

**CITY OF STAMFORD
ZONING BOARD OF APPEALS**

Stamford Government Center
888 Washington Blvd.
P.O. Box 10152
Stamford, CT 06904-2152

Telephone 203.977.4160 - Fax 203.977.4100 - E-mail mjudge@stamfordct.gov

PLEASE PRINT ALL INFORMATION IN INK

1. **I/we hereby apply to the Zoning Board of Appeals for:**

- Variance(s)
- Special Permit
- Appeal from Decision of Zoning Enforcement Officer
- Extension of Time
- Motor Vehicle Approval:**

New Car Dealer () Used Car Dealer () General Repairer () Limited Repairer () Gasoline Station ()

2. **Address of affected premises: 46 Ocean Drive North 06902**

_____ street _____ zip code

Property is located on the north () south () east (X) west() side of the street. Block:

150 Zone: R-10 _____ Sewered Property (X) yes () no

the structure 50 years or older (X) yes () No

Corner Lots Only: Intersecting Street: _____

Within 500 feet of another municipality: No (X) Yes () Town of _____

3.

Owner of Property: Joshua K. Lederman

Address of Owner: 46 Ocean Drive North Zip 06902

Applicant Name: Joshua K. Lederman

Address of Applicant: 46 Ocean Drive North Zip 06902

Agent Name: John F. X. Leydon, Jr., Esq/Law Office of John F. X. Leydon Jr., LLC

Address of Agent: 350 Bedford Street, Suite 403 Zip 06901

EMAIL ADDRESS: jleydon@jleydon.com
(Must be provided to receive comments from letters of referral)

Telephone # of Agent: (203) 253-0489 **Telephone # of Owner:** (203) 461-4880

(CONTACT IS MADE WITH AGENT, IF ONE)

4. List all structures and uses presently existing on the affected property:

One single family dwelling.

5. Describe in detail the proposed use and give pertinent linear and area dimensions:

Installation of spa equipment and raising of existing heating, ventilation and conditioning units so as to comply with flood regulations as set forth in the plans submitted herewith.

VARIANCES (complete this section for variance requests only)
See a Zoning Enforcement Officer for help in completing this section

Variance(s) of the following section(s) of the Zoning Regulations is requested
(provide detail of what is sought per the applicable section(s) of the Zoning Regulations):

- 1) Variance from Table III, Appendix B to allow a side setback of 3.0 feet on the south side in lieu of the 10.0 feet required for new spa equipment.
- 2) Variance from Table III, Appendix B to allow a side setback of 4.0 feet on the south side in lieu of the 10.0 feet required for 2 existing heating, ventilation and air conditioning units to remain.
- 3) Variance from Table III, Appendix B to allow a combined side yard setback of 9.0 feet in lieu of the 20.0 feet required for new spa equipment.
- 4) Variance from Table III, Appendix B to allow a combined side yard setback of 10.0 feet in lieu of the 20.0 feet required for 2 existing heating, ventilation and air conditioning units to remain.
- 5) Variance of Section 3.B (Accessory Structure) to allow 2 heating, ventilation and air conditioning units to remain 4.0 feet and to install spa equipment 3.0 feet each from the south side property line in lieu of the 5.0 feet required and to allow said units and equipment to be raised a maximum 6.0 feet to comply with flood regulations.

Variations of the Zoning Regulations **may** be granted where there is unusual hardship in the way of carrying out the strict letter of the Regulations solely with respect to a parcel of land where conditions especially affect such parcel but do not affect generally the district in which it is situated. In your own words:

A. Describe the unusual hardship in being unable to carry out the strict letter of the Zoning Regulations:

The home was constructed in approximately 1917 and, therefore, predates the enactment of the zoning regulations. Because the rear yard abuts the open water of Long Island sound it is preferable that the accessory structures be located in the side yard which is sheltered and protected from any open currents/waves during storm condition and screened from the abutting neighbor because of a difference in elevation and existing landscaping.

DO NOT WRITE ON BACK OF PAGE

B. Explain why the variance(s) is/are the minimum necessary to afford relief:

The applicant is requesting to locate equipment in an appropriate location and to comply with flood regulations.

C. Explain why granting of the variance(s) would not be injurious to the neighborhood.

All of the subject equipment is concealed from sight.

SPECIAL PERMIT

(Complete this section **only** for special exceptions)

SPECIAL EXCEPTION is requested as authorized by Section(s) _____ of the Zoning Regulations.

Provide details of what is being sought:

MOTOR VEHICLE APPLICATIONS

(Complete this section only for Motor Vehicle/Service Dealers Applications)

Provide details of what is being sought.

SIGNATURE REQUIRED FOR ALL APPLICATONS

Signature of : ()Agent (X) Applicant ()Owner

Date Filed: _____

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MOTOR VEHICLE APPLICATIONS

(Complete this section only for Motor Vehicle/Service Dealers Applications)

Provide details of what is being sought.

SIGNATURE REQUIRED FOR ALL APPLICATIONS

Joshua K Lederman

Signature of : () Agent (X) Applicant () Owner

Date Filed: _____

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Zoning Enforcement Officer Comments:

DECISION OF THE ZONING ENFORMENT OFFICER

(Complete this section **only** for appeals of zoning enforcement officer decision

DECISION OF THE ZONING ENFORCEMENT OFFICER dated _____ is appealed because:

DO NOT WRITE ON BACK OF PAGE



CITY OF STAMFORD
ZONING BOARD OF APPEALS

APPLICATION PACKET

Board Members
Claire D. Friedlander, Chair
John A. Sedlak
Nino Antonelli
Joseph Pigott
Lauren Jacobson

Alternate
Ernest Matarasso
Matthew Tripolitsiotis

Land Use Administrative Assistant
Mary Judge

ALL APPLICATIONS MUST BE APPROVED AND REVIEWED BY THE
ZONING ENFORCEMENT AT LEAST ONE WEEK PRIOR TO THE
SUBMITTAL DATE

4/27/23 RE REVIEWED
[Signature]

