

RA-1 ZONE BUILDING SETBACK REQUIREMENTS

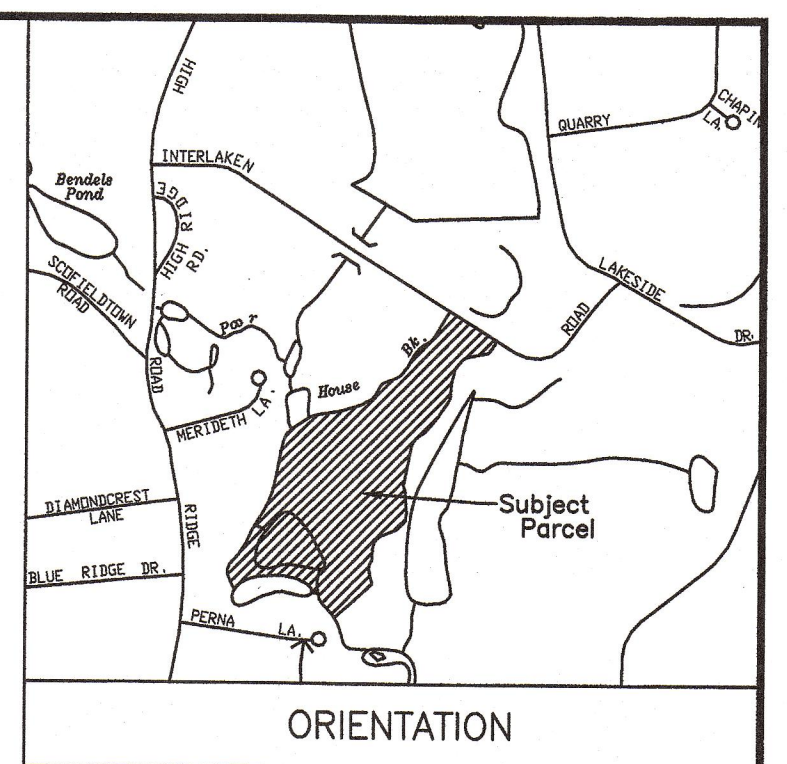
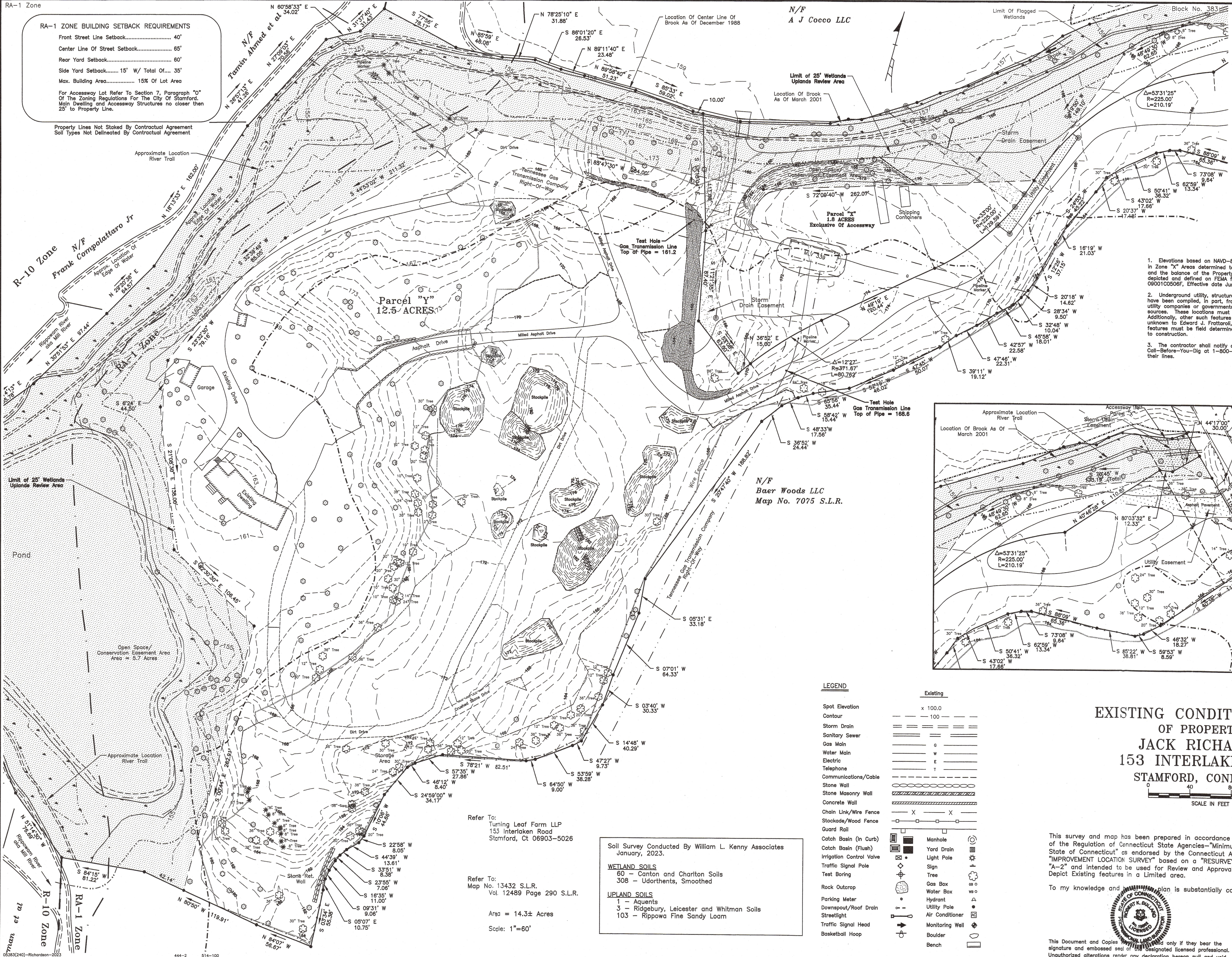
Front Street Line Setback..... 40'
 Center Line Of Street Setback..... 65'
 Rear Yard Setback..... 60'
 Side Yard Setback..... 15' W/ Total Of.... 35'
 Max. Building Area..... 15% Of Lot Area

