

RA-1 ZONE BUILDING SETBACK REQUIREMENTS

- Front Street Line Setback..... 40'
- Center Line of Street Setback..... 65'
- Rear Yard Setback..... 60'
- Side Yard Setback..... 15' W/ Total Of.... 35'
- Max. Building Area..... 15% Of Lot Area

For Accessory Lot Refer To Section 7, Paragraph "O" Of The Zoning Regulations For The City of Stamford. Main Dwelling and Accessory Structures no closer than 25' to Property Line.

Zoning Information is Subject To The Review And Approval By The Appropriate Governing Authority

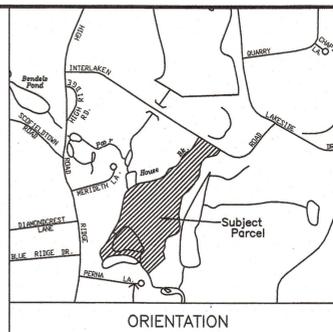
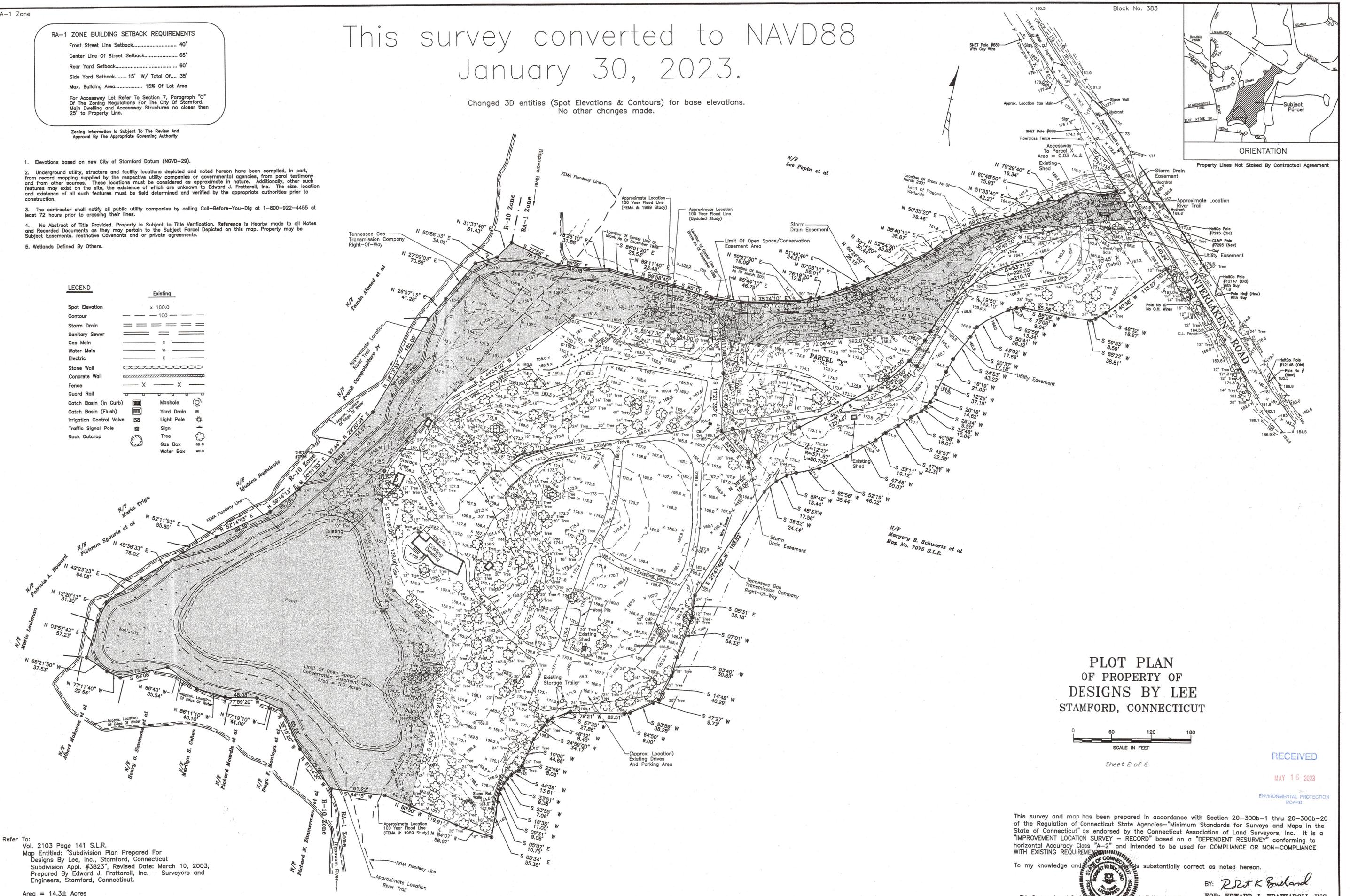
This survey converted to NAVD88 January 30, 2023.