Zoning Enforcement: *[Signature]*

Date: 4/20/23

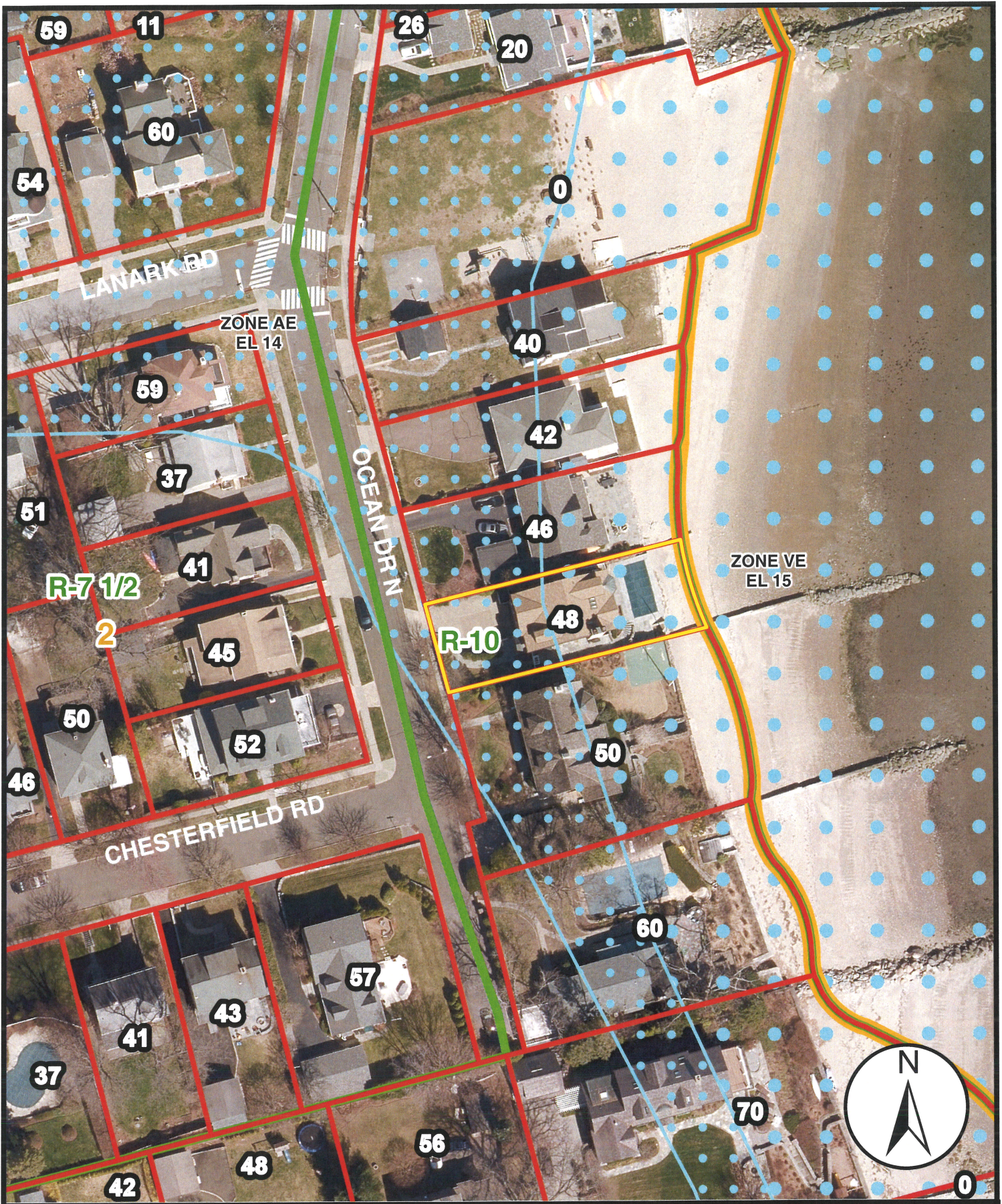
Is the project situated in the coastal boundary? Yes (X) No ()

Is the project exempt from the coastal regulation?
Yes () Exemption # _____ No (X) N/A ()

Environmental Protection: *Robert & Channi* Date: 5/2/23

CAM Review by: Zoning Board ZBA

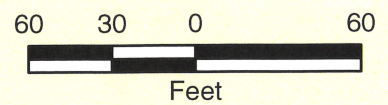
CSPR 1161



ZBA Application #015-23
48 Ocean Drive North

Date: 5/3/2023

1 inch = 67 feet





Note to user: complete all cells of this color *only*

Part 1: General Information

Project Name	Proposed Spa & Spa Equipment
Project Address	46 Ocean Drive north
Project Applicant	D'Andrea Surveying & Engineering, P.C.
Date of Submittal	4/26/2023
Tax Account Number	000-2744

Part 2: Project Details

1. What type of development is this? (choose from dropdown)	Redevelopment	
2. What is the total area of the project site?	200	ft ²
3. What is the total area of land disturbance for this project?	0	ft ²
4. Does project site drain to High Quality Waters, a Direct Waterfront, or within 500 ft. of Tidal Wetlands? (Yes/No)	Yes	
5. What is the <u>current DCIA</u> for the site?	0	ft ²
6. Will the proposed development increase DCIA (without consideration of proposed stormwater management)? (Yes/No)	Yes	
7. What is the <u>proposed-development total impervious area</u> for the site?	39	ft ²

Part 3: Water Quality Target Total

Does Standard 1 apply based on information above?	Yes	
Water Quality Volume (WQV)	3.8	ft ³
Standard 1 requirement	Retain WQV on-site	
Required retention volume	3.8	ft ³
Provided retention volume for proposed development	7.8	ft ³

Part 4: Proposed DCIA Tracking

Pre-development <u>total impervious area</u>	4,031	ft ²
Current DCIA	0	ft ²
Proposed-development <u>total impervious area</u>	39	ft ²
Proposed-development DCIA (after stormwater management)	0	ft ²
Net change in DCIA from <u>pre-development</u> to <u>proposed-development</u>	0	ft ²

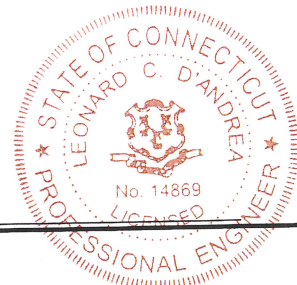
Part 5: Post-Development (As-Built Certified) DCIA Tracking

Post-development (per as-built) <u>total impervious area</u>		ft ²
Post-development (per as-built) DCIA (after stormwater management)		ft ²
Net change in DCIA from <u>pre-development</u> to <u>post-development</u>		ft ²

Certification Statement

I hereby certify that the information contained in this worksheet is true and correct.

