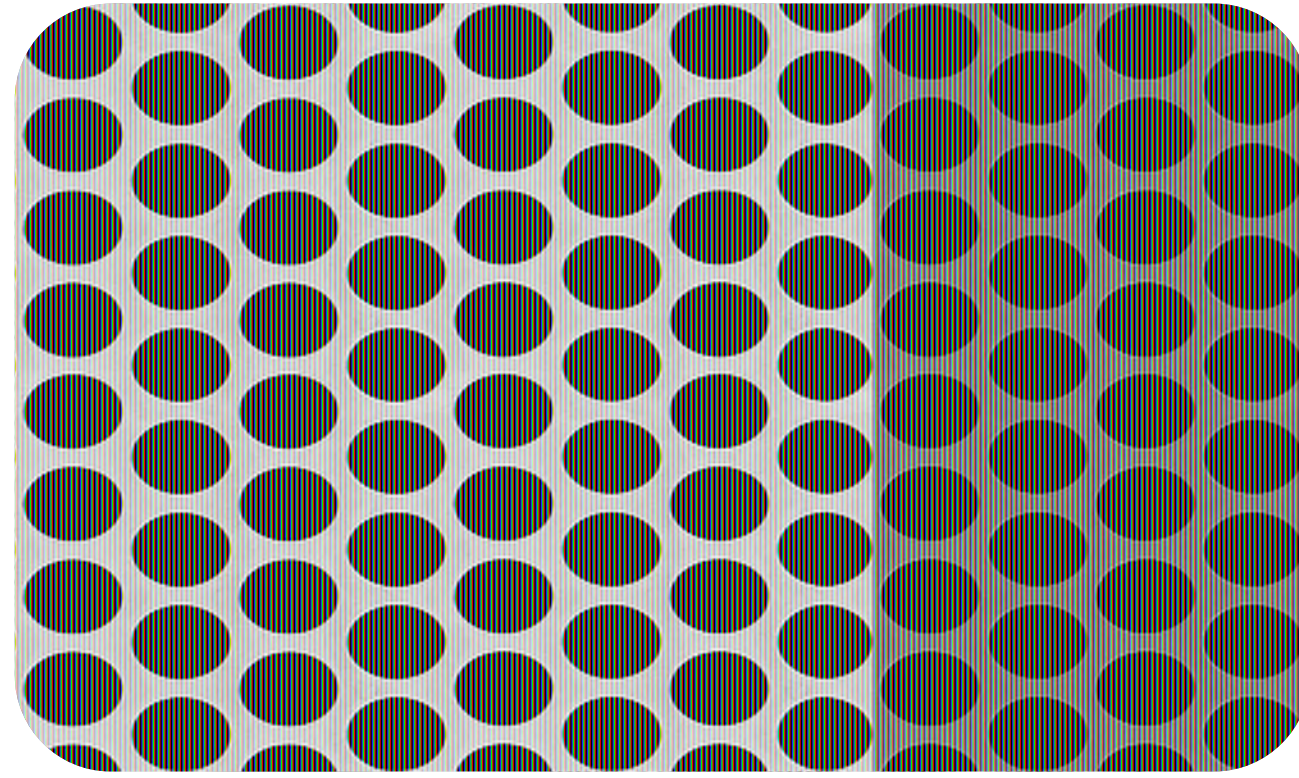
0' 8' 16' 32'
SCALE: 1/16" = 1'-0" (@ 22"x34")





