

APPLICABLE CODES:

1. THE WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE DRAWINGS AND OUTLINE SPECIFICATIONS TO MEET ALL APPLICABLE CODES.
1. ALL WORK SHALL BE COMPLETED WITHIN THE REQUIREMENTS OF LOCAL, STATE, AND NATIONAL CODES AND AGENCIES HAVING JURISDICTION AND WILL BE COMPLETED IN A MANNER SATISFACTORY TO THE DEPARTMENTS OF THE CITY OF STAMFORD AT NO ADDITIONAL COST TO THE OWNER.

PERMITS AND FEES:

1. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND INSPECTION FEES REQUIRED FOR THE WORK. ALL LICENSES AND NOTICES REQUIRED FOR THE WORK ARE RESPONSIBILITY OF THE CONTRACTOR.

SCHEDULE:

1. THE CONTRACTOR SHALL MAINTAIN A PROGRESS SCHEDULE DURING THE COURSE OF CONSTRUCTION, AND HOLD PERIODIC MEETINGS WITH THE OWNER TO REVIEW PROJECT PROGRESS.

INSURANCE:

1. THE CONTRACTOR SHALL PROVIDE THE APPROPRIATE WORKMANS COMPENSATION INSURANCE.

FINAL CLEANING:

1. UPON COMPLETION OF THE WORK, AND BEFORE ACCEPTANCE BY THE OWNER, CONTRACTOR SHALL THOROUGHLY CLEAN THE AREAS AFFECTED BY ALL OF HIS WORK, AND REMOVE ALL RUBBISH FROM THE SAME.

WARRANTY:

1. THE CONTRACTOR SHALL WARRANT TO OWNER ALL WORK FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF COMPLETION, THE CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE ON HIS WORK, AGAINST EFFECTS RESULTING FROM THE USE OF MATERIALS, EQUIPMENT, OR WORKMANSHIP, AS DETERMINED BY THE OWNER. ALL SUCH DEFECTS ARE TO BE REPLACES OR REPAIRED, COMPLETE WITH LABOR AND MATERIALS, AT NO COST TO THE OWNER.
1. ALL EQUIPMENT WARRANTIES THAT ARE OFFERED FROM THE PARTICIPATING SUBCONTRACTORS/SUPPLIERS SHALL BE FORWARDED TO THE OWNER.

PAINTING:

1. TYPICAL INTERIOR GWB IS TO BE RECEIVE BASE COAT OF OIL-BASE FLAT PRIMER, PLUS TWO FINISH COATS OF LATEX-BASE FLAT WALL PAINT. INTERIOR GWB AT BATHROOMS AND ANY OTHER AREAS SUBJECT TO DAMP CONDITIONS ARE TO RECEIVE BASE COAT OF OIL-BASE FLAT PRIMER, PLUS TWO FINISH COATS OF OIL-BASE EGGSHELL ENAMEL.
2. ANY INTERIOR TRIMS AND SIT FABRICATED CABINETS IS TO RECEIVE A PRIMER COAT PLUS TWO COATS OF OIL-BASE SEMI-GLOSS ENAMEL.

MISCELLANEOUS:

3. ALL FACIA SHALL HAVE CONTINUOUS SOFFIT VENTS. ALL RIDGES SHALL HAVE CONTINUOUS RIDGE VENTS, COLOR TO MATCH EXISTING
4. STAIRWAY HANDRAILS SHALL NOT BE LESS THAN 30' nor more 34" measured VERTICALLY ABOVE THE TREAD NOSING. A GUARDRAIL NO LESS THAN 36" HIGH ON THE OPEN SIDE OF THE STAIR SHALL BE PROVIDED. A SUFFICIENT NUMBER OF INTERMEDIATE LONGITUDINAL RAILS OR VERTICAL BALUSTERS SHALL BE PROVIDED SO THAT THE DISTANCE BETWEEN THE MEMBERS DOES NOT EXCEED 4" BALCONY RAILINGS SHALL BE 36" HIGH.

MECHANICAL AND ELECTRICAL

1. PROVIDE AND INSTALL ALL INDICATED EQUIPMENT, FIXTURE AND REQUIRED MATERIALS PIPING AND TOOLS ECT. FOR COMPLETE PLUMBING SYSTEM. PLUMBING WORK INCLUDES TYING INTO SEWER AND DRAINAGE SYSTEM SUCH THAT THE SYSTEM BECOMES COMPLETE AND FUNCTIONAL. SYSTEM MUST MEET ANY APPLICABLE CODE REQUIREMENTS.
2. ALL PIPING AND PLUMBING WORK ARE TO BE RUN THROUGH NON-HABITABLE SPACES, OR ARE TO BE HIDDEN WITHIN STRUCTURAL VOIDS. NO SOFFITS, FURRED OUT SPACES, ECT. SHALL BE ACCEPTABLE UNLESS SPECIFICALLY SHOWN IN THE CONSTRUCTION DOCUMENTS, OR ACCEPTED IN ADVANCE BY THE DESIGN PROFESSIONAL.
3. ALL PLUMBING VENTS WHERE EXPOSED ABOVE THE ROOF ARE TO BE WITH INTEGRAL SLEEVE/FLASHING, AND ARE TO BE ROUTED TO REAR-FACING OR INCONSPICUOUS ROOF SURFACES WHEREVER POSSIBLE.
4. HVAC SYSTEM IS TO BE DESIGNED AND INSTALLED BY A SINGLE EXPERIENCED SUB-CONTRACTOR WHO WILL, IN COMBINATION WITH MANUFACTURERS OFFER A WRITTEN WARRANTY OF COMPONENTS, INSTALLATION, AND PERFORMANCE. SUB-CONTRACTOR SHALL PROVIDE A SUBMITTAL PACKAGE SPECIFYING ALL PRODUCTS TO BE UTILIZED IN THE SYSTEM, AS WELL AS TOTAL SYSTEM CAPACITIES AND BTU'S DELIVERY TO EACH ROOM, FOR REVIEW AND ACCEPTANCE BY THE OWNER. AS A MINIMUM, PRIOR TO DETERMINATIONS OF PERFORMANCE, SYSTEM MUST MEET ANY APPLICABLE CODE REQUIREMENTS INCLUDING NAT ENERGY USE CODES.

5. THE HVAC SUBCONTRACTOR SHALL BE RESPONSIBLE FOR GUARANTEEING THE PERFORMANCE OF THE INSTALLED SYSTEM TO MAINTAIN A DEG. F. TEMPERATURE IN EACH ROOM UNDER OUTDOOR TEMPERATURE CONDITIONS RANGING DOWN TO 0 DEG. F. AND 78 DEG. F. TEMPERATURE UNDER OUTDOOR TEMPERATURE CONDITION RANGING UP TO 100 DEG. F.
6. ANY HEATING MEDIUM, WEATHER AIR, GAS, OR LIQUID, IS TO BE INSULATED WHEN PASSING THROUGH ANY ANY NON-CONDITIONED SPACE. PROVIDE AND INSTALL DUCTWORK FOR BATHROOM, POWDER ROOM, KITCHEN AND DRYER EXHAUST AND EXTERIOR TERMINATION OF SIZE AND TYPE RECOMMENDED BY THE MANUFACTURER, SUBJECT TO REVIEW AND ACCEPTANCE BY OWNER.
7. EACH VENT TO EXTERIOR IS TO HAVE A WEATHERPROOF TERMINATION, PROPERLY FLASHED INTO WALL OR ROOF, IN AN INCONSPICUOUS LOCATION
8. ALL MISCELLANEOUS VENTING AND DUCTWORK IS TO RUN THROUGH NON-HABITABLE SPACES AT ATTIC AND BASEMENT, OR IS TO BE HIDDEN WITHIN STRUCTURAL VOIDS, NO SOFFITS, FURRED-OUT SPACES, ETC. SHALL BE ACCEPTABLE UNLESS SHOWN IN THE CONSTRUCTION DOCUMENTS OR SPECIFICALLY APPROVES BT THE DESIGN PROFESSIONAL.
9. ALL ELECTRICAL INSTALLATION IS TO BE AS PER NATIONAL ELECTRIC CODE. ELECTRICAL WORK SHALL INCLUDE WIRING OF EQUIPMENT PROVIDED AND INSTALLED WITHIN THE SCOPE OF WORK OF OTHER TRADES. THIS EQUIPMENT INCLUDES BUT NOT LIMITED TO, HVAC EQUIPMENT, VENT AND INCLUDING BATHROOM VENTS AND LINE VOLTAGE SUPPLY TO LOW VOLTAGE EQUIPMENT SUCH AS SECURITY AN AUDIOVISUAL SYSTEMS.

FOUNDATION NOTES:

1. ALL FOUNDATION WALL FOOTINGS SHALL BE OF CONCRETE, WITH A MINIMUM THICKNESS OF 10" & A PROJECTION OF 5" ON EACH SIDE, UNLESS OTHERWISE INDICATED ON THE DRAWINGS. CHIMNEY FOOTINGS SHALL BE 12" THICK WITH A PROJECTION OF 6" LALLY COLUMN FOOTINGS SHALL BE A MINIMUM OF 30"x30"x12" THICK, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
2. HOLLOW BLOCK WALLS NOT MORE THAN 4'-0" BELOW GRADE SHALL BE 8" THICK, WHEN NOT MORE THAN 5'-0" BELOW GRADE SHALL BE 10" THICK, WHEN MORE THAN 5'-0" BELOW GRADE SHALL BE 12" THICK, UNLESS OTHERWISE NOTED ON THE DRAWINGS. WHEN MORE THAN 7' BELOW GRADE, BLOCK WALLS SHALL BE REINFORCED AS NOTED ON THE DRAWINGS, THIS ALSO APPLIES TO POURED CONCRETE WALL.
3. THE NEW FOUNDATIONS HAVE BEEN DESIGNED TO REST ON INORGANIC UNDISTURBED SOIL HAVING A PRESUMPTIVE BEARING VALUE OF 2,000 PSF EXPECTED TO BE FOUND AT THE BOTTOM OF THE REQUIRED.
4. THE BOTTOM OF EXTERIOR FOOTINGS NOT ON SOLID ROCK SHALL BE AT LEAST 3'-6" BELOW FINISHED GRADE. FOOTINGS ON LEDGE SHALL REST ON BROOM CLEAN SOLID ROCK. IF THE SLOPE OF THE ROCK SURFACE EXCEEDS 1 ON 6, THE FOOTING SHALL BE DOWELED TO THE LEDGE WITH 3/4" STEEL RODS DRILLED 10" INTO THE ROCK SURFACE AT 2' ON CENTER.
5. IN AREAS REQUIRING FILL, THE FILL MATERIAL SHALL BE A UNIFORM GRADED MIXTURE OF SAND AND GRAVEL WEIGHING NO LESS THAN 120 PCF DRY DENSITY AFTER COMPACTING IN PLACE. THIS MIXTURE SHALL BE UNIFORMLY GRADED HAVING NO STONE GREATER THAN 10%, BY WEIGHT, PASSING A #100 SIEVE. THE FILL SHALL BE PLACED IN A MINIMUM OF 95% OF ITS MAXIMUM DENSITY AT OR NEAR OPTIMUM MOISTURE. NO LIFTS SHALL BE PLACES WHEN WEATHER CONDITIONS ARE SUCH THAT THE MOISTURE CONTENT OF THE FILL CANNOT BE PROPERLY CONTROLLED.
6. THE SLAB-ON-GRADE SUB-BASE SHALL BE CRUSHED STONE PASSING A 2 INCH SIEVE AND RETAINED ON A 1/4 INCH SIEVE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LIMITING POURS TO MINIMIZE SHRINKAGE CRACKING. IN GENERAL, WALLS SHALL NOT BE POURED IN CONTINUOUS LENGTHS EXCEEDING 30 FEET AND SLABS NOT EXCEEDING 20 FEET WITHOUT CONTROL JOINTS. THE LOCATION AN CONFIGURATION OF JOINTS EXPOSED TO VIEW SHALL BE COORDINATED WITH THE ARCHITECT.
8. MINIMUM ANCHOR BOLT REQUIREMENTS FOR ATTACHMENT OF SUPERSTRUCTURE TO FOUNDATION SHALL BE 1/2" DIAMETER AT 4'-0" O.C. MAX. SPACING. EMBED ANCHOR BOLTS A MINIMUM OF 15" INTO MASONRY, 7" INTO CAST CONCRETE. INSTALL BOLTS WITHIN 12" OF CORNERS ON ALL EXTERIOR WALLS.
9. SIZES AND LOCATIONS OF ALL REQUIRED EMBEDDED ITEMS FOR ALL TRADES SUCH AS ANCHOR BOLTS, PIPING SLEEVES, HOLD DOWN ANCHORS, ETC. SHALL BE COORDINATED BY THE GENERAL CONTRACTOR WITH OTHER TRADES.
10. FOOTING DRAIN INVERTS ARE TO BE SET A MINIMUM OF 2" ABOVE THE BOTTOM OF ADJACENT FOOTINGS.
11. CONCRETE FOR FOUNDATIONS AND SLAB-ON-GRADE SHALL BE NORMAL WEIGHT CONCRETE AND SHALL DEVELOP A COMPRESSIVE STRENGTH OF 3,000 PSI AN 28 DAYS. CONCRETE SHALL HAVE A MAXIMUM AGGREGATE SIZE OF 3/4", MINIMUM CEMENT CONTENT OF 560 LBS/CU YD., AND A MAXIMUM SLUMP OF 4".
12. CONCRETE EXPOSED TO THE WEATHER, SUCH AS THAT USED IN FOUNDATION WALLS, SHALL CONTAIN 6% ENTRAINED AIR + 1%
13. DO NOT BACKFILL AGAINST EXTERIOR OF FOUNDATION WALLS UNTIL WALLS ARE BRACED BY THE FLOOR CONSTRUCTION OR OTHER APPROVED METHODS. IN THE CASE OF FOUNDATION WALLS BELOW FLOOR SLABS, FILL AGAINST INTERIOR & EXTERIOR FACES OF THE FOUNDATION WALL EQUALLY UP TO THE ELEVATIONS INDICATED ON THE DRAWINGS.
14. FLOOR SLAB SHALL BE 4" THICK, WITH 66/1010 MESH REINFORCING, 3,000# CONCRETE, OVER 4" COMPACTED BANK-RUN GRAVEL, OVER COMPACTED SUB-GRADE. BETWEEN THE SLAB AND THE GRAVEL, INSTALL 4 MIL. POLYETHYLENE VAPOR BARRIER, LAPPED 6" & TURNED UP 6" AT THE PERIMETER.

15. CRAWL SPACES UNDER HABITABLE AREAS SHALL NOT BE LESS THAN 18" IN DEPTH FROM THE UNDERSIDE OF THE JOISTS OR GIRDERS. SUCH SPACE SHALL BE COVERED WITH NOT LESS THAN 2" OF CONCRETE OVER A POLYETHYLENE VAPOR BARRIER, UNLESS OTHERWISE INDICATED ON THE DRAWINGS. CRAWL SPACES SHALL BE VENTED WITH "MANUALLY OPERABLE LOUVERS". FOUNDATION VENTS SHALL BE EQUAL TO 6% OF THE CRAWL SPACE AREA. PROVIDE METAL AIRWAYS WHEN REQUIRED BY GRADE CONDITIONS.
16. FIREPLACES SHALL BE PROVIDE WITH DAMPERS. HEARTHIS FOR FIREPLACES WITH AN OPENING OF 6 SQ/FT OR LESS SHALL EXTEND 16" MIN. IN FRONT & 8" MIN. ON EACH SIDE. IF OPENING IS MORE THAN 6 SQ/FT, HEARTH SHALL EXTEND 20' MIN IN FRONT & 12" MIN. ON ONE SIDE.