Engineer's Signature Leonard C. D'Andrea Date 4/26/23 Engineer's Seal





City of Stamford
 Engineering Bureau
 Stamford Government Center – 888 Washington Blvd., Stamford, CT 06901
 Phone: 203 977 4189

#015-23

STORMWATER MANAGEMENT STANDARDS –EXEMPTION REQUEST FORM

Project Name Proposed Spa & Spa Equipment

Project Address 46 Ocean Drive North

Property Owner(s) Joshua Lederman

Tax Account Number(s) 000-2744 Zone(s) R-10 Lot Area 8,000 S.F.


Check all that apply to the proposed project:

- a. The project drainage design will not adversely impact adjacent or downstream properties or City-owned drainage facilities.
- b. The project does not result in new or increased discharges to High Quality Waters or stormwater Impaired Waters as designated by CT DEEP.
- c. The project does not discharge directly to or within 500 feet of a tidal wetland, see *Appendix A*.
- d. The project creates less than 400 square feet of impervious coverage.
- e. The project site is not located on a Direct Waterfront parcel.

IMPERVIOUS AREA WORKSHEET

This worksheet shall be used to quantify impervious surfaces associated with existing and proposed construction.

	Existing Conditions Impervious Surfaces (sq ft)	Proposed conditions Impervious Surfaces (sq ft)	Proposed New Impervious Surfaces (sq ft) Column 2 minus column 1
House / Buildings	1704	1704	0
Driveways	974	974	0
Sidewalks / Paths	500	500	0
Swimming Pools	0	0	0
Patios	853	797	-56
Tennis Court / Sport Court	0	0	0
Other	0	95	95
TOTALS	4031	4070	39

Owner / Agent Signature:  Date: 4-26-23

Do not write below this line

CITY APPROVAL

Engineering Bureau Signature: _____ Date: _____

DRAINAGE SUMMARY STATEMENT

For

46 Ocean Drive North
Stamford, Connecticut

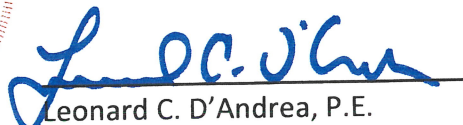
#015-23

Prepared For

Joshua Lederman

April 26, 2023




Leonard C. D'Andrea, P.E.

CT License No. 14869

Summary

The owner of the subject property is proposing to construct a spa on the rear of the existing dwelling located at 46 Ocean Drive North in Stamford, Connecticut. The property, which encompasses approximately 8,000 square feet, is located on the eastern side of Ocean Drive north near the intersection with Lanark Road.

Currently, the parcel supports a single-family dwelling, a detached garage, asphalt driveway walks and a flagstone patio. Vegetative cover at the property is primarily manicured lawn. For a depiction of existing conditions, refer to a survey entitled "Zoning Location Survey, 46 Ocean Drive North, Stamford, Connecticut, prepared for Joshua Lederman" as prepared by K&A Land Surveyors LLC", and dated April 10, 2023.

The owner is proposing to remove a section of the existing flagstone patio, and construct a spa on the rear of the property as well the construction of three raised platforms to accommodate spa equipment and two existing air conditioner units along the southern side of the property. The proposed spa will be constructed on a section of an existing flagstone patio, and thus, the proposed spa overall increase in impervious surfaces will be zero square feet. Furthermore, since the three raised platforms are proposed to be constructed with 6" of crushed stone underneath, one-half of the Water Quality Volume (WQV) will be treated as per Standard 1 of the Stamford Drainage Manual.

For a depiction of the proposed improvements, refer to a plan prepared by D'Andrea Surveying and Engineering, P.C., entitled "Development Plan" Sheet 1 of 1, prepared for Joshua Lederman, dated April 26, 2023.

During the construction phase of the project, the limits of disturbance will be contained, and stormwater runoff will be managed by the implementation of temporary sedimentation and other erosion control measures as specified in the Development Plan. This includes the installation of hay bales. Periodic on-site inspections will be performed to ensure that these measures are maintained in effective working order. Once construction is complete, the proposed sedimentation and erosion control measures will be removed.

Overall existing drainage patterns will remain the same as under existing conditions.

Based on the design as proposed, it is our professional opinion that the proposed improvements will not result in any adverse impacts to local drainage patterns or adjacent properties.

Method for Approximate Sizing for Crushed Stone Reservoir

Name: Joshua Lederman
Address: 46 Ocean Drive North, Stamford, Connecticut
Project: Proposed Spa & Equipment Platforms
Date: April 26, 2023

□ **Compute the Runoff Volume associated with the project**

Increase in Impervious Coverage = 39 sq ft
Runoff Coefficient (Impervious) = 0.95
WQV Rainfall Depth = 1 in