1a 1 1b

Metal panel



2a 2 2b

Perforated metal panel
screen / metal screen



3

Porcelain Tiles



4

Metal canopy



5

Storefront Glass



6

Window walls



7

Glass Railing



8

Metal Louvers



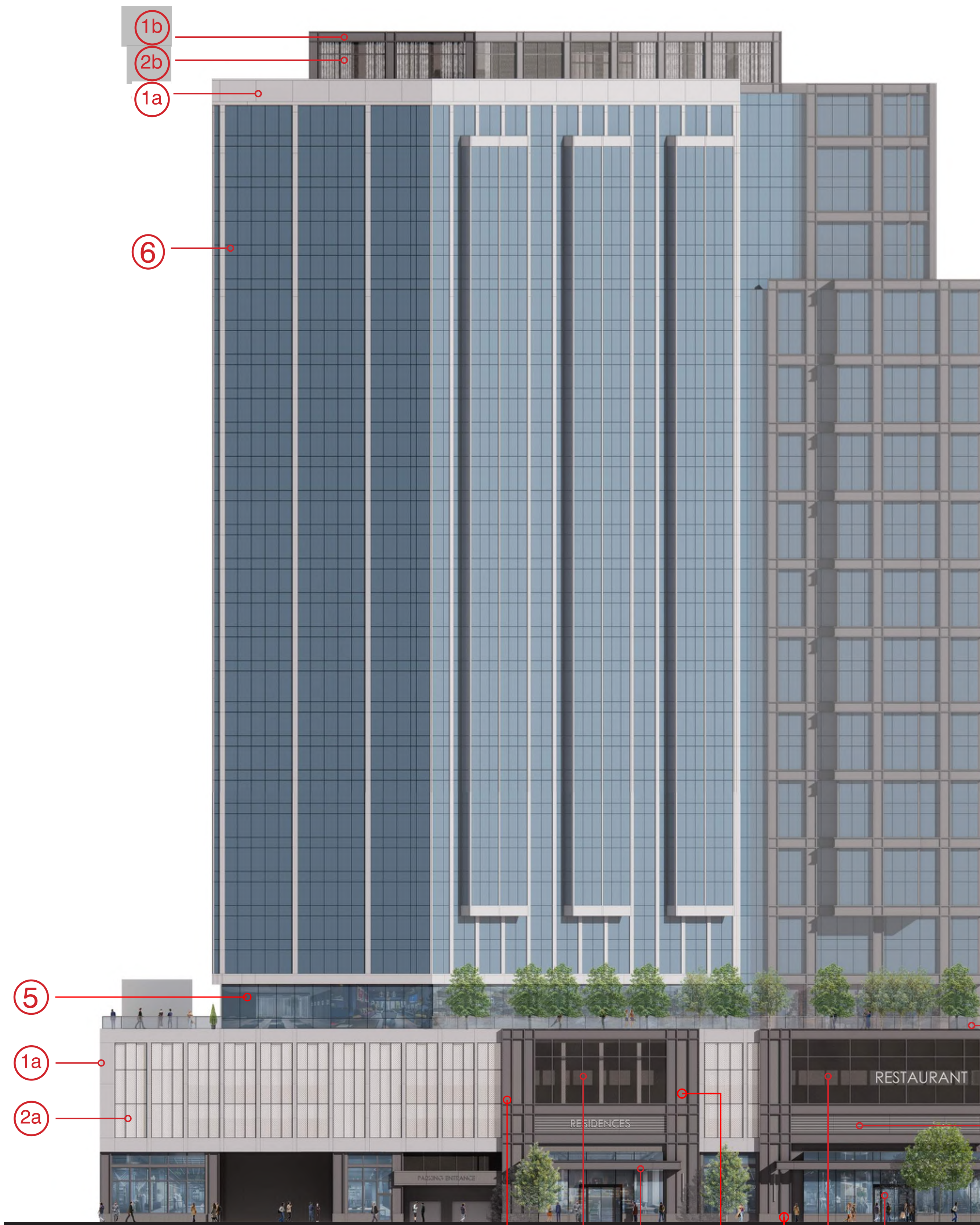
9

Green Wall

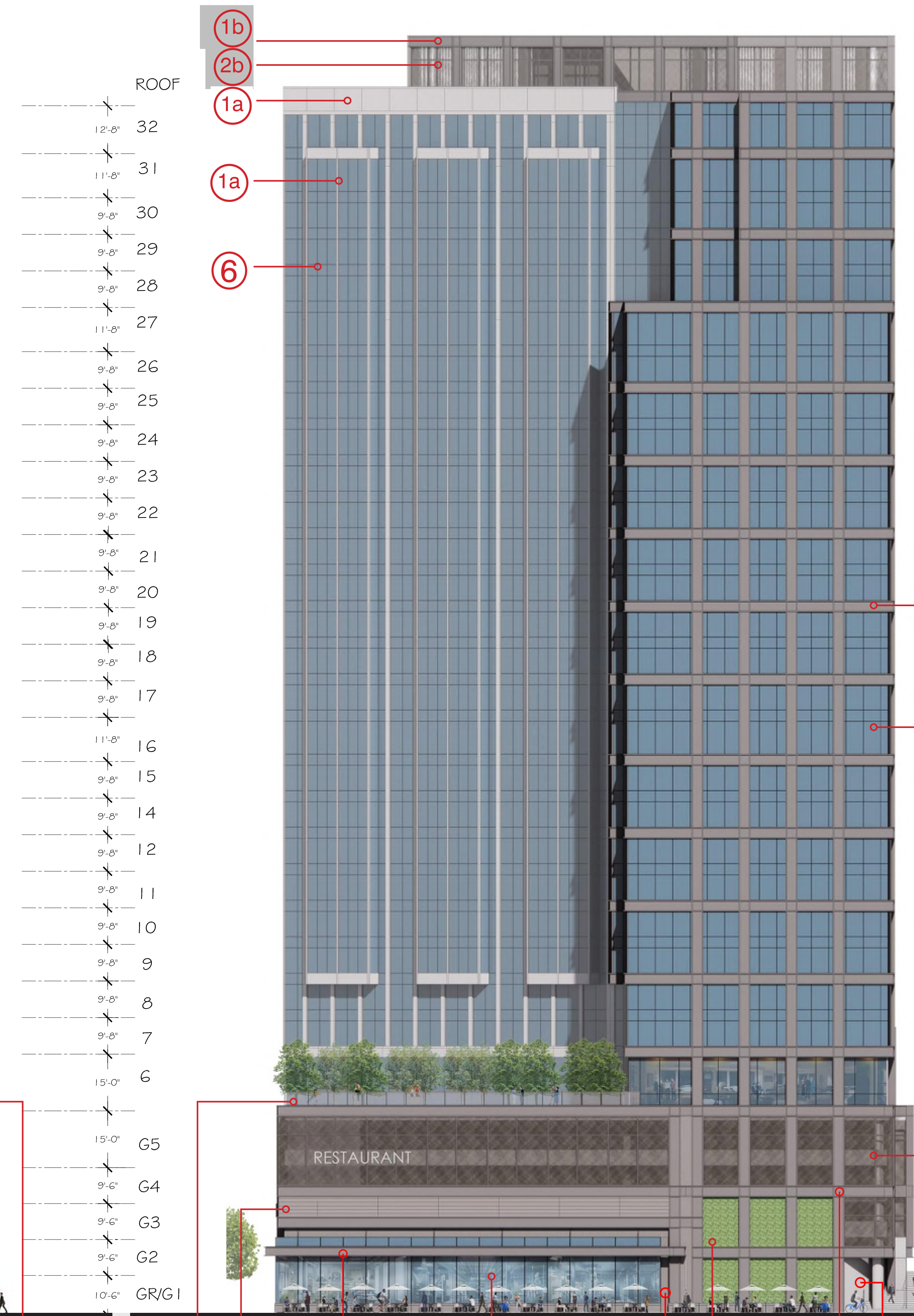


10

Stucco



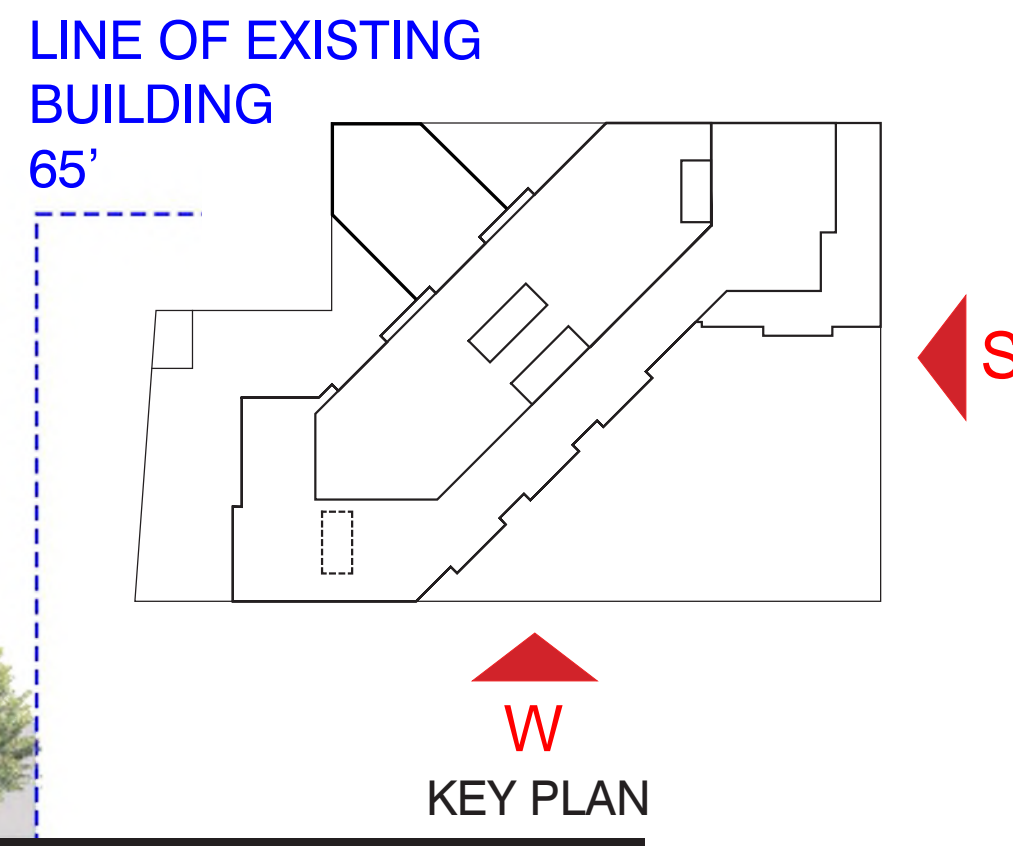
WEST BUILDING ELEVATION

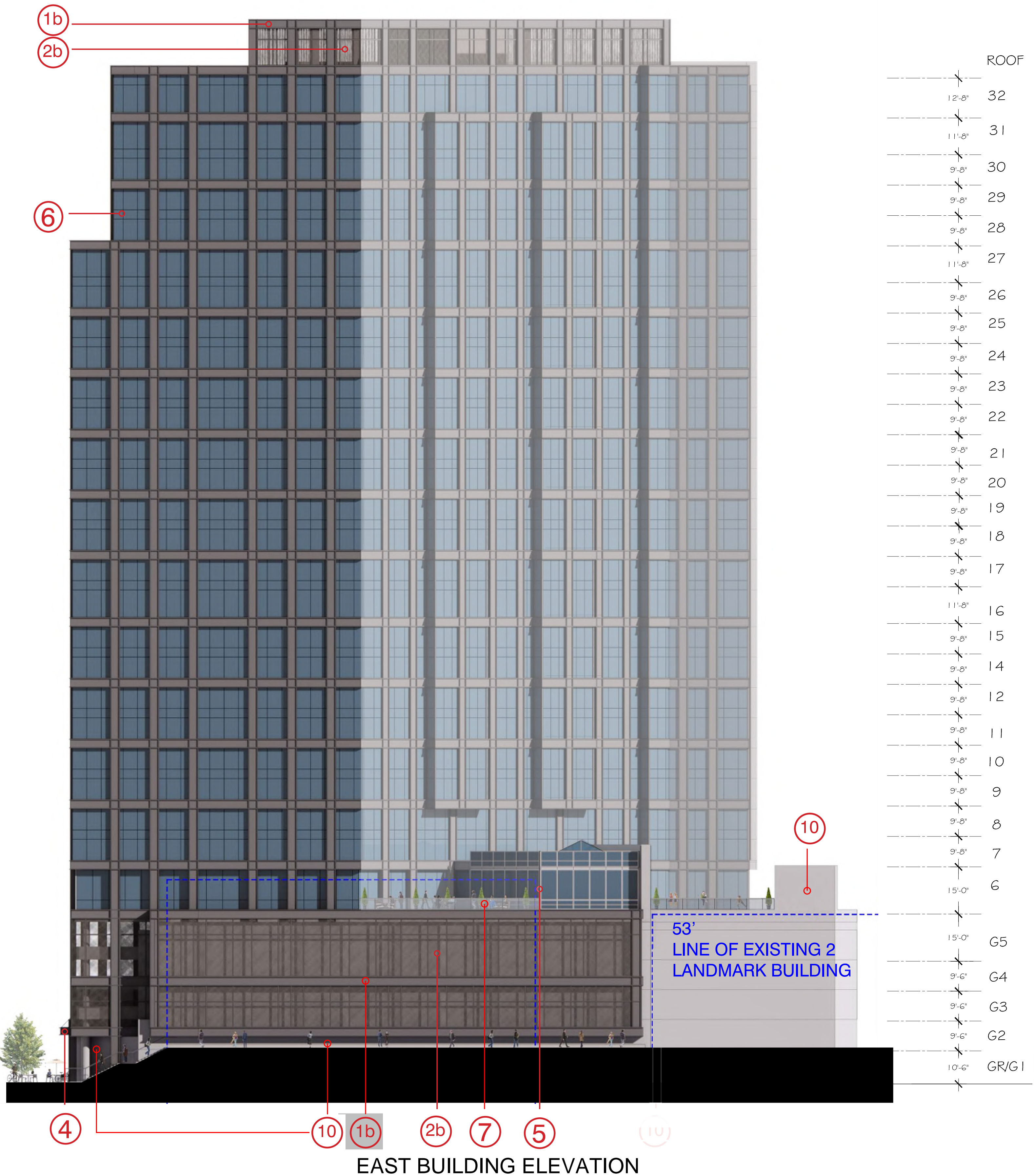


SOUTH BUILDING ELEVATION

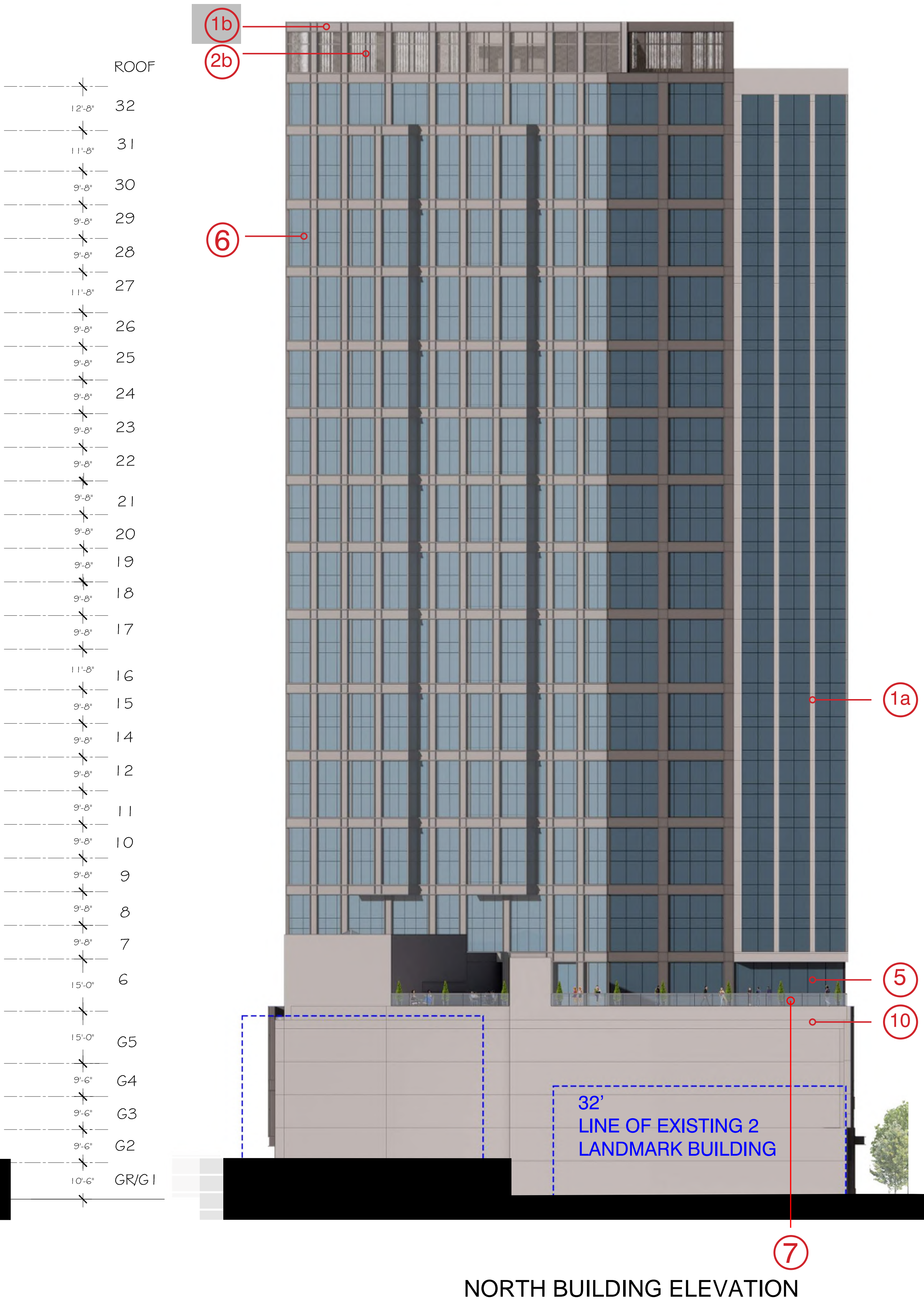
KEY PLAN

- 1a. Metal panel - Light
- 1b. Metal panel - Dark
- 2a. Perforated Metal Panel - Light
- 2b. Perforated Metal Panel - Dark
- 3. Porcelain Tiles
- 4. Metal canopy
- 5. Storefront glass
- 6. Window walls
- 7. Glass Railing
- 8. Metal Louvers
- 9. Green Wall
- 10. Stucco