GENERAL NOTES

1. THE CONTRACTOR SHALL VISIT THE SITE AND BE RESPONSIBLE FOR HAVING RECORDED ALL CONDITIONS WITHIN THE SCOPE OF THE PROJECT.
2. ALL WORK IS TO CONFORM TO ALL APPLICABLE REQUIREMENTS OF THE LOCAL GOVERNING CODES, STATE CONSTRUCTION AND ENERGY CONSERVATION CODES, FRE DEPARTMENT REGULATIONS, FHA FRAMING STANDARDS, OSHA CODES AND THE BEST TRADE PRACTICES.
3. DO NOT SCALE OFF THE DRAWINGS. USE ONLY COMPUTED NUMERICAL DIMENSIONS SHOWN IN DRAWINGS.
4. TYPICAL MINOR DETAILS AND ASSEMBLIES, ALTHOUGH NOT SHOWN OR SPECIFIED, NECESSARY FOR THE PROPER CONSTRUCTION AND OPERATION OF ANY PART OF THE WORK SHALL BE INCLUDED IN THE WORK THE SAME AS IF INDICATED HEREIN.
5. CONTRACTORS WILL BE HELD RESPONSIBLE FOR INCORRECT WORK CAUSED BY THERE FAILURE TO COMPLY WITH THE ABOVE INSTRUCTIONS.
6. THE CONTRACTORS ARE TO FILE INSURANCE CERTIFICATES AND OBTAIN AND PAY FOR ALL PERMITS. THE CONTRACTOR SHALL SCHEDULE ALL REQUIRED INSPECTIONS WITH THE BUILDING DEPARTMENT, AND FILE FOR AND OBTAIN CERTIFICATES OF OCCUPANCY. NO WORK TO START PRIOR TO OBTAINING PERMITS.
7. THE CONTRACTORS SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING AND NEW CONDITIONS AND MATERIALS ADJACENT TO THE CONSTRUCTION AREA. ANY DAMAGE CAUSED BY THE EXICUTION OF TH WORK INDICATED OR IMPLIED HEREIN SHALL BE REPAIRED OR REPLACED TO THE OWNER'S SATISFACTION. THE WORK SHALL BE PERFORMED AT THE CONTRACTORS SOLE EXPENSE.
8. THE CONTRACTOR SHALL KEEP THE WORK SITE FREE FROM DEBRIS ACCUMULATED REFUSE AND SHALL HAVE THE SOLE RESPONSIBILITY FOR PROTECTING ALL DANGEROUS AREAS AND CONDITIONS.
9. BY STARTING ANY WORK, THE CONTRACTOR SIGNIFIES ACCEPTANCE OF THE PREVIOUSLY INSTALLED BACKUP MATERIALS AND FRAMING, AND WAIVES ANY RIGHT TO BLAME PRIOR WORK FOR ANY DEFECTS IN HIS OWN WORK.
10. ALL WORK SHALL BE GUARANTEED FOR ONE(1) YEAR AFTER FINAL PAYMENT. GENERAL CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE ON HIS WORK AND ALL SUB-CONTRACTOR WORK, AGAINST EQUIPMENT, OR WORKMANSHIP, AS DETERMINED BY THE ARCHITECT. ALL SUCH DEFECTS ARE TO BE REPLACED OR REPAIRED, COMPLETE WITH LABOR AND MATERIALS, AT NO COST TO THE OWNER.
11. GRADES, BUILDING LOCATIONS, UTILITIES, ECT. SHALL BR VERIFIED IN THE FIELD BY THE SURVEYOR, WHO SHALL ALSO LOCATE THE BUILDING, ETC., AND FURNISH THE CERTIFIED LOCATION SURVEY(S) REQUIRED BY THE BUILDING DEPARTMENT SHOULD ANY DISCREPANCIES OCCUR. THE SURVEYOR SHALL NOTIFY THE ARCHITECT &/OR OTHER APPLICABLE REGULATIONS, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
12. ALL FOUNDATION DIMENSIONS ARE TO THE FACE OF FOUNDATION WALL, & ALL DIMENSIONS ON THE FLOORS ABOVE ARE TO THE FACE OF THE STUD OR MASONRY, OR THE TOP OF SUB-FLOOR, UNLESS OTHERWISE NOTED.

THERMAL AND MOISTURE PROTECTION

1. INSULATE ALL EXTERIOR WALLS AND CEILING AREAS WITH BATT INSULATION AS FOLLOWS (UNLESS NOTED OTHERWISE)
WALLS R-21
ROOF/CEILING R-38
FLOOR OVER UNHEATED SPACE R-49
EXTERIOR DOORS: TO BE WEATHER STRIPPED
2. BLANKET/BATT TYPE INSULATION: UN FACED GLASS FIBER BLANKET INSULATION TYPES: OWENS CORNING FIBERGLASS CORP. OR APPROVED EQUAL. PROVIDE FULL THICKNESS IN ONE LAYER OVER THE ENTIRE AREA, TIGHTLY FITTING AROUND PENETRATIONS.
3. PROVIDE 4 MIL CLEAR POLYETHYLENE SHEET VAPOR BARRIER OVER ENTIRE AREA OF INSIDE FACE OF EXTERIOR WALLS, CEILINGS AND ELSEWHERE AS INDICATED. SEAL ALL SEAMS AND AROUND PERIMETER AND PENETRATIONS WITH DUCT TAPE TO FORM A CONTINUOUS VAPOR BARRIER FREE OF HOLES.
4. PROVIDE FIBERGLASS SHINGLES ROOFING WHERE INDICATED. SHINGLES SHALL BE INSTALLED OVER UNPERFORATED ASPHALT-SATURATED ROOFING FELT #15.
5. ALL PROJECTING WOOD TRIM, INCLUDING ANY WINDOW OR DOOR CASING, WOOD, WATER TABLE OR OTHER MOLDINGS, ECT., ARE TO BE FULLY FLASHED. ALL FLASHING ARE TO BE 20 GAUGE ALUMINUM AND ALL EXPOSED FLASHING SHALL BE BAKED ENAMEL AS SELECTED. ALL ROOF VALLEY FLASHING TO EXTEND UP EACH 18" MINIMUM IN BOTH DIRECTIONS AND PROVIDE 5" X 7" STEP FLASHING AT ROOF AND WALL INTERSECTIONS.
6. PROVIDE DUPONT "TYVEK" AIR INFILTRATION BARRIER, WHICH PERMITS PASSAGE OF WATER VAPOR, OVER WALL SHEATHING.
7. CAULK ENTIRE PERIMETERS OF ALL EXTERIOR WINDOWS, DOOR FRAMES, LOUVERS, AND ELSEWHERE AS REQUIRED FOR A WEATHER TIGHT INSTALLATION.

GYPSTUM DRYWALL

1. ALL WALLS AND CEILINGS SCHEDULED FOR "GWB" FINISH ARE TO RECEIVE 1/2" GYPSTUM WALL BOARD, FASTENED OVER WOOD STRUCTURE OR FURRING, UNLESS OTHERWISE NOTED. ALL GYPSTUM WALLBOARD IS TO BE FASTENED WITH SCREWS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. JOINTS SHALL BE TAPED, SPECKLED AND SANDED SMOOTH.
2. PROVIDE GYPSTUM BOARD: ASTM C-36, REGULAR, WATER RESISTANT, FIRE RESISTANT, U.S. GYPSTUM OR APPROVED EQUAL, AS FOLLOWS:
3. INTERIOR USE : 1/2" THICK REGULAR.
4. ALL WALLS AND CEILINGS IN BATH ROOMS, AND PLUMBING WALLS IN KITCHEN, LAUNDRY AREA, ETC.: 1/2" THICK WATER RESISTANT.
5. FIRE RATED WALLS AND CEILINGS AT GARAGE: 5/8" FIRE RESISTANT.
6. UNDER WALL MOUNTED TILE WORK PROVIDE GLASS MESH REINFORCED PORTLAND CEMENT BACKER BOARD: DUROCK, WONDERBOARD OR APPROVED EQUAL.
7. INSTALL TRIM AND JOINT TREATMENT IN STRICT COMPLIANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. SAND AND LEAVE READY FOR FINISH PAINTING, UNLESS OTHERWISE NOTED.
8. JOINT REINFORCEMENT: ASTM C-587 PAPER TAPE AND READY-MIXED VINYL COMPOUND. ACCESSORIES: GALVANIZED CORNER BEADS, CASING BEADS, CONTROL JOINTS COMPLY WITH ASTM C-840 AND GA-216, EXCEPT AS OTHERWISE INDICATED.
9. INSTALL BOARDS IN HORIZONTALLY, IN MAXIMUM PRACTICAL LENGTHS. INTERIOR TEMPERATURE OF WORK AREA MUST BE CONTINUOUSLY MAINTAINED OVER 60 DEG. DURING DRYWALL WORK. TOLERANCES: NOT MORE THAN 1/16" DIFFERENCE IN TRUE PLANE AT JOINTS BETWEEN ADJACENT BOARDS BEFORE FINISHING. AFTER FINISHING, JOINTS SHALL BE INVISIBLE. NO GAPS OR VOIDS BETWEEN GYPSTUM BOARD UNITS OR BETWEEN DRYWALL AND ADJACENT WORK, UNLESS DETAILED OTHERWISE. NOT MORE THAN 1/8" IN 10' DEVIATION FROM TRUE PLANE. PLUMB AND LEVEL IN FINISHED WORK.

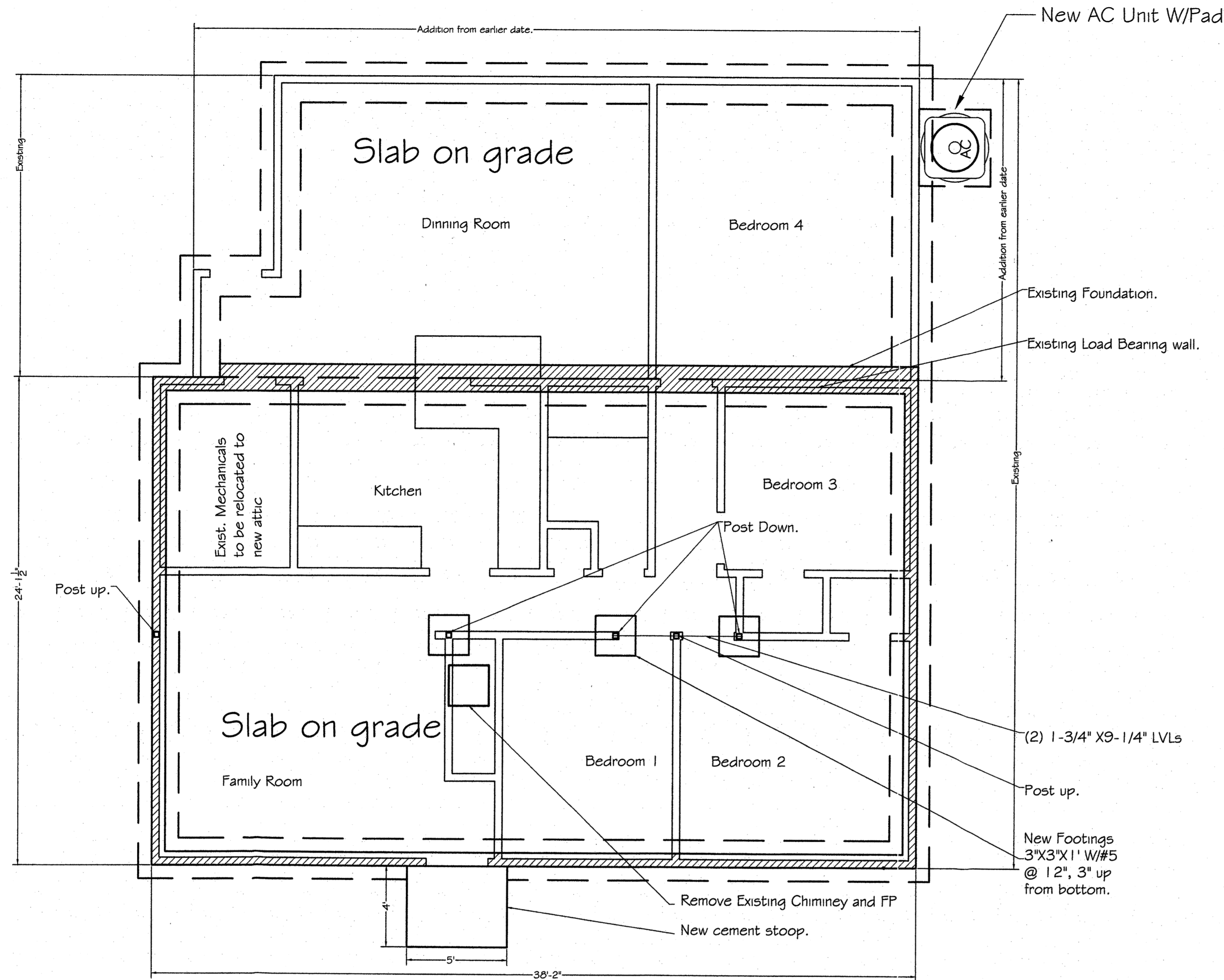
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1/24/23

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Parker Residence
64 Lewellyn Road
Stamford, CT 06902
General Notes



GENERAL NOTES:

ALL WORK SHALL CONFORM TO LOCAL RULES, REGULATION CODES AND ORDINANCES, AND ANY OTHER LOCAL, STATE, OR COUNTY DEPARTMENTS HAVING JURISDICTION OVER THE INSTALLATION OF THE STRUCTURAL SYSTEM AND IS TO BE CARRIED OUT IN ACCORDANCE WITH THE STRUCTURAL DRAWINGS SPECIFICATIONS AND THE REQUIREMENTS OF THE CONNECTICUT STATE BUILDING CODE LATEST EDITION.

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, ELEVATIONS, AND SIZES BEFORE FABRICATION AND TO BE RESPONSIBLE FOR FIT AND ALIGNMENT OF ALL NEW WORK, ANY DEVIATION WHICH MAY BE NECESSARY FROM CONTRACT DESIGN DRAWINGS DUE TO FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD FOR MODIFICATION.

THE DRAWINGS REQUIRE COORDINATION WITH OTHER TRADES AND DISCIPLINES. CONTRACTOR IS RESPONSIBLE FOR COORDINATION.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED DURING THE EXECUTION OF THE WORK.

CONTRACTOR SHALL HAVE A COPY OF THE 2013 INTERNATIONAL RESIDENTIAL BUILDING CODE WITH CONNECTICUT AMENDMENTS ON SITE ALL THE TIME CONSTRUCTION IS IN PROGRESS.

CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY DEPARTMENT OF BUILDINGS RULES AND REGULATIONS.

SAFETY PROVISIONS OF APPLICABLE FEDERAL (OSHA), STATE AND LOCAL LAWS, AND CONSTRUCTION CODES SHALL BE OBSERVED AND MAINTAINED BY THE CONTRACTOR AT ALL TIMES. IN THE EVENT OF A DISCREPANCY BETWEEN THE VARIOUS STANDARDS OF SAFETY REQUIRED, THE MOST STRINGENT PROVISION SHALL BE CONSIDERED TO BE APPLICABLE IN ANY GIVEN SITUATION.

THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.

THE CONTRACTOR IS CAUTIONED TO MAKE CONTINUOUS OBSERVATIONS OF THE EXISTING STRUCTURE DURING THE PERFORMANCE OF HIS WORK. SHOULD HE BECOME AWARE OF ANY SITUATION THAT REQUIRES FURTHER INVESTIGATION OR STUDY (SUCH AS CRACKED BEAMS, EXCESSIVE DEFLECTION, ETC.) HE SHALL NOTIFY THE ENGINEER IMMEDIATELY.