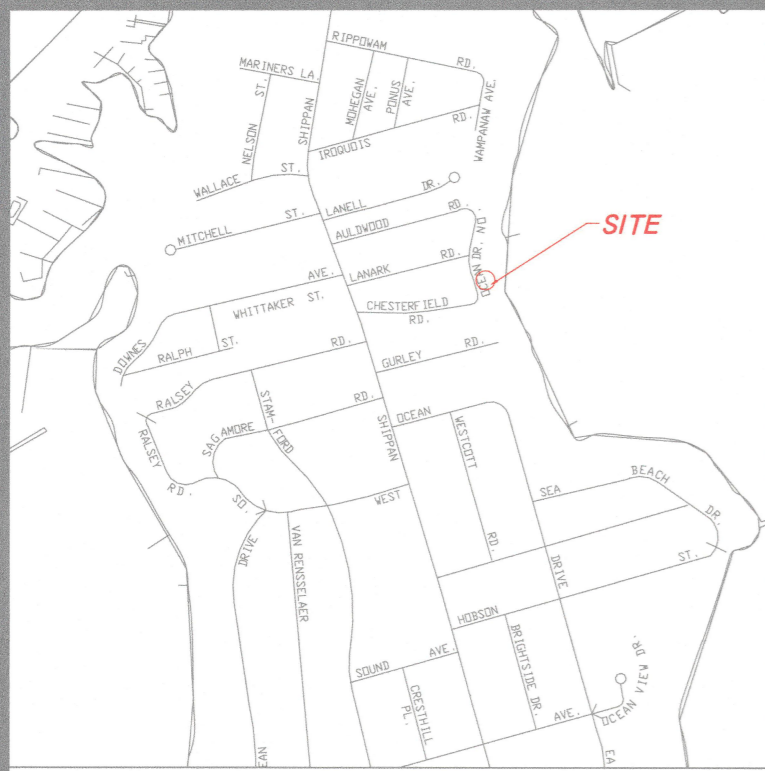
Increase in Runoff Volume = $(39) \times (0.95) \times (1/12) = 3.1 \text{ cu ft}$

□ **Compute the Retention System Storage Capacity**

Crushed Stone Reservoir Area = 39 sq ft
Crushed Stone Reservoir Depth = 6 in
Crushed Stone Voids = 40%

Retention System Storage Capacity = $(39) \times (6/12) \times (0.4) = 7.8 \text{ cu ft}$

Retention System Storage Capacity = 7.8 cu ft > 3.1 cu ft



LOCATION MAP
NOT TO SCALE

SURVEY NOTES

1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THROUGH 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPT. 26, 1996.

IT IS A ZONING LOCATION SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND VERTICAL ACCURACY T-2. ELEVATIONS BASED UPON NAVD 1988 DATUM.

THE USE OF THIS SURVEY BY OTHER PERSONS OTHER THAN FOR WHOM IT WAS PREPARED IS NOT VALID.

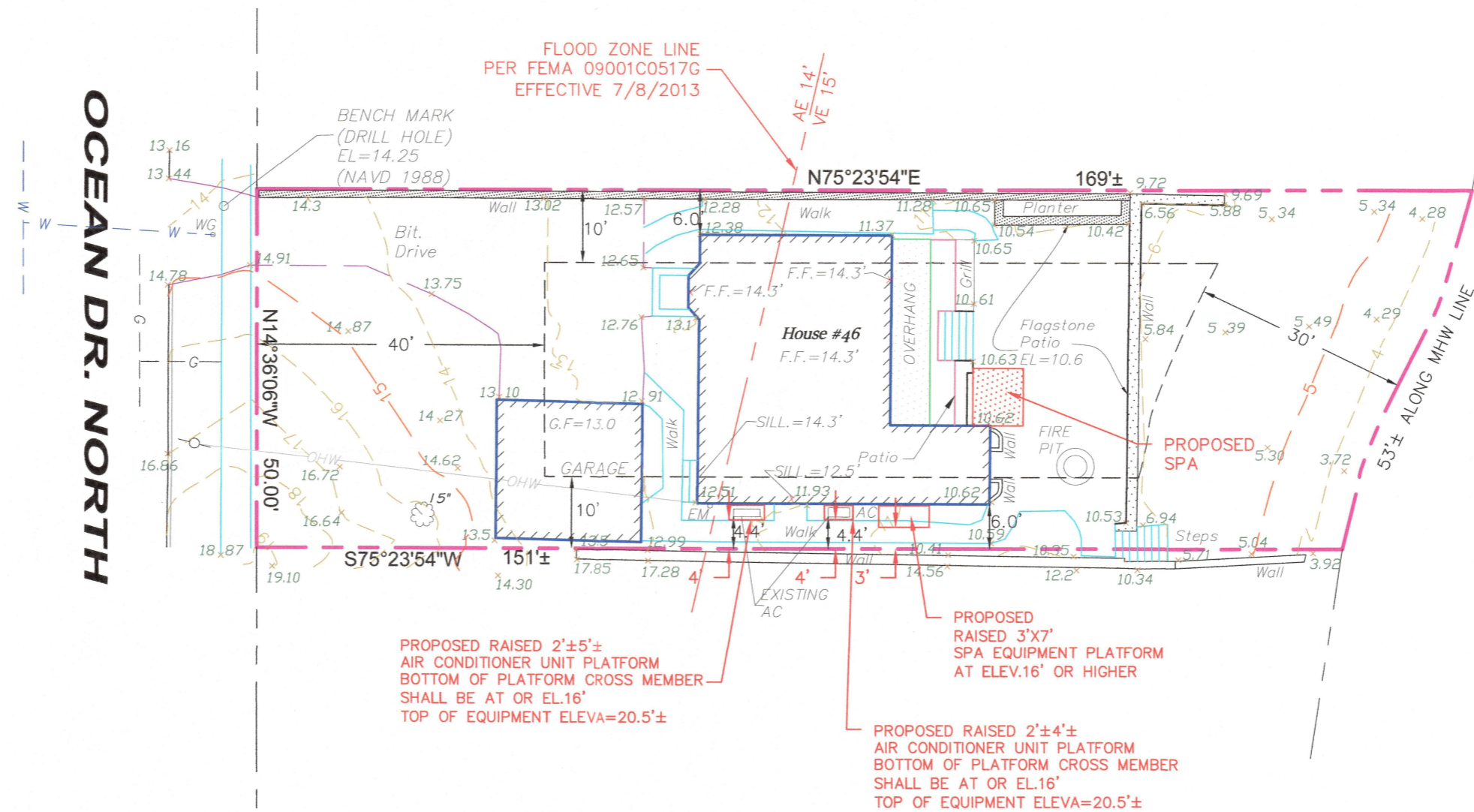
2. SURVEYED PARCEL IS SUBJECT TO PRIVATE AND OR PUBLIC RESTRICTIONS AND OR EASEMENTS OF RECORD IF ANY.

