



APPLICATION FOR APPROVAL OF SITE & ARCHITECTURAL PLANS AND / OR REQUESTED USES

Complete, notarize, and forward **thirteen (13) hard copies and one (1) electronic copy in PDF format** to Clerk of the Zoning Board with a **\$1,000.00 Public Hearing Fee** and the required application filling fee (see **Fee Schedule below**), payable to the City of Stamford.

NOTE: Cost of required Public Hearing advertisements are payable by the Applicant and performance of required mailing to surrounding property owners is the sole responsibility of the applicant. **LAND RECORDS RECORDING FEE:** \$60.00 for First page - \$5.00 for each additional page)

Fee Schedule –WITHOUT GDP

Site Plans 20,000 sq. ft. or less of building area application fee –without GDP	\$460.00
Site Plans more than 20,000 sq. ft. of building area-application Fee –without GDP	\$460.00 + \$30 per 1,000 sq. ft. or portion thereof in excess of 20,000 sq. ft.

Fee Schedule –WITH GDP

Site Plans 20,000 sq. ft. or less of building area application fee –with GDP.	\$260.00
Site Plans more than 20,000 sq. ft. of building area-application Fee –with GDP.	\$260.00 + \$10 per 1,000 sq. ft. or portion thereof in excess of 20,000 sq. ft.

APPLICANT NAME (S): Stavros Aivalis

APPLICANT ADDRESS: 66 4th Street Stamford CT 06905

APPLICANT PHONE #: 203-273-7563

IS APPLICANT AN OWNER OF PROPERTY IN THE CITY OF STAMFORD? No, Under contract

LOCATION OF PROPERTY IN STAMFORD OWNED BY APPLICANT (S): _____

ADDRESS OF SUBJECT PROPERTY: 589 Bedford Street, Stamford CT 06902

PRESENT ZONING DISTRICT: R-H

TITLE OF SITE PLANS & ARCHITECTURAL PLANS: BEDFORD CREATIVE APARTMENTS

REQUESTED USE: Residential. MX-V ZONE

LOCATION: (Give boundaries of land affected, distance from nearest intersecting streets, lot depths and Town Clerk's Block Number)

SQ FT = 11,807 BLOCK #223 105' From North Street

S 76 08'20 E 149.80' S 51 09'55 E 18.30 S 69 05'35 E 66.55' N 72 35'20" W 126.89' S 27 33'00W 47.87

NAME AND ADDRESS OF OWNERS OF ALL PROPERTY INVOLVED IN REQUEST:

NAME & ADDRESS

LOCATION

Dr. Jeremy Bier of Bedford Properties LLC

125 Strawberry Hill Avenue STE 302
Stamford CT

DOES ANY PORTION OF THE PREMISES AFFECTED BY THIS APPLICATION LIE WITHIN 500 FEET OF THE BORDER LINE WITH GREENWICH, DARIEN OR NEW CANAAN? NO (If yes, notification must be sent to Town Clerk of neighboring community by registered mail within 7 days of receipt of application – PA 87-307).

DOES THE PROJECT RESULT IN THE CREATION OF 10 OR MORE UNITS OR 10,000 SF OR MORE IN FLOOR AREA OR DISTURBANCE OF 20,000 SF OR MORE IN LAND AREA, THROUGH NEW DEVELOPMENT, RECONSTRUCTION, ENLARGEMENT OR SUBSTANTIAL ALTERATIONS? YES (If yes, then complete the Stamford Sustainability Scorecard per Section 15.F).



DATED AT STAMFORD, CONNECTICUT, THIS _____ DAY OF _____ 20_____

SIGNED: _____

NOTE: The application cannot be scheduled for public hearing until 35 days have elapsed from the date of referral to the Stamford Planning Board. If applicant wishes to withdraw the application, this must be done in writing, and be received by the Zoning Board at least three (3) working days prior to public hearing in order to provide sufficient time to publicize the withdrawal. Applications withdrawn less than three (3) days prior to a schedule hearing date will not be rescheduled within 90 days.

STATE OF CONNECTICUT
ss STAMFORD _____ 20_____
COUNTY OF FAIRFIELD

Personally appeared _____, signer of the foregoing application, who made oath to the truth of the contents thereof, before me.