ALL TESTS REQUIRED FOR CONTROLLED INSPECTIONS SHALL BE PERFORMED BY A CERTIFIED MATERIALS TESTING LABORATORY, HIRED & PAID BY THE OWNER.

CONSTRUCTION THAT IS TO BE REPLACED AFTER REMOVAL WORK SHALL BE REPLACED WITH CONSTRUCTION OF EQUAL STRENGTH AND DESIGN.

ANY CONSTRUCTION TO BE LEFT IN PLACE THAT IS WEAKENED OR DAMAGED SHALL BE RESTORED TO THE CONDITION THAT EXISTED PRIOR TO SUCH DAMAGE.

TEMPORARY WORK NOTES:

1. ALL TEMPORARY WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE BUILDING CODE.
2. THE DRAWINGS INDICATE THE COMPLETED STRUCTURE. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL TEMPORARY MEASURES NECESSARY FOR ERECTION.
3. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE EXISTING STRUCTURE PRIOR TO, DURING, AND AFTER THE REMOVAL OF ANY MASONRY WALL AND ALL STRUCTURAL MODIFICATIONS HAVE BEEN COMPLETED.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN STRUCTURAL INTEGRITY DURING ALL TEMPORARY SHORING, NEEDLING, OR BRACING WORK OF THE EXISTING STRUCTURE.
5. MEANS AND METHODS OF TEMPORARY SHORING, NEEDLING, OR BRACING OF THE EXISTING STRUCTURE IS THE CONTRACTOR'S RESPONSIBILITY.
6. CONTRACTOR SHALL NOTIFY THIS OFFICE IN WRITING IF THERE ARE ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS.

Notes:

1. DO NOT SCALE THE DRAWINGS. USE ONLY COMPUTED NUMERICAL DIMENSIONS.
2. CERTAIN DIMENSIONS SHOWN ARE RELATIVE TO AND/OR TO BE MATCHED WITH EXISTING DIMENSIONS AND MUST BE VERIFIED IN THE FIELD BY THE CONTRACTORS PRIOR TO COMENCEMENT OF WORK.
3. SEE FRAMING DRAWINGS FOR STRUCTURAL ELEMENTS, RAFTER, JOIST, BEAMS, POST ECT.

(A) Exist. Foundation Detail
SCALE: 1/4" = 1'-0"

WALL LEGEND

EXISTING FOUNDATION WALLS

STANDARD CITY OF STAMFORD NOTES:

1. A STREET OPENING PERMIT IS REQUIRED FOR ALL WORK WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY.
2. ALL WORK WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY SHALL BE CONSTRUCTED TO CITY OF STAMFORD REQUIREMENTS, THE STATE OF CONNECTICUT BASIC BUILDING CODE AND THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL.
3. THE ENGINEERING BUREAU OF THE CITY OF STAMFORD SHALL BE NOTIFIED THREE DAYS PRIOR TO ANY COMMENCEMENT WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY.
4. TREES WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY TO BE REMOVED SHALL BE POSTED IN ACCORDANCE WITH THE TREE ORDINANCE.
5. PRIOR TO ANY EXCAVATION THE CONTRACTOR AND/OR APPLICANT/OWNER, IN ACCORDANCE WITH PUBLIC ACT 77-350, SHALL BE REQUIRED TO CONTACT 'CALL BEFORE YOU DIG' AT 1-800-922-4455 FOR MARK OUT OF UNDERGROUND UTILITIES.
6. ALL RETAINING WALLS GREATER THAN THREE (3) FEET ARE REQUIRED TO BE DESIGNED, AND INSPECTED DURING CONSTRUCTION BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT. CERTIFICATION OF THE RETAINING WALL SHALL BE REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY AND/OR BOND RELEASE.
7. CERTIFICATION WILL BE REQUIRED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT THAT WORK HAS BEEN COMPLETED IN COMPLIANCE WITH THE APPROVED DRAWINGS.
8. A FINAL IMPROVEMENT LOCATION SURVEY WILL BE REQUIRED BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF CONNECTICUT.
9. GRANITE BLOCK OR OTHER DECORATIVE STONE OR BRICK, DEPRESSED CURB, DRIVEWAY APRON AND CURBING WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY SHALL REQUIRE A WAIVER FROM THE CITY OF STAMFORD ENGINEERING BUREAU.
10. SEDIMENT AND EROSION CONTROLS SHALL BE MAINTAINED AND REPAIRED AS NECESSARY THROUGHOUT CONSTRUCTION UNTIL THE SITE IS STABILIZED.

PROPOSED WORK:

1. THE PURPOSE OF THESE PLANS IS TO:
 - 1.1. CONSTRUCT A SECOND-STORY ON A SINGLE-FAMILY DWELLING.

REQUIRED PERMITS/INSPECTIONS:

1. APPLICANT IS RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS:
 - 1.1. DEMOLITION PERMIT.
 - 1.2. PLUMBING PERMIT FOR ALL PLUMBING IMPROVEMENTS.
 - 1.3. ELECTRICAL PERMIT FOR ALL ELECTRICAL IMPROVEMENTS.
 - 1.4. BUILDING PERMIT FOR DETACHED GARAGE, INTERIOR IMPROVEMENTS, STRUCTURAL IMPROVEMENTS.
 - 1.5. ENGINEERING APPROVAL FOR DRAINAGE IMPROVEMENTS.
 - 1.6. EFB: FOR EROSION CONTROL.
 - 1.7. ZONING COMPLIANCE: FOR BUILDING COVERAGE INCREASE.

Job Scope

First Floor

- Replace front entry door.
- Remove Existing fireplace and chimney.
- Add new exposed railing staircase.
- Remove existing Non load bearing wall between bedroom 1-2.
- Remove existing Bedroom door.
- Add new coat closet.

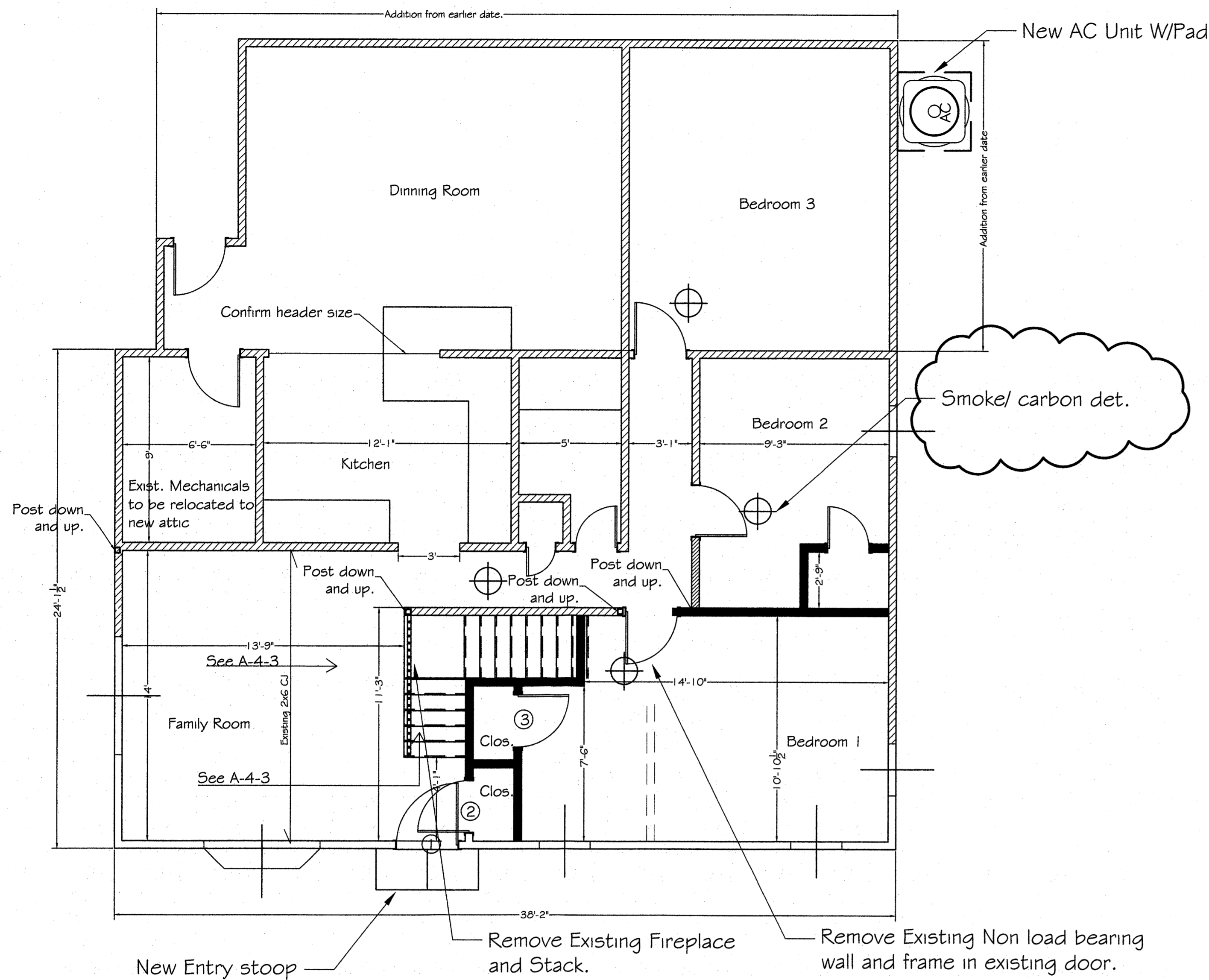
Second Floor

- New 2x10 Framing over existing 2x6 ceiling joist.
- New 2x6 Extenor framing with 2x8 ceiling joist on 2x10 rafters.
- (3) New bedrooms and (2) New bathrooms.