3. UNDERGROUND UTILITIES SHOWN HEREON-IF ANY ARE BASED ON THE VISIBLE STRUCTURES AT THE TIME OF THE SURVEY AND COMPILED FROM OTHER SOURCES AND THESE LOCATIONS ARE APPROXIMATE. ADDITIONAL UTILITIES ABANDONED OR IN USE MAY EXIST. PRIOR TO ANY EXCAVATION OR CONSTRUCTION CONTACT "CALL BEFORE YOU DIG": 1-800-922-4455.

UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS IF ANY, ARE NOT DEPICTED HEREON.

DISTANCES FROM THE BUILDING TO THE PROPERTY LINE ARE NOT TO BE USED FOR BOUNDARY DETERMINATION.

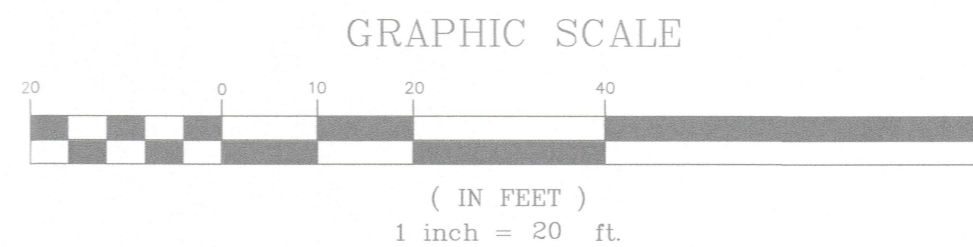
ALL SETBACKS AND ZONING REQUIREMENTS MUST BE CONFIRMED WITH THE PLANING AND ZONING OFFICE PRIOR TO ANY DESIGN.



#015-23

ZONE R-10
LOT AREA: 8,000 SQ. FT± 0.18 ACRES

BUILDING/LOT RATIO COVERAGE :	MAX. ALLOWED	EXISTING	PROPOSED
	20%	19.53%	19.53%



LEGEND:

- Iron Pin/Pipe (Found)
- OEM Electric Meter
- Mail Box
- ORL Roof Leader
- OGM Gas Meter
- Tree
- ☆ Light Post
- o/h — Overhead Wires
- Stockade Fence
- x — Chain Link Fence
- Hedge/Edge Of Bush

DATE: 4/10/2023
SCALE: 1"=20'
SHEET:
DWG NO:

ZONING LOCATION SURVEY
46 OCEAN DRIVE NORTH
STAMFORD, CONNECTICUT
PREPARED FOR JOSHUA LEDERMAN



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON
WILLIAM SMITH L.S.#70315

K&A LAND SURVEYORS LLC
1266 EAST MAIN STREET SUITE 700R
STAMFORD, CONNECTICUT 06902
(203) 274-0246
www.kalandurveyors.com

GENERAL NOTES:

- Boundary information, existing features and topography were taken from a survey entitled "Zoning Location Survey, 46 Ocean Drive North, Stamford, Connecticut, Prepared for Joshua Lederman," as prepared by K&A Land Surveyors LLC, and dated April 10, 2023.
- Land lies within Flood Hazard Zones "AE(EL 14)" and "VE(EL 15)" as depicted on Flood Insurance Rate Map (FIRM) No. 09001C0517G, dated July 6, 2013, as published by the Federal Emergency Management Agency (FEMA).
- Elevations shown are based on the North American Vertical Datum of 1988 (NAVD 88). The contractor shall coordinate the transfer of a control benchmark into the working area, after site preparation is complete, by a licensed surveyor.
- The information given on these plans in respect to the location of subsurface structures and utilities indicates only that the structures and utilities exist and no responsibility is assumed by the surveyor or engineer for the accuracy of the locations shown. Utility information is not guaranteed to be complete or accurate.
- In accordance with Connecticut Public Act 87-71 and Connecticut General Statutes Sections 16-345 through 16-358, the owner or the contractor shall be required to verify the depth and location of all utilities prior to commencing construction, and shall contact "Call Before You Dig, Inc." at 1-800-922-4455, 48 hours prior to commencing construction for mark out of underground utilities.
- All construction shall comply with applicable sections of the State of Connecticut, Local, and International Building Codes, and those criteria shall take precedent over these plans.
- The bottom of the lowest platform structural member shall be at a minimum elevation of 16 feet (or above), and the platform shall be structurally independent of the dwelling and be designed by a Connecticut Professional Engineer in accordance with Section 15 B of the Stamford Zoning Regulations.
- The equipment overall height shall not exceed 15 feet as measured by existing grade to top of equipment, and shall be designed by a Connecticut Professional Engineer in accordance with Section 15 B of the Stamford Zoning Regulations.
- The proposed spa shall be designed in accordance with Section 15 B of the Stamford Zoning Regulations.

CITY OF STAMFORD STANDARD NOTES:

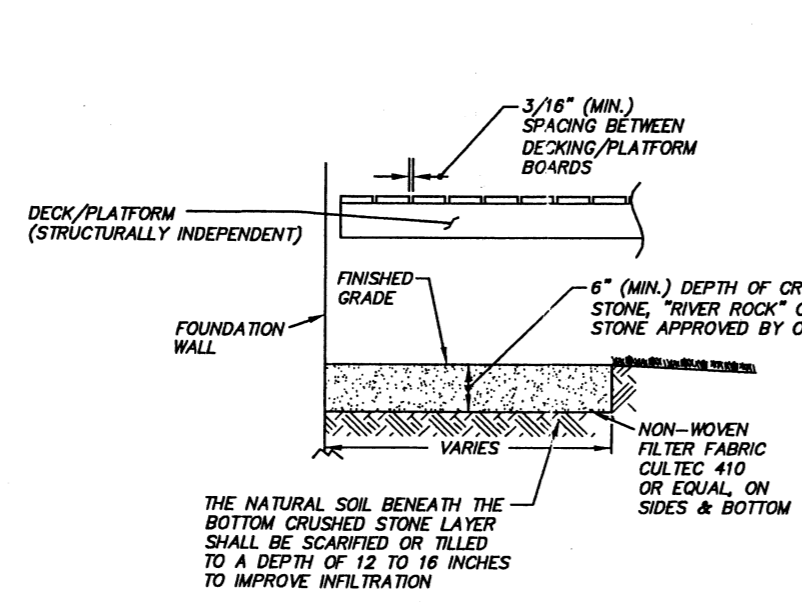
- A Street Opening Permit is required for all work within the City of Stamford Right-of-Way.
- All work within the City of Stamford Right-of-Way shall be constructed to City of Stamford requirements, the State of Connecticut Basic Building Code, and the Connecticut Guidelines for Soil Erosion and Sedimentation Control.
- The Engineering Bureau of the City of Stamford shall be notified three days prior to the commencement of any construction within the City of Stamford Right-of-Way.
- Trees within the City of Stamford Right-of-Way to be removed shall be posted in accordance with the Tree Ordinance.
- Prior to any excavation the Contractor and/or Applicant/Owner, in accordance with Public Act 77-350, shall be required to contact "Call Before You Dig" at 1-800-922-4455 for mark out of underground utilities.
- All retaining walls three (3) feet or higher measured from finished grade at the bottom of the wall to finished grade at the top of the wall and retaining walls supporting a surcharge or impounding Class I, II or III-A liquids are required to have a Building Permit. Retaining walls shall be designed and inspected during construction by a Professional Engineer licensed in the State of Connecticut. Prior to the issuance of a Certificate of Occupancy, retaining walls shall be certified by a Professional Engineer licensed in the State of Connecticut.
- Certification will be required by a professional engineer licensed in the State of Connecticut that work has been completed in compliance with the approved drawings.
- A Final Improvement Location Survey will be required by a professional land surveyor licensed in the State of Connecticut.
- Connection to a city-owned storm sewer shall require the Waiver Covering Storm Sewer Connection to be filed with the City of Stamford Engineering Bureau.
- Granite block or other decorative stone or brick, depressed curb, driveway apron, and curbing within the City of Stamford Right-of-Way shall require a Waiver Covering Granite Block Depressed Curb and Driveway Aprons to be filed with the City of Stamford Engineering Bureau.
- Sediment and erosion controls shall be maintained and repaired as necessary throughout construction until the site is stabilized.
- To obtain a Certificate of Occupancy, submittal must include all items outlined in the Checklist for Certificate of Occupancy (Appendix D of the City of Stamford Drainage Manual).

SEDIMENTATION AND EROSION CONTROL NOTES:

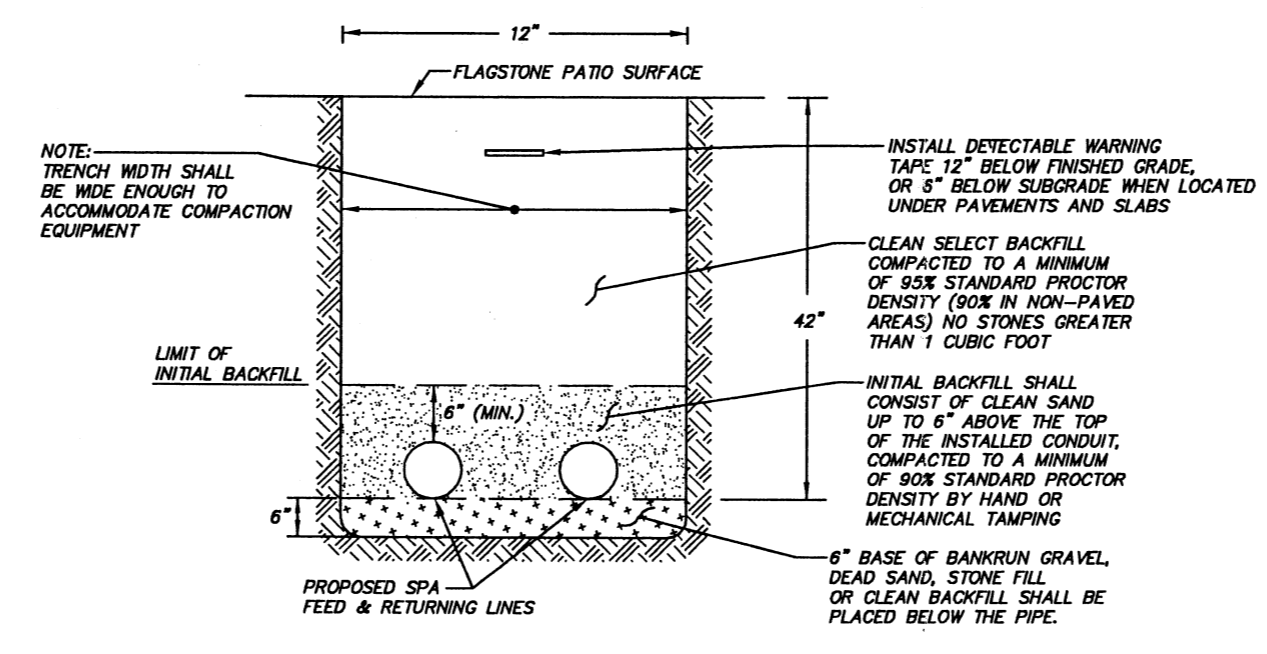
- Temporary soil and erosion control measures inclusive of filter barriers, water breaks, check dams, and anti-tracking areas shall remain in place for as long as necessary to permanently stabilize developed areas.
- Erosion and sediment control devices shall be installed in their proper sequence. No clearing or grading may be done in any area until the devices for that area, as shown on the plan, are in place and functional.
- Natural vegetation shall be maintained and protected to the greatest extent practical.
- All sediment and erosion control devices and provisions shall be maintained in operational condition by the contractor until final acceptance of the project.
- No changes of this soil erosion and sediment control plan may be made without approval of the project engineer.
- Land disturbance is to be kept to a minimum and reestablishment and/or stabilization of disturbed areas shall be scheduled as soon as practical.
- Erosion controls shall be monitored periodically to verify that they are maintained in effective working order. If, during construction, additional control measures are necessary, they shall be installed.
- Sediment or debris shall be removed from the drainage pipes and structures as it accumulates during construction. It shall be disposed of in a manner which is consistent with the intent of this plan.
- Sediment fencing shall be installed where required prior to commencing construction and shall remain in place for the duration of the project. Fencing shall be Tropex Silt Stop (TM) as manufactured by Amoco or approved equal.
- The contractor may provide alternate means of sediment control, but he may not eliminate placement of protection in the areas indicated hereon.
- The contractor shall regrade, topsoil, and seed all disturbed areas immediately after construction has been completed.
- Copies of the Sedimentation and Erosion Control Plan are to be maintained at the site and provided to the project foreman and subcontractors prior to the start of work.
- Ground under decks and stairs shall be stabilized with 6" of 1 1/4" crushed stone, flagstone or other suitable material, if applicable.
- Additional protection measures shall be implemented as site conditions warrant.
- An additional 10% of trap rock, hay bales, snowfencing, fabric fencing, and other control materials are to be stockpiled on site for use as necessary.
- Refer to Erosion and Sedimentation Control Handbook - Connecticut for additional details and specifications for sedimentation control.