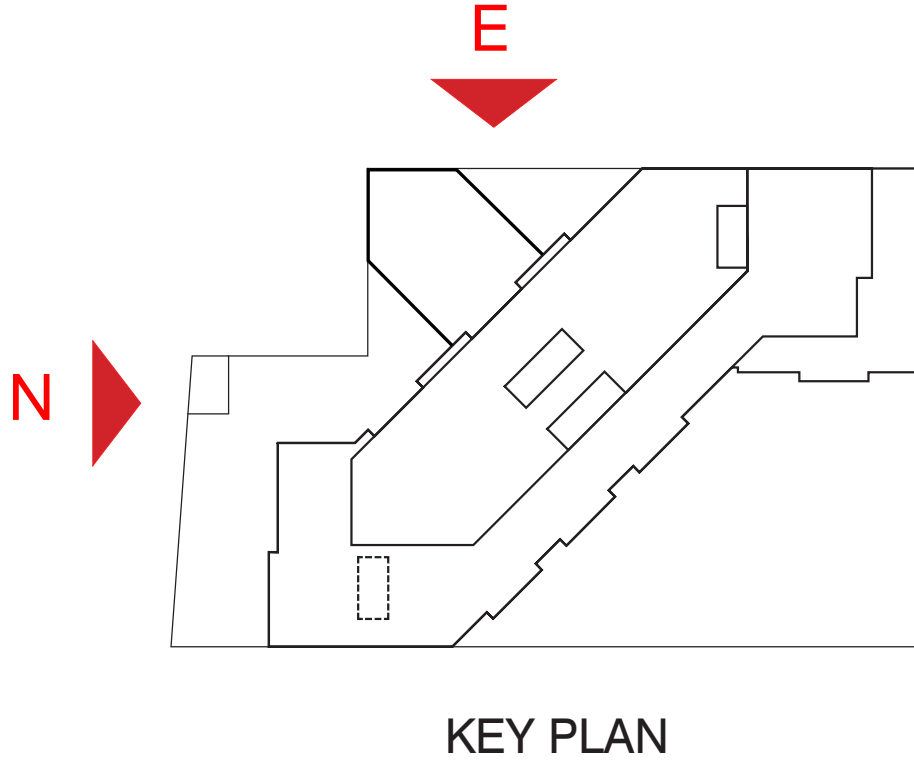


EAST BUILDING ELEVATION

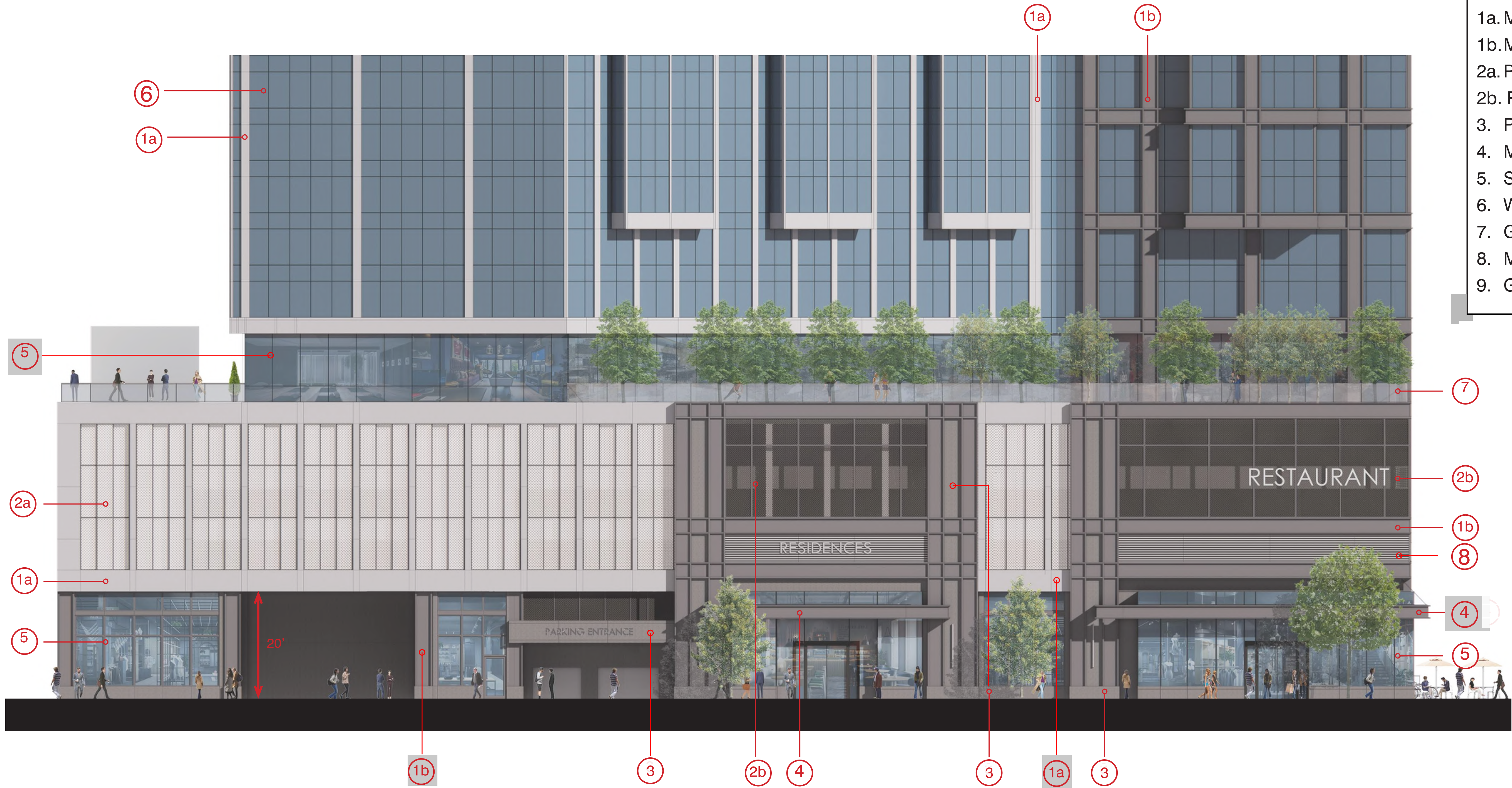


NORTH BUILDING ELEVATION

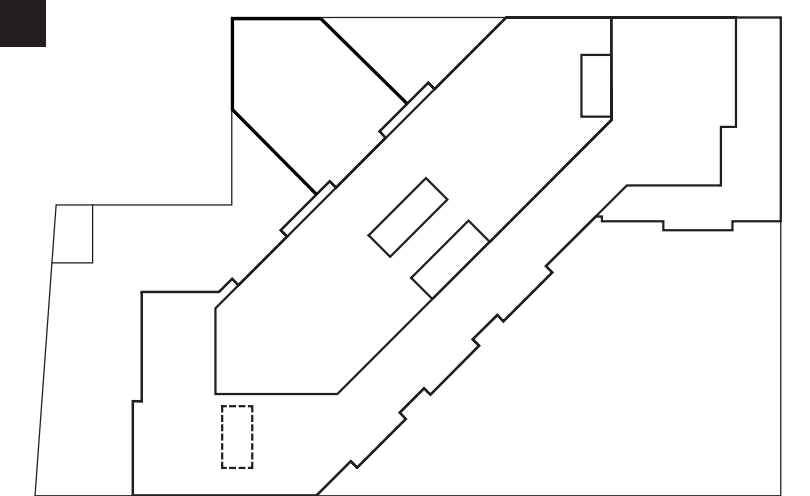
- KEY PLAN**
- 1a. Metal panel - Light
 - 1b. Metal panel - Dark
 - 2a. Perforated Metal Panel - Light
 - 2b. Perforated Metal Panel - Dark
 - 3. Porcelain Tiles
 - 4. Metal canopy
 - 5. Storefront glass
 - 6. Window walls
 - 7. Glass Railing
 - 8. Metal Louvers
 - 9. Green Wall
 - 10. Stucco



- KEY PLAN**
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 - 1b. Metal panel - Dark
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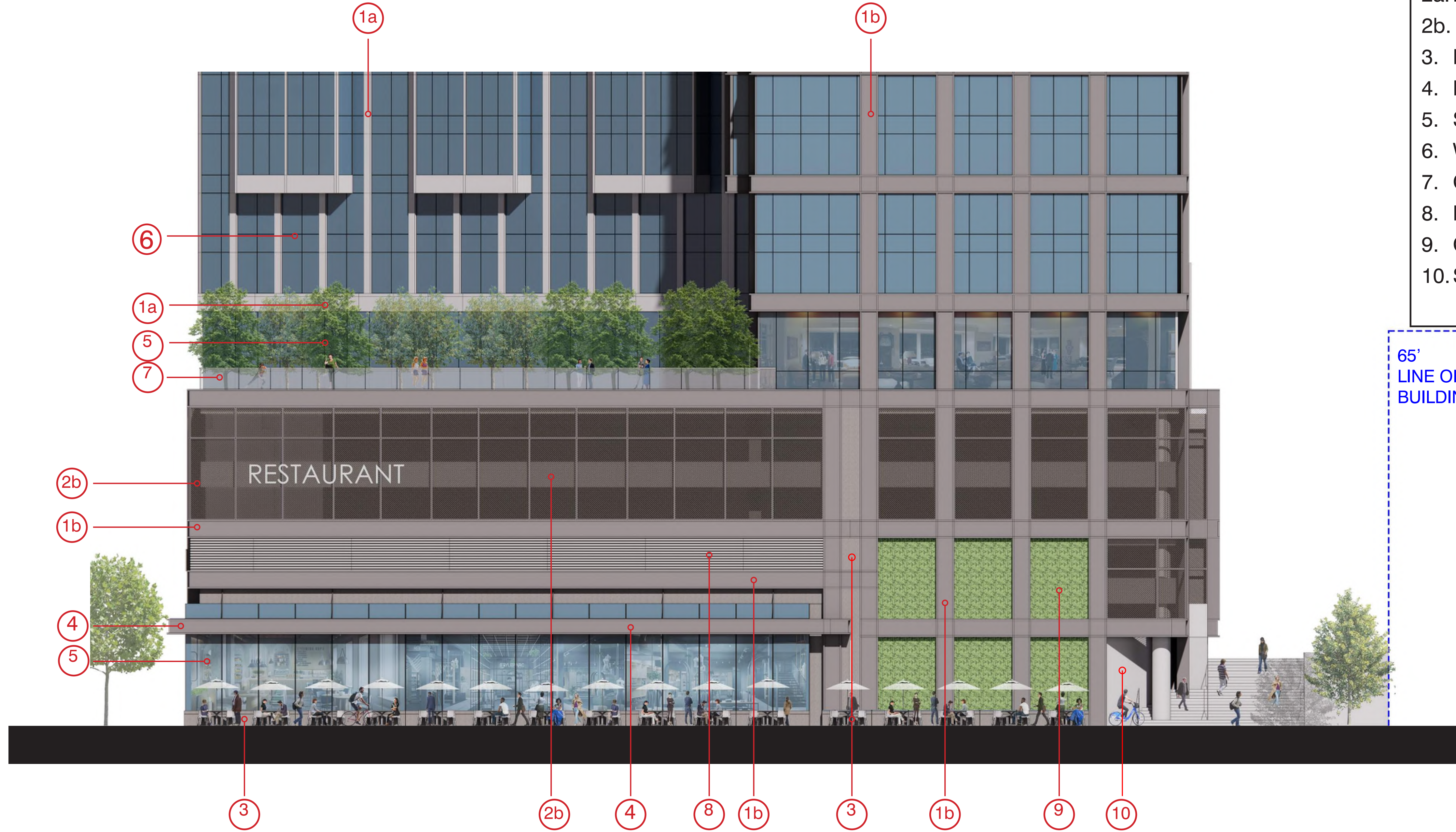


WEST BUILDING ELEVATION



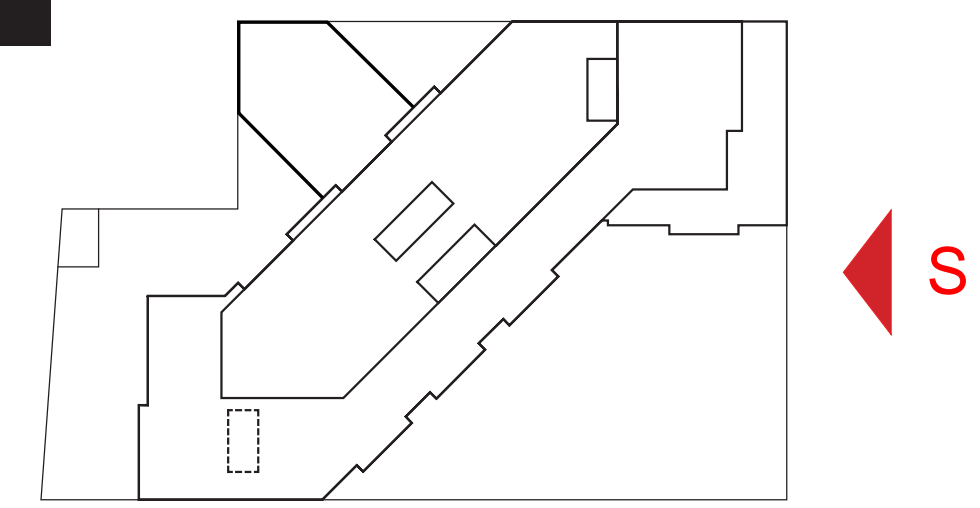
KEY PLAN

- KEY PLAN**
- 1a. Metal panel - Light
 - 1b. Metal panel - Dark
 - 2a. Perforated Metal Panel - Light
 - 2b. Perforated Metal Panel - Dark
 - 3. Porcelain Tiles
 - 4. Metal canopy
 - 5. Storefront glass
 - 6. Window walls
 - 7. Glass Railing
 - 8. Metal Louvers
 - 9. Green Wall
 - 10. Stucco