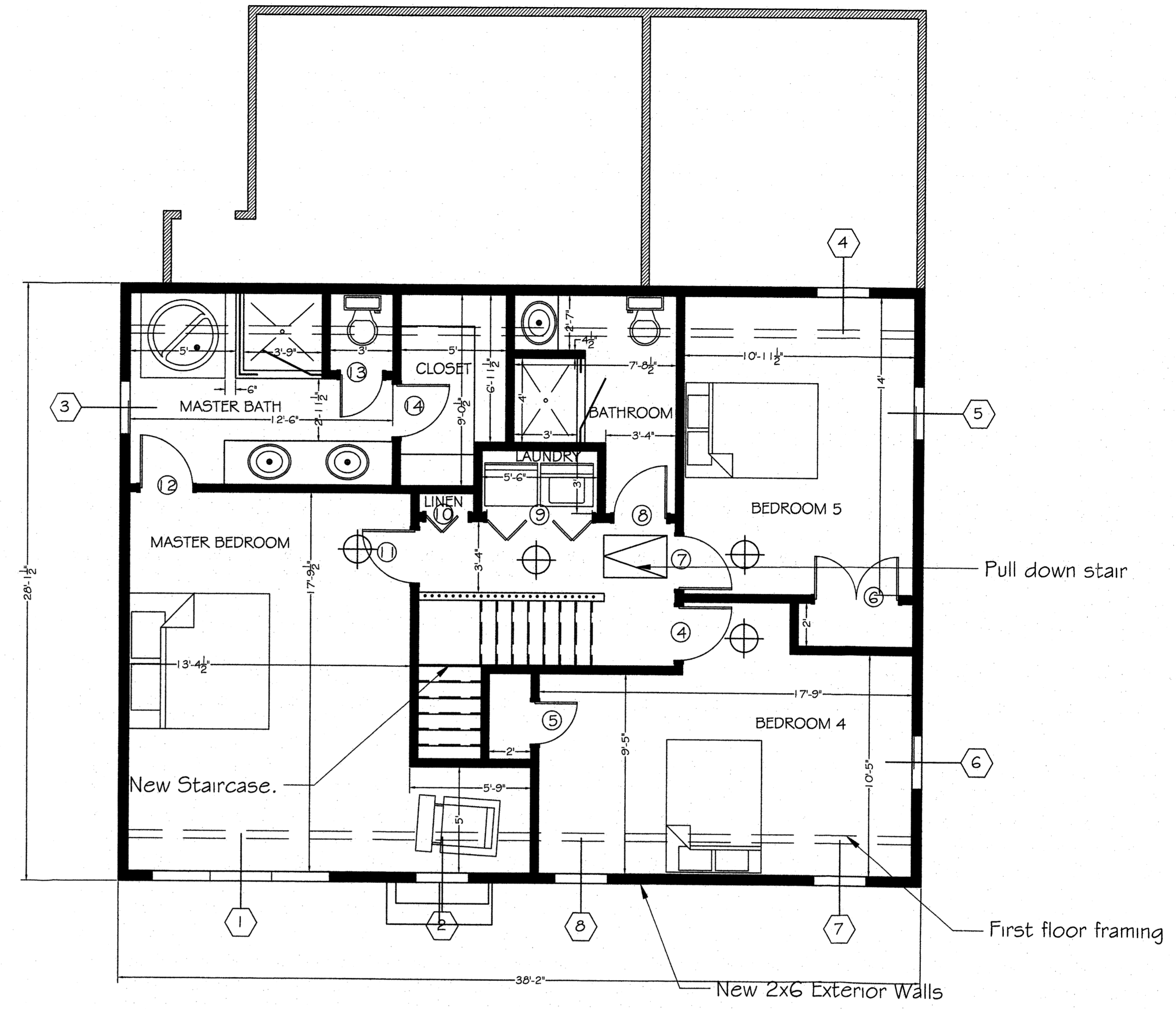


1/24/23

Parker Residence
64 Lewellyn Road
Stamford, CT 06902
Foundation Detail



1 Proposed 1st Floor Layout
SCALE: 1/4" = 1'-0"

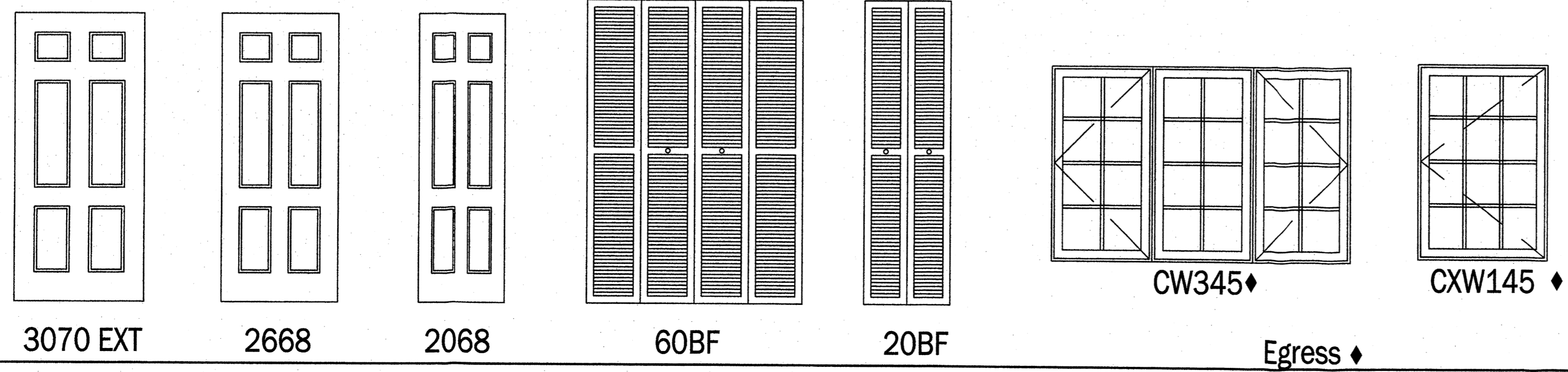


2 Proposed 2nd Floor Layout
SCALE: 1/4" = 1'-0"

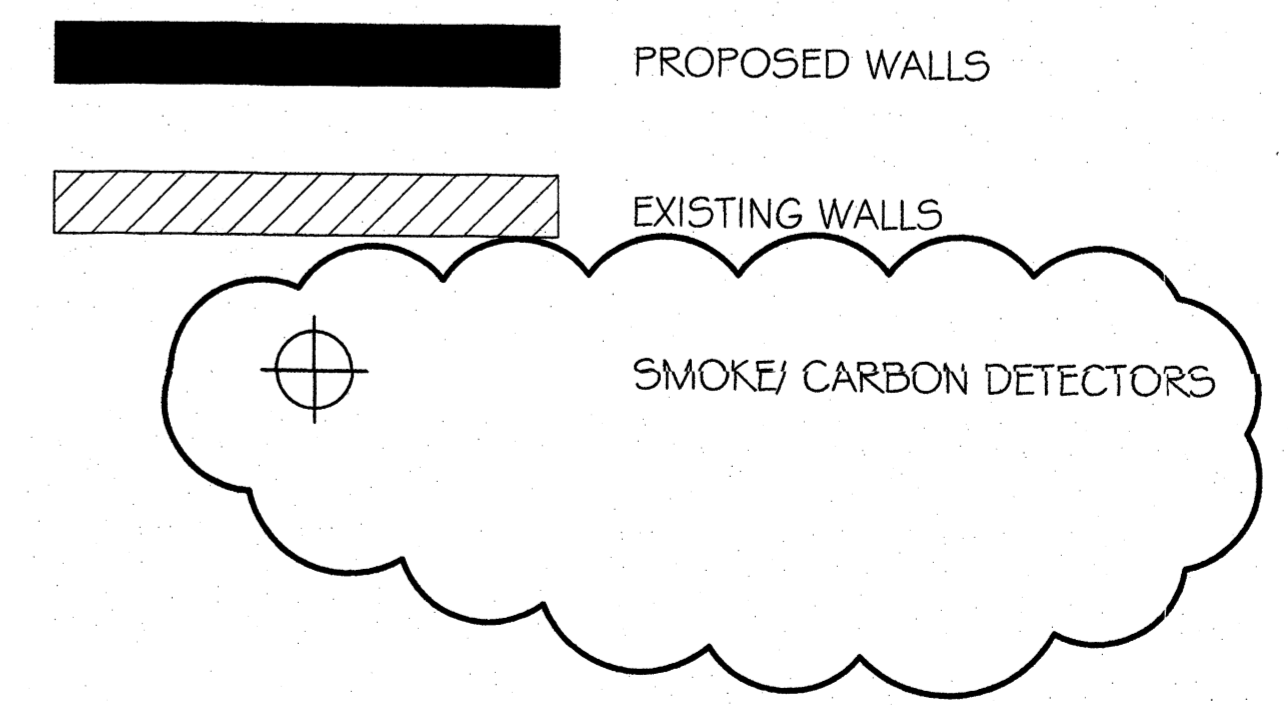
Note: Existing first floor windows to remain

Doors				Windows			
#	Size	Location	Swing	#	Location	R.O.	Call#
1	3-0	Front Entry	RHS	1	Master Bedroom	7' 1-1/8" x 5' 3/8"	CW345 ♦
2	2-6	Entry Clos.	LHS	2	Master Bedroom	3' 1/2" x 4' 5-3/8"	CXW145 ♦
3	2-6	Bed Room 1, Clos.	LHS	3	Master Bathroom	TBD (tempered)	
4	2-6	Bedroom #4	LHS	4	Bedroom 5	3' 1/2" x 4' 5-3/8"	CXW145 ♦
5	2-6	Bedroom #4 Clos.	LHS	5	Bedroom 5	3' 1/2" x 4' 5-3/8"	CXW145 ♦
6	2-0	Bedroom #5 Clos.	L,R	6	Bedroom 4	3' 1/2" x 4' 5-3/8"	CXW145 ♦
7	2-6	Bedroom #5	RHS	7	Bedroom 4	3' 1/2" x 4' 5-3/8"	CXW145 ♦
8	2-6	Guest Bath	RHS	8	Bedroom 4	3' 1/2" x 4' 5-3/8"	CXW145 ♦
9	5-0	Hallway Laundry	BIFOLD				
10	2-0	Hallway Linen	BIFOLD				
11	2-6	Master	RHS				
12	2-6	Master Bath	LHS				
13	2-0	Master Toilet	RHS				
14	2-0	Master Clos.	LHS				

Smoke/Carbon Detectors
Window U-Factor is 0.29



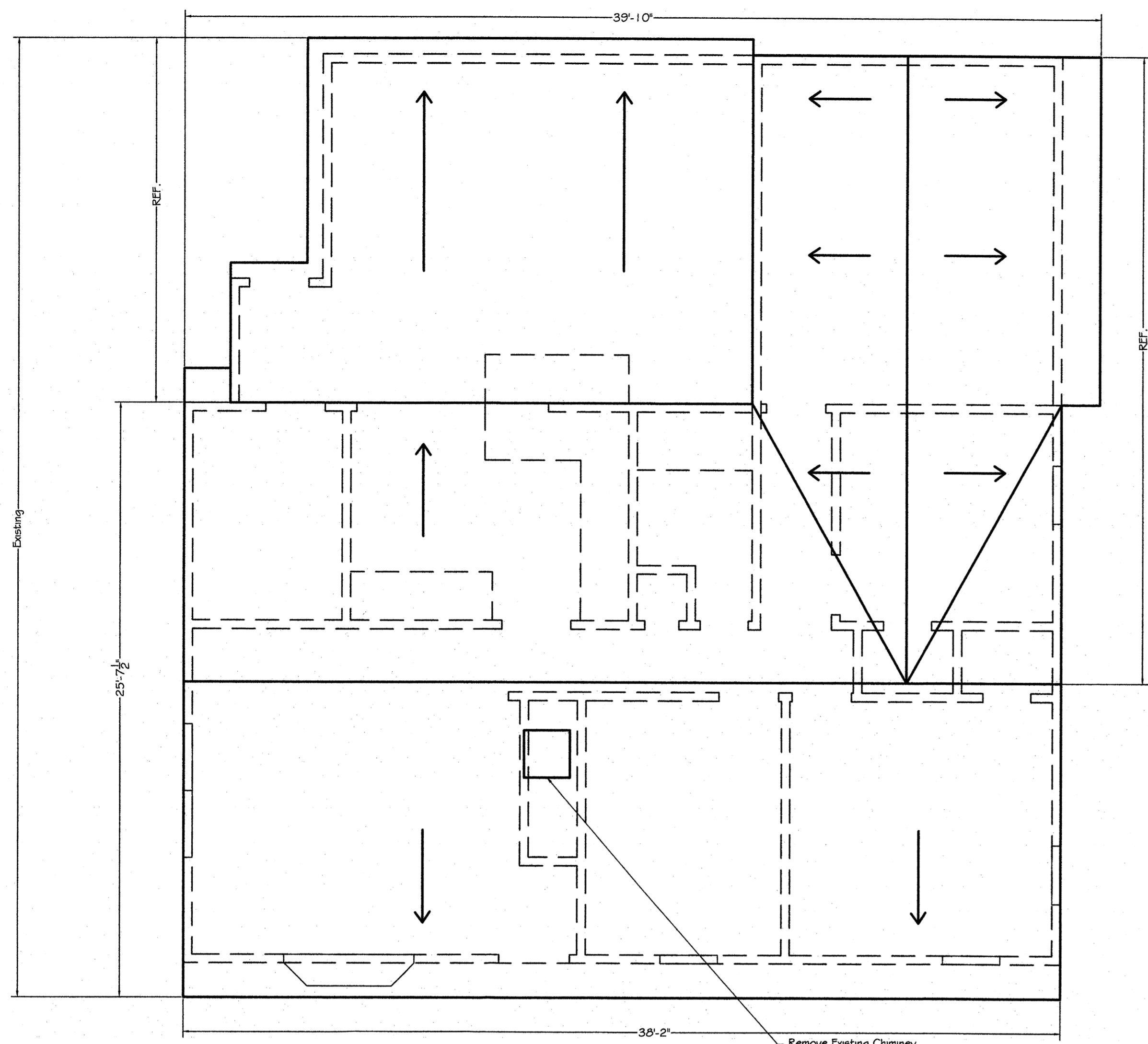
WALL LEGEND



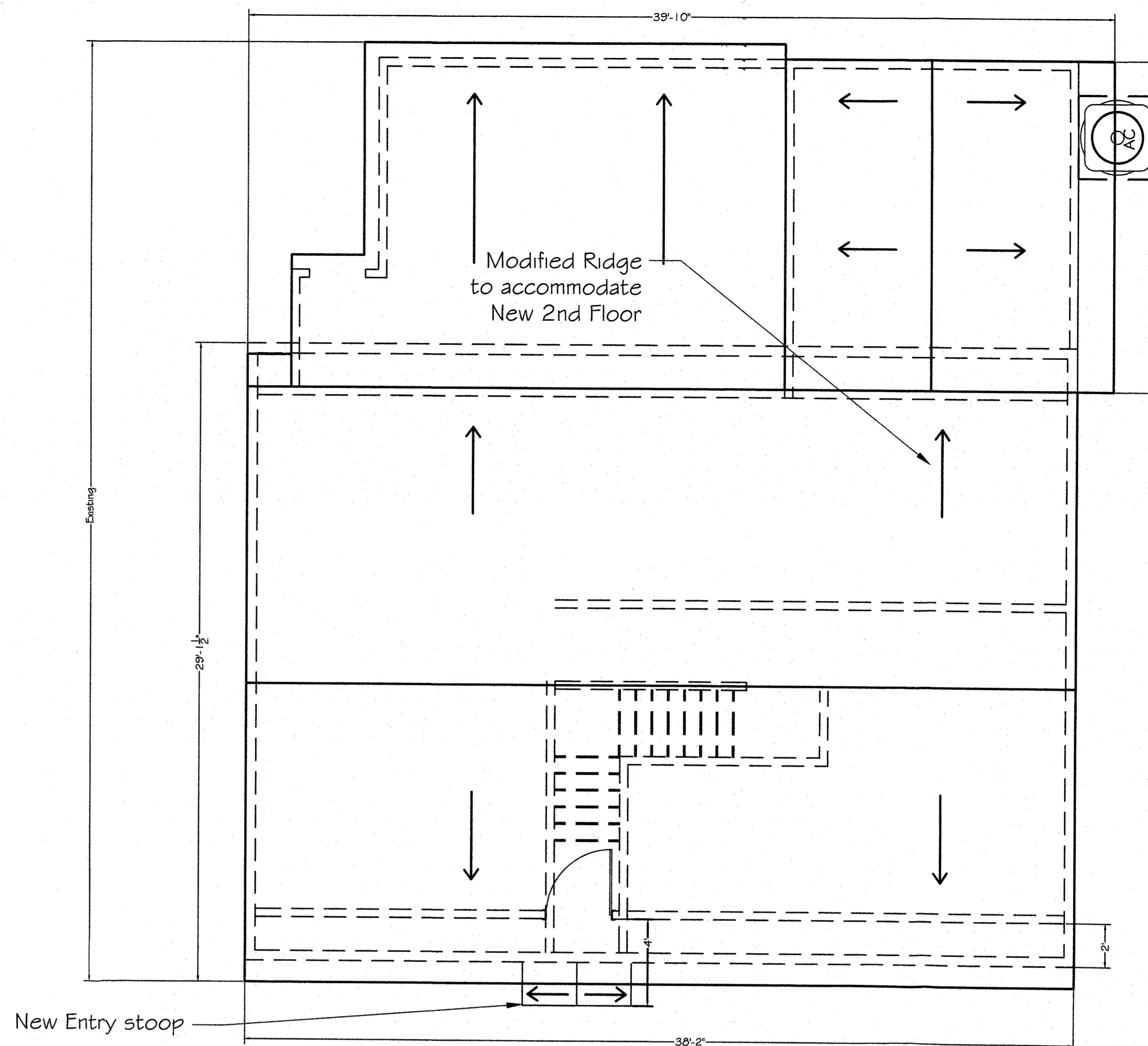
2/20 Addition of Carbon/Smoke detectors @ 1st Floor

1/24/23

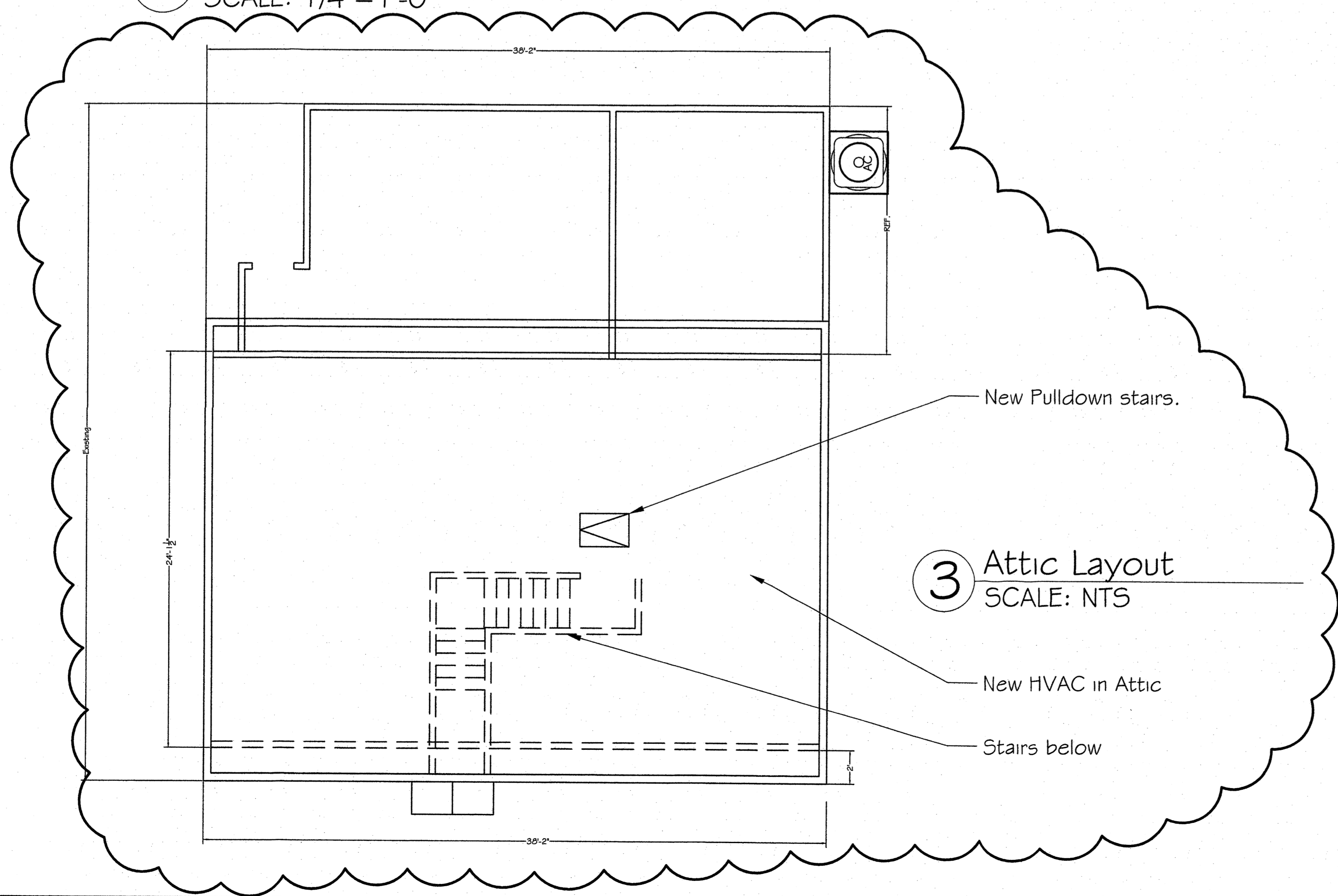
Parker Residence
64 Lewellyn Road
Stamford, CT 06902
Plan Elevation