CONSTRUCTION STAGING:

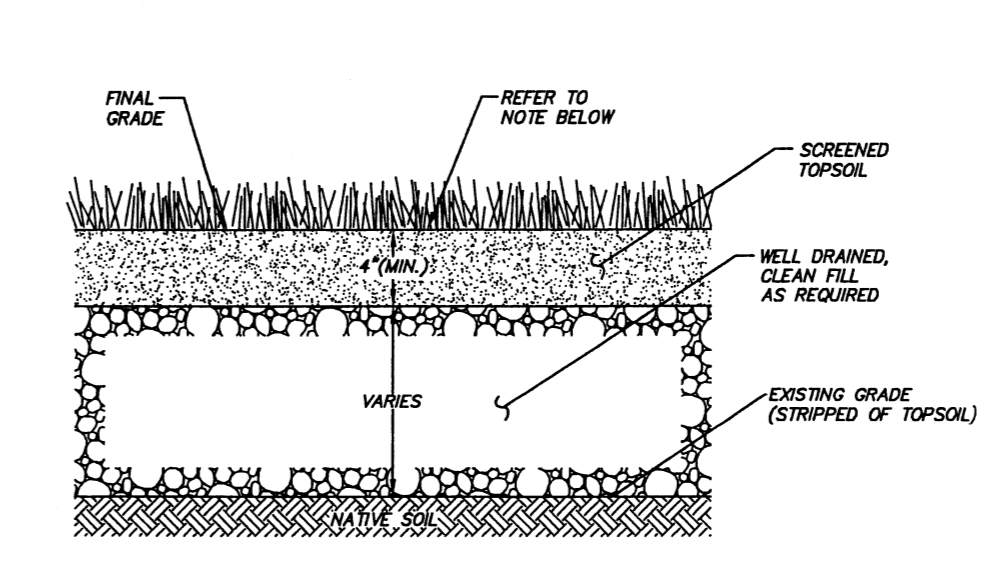
- Install sedimentation and erosion controls.
- Sawcut flagstone patio for proposed spa.
- Sawcut flagstone patio for utility trench.
- Construct proposed spa.
- Construct proposed raised equipment platforms.
- Remove sedimentation and erosion controls.



TYPICAL GRAVEL BED DETAIL BELOW WOOD DECK PLATFORM (TO BE DESIGNED BY STRUCTURAL ENGINEER)
N.T.S.



DETAIL FOR SPA SERVICE INSTALLATION
N.T.S.



LAWN RESTORATION DETAIL
N.T.S.

NOTE:

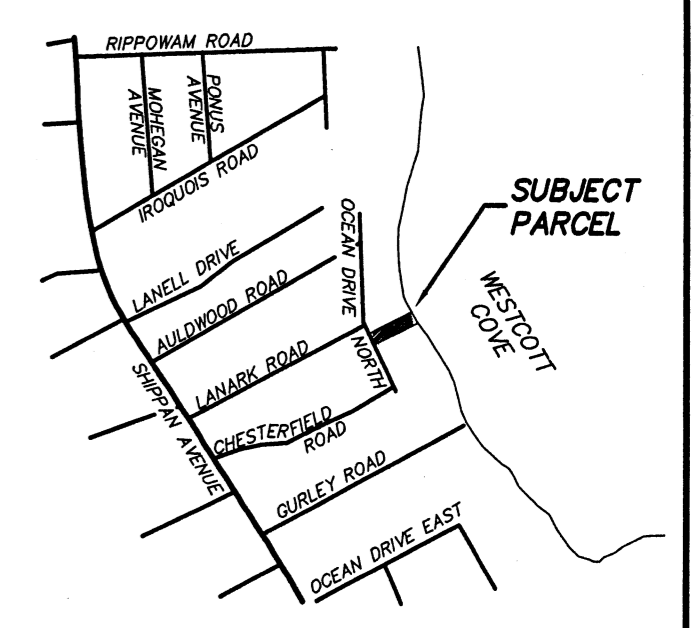
- Land disturbance shall be kept to a minimum. All disturbed areas shall be planted in where permanent plantings are called for as soon as practicable. Seed and mulch disturbed areas with grass seed where permanent plantings are not called for, as soon as practicable. Prepare seedbed (4" thick minimum) with topsoil. Seed, rake, roll, water and mulch areas according to mixes below. Water as often as necessary (up to 3 times per day) to establish cover. Mulch seeded areas at 1 to 2 tons/acre with soft hay. Maintain mulch and watering until grass is 3" high with 85% cover. Reseed or overseed if necessary.

Temporary Seed Mix:
Perennial ryegrass 40 lbs/ac.

Permanent Lawns:
Kentucky Bluegrass 20 lbs/ac.
Creeping red fescue 20 lbs/ac.
Perennial ryegrass 5 lbs/ac.
(1 lb/1000 sf.)

Optimum Seeding Dates:
April 15 through June 15
August 15 through October 1 45 lbs/ac.
(1 lb/1000 sf.)