Notary Public - Commissioner of the Superior Court

FOR OFFICE USE ONLY

APPL. #: _____ Received in the office of the Zoning Board: Date: _____

By: _____

Revised 9/02/20



APPLICATION FOR CHANGE IN THE ZONING MAP OF STAMFORD, CONNECTICUT

Complete, notarize, and forward **thirteen (13) hard copies and (1) electronic copy in PDF format** to Clerk of the Zoning Board with a **\$1,000.00 Public Hearing Fee** and the required application filing fee (see **Fee Schedule below**), payable to the City of Stamford.

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Fee Schedule

Map Change (Affected Area of 1 Acre or Less)	\$1,060.00
Map Change (Affected Area of greater than 1 Acre)	\$1,060.00 + \$2,000 per acre or portion thereof in excess of 1 acre

APPLICANT NAME (S): Stavros Aivalis

APPLICANT ADDRESS: 66 4th Street Stamford CT 06905

APPLICANT PHONE #: 203-273-7563

IS APPLICANT AN OWNER OF PROPERTY IN THE CITY OF STAMFORD? No, Under contract

PRESENT ZONING DISTRICT: R-H PROPOSED ZONING DISTRICT: MX-D

LOCATION OF PROPOSED CHANGE: (Give boundaries of each parcel in proposed change and indicate dimensions from nearest intersecting street. Also include Assessor's Card number and Town Clerk's Block number, and square footage of land. Attach twelve (12) copies of map showing area proposed for change.)

SQ FT = 11,807 BLOCK #223 105' From North Street

\$ 76 08'20" E 149.80' \$ 51 09'55" E 18.30' \$ 69 05'35" E 66.55' N 72 35'20" W 126.89'

\$ 27 33'00" W 47.87'

LIST NAME AND ADDRESS OF THE OWNERS OF ALL LAND INCLUDED WITHIN THE PROPOSED CHANGE:
NAME & ADDRESS LOCATION

Dr. Jeremy Bier of Bedford Properties LLC

125 Strawberry Hill Avenue STE 302
Stamford CT

ARE THERE DEED RESTRICTIONS THAT CONFLICT WITH THE PROPOSED ZONE DISTRICT FOR THIS PROPERTY?

No

IF YES, LIST REFERENCE TO TOWN CLERK BOOK & PAGE #: _____

DOES ANY PORTION OF THE PREMISES AFFECTED BY THIS APPLICATION LIE WITHIN 500 FEET OF THE BORDER LINE WITH GREENWICH, DARIEN OR NEW CANAAN? No (If yes, notification must be sent to Town Clerk of neighboring community by registered mail within 7 days of receipt of application – PA 87-307).



DATED AT STAMFORD, CONNECTICUT, THIS _____ DAY OF _____ 20_____

SIGNED: _____

NOTE: The application cannot be scheduled for public hearing until 35 days have elapsed from the date of referral to the Stamford Planning Board. If applicant wishes to withdraw the application, this must be done in writing, and be received by the Zoning Board at least three (3) working days prior to public hearing in order to provide sufficient time to publicize the withdrawal. Applications withdrawn less than three (3) days prior to a schedule hearing date will not be rescheduled within 90 days.

STATE OF CONNECTICUT
 COUNTY OF FAIRFIELD ss STAMFORD _____ 20_____

Personally appeared _____, signer of the foregoing application, who made oath to the truth of the contents thereof, before me.

 Notary Public - Commissioner of the Superior Court

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APPL. #: _____ Received in the office of the Zoning Board: Date: _____

By: _____

Revised 04/30/20



APPLICATION FOR APPROVAL OF SITE & ARCHITECTURAL PLANS AND / OR REQUESTED USES

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(GENERAL DEVELOPMENT PLAN)

Fee Schedule

General Development Plan – Sites 20,000 sq. ft. or less parcel area.	\$460.00
General Development Plan – Sites more than 20,000 sq. ft. or parcel area.	\$460 + \$20 per 1,000 sq. ft. in excess of 20,000 sq. ft.