SOUTH BUILDING ELEVATION

65'
LINE OF EXISTING
BUILDING



KEY PLAN







1 Landmark

2 Landmark

Proposed 3 Landmark

Future hotel by others

EXAMPLES OF BUILDINGS WITH METAL PANEL



1 ATLANTIC STATION
STAMFORD, CT



2 24 DIVISION ST.
NEW ROCHELLE, NY



3 24 DIVISION ST.
NEW ROCHELLE, NY

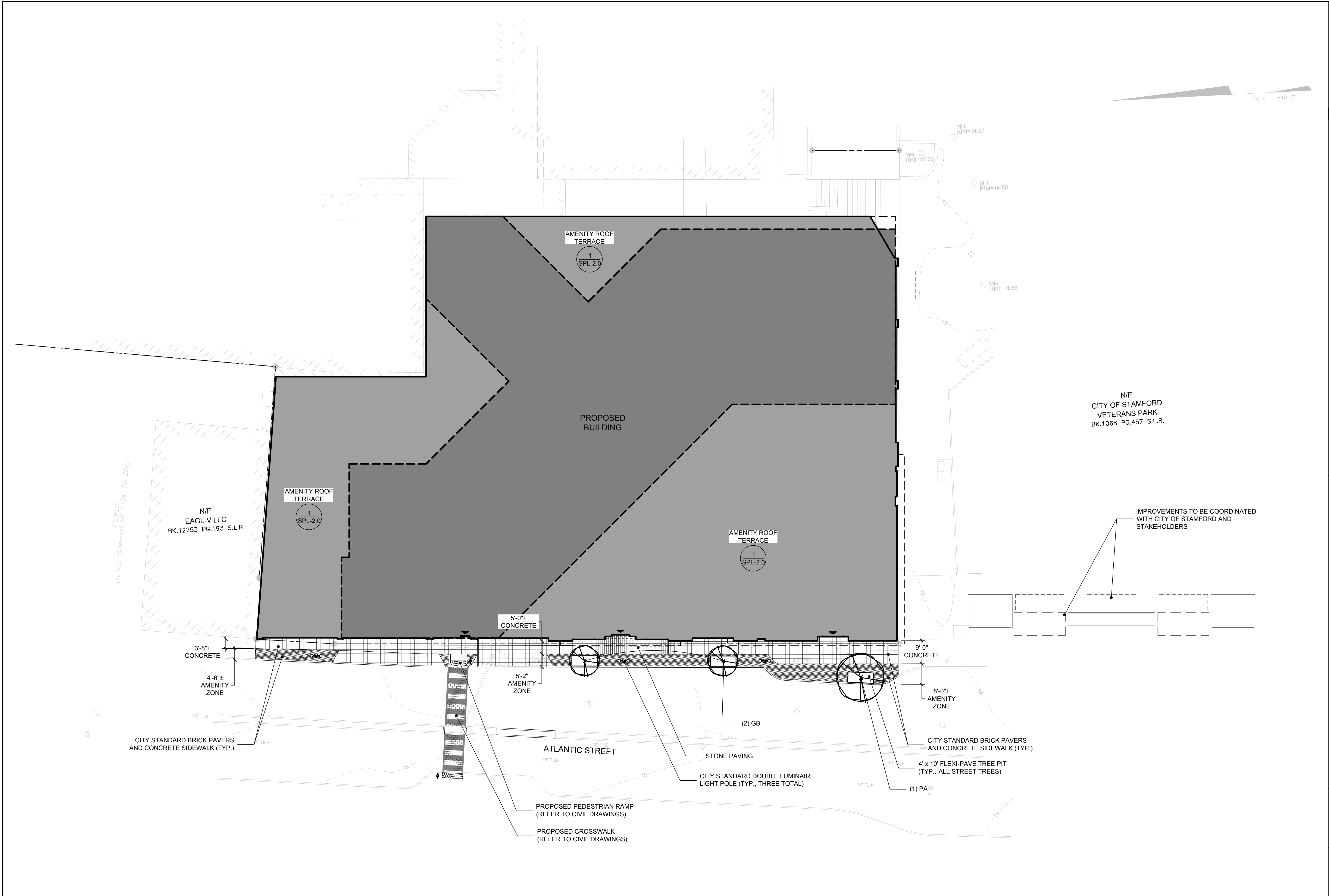
EXAMPLES OF BUILDINGS WITH GARAGE SCREENS



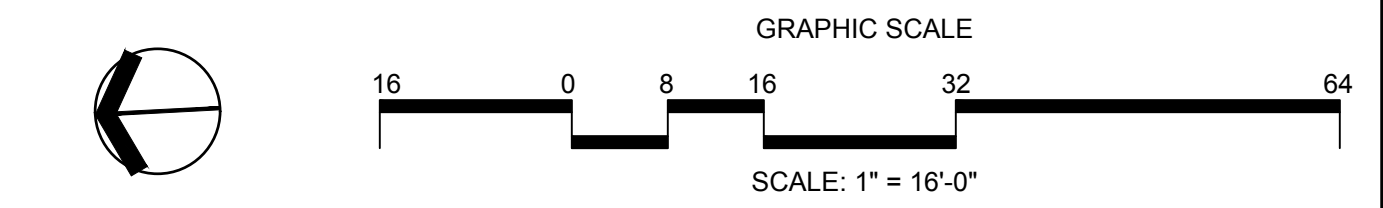
4 3THIRTY3
NEW ROCHELLE, NY



5 ATLANTIC STATION
STAMFORD, CT



NOTES:
 1. REFER TO ARCHITECTURAL SITE PLAN FOR BIKE RACK LOCATIONS AND ADDITIONAL INFORMATION.



NO.	ISSUE	DATE
7		
6		
5		
4		
3	SITE PLAN APPROVAL SUBMISSION - REVISED	2023.05.18
2	SITE PLAN APPROVAL SUBMISSION	2023.02.10
1		



3 LANDMARK SQUARE
 ATLANTIC STREET
 STAMFORD, CT

PROJECT
 DRAW TITLE
STREET LEVEL LANDSCAPE SITE PLAN

JOB NO.
 DATE
 2023.02.10
 SCALE
 1"=16'-0"

SPL-1.0

NO.	ISSUE	DATE
7		
6		
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4		
3	SITE PLAN APPROVAL SUBMISSION - REVISED	2023.05.18
2	SITE PLAN APPROVAL SUBMISSION	2023.02.10
1		



NOT FOR CONSTRUCTION

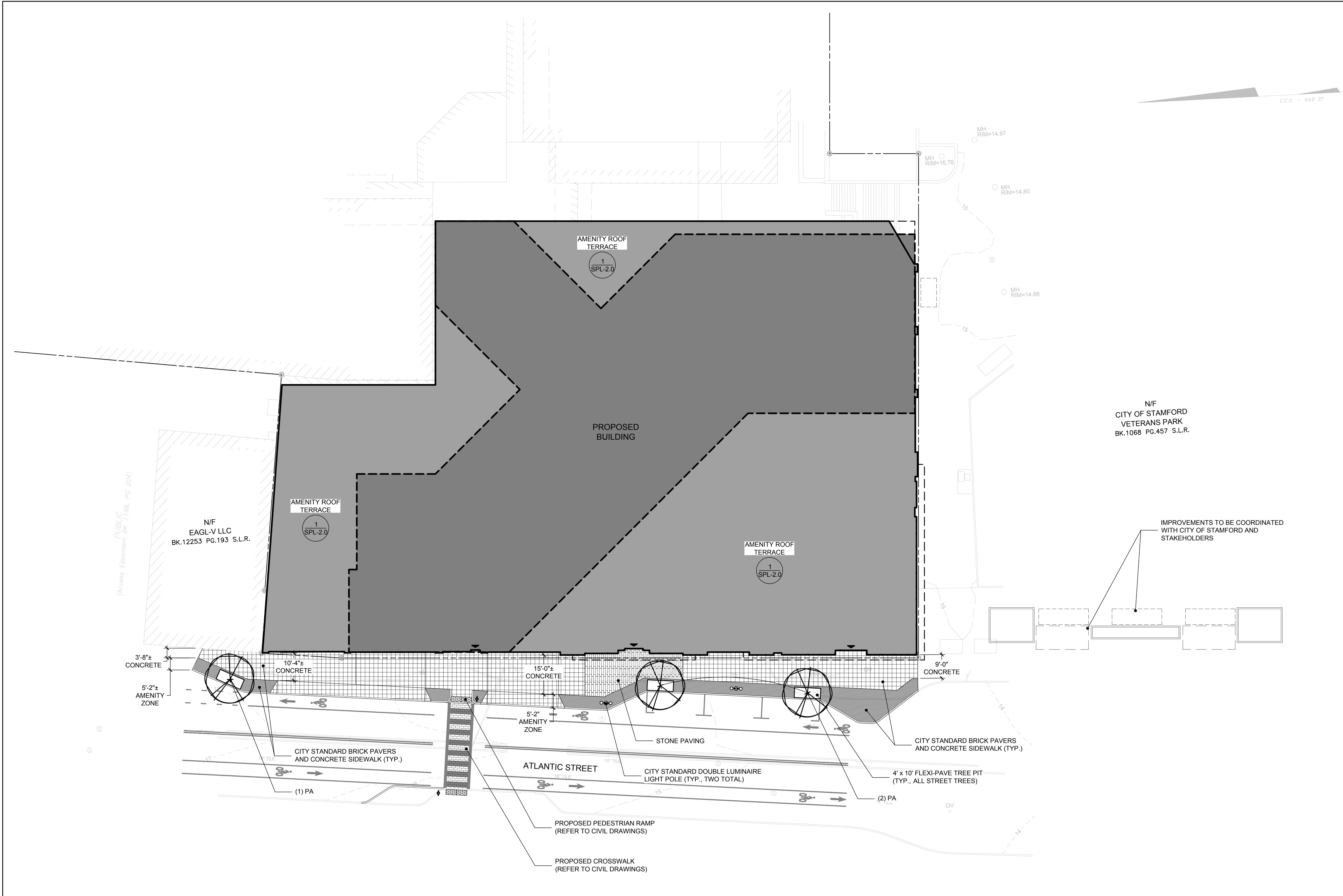
3 LANDMARK SQUARE
 ATLANTIC STREET
 STAMFORD, CT

PROJECT
 DRAW TITLE
**STREET LEVEL
 LANDSCAPE
 SITE PLAN -
 ALTERNATE**

JOB NO.
 DATE
 2023.02.10

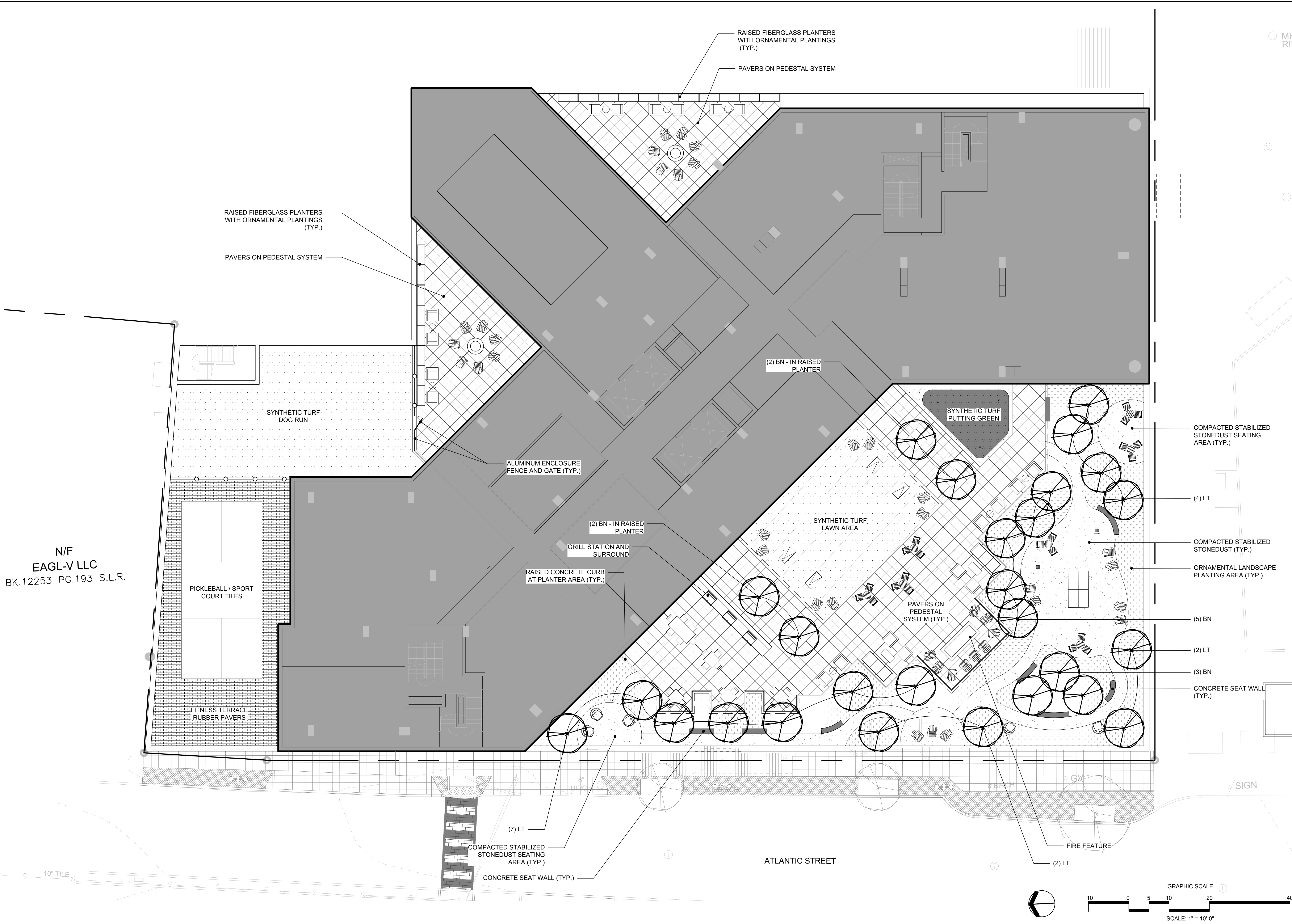
SCALE
 1"=16'-0"

SPL-1.0A



NOTES:
 1. SITE PLAN DEPICTS ATLANTIC STREET ROADWAY IMPROVEMENTS PER CITY OF STAMFORD TRANSPORTATION, TRAFFIC AND PARKING CONCEPT PLAN.
 2. REFER TO ARCHITECTURAL SITE PLAN FOR BIKE RACK LOCATIONS AND ADDITIONAL INFORMATION.

N/F
EAGL-V LLC
BK.12253 PG.193 S.L.R.



erla
landscape architecture, llc
11a N Main Street SoNo, CT 203.354.6500
www.erlacrains.com

NO.	ISSUE	DATE
7		
6		
5		
4		
3	SITE PLAN APPROVAL SUBMISSION - REVISED	2023.05.18
2	SITE PLAN APPROVAL SUBMISSION	2023.02.10

NOT FOR CONSTRUCTION

3 LANDMARK SQUARE

ATLANTIC STREET
STAMFORD, CT

PROJECT

AMENITY ROOF MATERIALS PLAN

JOB NO.