For Accessway Lot Refer To Section 7, Paragraph "D" Of The Zoning Regulations For The City Of Stamford. Main Dwelling and Accessway Structures no closer than 25' to Property Line.

Property Lines Not Staked By Contractual Agreement
 Soil Types Not Delineated By Contractual Agreement

Approximate Location

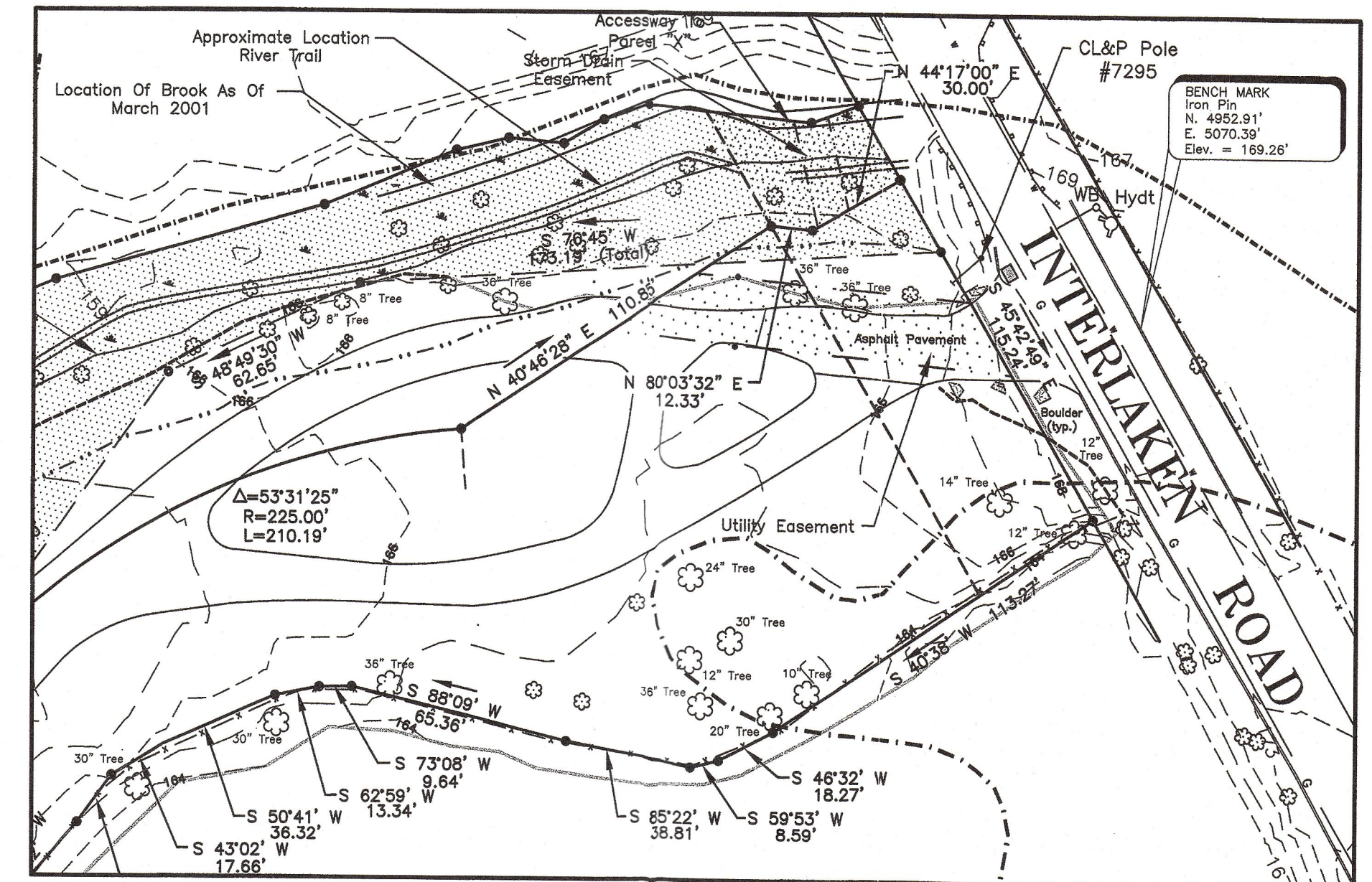
River Trail



1. Elevations based on NAVD-88 Datum. Portions of Subject Property is Located in Zone "X" Areas determined to be outside or Above the designated Flood Zone and the balance of the Property is in FEMA Flood Zone "AE". Elevations as depicted and defined on FEMA firm panel 506 of 628, Community panel Number 090100506F, Effective date June 18, 2010 which are similar in Nature

2. Underground utility, structure and facility locations depicted and noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or governmental agencies, from parcel testimony and from other sources. These locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to Edward J. Frattaroli, Inc. The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction.

3. The contractor shall notify all public utility companies by calling Call-Before-You-Dig at 1-800-922-4455 at least 72 hours prior to crossing their lines.



LEGEND

Existing	
Spot Elevation	x 100.0
Contour	100
Storm Drain	---
Sanitary Sewer	---
Gas Main	G
Water Main	W
Electric	E
Telephone	T
Communications/Cable	---
Stone Wall	---
Stone Masonry Wall	---
Concrete Wall	---
Chain Link/Wire Fence	X
Stockade/Wood Fence	---
Guard Rail	---
Catch Basin (In Curb)	---
Catch Basin (Flush)	---
Irrigation Control Valve	---
Traffic Signal Pole	---