APPLICANT NAME (S): Stavros Aivalis

APPLICANT ADDRESS: 66 4th street Stamford CT

APPLICANT PHONE #: 203-273-7563

IS APPLICANT AN OWNER OF PROPERTY IN THE CITY OF STAMFORD? Not currently (under Contract)

LOCATION OF PROPERTY IN STAMFORD OWNED BY APPLICANT (S): 589 Bedford Street Stamford CT

ADDRESS OF SUBJECT PROPERTY: 589 Bedford Street Stamford CT

PRESENT ZONING DISTRICT: R-H

TITLE OF SITE PLANS & ARCHITECTURAL PLANS: THE BEDFORD CREATIVE APARTMENTS

REQUESTED USE: MX-D ZONE & RESIDENTIAL USE

LOCATION: (Give boundaries of land affected, distance from nearest intersecting streets, lot depths and Town Clerk's Block Number)

SQ FT = 11,807 BLOCK #223 105' From North Street
\$ 76 08'20" E 149.80' S 51 09'55" E 18.30 \$ 69 05'35" E 66.55' N 72 35'20" W 126.89' S 27 33'00" W 47.87

NAME AND ADDRESS OF OWNERS OF ALL PROPERTY INVOLVED IN REQUEST:

<u>NAME & ADDRESS</u>	<u>LOCATION</u>
<u>Dr Jeremy Bier of Bedford Properties LLC</u>	<u>125 Strawberry Hill Av STE 302 Stamford CT</u>

DOES ANY PORTION OF THE PREMISES AFFECTED BY THIS APPLICATION LIE WITHIN 500 FEET OF THE BORDER LINE WITH GREENWICH, DARIEN OR NEW CANAAN? NO (If yes, notification must be sent to Town Clerk of neighboring community by registered mail within 7 days of receipt of application – PA 87-307).

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DATED AT STAMFORD, CONNECTICUT, THIS _____ DAY OF _____ 20_____

SIGNED: _____

NOTE: Application cannot be scheduled for Public Hearing until 35 days have elapsed from the date of referral to the Stamford Planning Board. If applicant wishes to withdraw application, please notify the Zoning Board at least three (3) days prior to Public Hearing so that the Board may have sufficient time to publicize the withdrawal.

STATE OF CONNECTICUT
ss STAMFORD _____ 20_____
COUNTY OF FAIRFIELD

Personally appeared _____, signer of the foregoing application, who made oath to the truth of the contents thereof, before me.

Notary Public - Commissioner of the Superior Court

FOR OFFICE USE ONLY

APPL. #: _____ Received in the office of the Zoning Board: *Date*: _____

By: _____

Revised 9/02/20

Project Description

1. Introduction

Dr. Jeremy Bier

589 Bedford Street Stamford Connecticut. The existing lot is located within the R-H Zone

The application is apply to re-zone from R-H zone to MX-D infill (mixed use development district.)

2. Background

The Zoning Board had previously approved the re-zoning of the adjacent property 545 Bedford Street "Bedford Hall". The approval granted a change from the existing R-H zone to MX-D infill Zone where the applicant developed a 6 story multifamily residential building.

3. Description the surrounding area

This Project is located within the downtown district. The site is located approximately 450 feet from Latham Park, .08 miles from the Uconn stamford campus and 1.3 miles to the Stamford Train Station. It is also within walking to distance to our top employers such as the stamford town center , the stamford hospital and many fortune 500 companies within the downtown district. The immediate surrounding area consist of Stamford's main commercial thoroughfare (Bedford Street)with historical buildings roughly 2-6 stories high. North street consist of various building types including historical Victorians mainly used for office space. Bedford Street also offers public transportation options such as CT transit.

4. Description the Proposed Area

The existing lot address is 589 Bedford Street , South of North Street and Bedford Street. tax Block #223. The existing property is currently a vacant 11,807 Square feet Lot. The proposed development is to develop a 21 unit residential building. The adjacent properties were zoned R-H and converted to residential under the MX-D infill zone.

5. Description the Proposed Development

The proposed building will consist of a total of four stories. The ground floor will have a lobby entrance , two means of egress and a total of 19 parking spaces. The Second floor will have 7 residential studios, a common room, an outdoor common terrace and work from home office booths along the corridor. The third floor will have 7 residential studios, a gymnasium and work from home office booths along the corridor. The fourth floor will have 7 residential studios and work from home office booths along the corridor. We are proposing this development to meet a growing demand of studio apartments as well as offering a boutique or "smaller development " that gives renters more options in the current market.

6. Conclusion

The proposed residential complex responds to a growing prospering city where an increasing number of individuals and families are moving to neighbors such as the proposed location where there is accessibility to public transit, shops, nightlife and all the downtown has to offer. The project will increase the density of the surrounding area that will in turn create a more vibrant city center. We believe this is in line with the Stamford's vision of smart growth and urban design principles.