DATE

DATE

2023.02.10

SCALE

1"=10'-0"

SPL-2.0

STREET LEVEL MATERIALS SCHEDULE

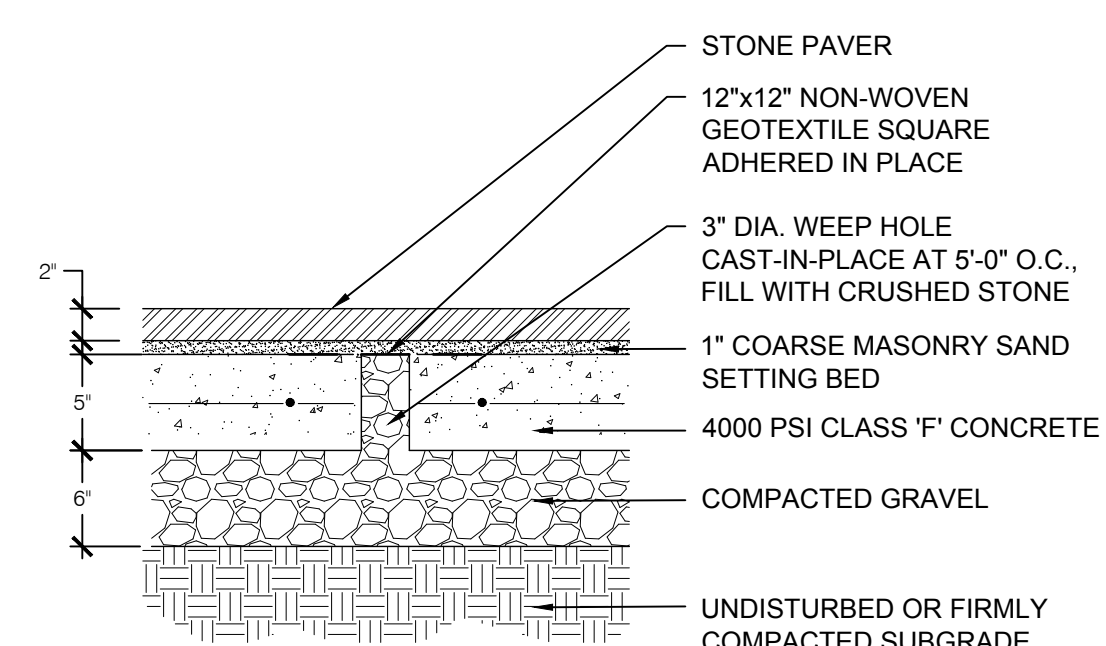
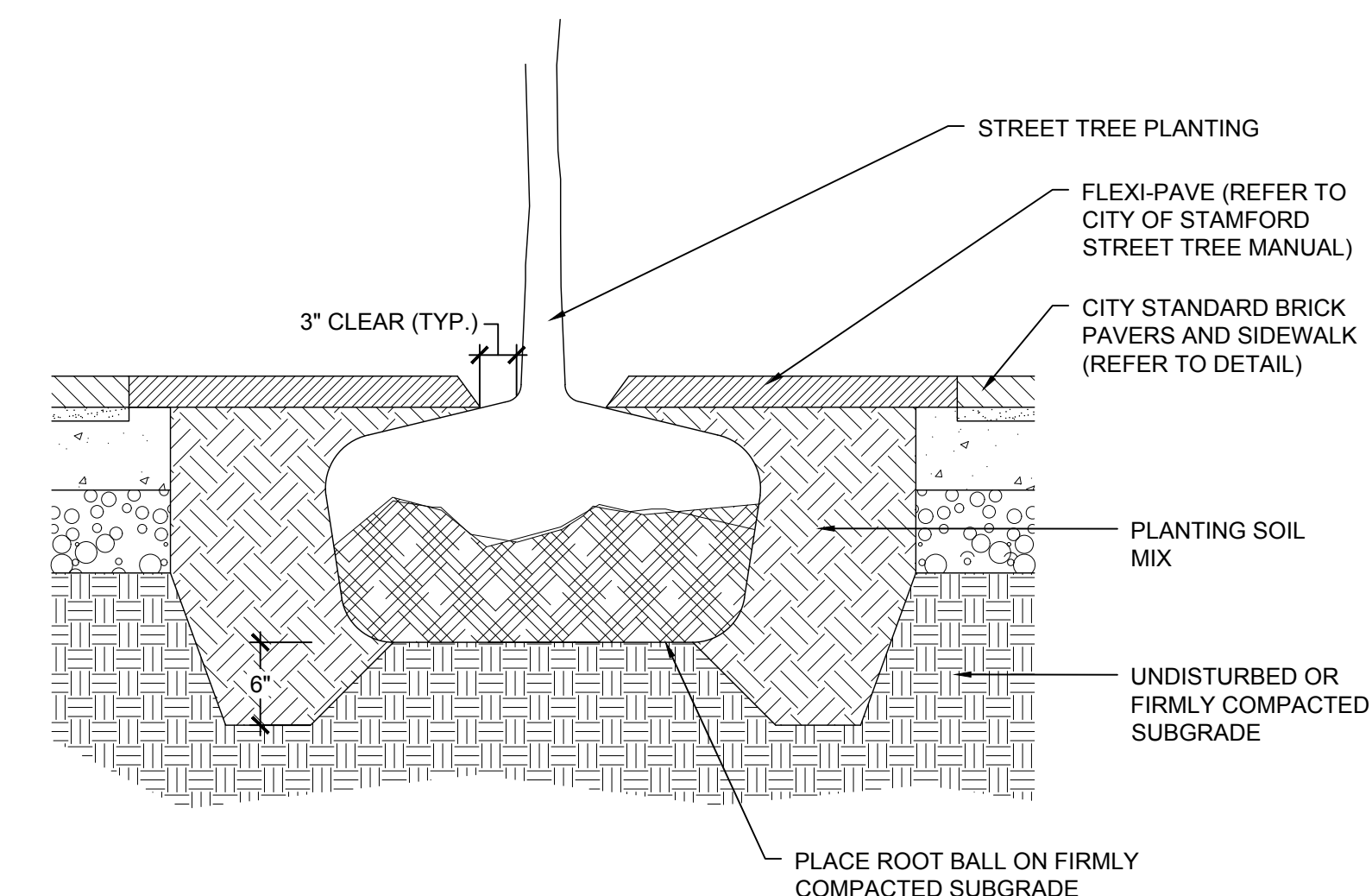
SYM	DESCRIPTION
A	CONCRETE SIDEWALK: CLASS 'F' 4000 PSI
B	CITY STANDARD BRICK PAVER - TYPE: HARMAR STEEL CITY (104), SIZE: 4" x 8" (NOM.), COLOR: RED. MANUFACTURED BY REDLAND BRICK, PHONE: 301-223-7700.
C	GRANITE CURB - TYPE: MOUNT AIRY. COLOR: LIGHT GRAY. FINISH: SPLIT FACE WITH SAWN TOP. SUPPLIED BY NORTH CAROLINA GRANITE CORP., MT., AIRY, NC. CONTACT: 800-227-6242.
C	STONE PAVING - TYPE: ASH GRANITE. SIZE: 12" x 36" x 2". FINISH: THERMAL. SUPPLIED BY O&G INDUSTRIES. CONTACT: BEN CANINO, PHONE: 860-840-4637.
E	PERMEABLE TREE PIT - TYPE: FLEXI-PAVE. COLOR: CHESTNUT. SUPPLIED BY TRI-STATE FLEXI-PAVE. CONTACT HENRI HILLMANN, PHONE: 203-628-47613.
F	LIGHT POLE AND DOUBLE LUMINAIRE - MODEL: CITY STANDARD, MANUFACTURED BY HADCO. SEE DETAIL.

STREET LEVEL PLANTING SCHEDULE

SYM	QTY.	BOTANICAL NAME	COMMON NAME	ROOT	MIN. SIZE	COMMENTS	MATURE SIZE
TREES							
GB	2	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	B&B	3"-3.5" CAL. / 14'-16' HT.	Full, 7" Branching min.	40-50' H x 20-25' W
PA	1	Platanus x acerifolia 'Mortons Circle'	Exclamation Plane Tree	B&B	3.5"-4" CAL. / 16'-18' HT.	Full, 7" Branching min.	50-60' H x 35-45' W

STREET LEVEL PLANTING SCHEDULE - ALTERNATE

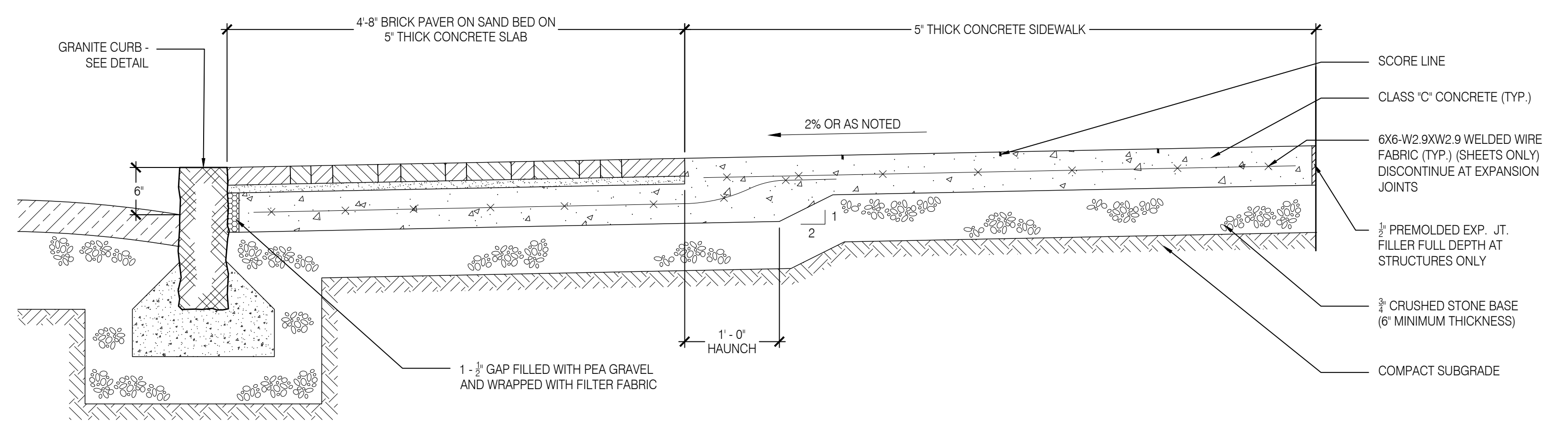
SYM	QTY.	BOTANICAL NAME	COMMON NAME	ROOT	MIN. SIZE	COMMENTS	MATURE SIZE
TREES							
PA	3	Platanus x acerifolia 'Mortons Circle'	Exclamation Plane Tree	B&B	3.5"-4" CAL. / 16'-18' HT.	Full, 7" Branching min.	50-60' H x 35-45' W