1 Existing Roof Plan
SCALE: 1/4" = 1'-0"

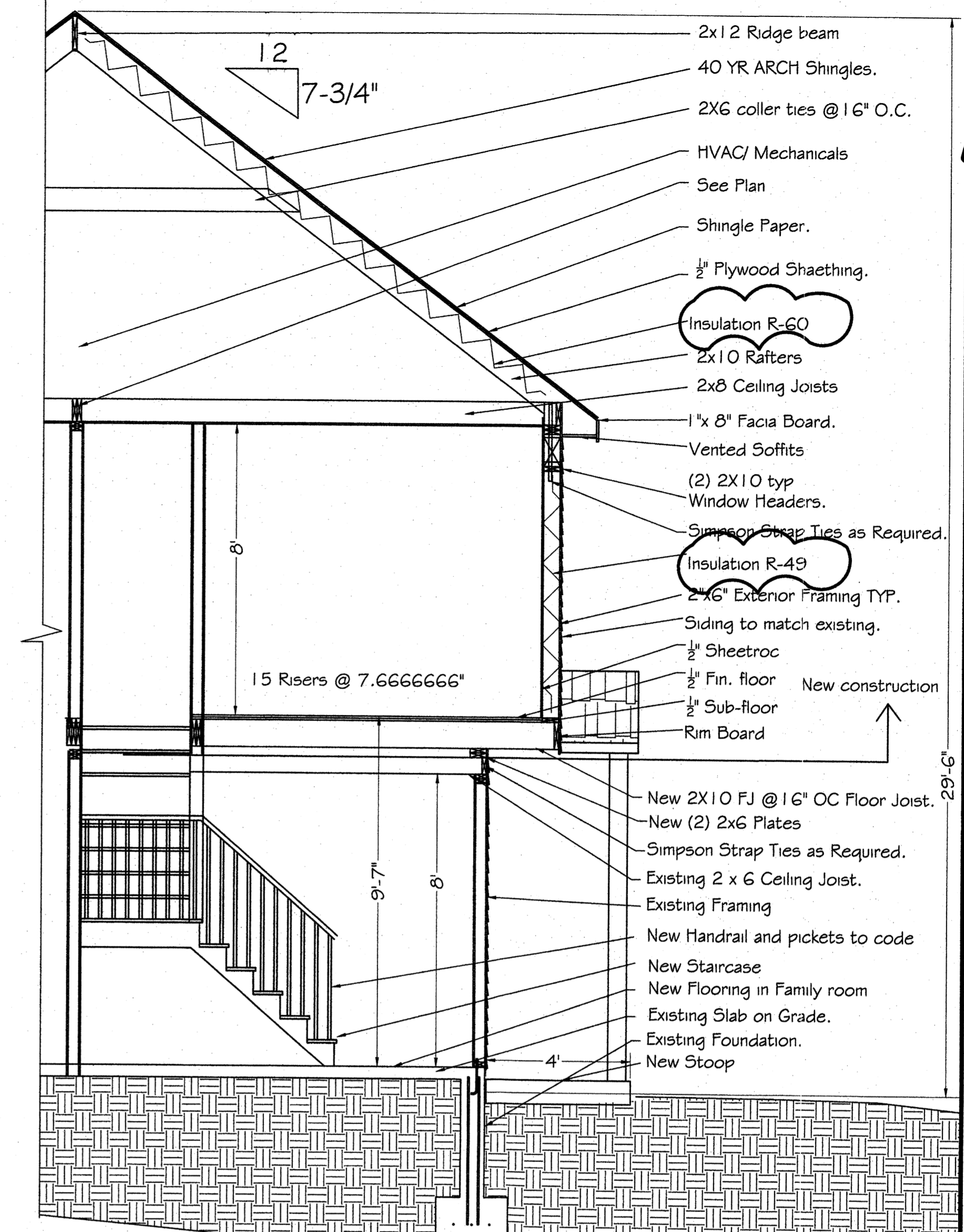
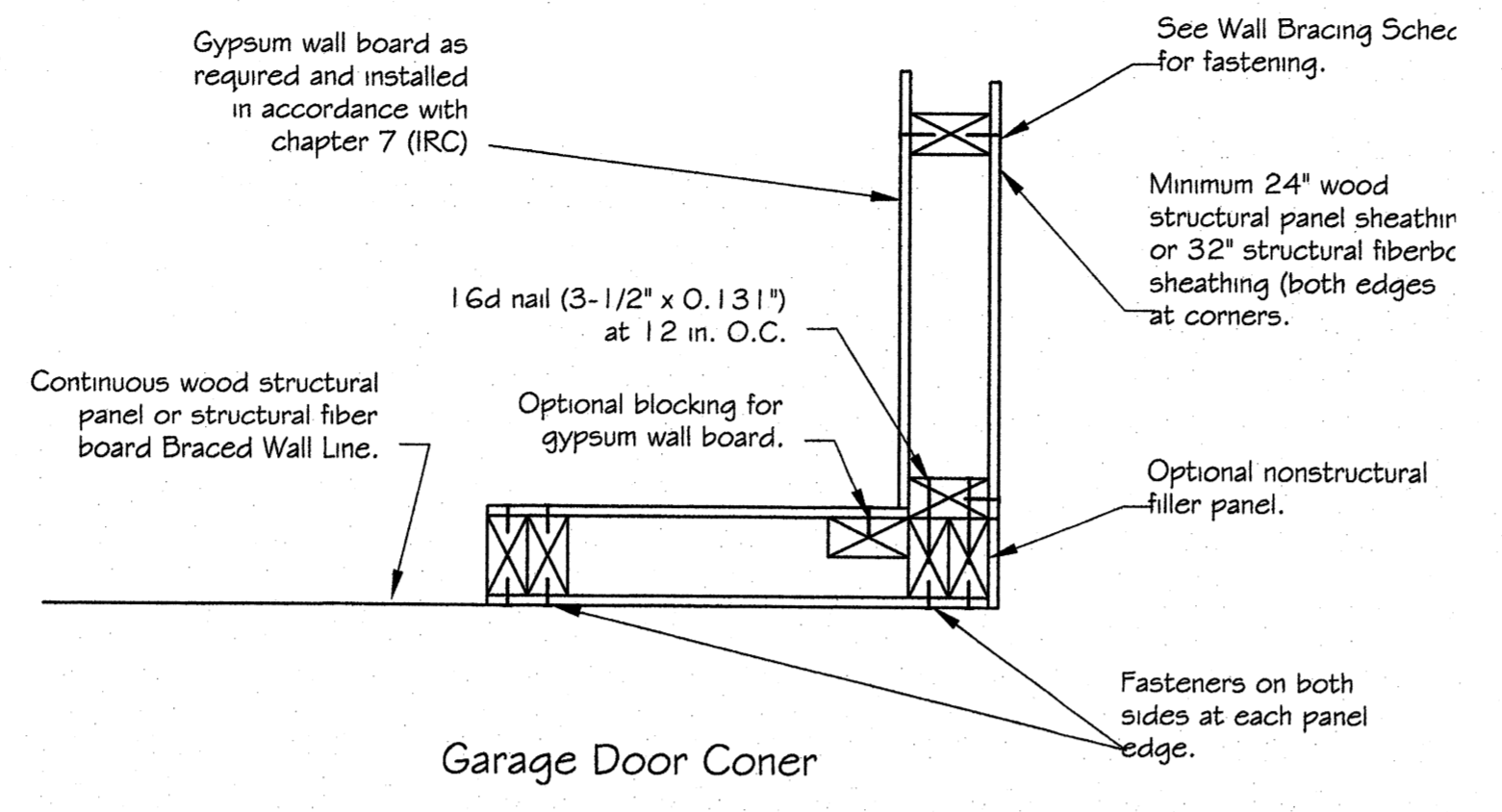
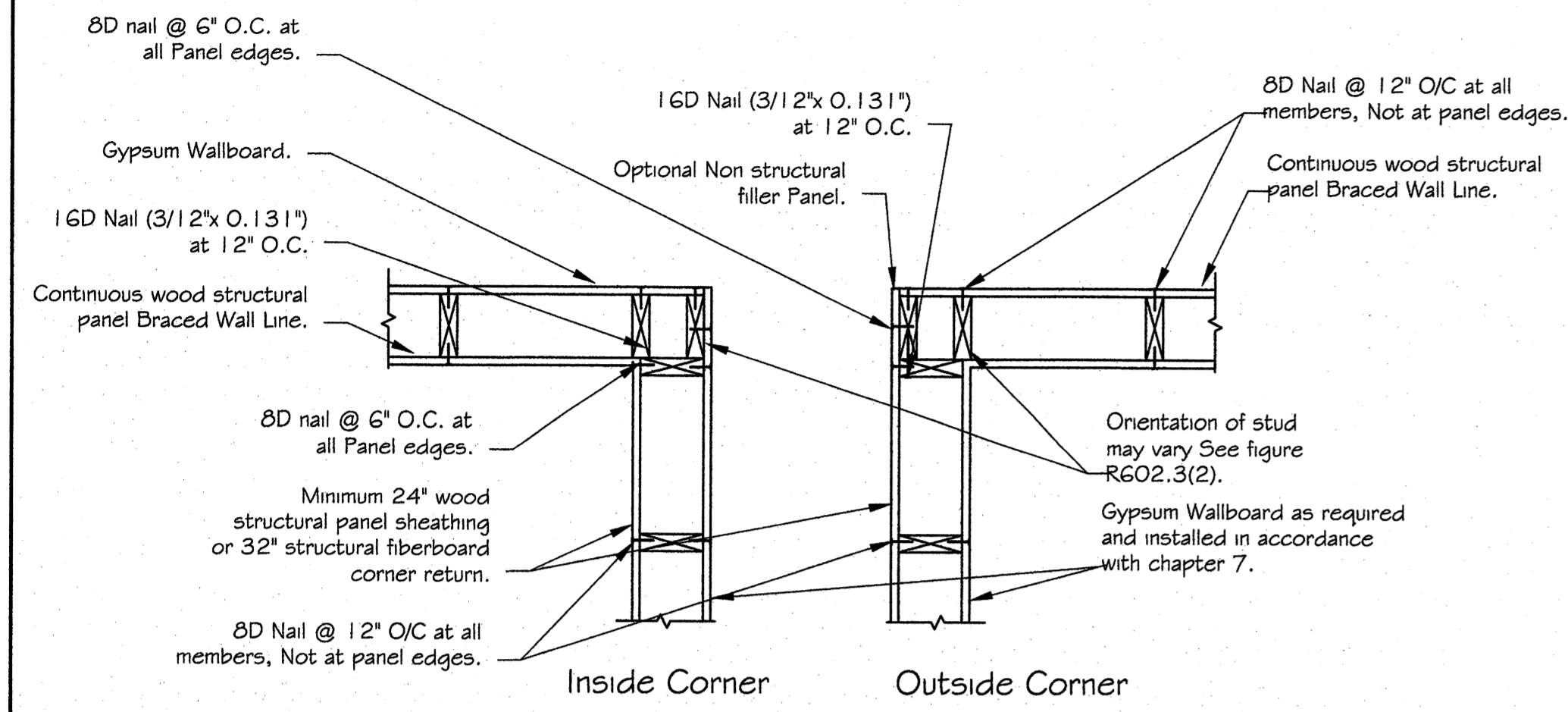