589 BEDFORD STREET

Location 589 BEDFORD STREET

Mblu 001/ 4057/ / /

Acct# 001-4057

Owner BEDFORD PROPERTIES LLC

Assessment \$537,990

Appraisal \$768,550

PID 4956

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2022	\$0	\$768,550	\$768,550

Assessment			
Valuation Year	Improvements	Land	Total
2022	\$0	\$537,990	\$537,990

Owner of Record

Owner BEDFORD PROPERTIES LLC

Sale Price \$615,000

Co-Owner

Book & Page 6225/0209

Address 125 STRAWBERRY HILL AV STE 302
STAMFORD, CT 06902-2536

Sale Date 05/01/2002

Instrument 00

Ownership History

Ownership History				
Owner	Sale Price	Book & Page	Instrument	Sale Date
BEDFORD PROPERTIES LLC	\$615,000	6225/0209	00	05/01/2002
BLICK GARY	\$335,000	4846/0314	00	10/08/1997
MCCARTHY DENNIS T	\$112,270	4701/0261		01/21/1997
MCCARTHY DENNIS T ET AL	\$0	2107/0002	25	02/01/1982

Building Information

Building 1 : Section 1

Year Built:

Living Area: 0

Building Attributes	
Field	Description
Style:	Vacant Land
Model	
Grade:	
Stories:	
Occupancy	
Exterior Wall 1	
Exterior Wall 2	
Roof Structure:	
Roof Cover	
Interior Wall 1	
Interior Wall 2	
Interior Flr 1	
Interior Flr 2	
Heat Fuel	
Heat Type:	
AC Type:	
Total Bedrooms:	
Total Bthrms:	
Total Half Baths:	
Total Xtra Fixtrs:	
Total Rooms:	
Bath Style:	
Kitchen Style:	
Fireplace Msnry.	
Fpl. Gas/Prefab	
Fpl. Outdoor	
Fpl. Addnl. Open	
Bsmt. Garage	
Num Park	
Fireplaces	
Fndtn Cndtn	
Basement	

Building Photo



(<https://images.vgsi.com/photos/StamfordCTPhotos/\A00\14\48\89.jpg>)

Building Layout

(ParcelSketch.ashx?pid=4956&bid=4956)

Building Sub-Areas (sq ft)	Legend
No Data for Building Sub-Areas	

extra features

Extra Features	Legend
No Data for Extra Features	

Land

Land Use

Use Code 200V
Description Commercial MDL-00
Zone RH
Neighborhood 0700
Alt Land Appr No
Category

Land Line Valuation

Size (Acres) 0.26
Depth
Assessed Value \$537,990
Appraised Value \$768,550

Outbuildings

Outbuildings	Legend
No Data for Outbuildings	

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2021	\$0	\$674,250	\$674,250
2020	\$0	\$674,250	\$674,250
2019	\$0	\$674,250	\$674,250

Assessment			
Valuation Year	Improvements	Land	Total
2021	\$0	\$471,980	\$471,980
2020	\$0	\$471,980	\$471,980
2019	\$0	\$471,980	\$471,980



589 BEDFORD STREET ZONE CHANGE

January 4, 2023

Agreement

Steve Aivalis & Nick Aivalis of Aivalis Architects and Developers are the authorized agents of Dr. Jeremy Bier of Bedford Properties LLC, the property owner of 589 Bedford Street, Stamford Connecticut. Aivalis Architects & Developers will be representing Dr. Jeremy Bier during the public hearing as an agent for the proposed zone change.

ACCEPTED AND AGREED:

By:  _____

Steve Aivalis AIA. Associate

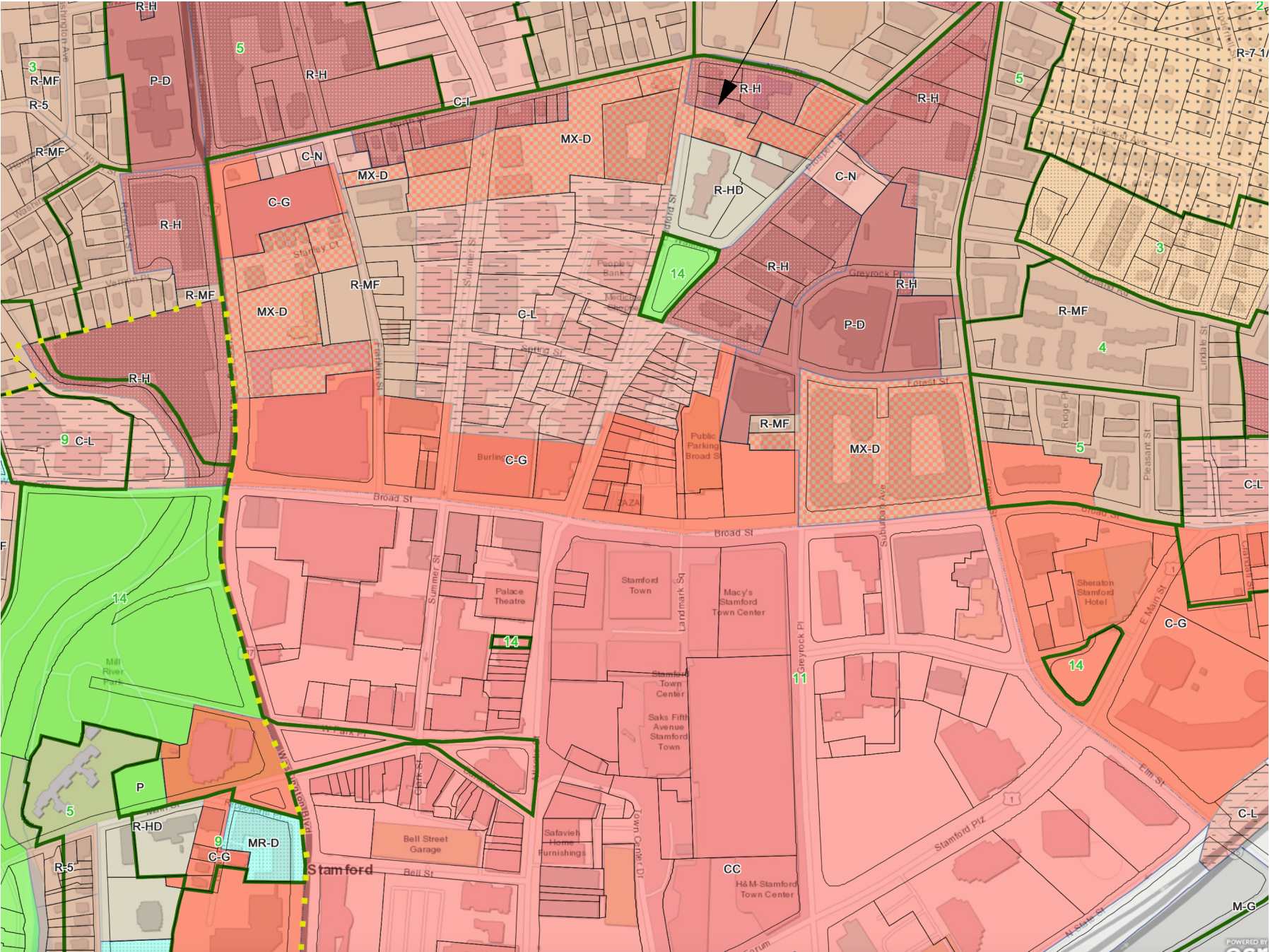
By: Jeremy Bier, DPM, FACFAS

Dr. Jeremy Bier

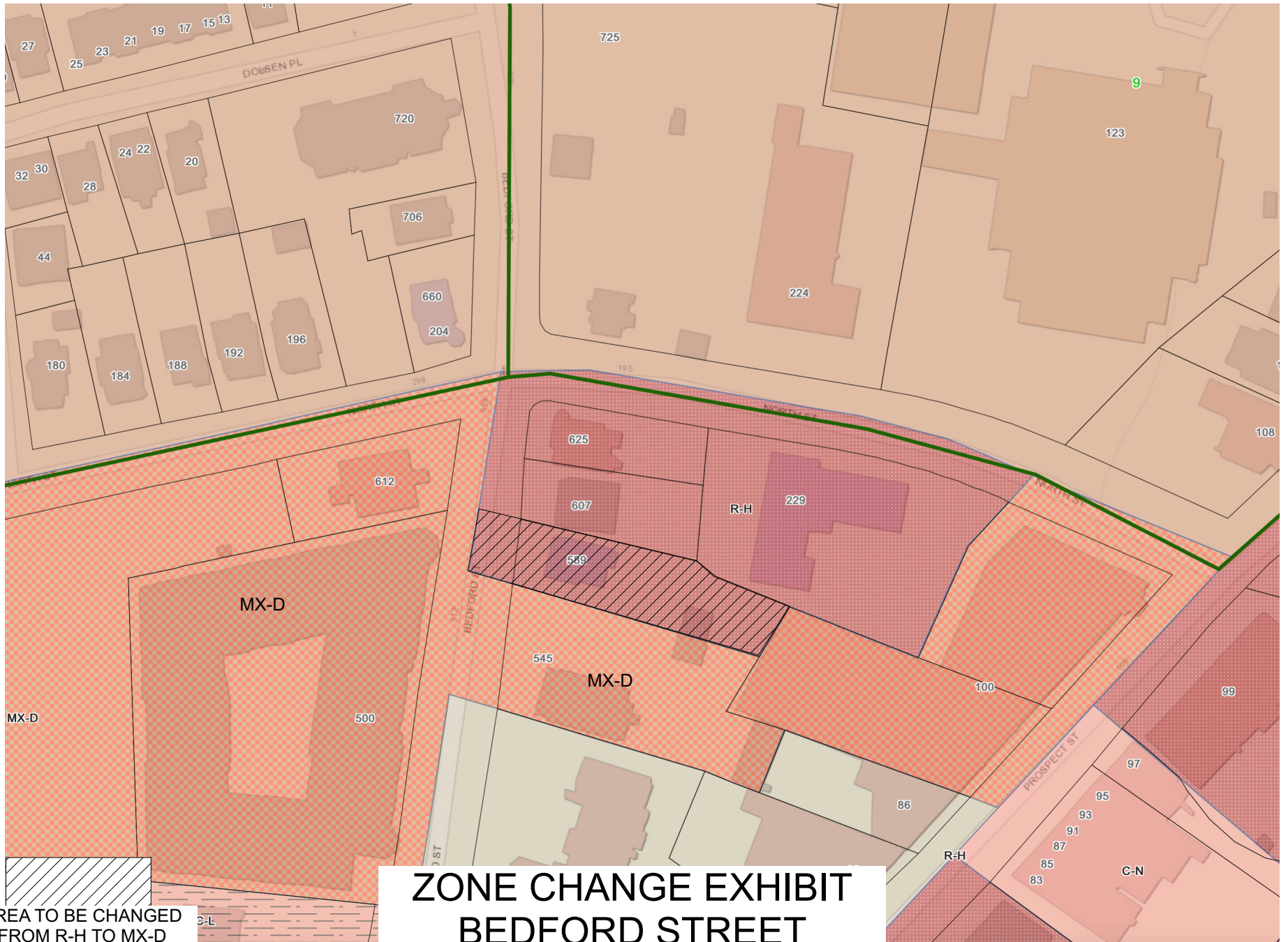
Date: 1/4/2023

Date: 01/04/2023

SITE



CITY OF STAMFORD ZONING MAP



AREA TO BE CHANGED
FROM R-H TO MX-D

ZONE CHANGE EXHIBIT BEDFORD STREET STAMFORD, CT

STAMFORD MASTER PLAN

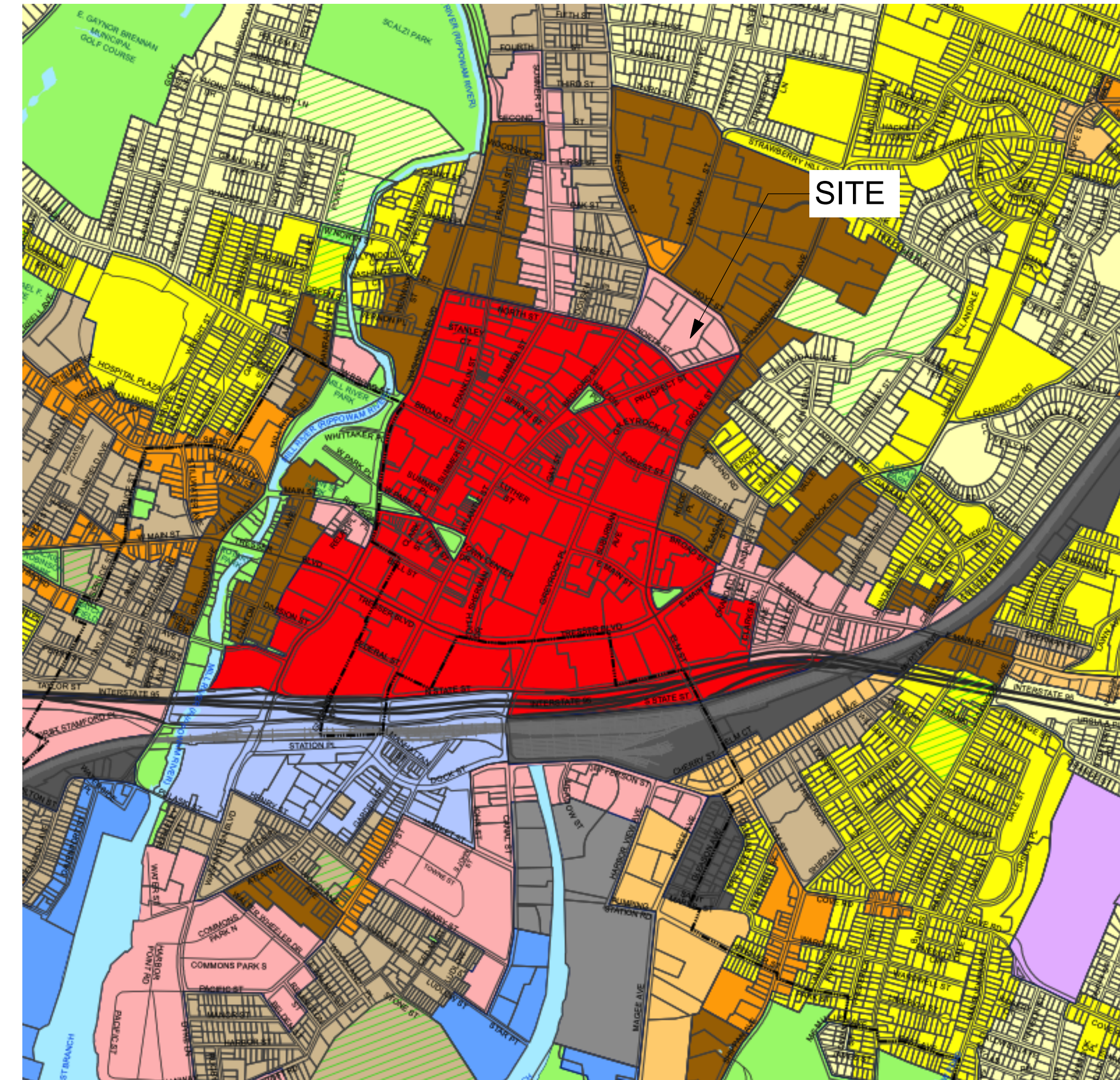
5A.6: Promote infill development on **Vacant** sites within Downtown.

The City should continue to use a variety of density bonuses to enable development on **hard-to-develop sites** and should encourage shared parking to enhance the viability of infill development proposals.