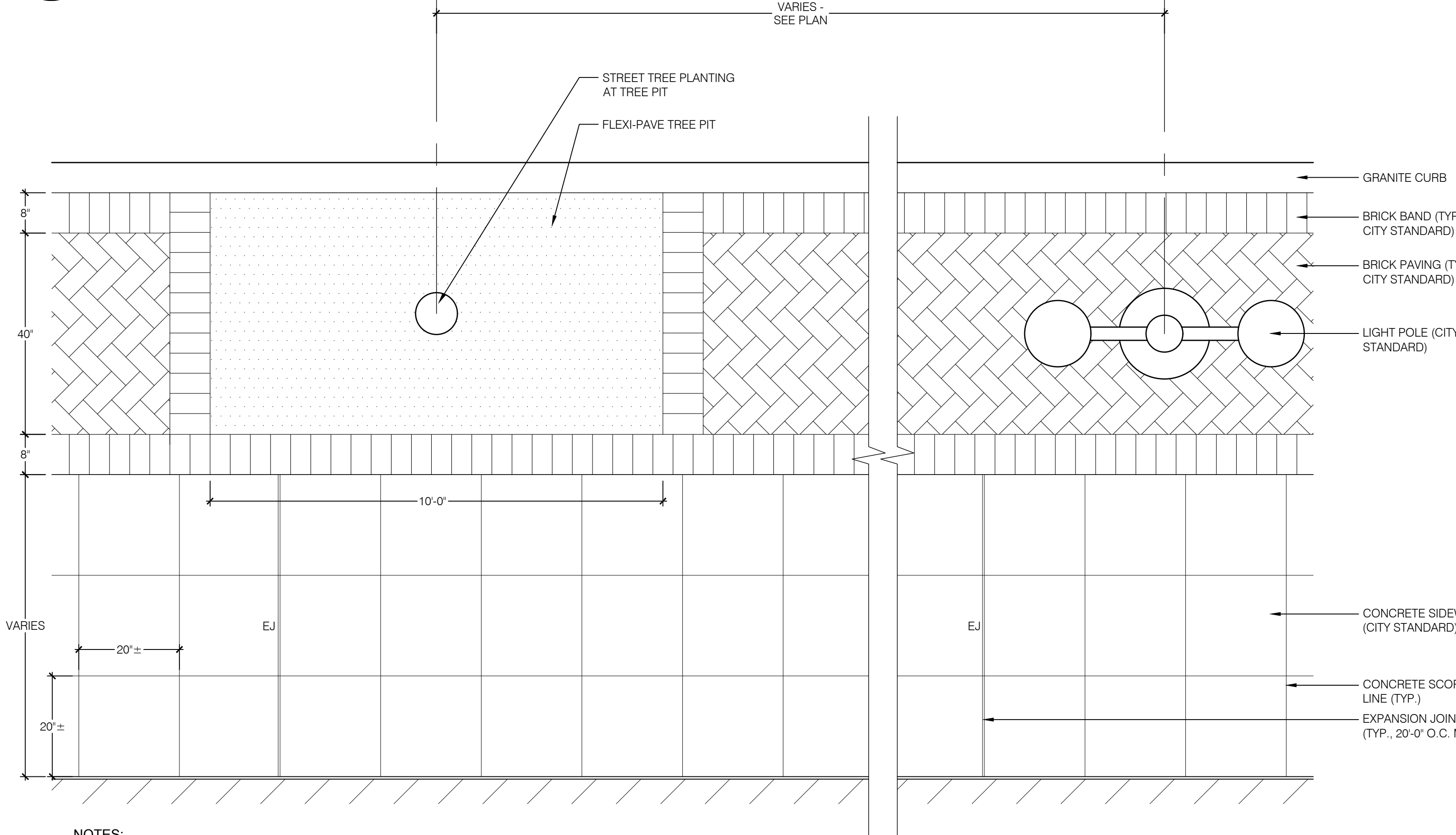
NOTES:
 1. DEPTH OF TREE SHALL BE BASED ON ROOT BALL SIZE. DO NOT COVER ROOT FLARE WITH PLANTING SOIL MIX.
 2. CONCRETE SIDEWALK SHALL BE CONSTRUCTED PER CITY OF STAMFORD STANDARDS; REFER TO DETAILS.

3 FLEXI-PAVE TREE PIT SCALE: NTS

4 STONE PAVING SCALE: NTS

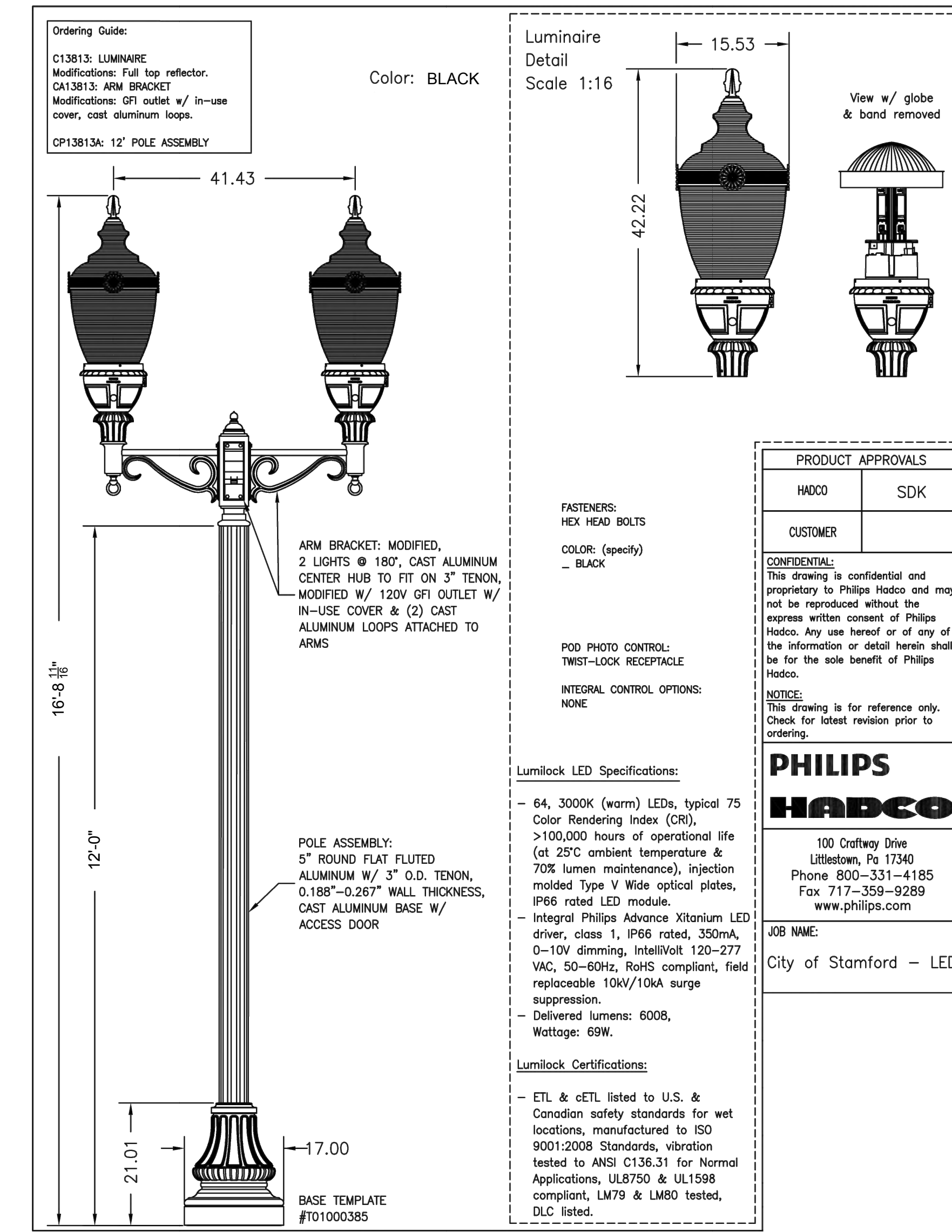


1 TYPICAL SIDEWALK SECTION (CITY STANDARD) SCALE: NTS



NOTES:
 1. FLEXI-PAVE SHALL BE COLOR: CHESTNUT.
 2. REFER TO CITY OF STAMFORD STREET TREE MANUAL FOR ADDITIONAL INFORMATION.

2 TYPICAL SIDEWALK PLAN (CITY STANDARD) SCALE: NTS



4 DOUBLE LUMINAIRE LIGHT POLE (CITY STANDARD) SCALE: NTS

NO.	ISSUE	DATE
7		
6		
5		
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2	SITE PLAN APPROVAL SUBMISSION - REVISED	2023.05.18
1	SITE PLAN APPROVAL SUBMISSION	2023.02.10



3 LANDMARK SQUARE
 ATLANTIC STREET
 STAMFORD, CT

PROJECT
 DWG TITLE
STREETSCAPE DETAILS

JOB NO.
 DATE: 2023.02.10
 SCALE: AS NOTED

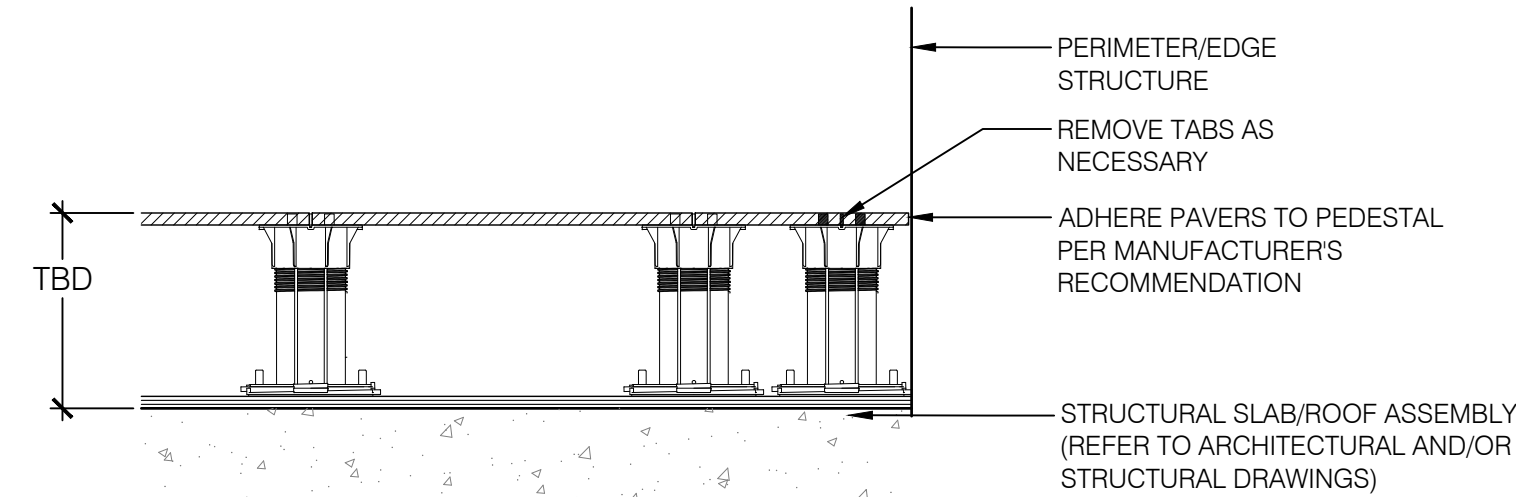
SPL-3.0

AMENITY COURTYARD MATERIALS LIST

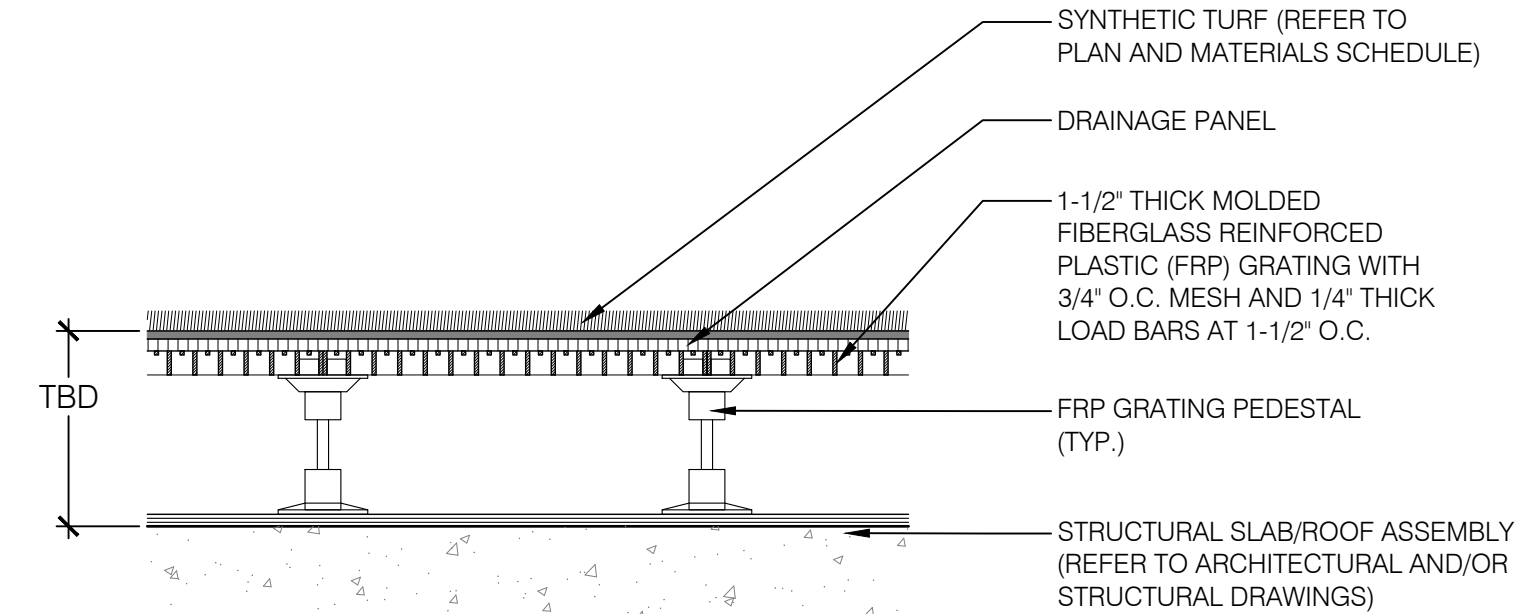
SYM	DESCRIPTION
A	PAVERS - TYPE: TBD, COLOR: TBD, SIZE: TBD, DISTRIBUTED BY O&G IND. INC. CONTACT: BEN CANINO, TEL: 860-840-4637
B	PEDESTAL SYSTEM: VERSADJUST, MANUFACTURED BY BISON. DISTRIBUTED BY O&G IND. INC. CONTACT: BEN CANINO, TEL: 860-480-4637
C	COMPACTED STABILIZED STONEDUST - COLOR: 50% BEIGE / 50% NICKEL, MANUFACTURED BY READ CUSTOM SOILS.
D	RUBBER FITNESS TILES - TYPE: RESURFACING PAVERS, COLOR: TBD, MANUFACTURED BY ASPIRE PAVERS.
E	ARTIFICIAL TURF (LAWN AND DOG RUN) - MODEL: SYN AUGUSTINE X47, COLOR: STANDARD, 1-3/4" BLADE HT, MANUFACTURED BY SYNLAWN, www.synlawn.com
F	ARTIFICIAL TURF (PUTTING GREEN) - MODEL: TBD, COLOR: STANDARD, MANUFACTURED BY SYNLAWN, www.synlawn.com
G	FIBERGLASS PLANTERS - MODEL: WILLSHIRE COLLECTION, COLOR: TBD, SIZE: TBD, MANUFACTURED BY TOURNESOL SITEWORKS, www.tournesol.com
H	GRILL STATION - GRILL TYPE: MODEL TBD, SIZE: 36", MANUFACTURED BY TBD.
I	FIRE FEATURE - TBD