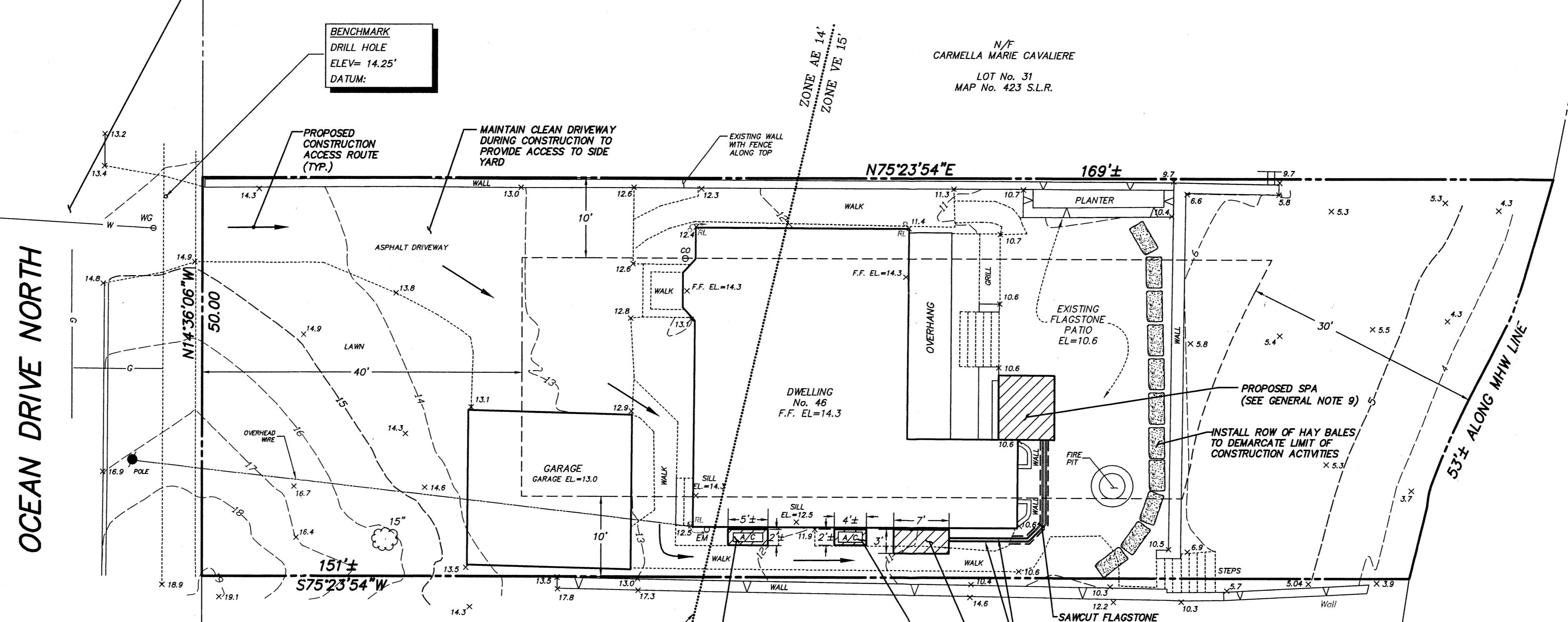
BLOCK No. 150
"R-10" ZONE
AREA = 8,000 S.F.



LOCATION MAP

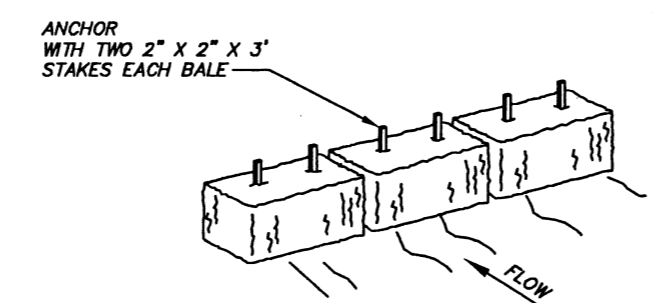
NOTE:
THE STREET AND PROJECT FRONTAGE AREA SHALL BE SWEEPED CLEAN AT THE END OF EACH DAY AS REQUIRED. IN PARTICULAR, THE CONSTRUCTION ENTRANCE SHALL BE KEPT FREE OF DUST AND SEDIMENT.

BENCHMARK
DRILL HOLE
ELEV= 14.25'
DATUM:

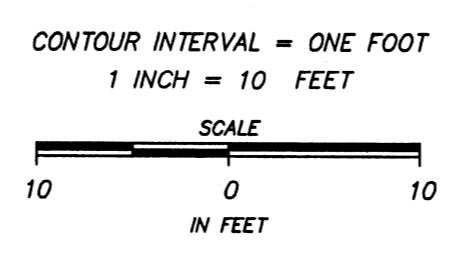


PLAN LEGEND

- 15- ELEVATION CONTOURS
- x 35.8 SPOT ELEVATION
- x 21.7 (h=21.9) TOP/BOTTOM ELEVATION
- 15' DECIDUOUS TREE
- WG WATER GATE
- W WATER SERVICE
- G GAS SERVICE
- U UTILITY POLE
- HAY BALE
- PROPERTY LINE
- RL TO ROOF LEADER TO SURFACE
- RL TO ROOF LEADER INTO GROUND
- CO CLEANOUT
- V.I.F. VERIFY IN FIELD



HAY BALE INSTALLATION
N.T.S.
(INSTALL IF REQUIRED)



PARCEL ID# 000-2744

D'ANDREA SURVEYING & ENGINEERING, P.C.
LAND PLANNERS
ENGINEERS
SURVEYORS
P.O. BOX 549 RIVERSIDE, CT 06878
6 NEIL LANE TEL. 637-1779

PROJECT	PROPOSED SPA & EQUIPMENT PLATFORMS
PREPARED FOR	JOSHUA LEDERMAN
LOCATION	46 OCEAN DRIVE NORTH STAMFORD, CONNECTICUT
1 of 1	DEVELOPMENT PLAN

0	4-26-23	BUILDING PERMIT SUBMISSION
REV	DATE	DESCRIPTION
LEONARD C. D'ANDREA, CT. PE No. 14869		
[Signature]		4-26-23 DATE
ENGINEER		

ONLY COPIES OF THIS PLAN BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S/SURVEYOR'S EMBOSSED SEAL ARE TRUE, VALID COPIES.