2 Proposed Roof Plan
SCALE: 1/4" = 1'-0"

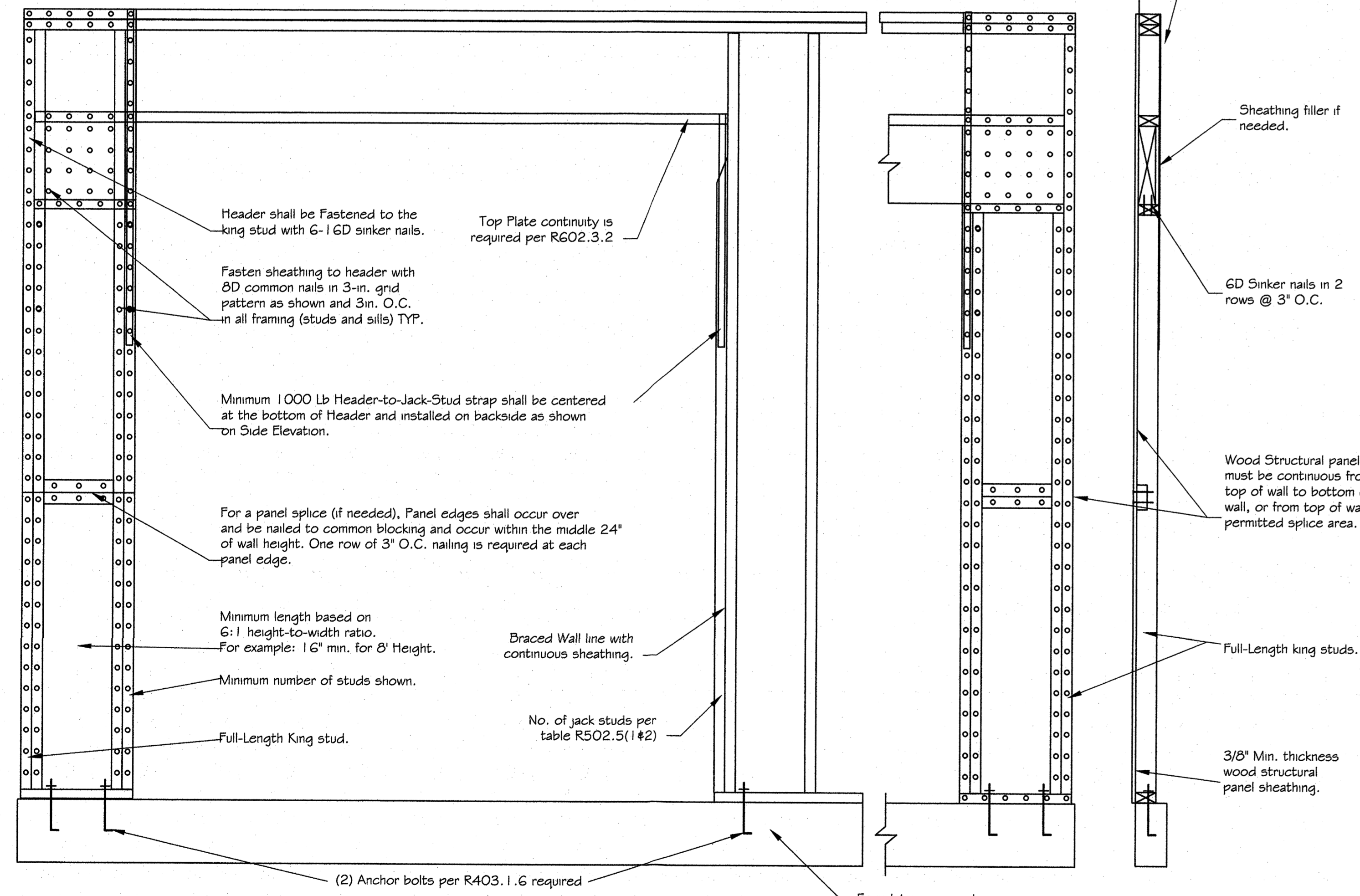


3 Attic Layout
SCALE: NTS

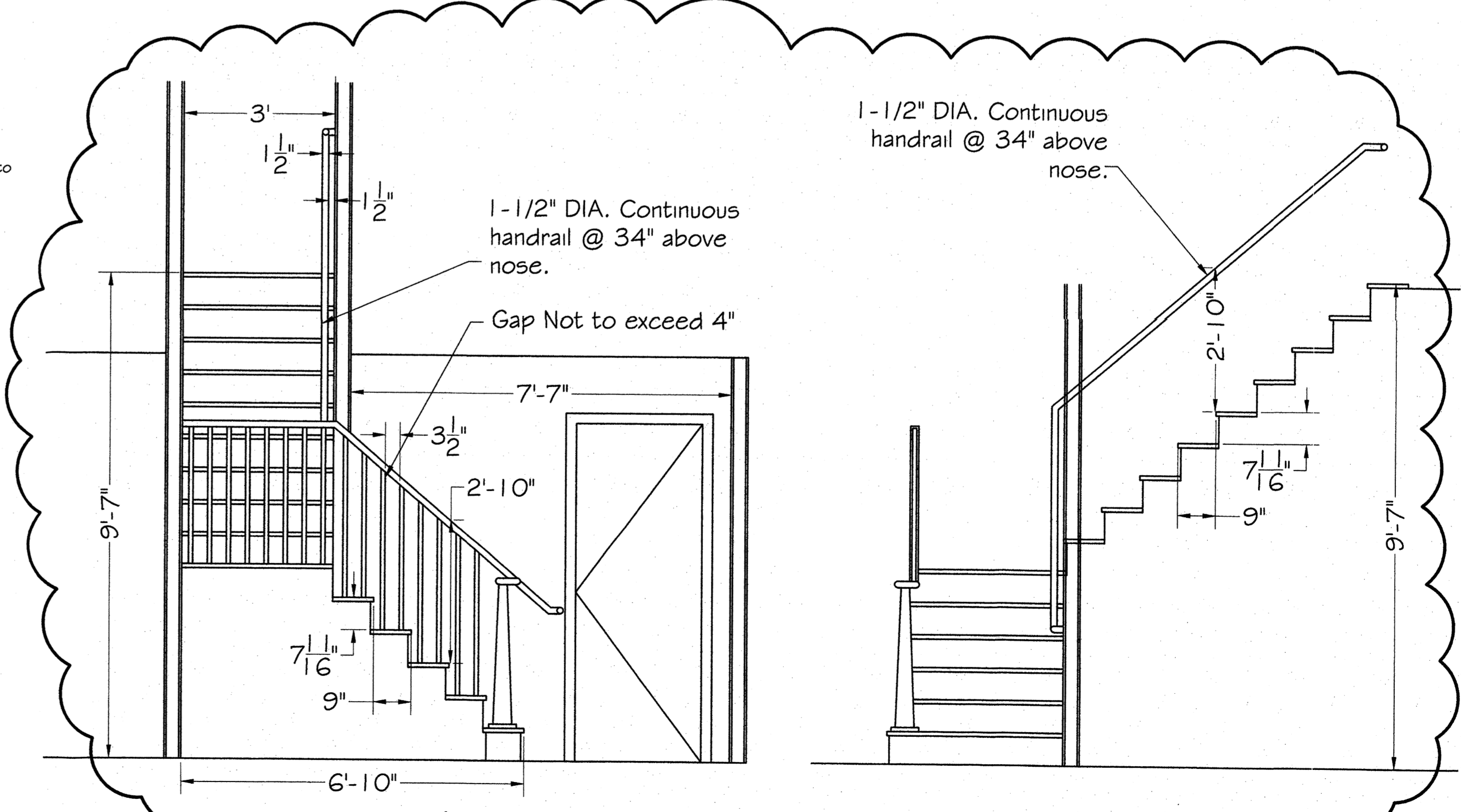
2/20 Addition of Attic Layout
1/24/23
Parker Residence 64 Lewellyn Road Stamford, CT 06902 Roof Details



2 Section Detail
SCALE: 1/2" = 1'-0"

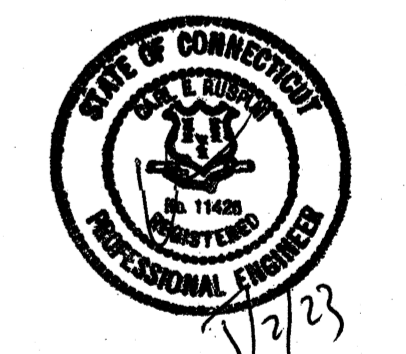


1 Shear Wall Detail
SCALE: NTS



3 Stair section 1
SCALE: 1/2" = 1'-0"

4 Stair section 2
SCALE: 1/2" = 1'-0"



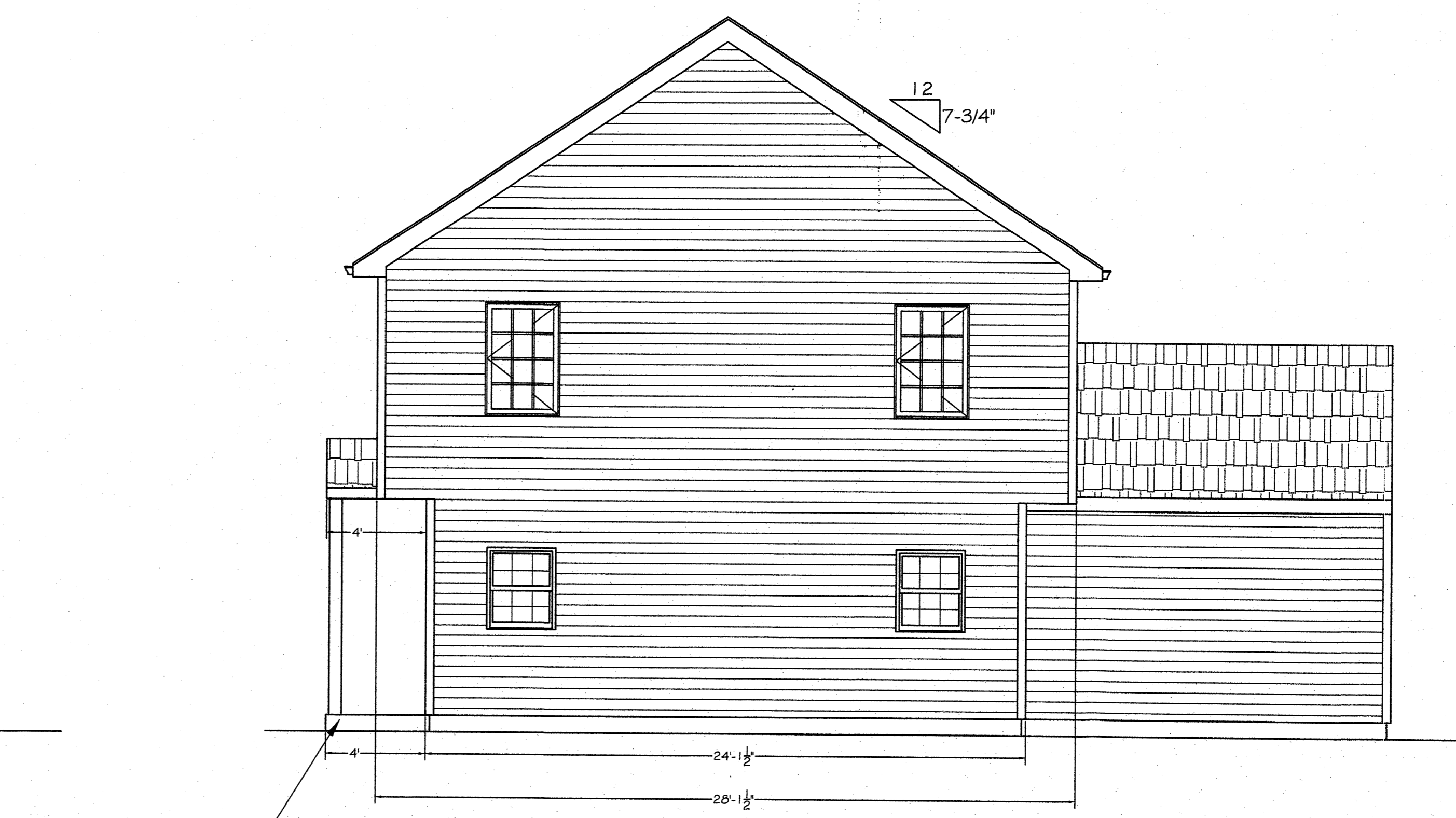
2/20 Addition of stair sections
4/19 Addition insulation notes

1/24/23

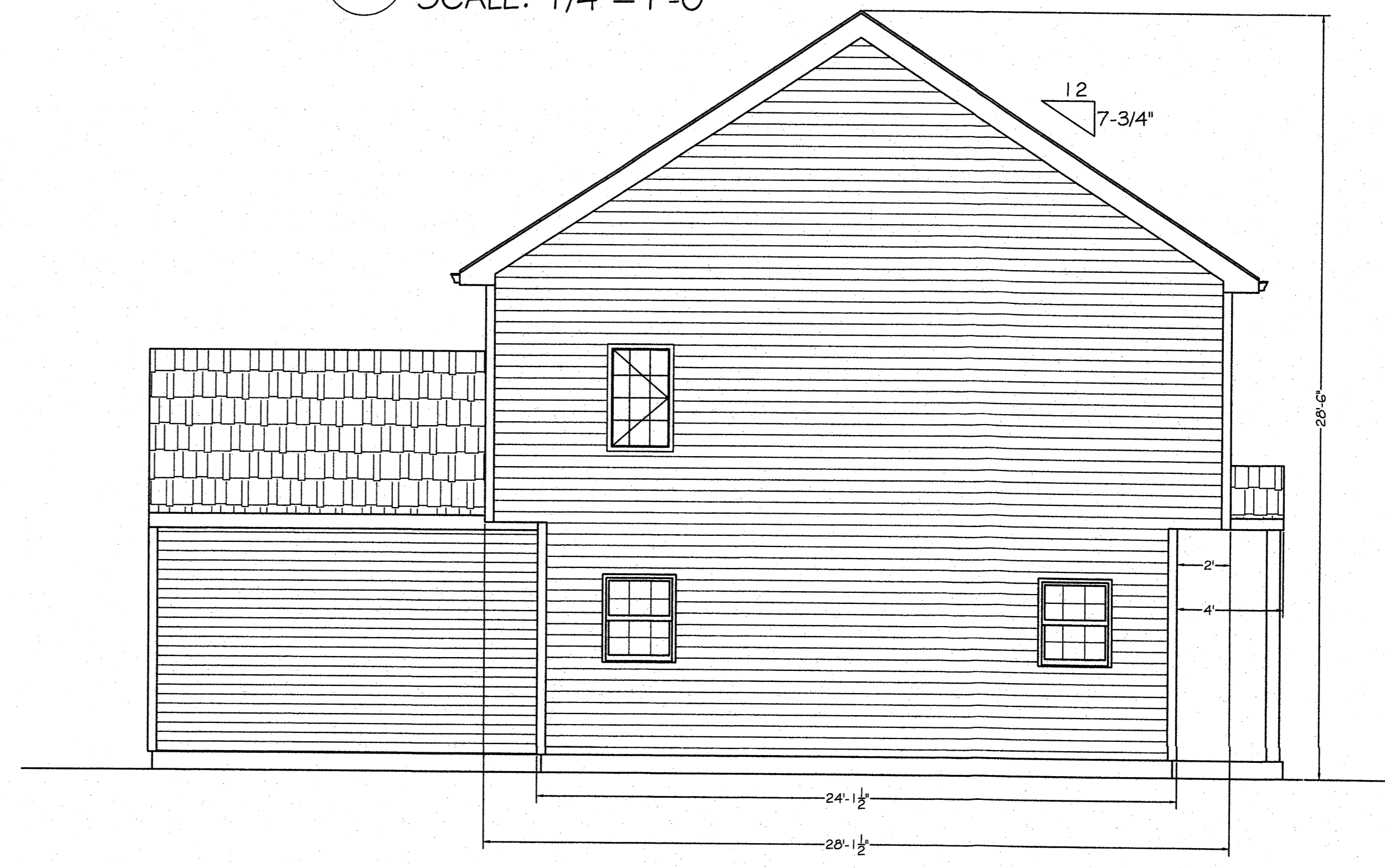
Parker Residence
64 Lewellyn Road
Stamford, CT 06902
Section Details



1 Proposed Front Elevation
SCALE: 1/4" = 1'-0"



2 Proposed Right Side Elevation
SCALE: 1/4" = 1'-0"



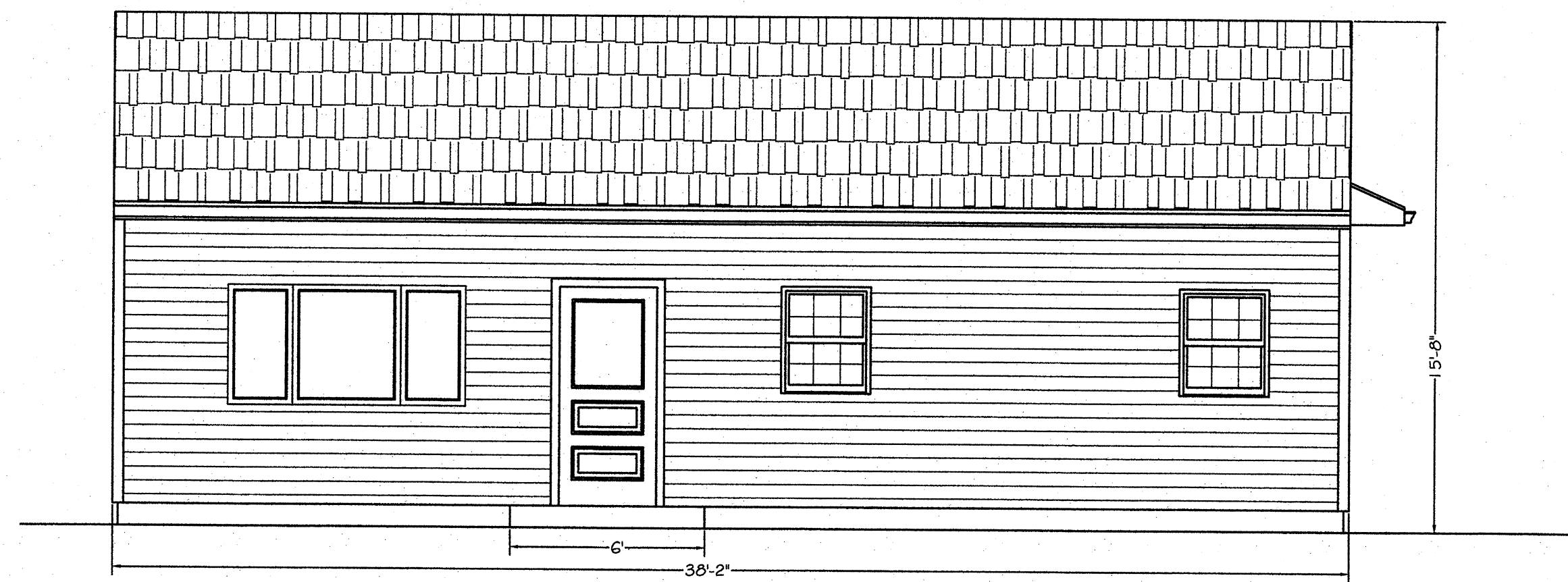
3 Proposed Left Side Elevation
SCALE: 1/4" = 1'-0"

- REQUIRED PERMITS/INSPECTIONS:**
1. APPLICANT IS RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS:
 - 1.1. DEMOLITION PERMIT.
 - 1.2. PLUMBING PERMIT: FOR ALL PLUMBING IMPROVEMENTS.
 - 1.3. ELECTRICAL PERMIT: FOR ALL ELECTRICAL IMPROVEMENTS.
 - 1.4. BUILDING PERMIT: FOR DETACHED GARAGE, INTERIOR IMPROVEMENTS, STRUCTURAL IMPROVEMENTS.
 - 1.5. ENGINEERING APPROVAL: FOR DRAINAGE IMPROVEMENTS.
 - 1.6. EPB: FOR EROSION CONTROL.
 - 1.7. ZONING COMPLIANCE: FOR BUILDING COVERAGE INCREASE.