Test Boring	---
Rock Outcrop	---
Parking Meter	---
Downspout/Roof Drain	---
Streetlight	---
Traffic Signal Head	---
Basketball Hoop	---
Manhole	---
Yard Drain	---
Light Pole	---
Sign	---
Tree	---
Gas Box	---
Water Box	---
Hydrant	---
Utility Pole	---
Air Conditioner	---
Monitoring Well	---
Boulder	---
Bench	---

EXISTING CONDITIONNS PLAN OF PROPERTY OF JACK RICHARDSON 153 INTERLAKEN ROAD STAMFORD, CONNECTICUT

SCALE IN FEET
 0 40 80 120

RECEIVED

MAY 16 2023

ENVIRONMENTAL PROTECTION BOARD

This survey and map has been prepared in accordance with Section 20-300b-1 thru 20-300b-20 of the Regulation of Connecticut State Agencies-"Minimum Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Associates of Land Surveyors, Inc. It is a "IMPROVEMENT LOCATION SURVEY" based on a "RESURVEY" conforming to horizontal Accuracy Class "A-2" and intended to be used for Review and Approval by the Appropriate Authorities And to Depict Existing features in a Limited area.

To my knowledge and belief this plan is substantially correct as noted hereon.



By: Robert K. Bullard
 Registration No. CT LS 18862
 For: Edward J. Frattaroli, Inc.
 62 Mill River St. Stamford, CT 06902
 (203) 359-2235 April 4, 2023

Refer To:
 Turning Leaf Farm LLP
 153 Interlaken Road
 Stamford, Ct 06903-5026

Refer To:
 Map No. 13432 S.L.R.
 Vol. 12489 Page 290 S.L.R.

Area = 14.3± Acres

Scale: 1"=60'

Soil Survey Conducted By William L. Kenny Associates
 January, 2023.

WETLAND SOILS
 60 - Canton and Charlton Soils
 308 - Udorthents, Smoothed

UPLAND SOILS
 1 - Aquents
 3 - Ridgebury, Leicester and Whitman Soils
 103 - Rippowa Fine Sandy Loam