AMENITY COURTYARD PLANTING SCHEDULE

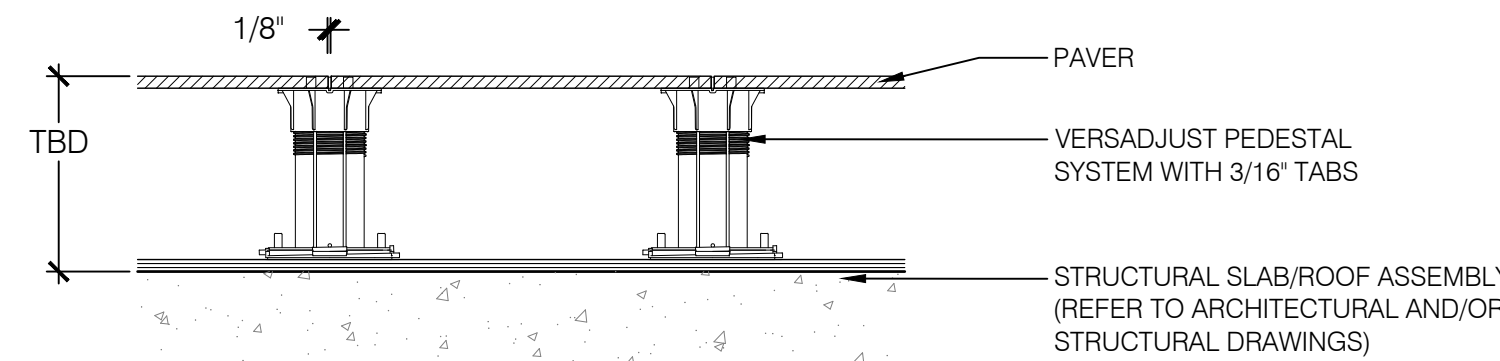
SYM	QTY.	BOTANICAL NAME	COMMON NAME	ROOT	MIN. SIZE	COMMENTS
TREES						
BN	12	Betula nigra 'Heritage'	Heritage River Birch	B&B	2.5"-3" CAL.	Full, Single trunk
LT	15	Liriodendron 'Little Volunteer'	Little Volunteer Tulip Tree	B&B	2.5"-3" CAL.	Full
SHRUB AND ORNAMENTAL PLANTINGS						
--	--	SPECIES / VARIETIES TBD	--	--	--	--



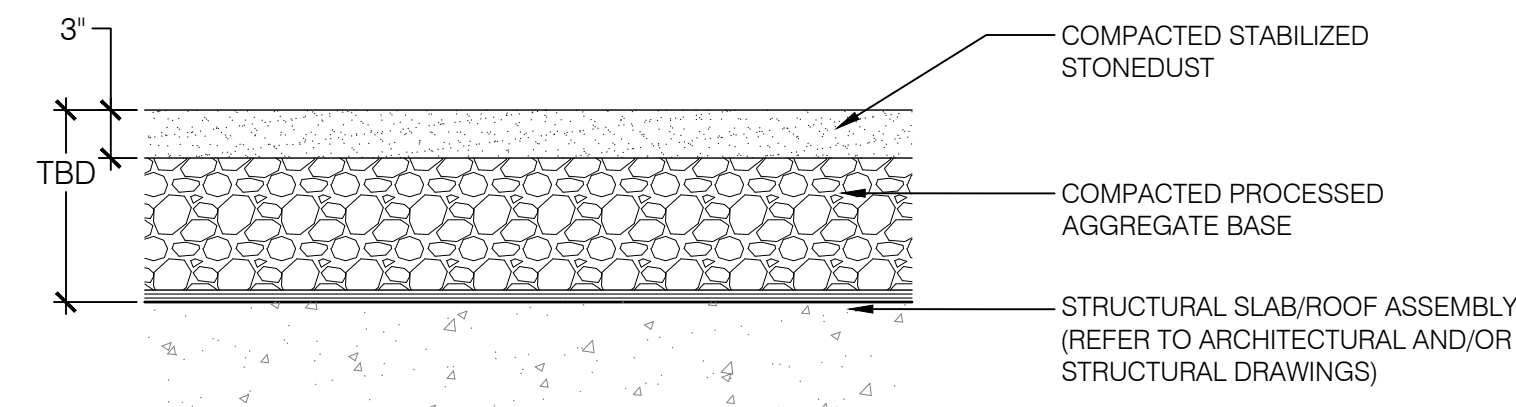
3 PAVERS ON PEDESTAL SYSTEM - AT PERIMETER / EDGE STRUCTURE
SCALE: NTS



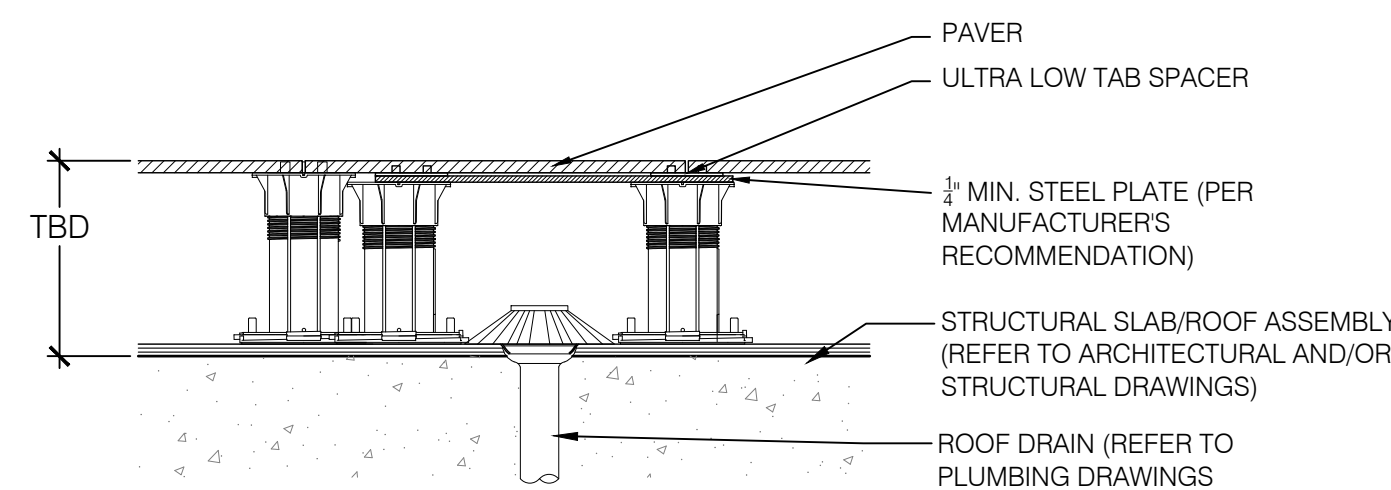
4 SYNTHETIC TURF ON PEDESTAL SYSTEM - TYPICAL
SCALE: NTS



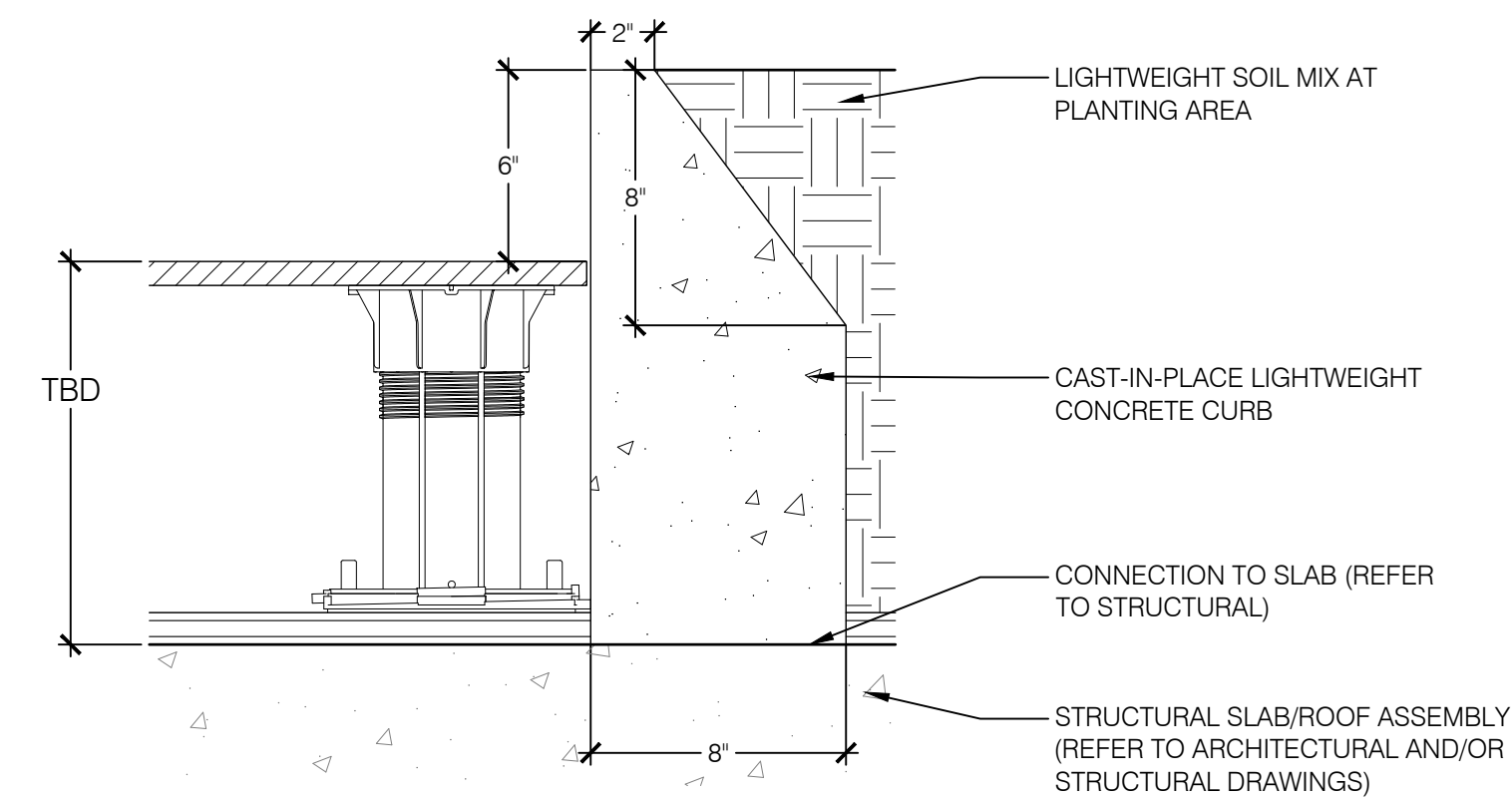
1 PAVERS ON PEDESTAL SYSTEM - TYPICAL
SCALE: NTS



5 COMPACTED STABILIZED STONEDUST - TYPICAL
SCALE: NTS



2 PAVERS ON PEDESTAL SYSTEM - AT ROOF DRAIN
SCALE: NTS



6 CURB AT PLANTER EDGE
SCALE: NTS

NO.	ISSUE	DATE
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3	SITE PLAN APPROVAL SUBMISSION - REVISED	2023.05.18
2	SITE PLAN APPROVAL SUBMISSION	2023.02.10
1		