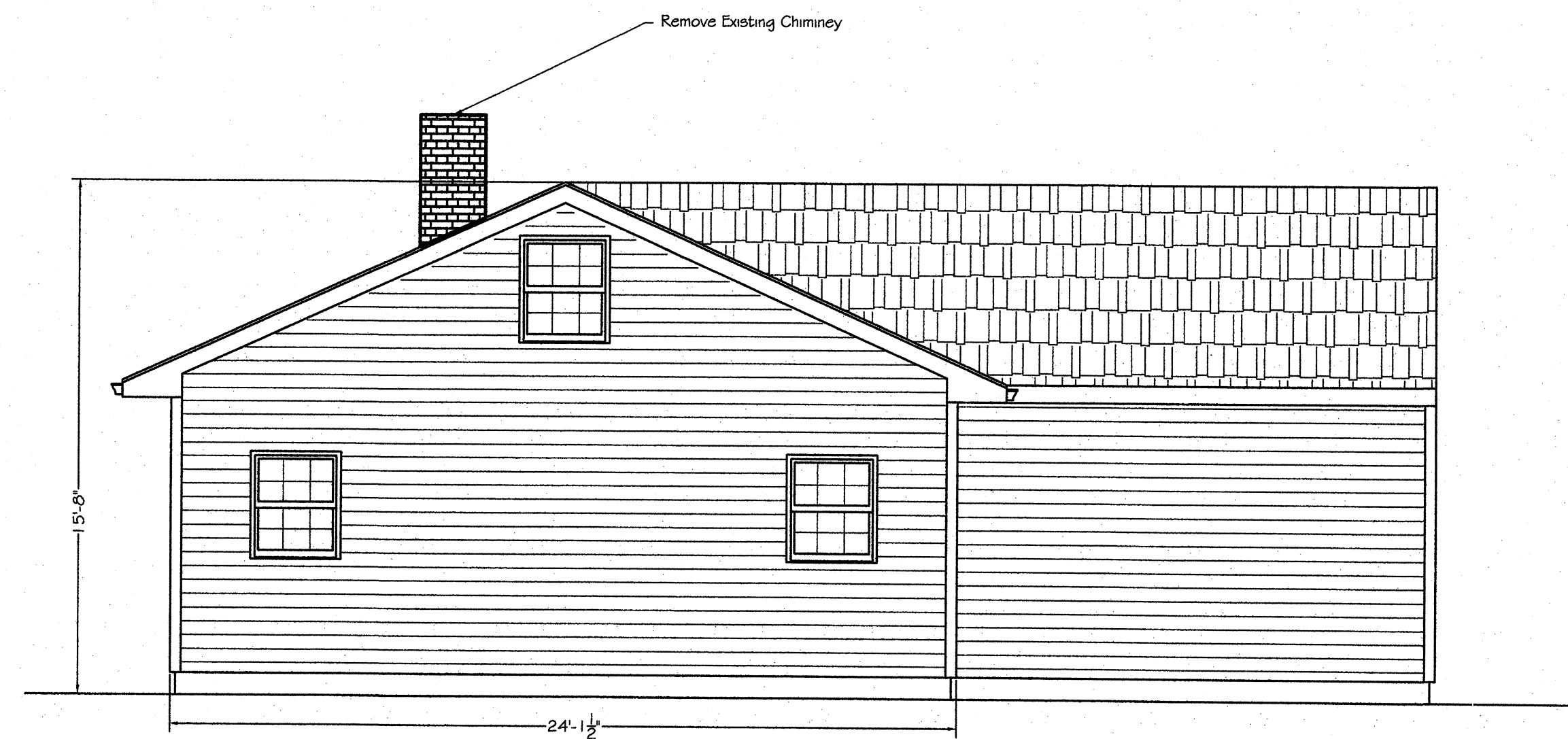
- STANDARD CITY OF STAMFORD NOTES:**
1. A STREET OPENING PERMIT IS REQUIRED FOR ALL WORK WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY.
 2. ALL WORK WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY SHALL BE CONSTRUCTED TO CITY OF STAMFORD REQUIREMENTS, THE STATE OF CONNECTICUT BASIC BUILDING CODE AND THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL.
 3. THE ENGINEERING BUREAU OF THE CITY OF STAMFORD SHALL BE NOTIFIED THREE DAYS PRIOR TO ANY COMMENCEMENT WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY.
 4. TREES WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY TO BE REMOVED SHALL BE POSTED IN ACCORDANCE WITH THE TREE ORDINANCE.
 5. PRIOR TO ANY EXCAVATION THE CONTRACTOR AND/OR APPLICANT/OWNER, IN ACCORDANCE WITH PUBLIC ACT 77-350, SHALL BE REQUIRED TO CONTACT "CALL BEFORE YOU DIG" AT 1-800-925-4455 FOR MARK OUT OF UNDERGROUND UTILITIES.
 6. ALL RETAINING WALLS GREATER THAN THREE (3) FEET ARE REQUIRED TO BE DESIGNED, AND INSPECTED DURING CONSTRUCTION BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT. CERTIFICATION OF THE RETAINING WALL SHALL BE REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY AND/OR BOND RELEASE.
 7. CERTIFICATION WILL BE REQUIRED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT THAT WORK HAS BEEN COMPLETED IN COMPLIANCE WITH THE APPROVED DRAWINGS.
 8. A FINAL IMPROVEMENT LOCATION SURVEY WILL BE REQUIRED BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF CONNECTICUT.
 9. GRANITE BLOCK OR OTHER DECORATIVE STONE OR BRICK, DEPRESSED CURB, DRIVEWAY APRON AND CURBING WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY SHALL REQUIRE A WAIVER FROM THE CITY OF STAMFORD ENGINEERING BUREAU.
 10. SEDIMENT AND EROSION CONTROLS SHALL BE MAINTAINED AND REPAIRED AS NECESSARY THROUGHOUT CONSTRUCTION UNTIL THE SITE IS STABILIZED.

Note: Existing first floor windows to remain

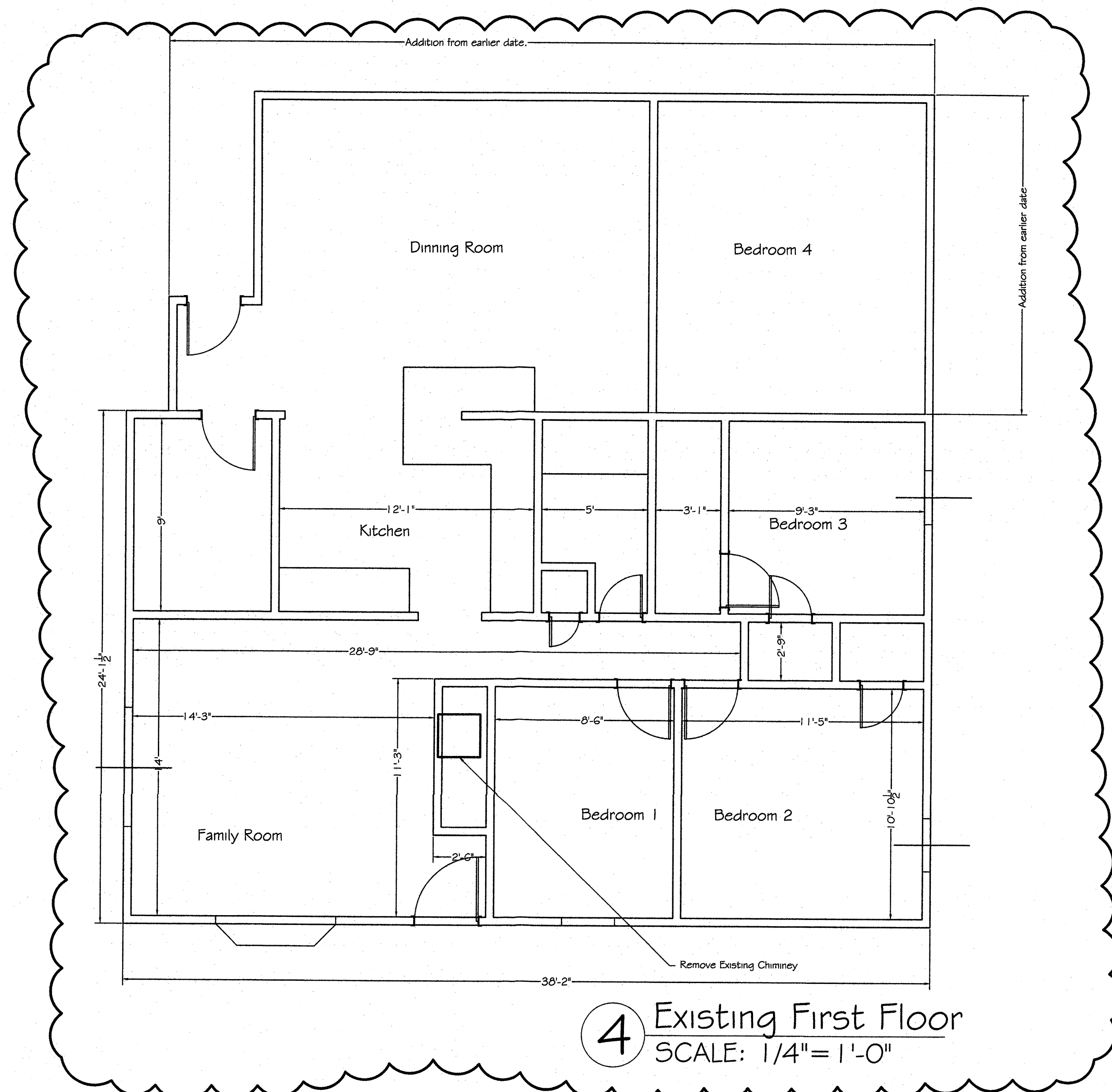
1/24/23
Parker Residence 64 Lewellyn Road Stamford, CT 06902 Prop. Elevations



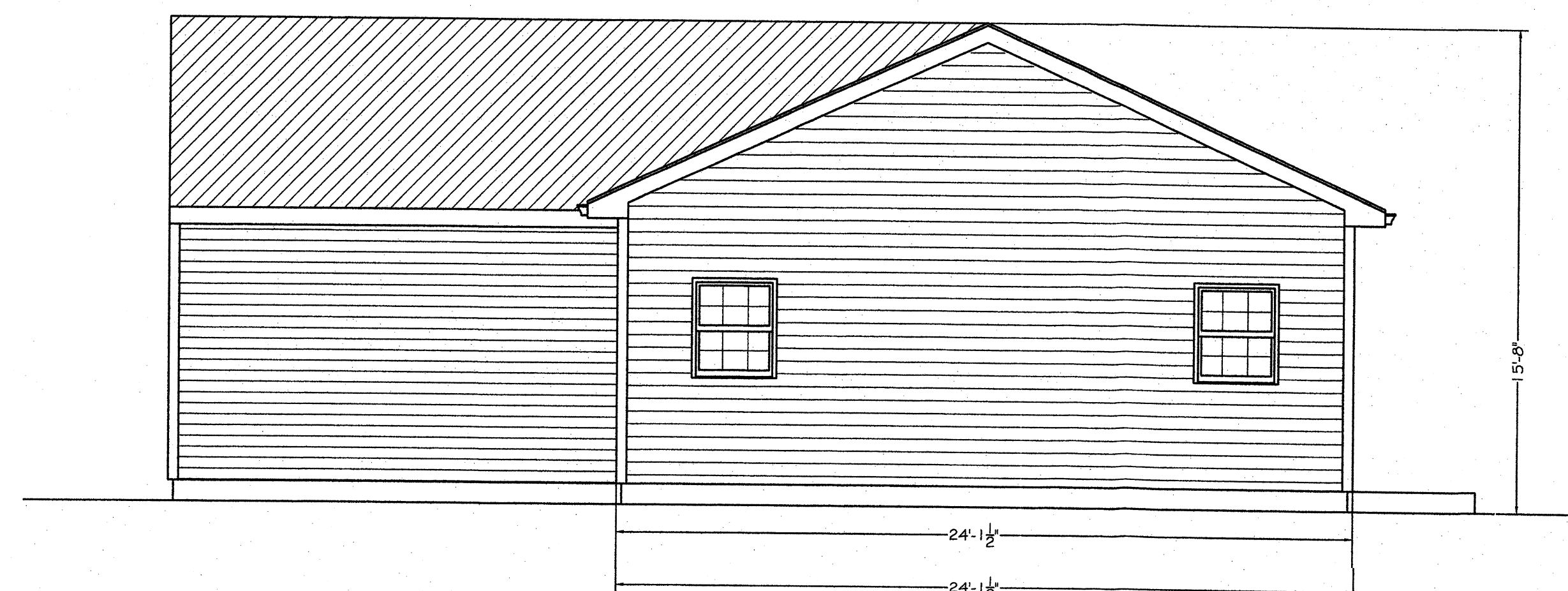
1 Existing Front Elevation
SCALE: 1/4" = 1'-0"