Changed 3D entities (Spot Elevations & Contours) for base elevations.
No other changes made.

- Elevations based on new City of Stamford Datum (NGVD-29).
- Underground utility, structure and facility locations depicted and noted herein have been compiled, in part, from record mapping supplied by the respective utility companies or governmental agencies, from parcel testimony and from other sources. These locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to Edward J. Frattaroli, Inc. The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction.
- The contractor shall notify all public utility companies by calling Call-Before-You-Dig at 1-800-922-4455 at least 72 hours prior to crossing their lines.
- No Abstract of Title Provided. Property is Subject to Title Verification. Reference is hereby made to all Notes and Recorded Documents as they may pertain to the Subject Parcel Depicted on this map. Property may be Subject Easements, restrictive Covenants and or private agreements.
- Wetlands Defined By Others.

LEGEND

Existing	
Spot Elevation	x 100.0
Contour	--- 100 ---
Storm Drain	====
Sanitary Sewer	=====
Gas Main	o
Water Main	W
Electric	E
Stone Wall	-----
Concrete Wall	-----
Fence	X X
Guard Rail	-----
Catch Basin (In Curb)	Manhole
Catch Basin (Flush)	Yard Drain
Irrigation Control Valve	Light Pole
Traffic Signal Pole	Sign
Rock Outcrop	Tree
	Gas Box
	Water Box



**PLOT PLAN
OF PROPERTY OF
DESIGNS BY LEE
STAMFORD, CONNECTICUT**



Sheet 2 of 6

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MAY 16 2023

ENVIRONMENTAL PROTECTION BOARD

This survey and map has been prepared in accordance with Section 20-300b-1 thru 20-300b-20 of the Regulation of Connecticut State Agencies--Minimum Standards for Surveys and Maps in the State of Connecticut as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a "IMPROVEMENT LOCATION SURVEY - RECORD" based on a "DEPENDENT RESURVEY" conforming to horizontal Accuracy Class "A-2" and intended to be used for COMPLIANCE OR NON-COMPLIANCE WITH EXISTING REQUIREMENTS.

To my knowledge and belief this is substantially correct as noted herein.



BY: *Edward J. Frattaroli*
FOR: EDWARD J. FRATTAROLI, INC.
Land Surveyors • Engineers • Land Planners
STAMFORD, CONNECTICUT January 9, 2006

This Document and Copying are void unless they bear the signature and embossed seal of the registered professional. Unauthorized alterations under any operation hereon null and void.

Refer To:
Vol. 2103 Page 141 S.L.R.
Map Entitled: "Subdivision Plan Prepared For Designs By Lee, Inc., Stamford, Connecticut Subdivision Appl. #3823, Revised Date: March 10, 2003, Prepared By Edward J. Frattaroli, Inc. - Surveyors and Engineers, Stamford, Connecticut.

Area = 14.3± Acres

Scale: 1"=60'