NOT FOR CONSTRUCTION

PROJECT
3 LANDMARK SQUARE
ATLANTIC STREET
STAMFORD, CT

DWG TITLE
AMENITY ROOF TERRACE DETAILS - 1

JOB NO.
DATE: 2023.02.10
SCALE: AS NOTED

SPL-3.1



NO.	ISSUE	DATE
7		
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3	SITE PLAN APPROVAL SUBMISSION - REVISED	2023.05.18
2	SITE PLAN APPROVAL SUBMISSION	2023.02.10

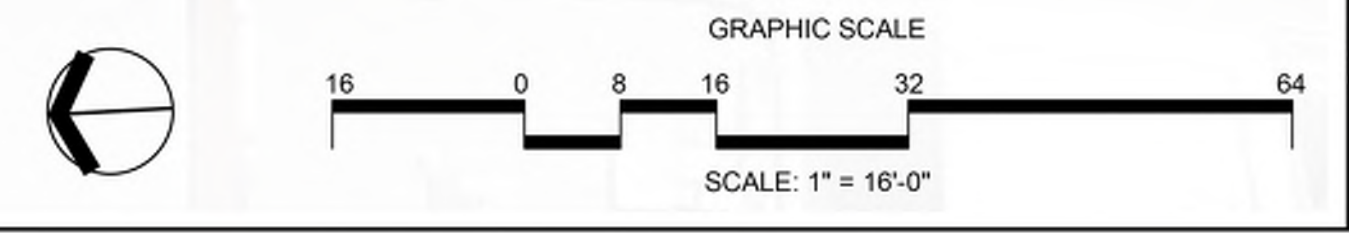
3 LANDMARK SQUARE
 ATLANTIC STREET
 STAMFORD, CT

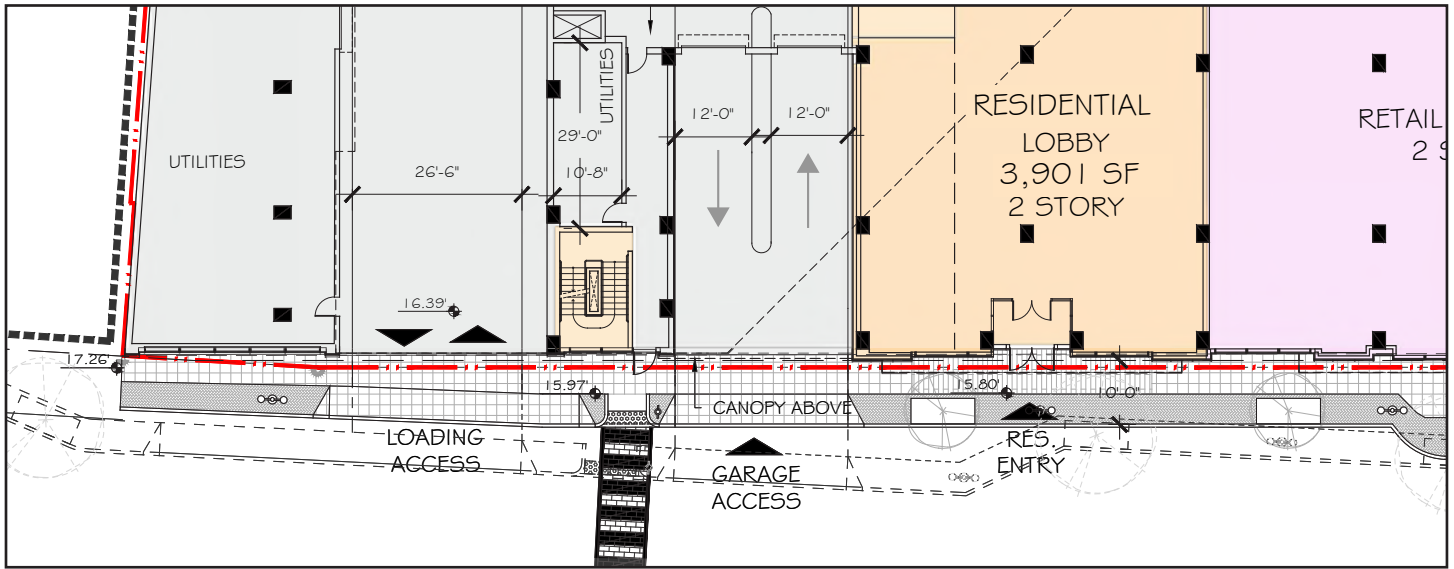
PROJECT
 DWG TITLE
**STREET LEVEL
 LANDSCAPE
 SITE PLAN -
 ALTERNATE**

DATE
 2023.02.10

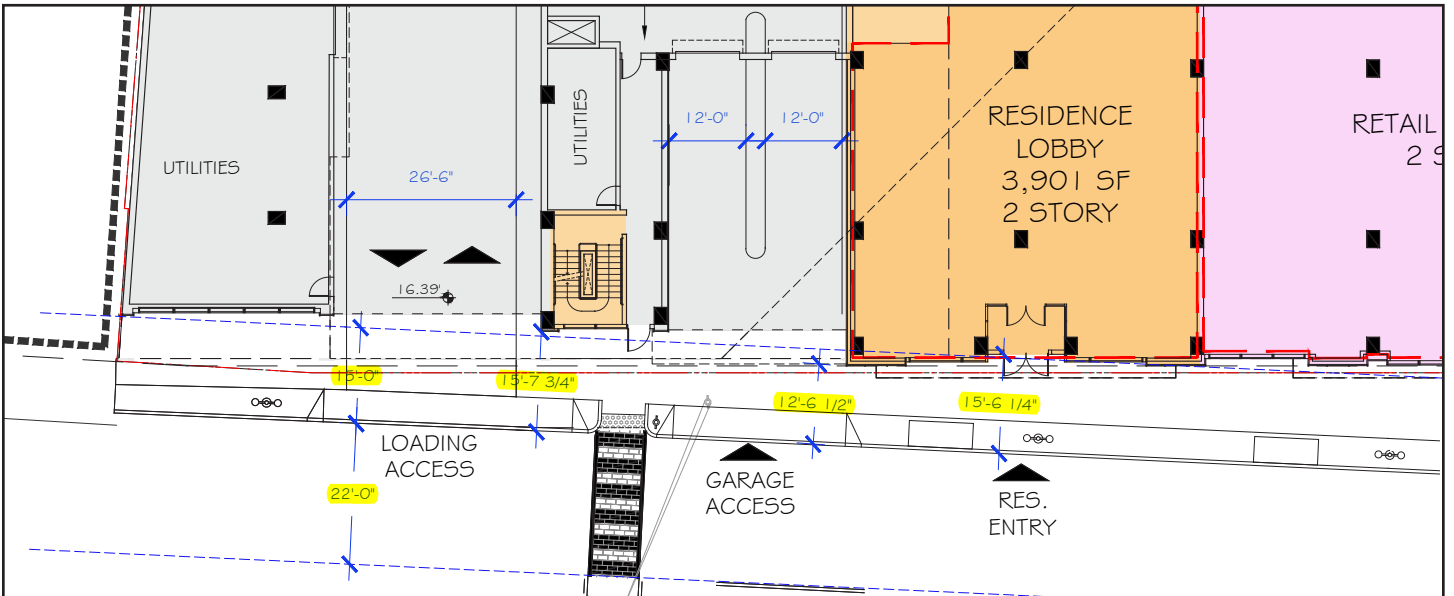
SCALE
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SPL-1.0A

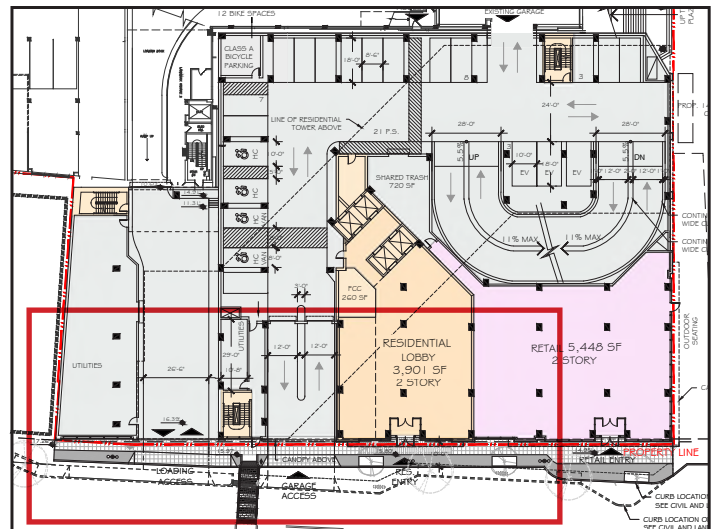




PARTIAL GROUND FLOOR PLAN (GR/G1) - CURRENT



PARTIAL GROUND FLOOR PLAN (GR/G1) - PROPOSED



KEY PLAN
GROUND FLOOR PLAN (GR/G1)



8521 LEESBURG PIKE, SEVENTH FLOOR, VIENNA, VA 22182
P: 571.830.1800 | F: 571.830.1801 | WWW.LESSARDDESIGN.COM

SUPPLEMENTAL EXHIBIT

SITE PLAN SUBMISSION

3 LANDMARK SQUARE

STAMFORD, CT

1-3 LANDMARK SQUARE LLC

MAY 26, 2023
CEI.012

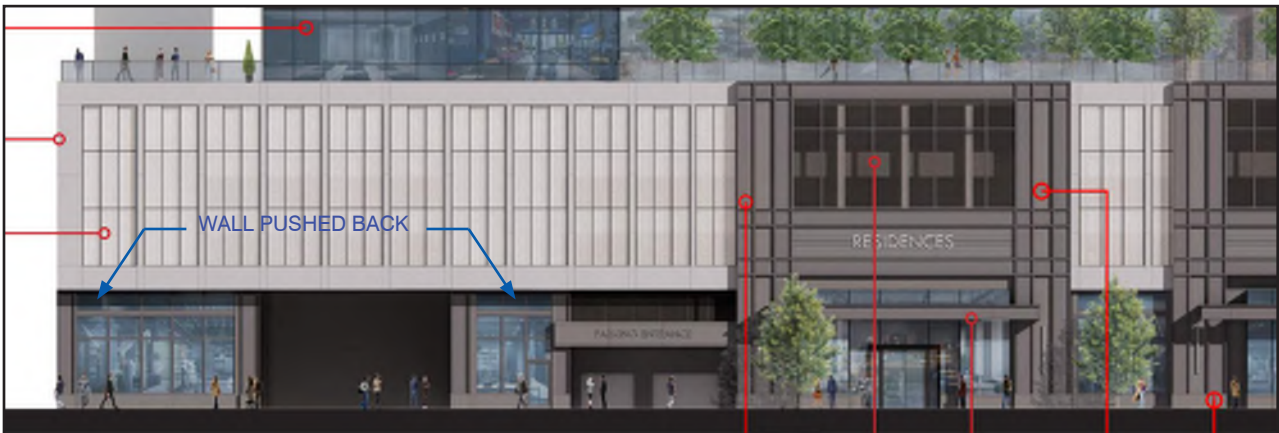
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A.01

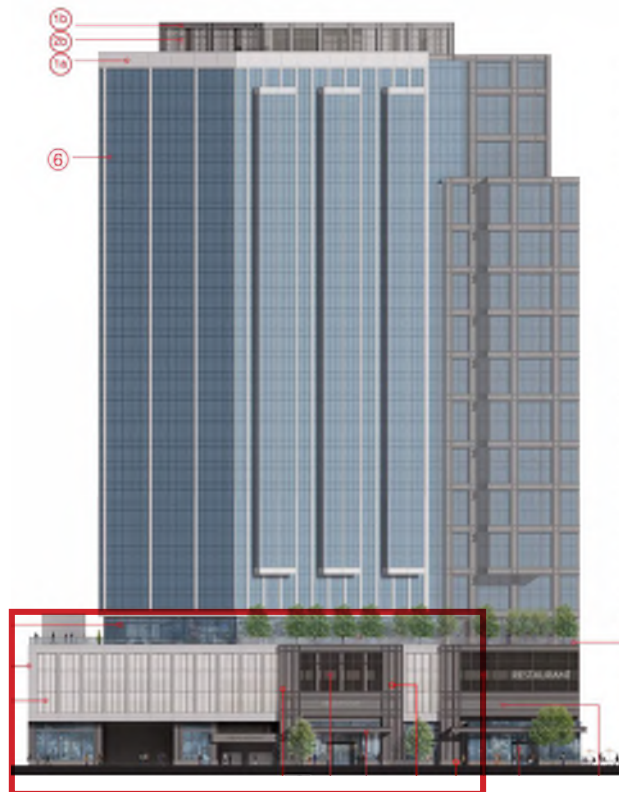




PARTIAL WEST BUILDING ELEVATION - CURRENT



PARTIAL WEST BUILDING ELEVATION - PROPOSED



WEST BUILDING ELEVATION