2 Existing Right Side Elevation
SCALE: 1/4" = 1'-0"



4 Existing First Floor
SCALE: 1/4" = 1'-0"

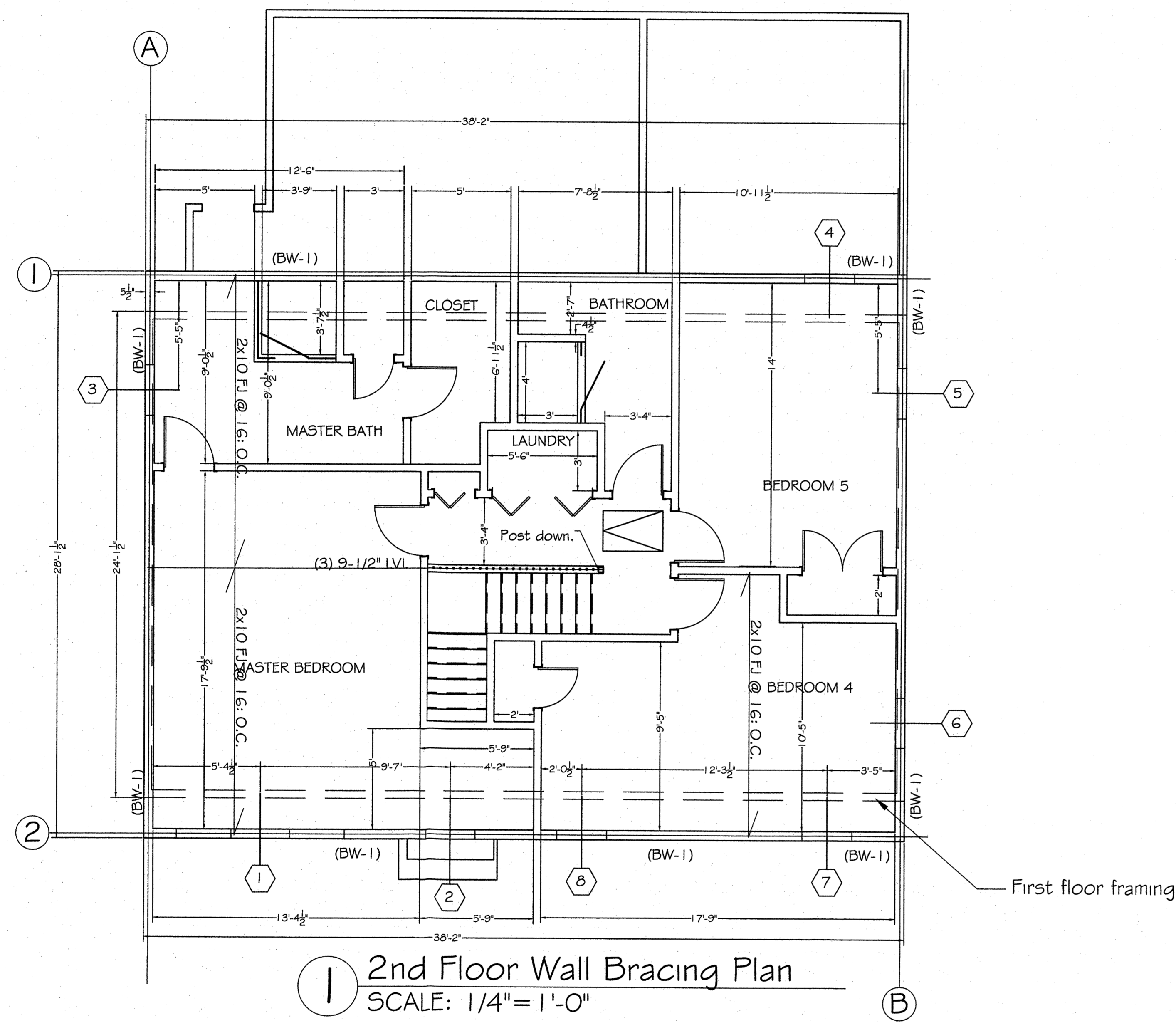


3 Existing Left Side Elevation
SCALE: 1/4" = 1'-0"

2/20 Addition of Exist. Elevs and 1st Floor layout

1/24/23

Parker Residence
64 Lewellyn Road
Stamford, CT 06902
Existing Elevations



2ND FLOOR WALL BRACING SCHEDULE

Wind Speed	Braced Wall Line #	Braced Wall Line Spacing	Method	Minimum length Req'd. T602.10.3. (1)	Adjustment Factors				Adjusted Minimum Length	Bracing Length Provided	BOO# Hold Down Y/N	Blocking Needed Y/N
					b. Exposure	c. Ridge Height	d. Wall Height	e. Number of BWL's				
120	A	38'	CS	6.2'	1.0	1.0	.95'	1.0	5.9'	24'	N	Y
120	B	38'	CS	6.2'	1.0	1.0	.95'	1.0	5.9'	21'	N	Y
120	1	28'	CS	4.7'	1.0	1.0	.95'	1.0	4.3'	34'	N	Y
120	2	28'	CS	4.7'	1.0	1.0	.95'	1.0	4.5'	19'	N	Y

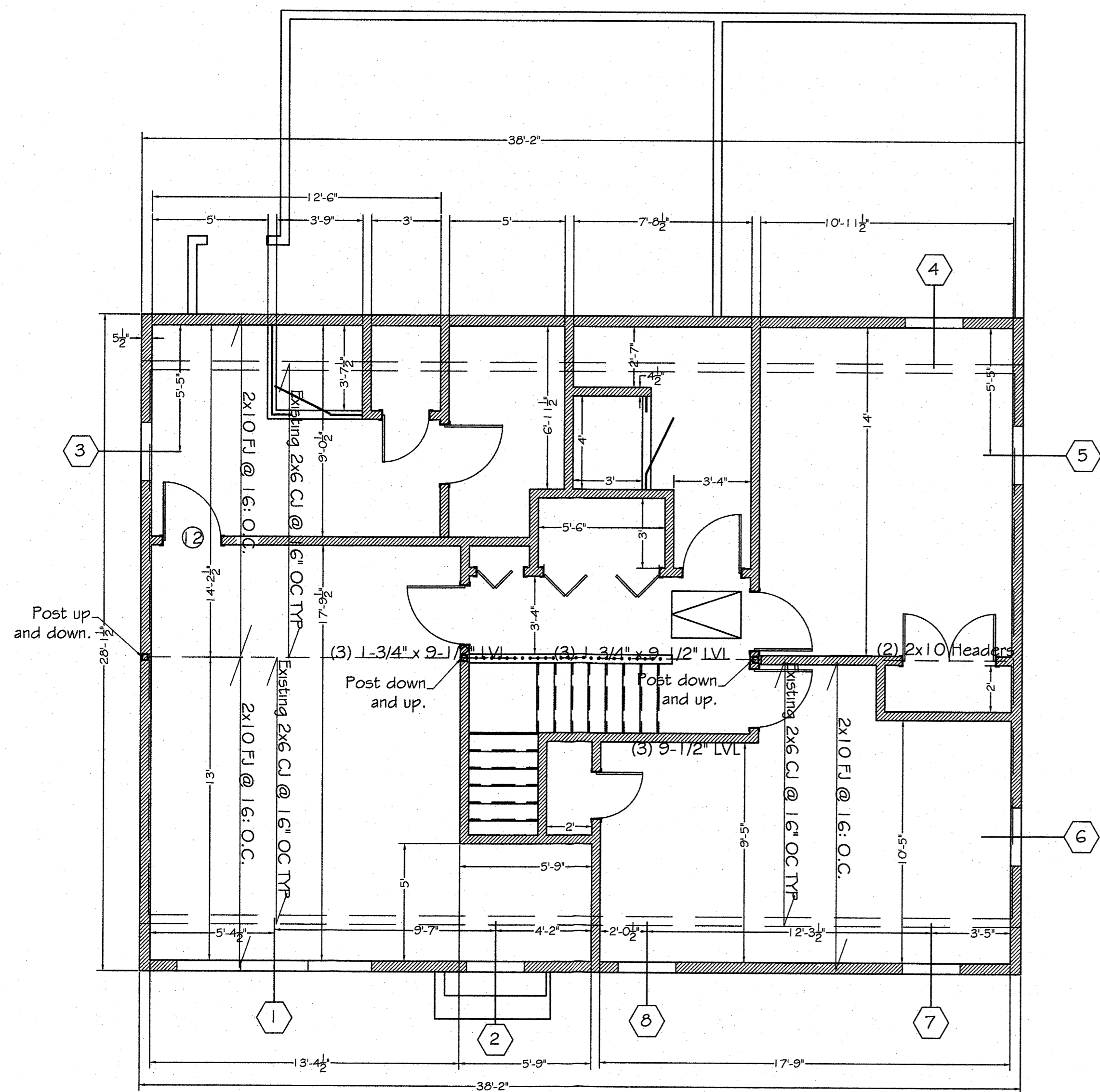
Brace Wall Schedule

	1	2	3	4	5	6	7	8
Type	Sheathing	Edge Nailing	Blocked Diaphragm	Field Nailing	Anchor Bolts	Hold down at Boundries	Boundries Studs	Strapping around Openings
BW-1	(1) Sided 15/32" Structural Panels	8d @ 6" O.C. (0.131 X 2-1/2")	YES	8d @ 12" O.C. (0.131 X 2-1/2")		See Plan for Straps & Holddowns	(2) 2x	NO
BW-2	(2) Sided 1/2" Gypsum Board	0.12" Min. 3/8" Head, 1-1/2" Long 7" O.C.	YES	0.12" Min. 3/8" Head, 1-1/2" Long 7" O.C.		See Plan for Straps & Holddowns		NO

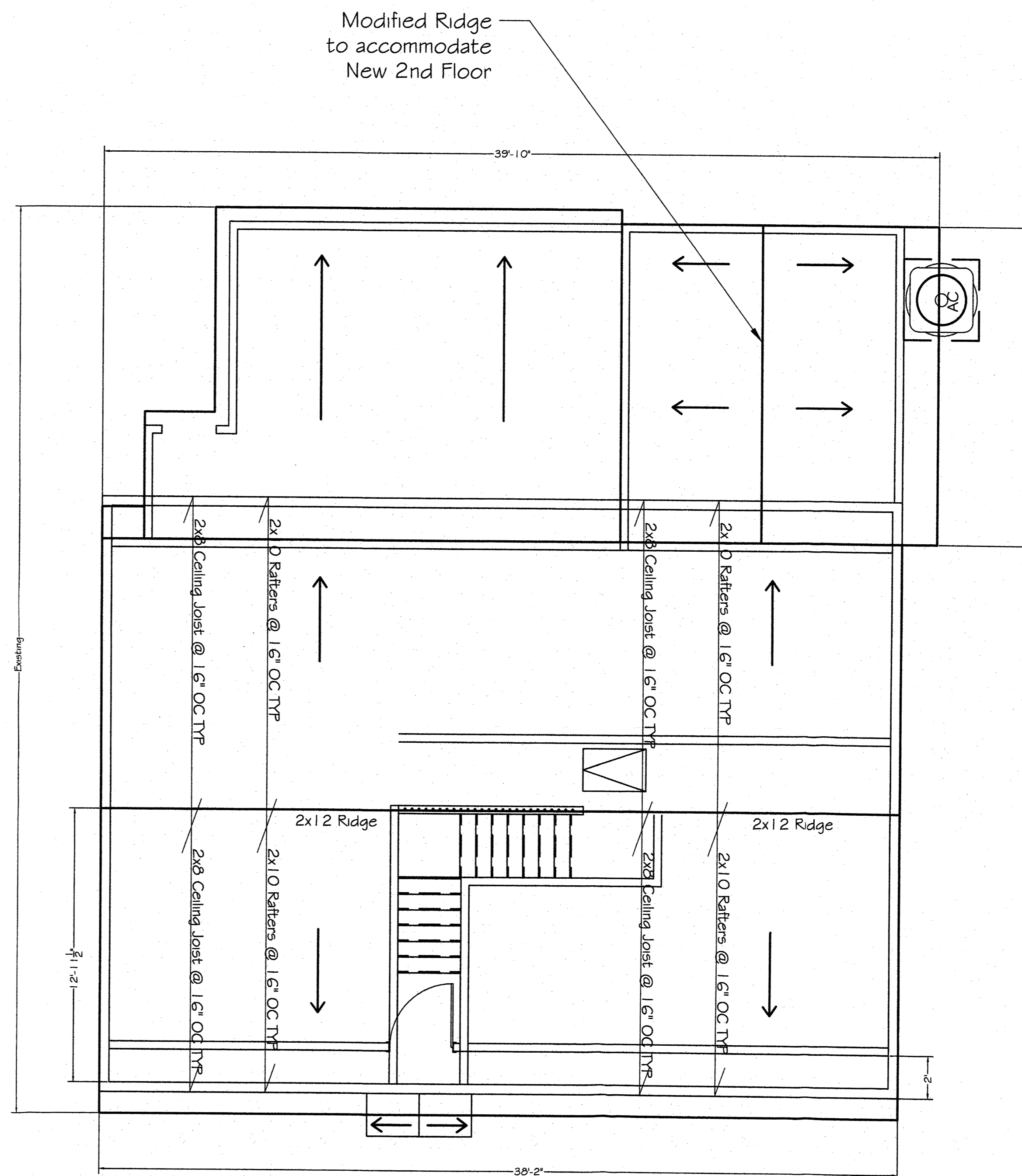


1/24/23

Parker Residence
64 Lewellyn Road
Stamford, CT 06902
Wall Bracing



1 Proposed 2nd Floor Framing
SCALE: 1/4" = 1'-0"

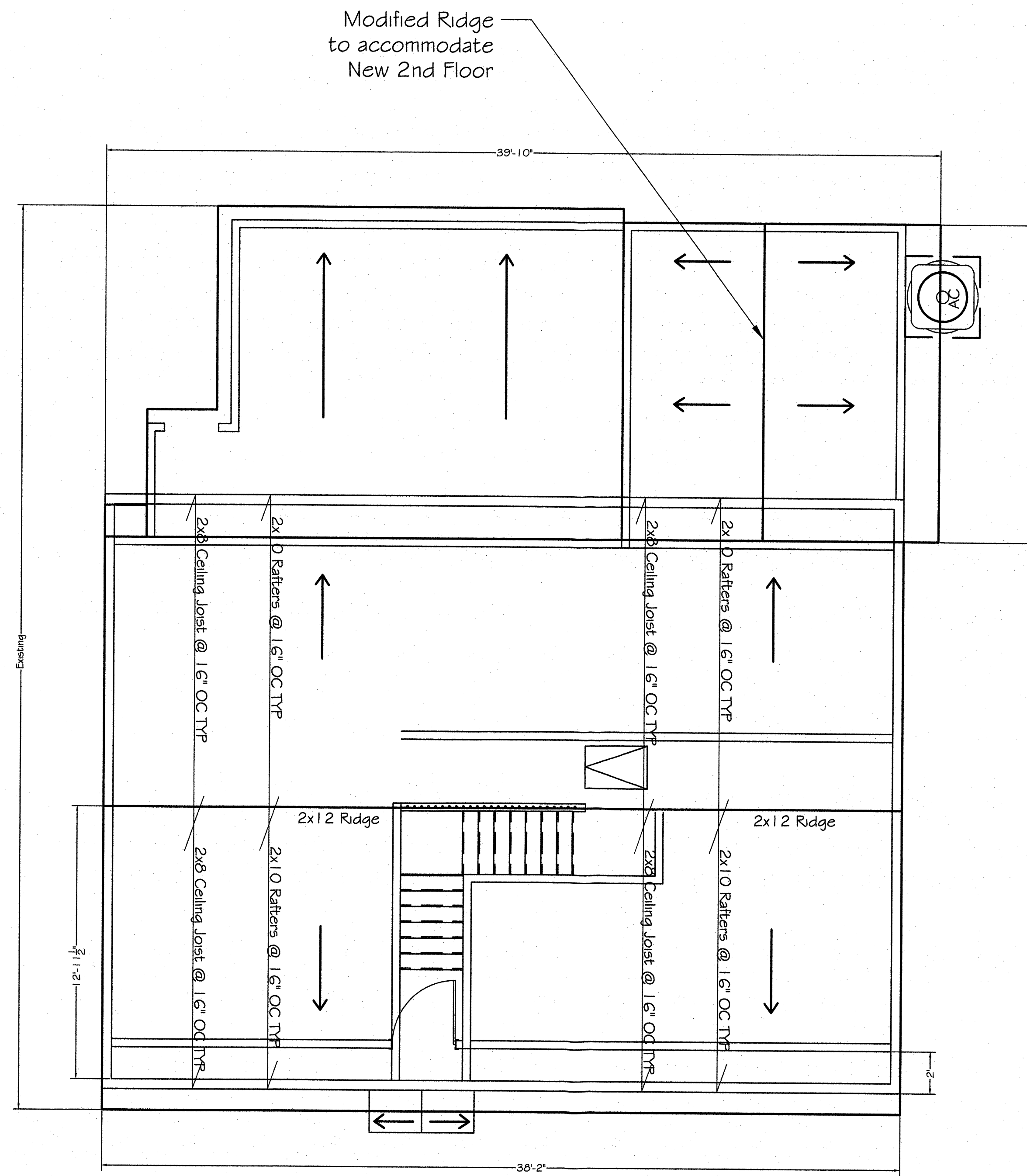


2 Proposed Roof Framing
SCALE: 1/4" = 1'-0"



1/24/23

Parker Residence
64 Lewellyn Road
Stamford, CT 06902
2nd Floor Framing



1 Proposed Attic/Roof Framing
SCALE: 1/4" = 1'-0"



1/24/23

Parker Residence
64 Lewellyn Road
Stamford, CT 06902
Attic Framing