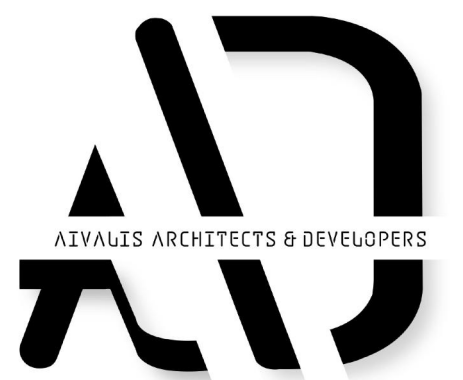
5B.5: Promote **contextual** commercial and residential development along Summer and Bedford Streets. Along Summer Street between North Street and Second Street, buildings should be flush with sidewalks, with entries facing the street and landscaping to maintain the street wall where parking is provided. Along Summer Street and Bedford Street between Second and Sixth Streets, historic homes should be preserved and any new development should be consistent with the existing streetscape character.

3A.7: Promote live/work arrangements.

Zoning should be amended to clarify the difference between home occupations and home businesses as accessory uses in residential districts. Home occupations should be as-of-right and typically consist of a single person working from home. Such use should prohibit employees, signs, off-premise noise and smells, increases in parking and traffic and changes to the appearance of the residence. Home businesses should be permitted by Special Exception and generally include businesses operating out of a home that have employees and generate visitors.



CONSULTANTS



BEDFORD
CREATIVE

PROJECT NO: Project No.
MODEL FILE:
Bedford Zoning changes 2-6-2023.pln
DRAWN BY: CAD Technician Full Name
COPYRIGHT:

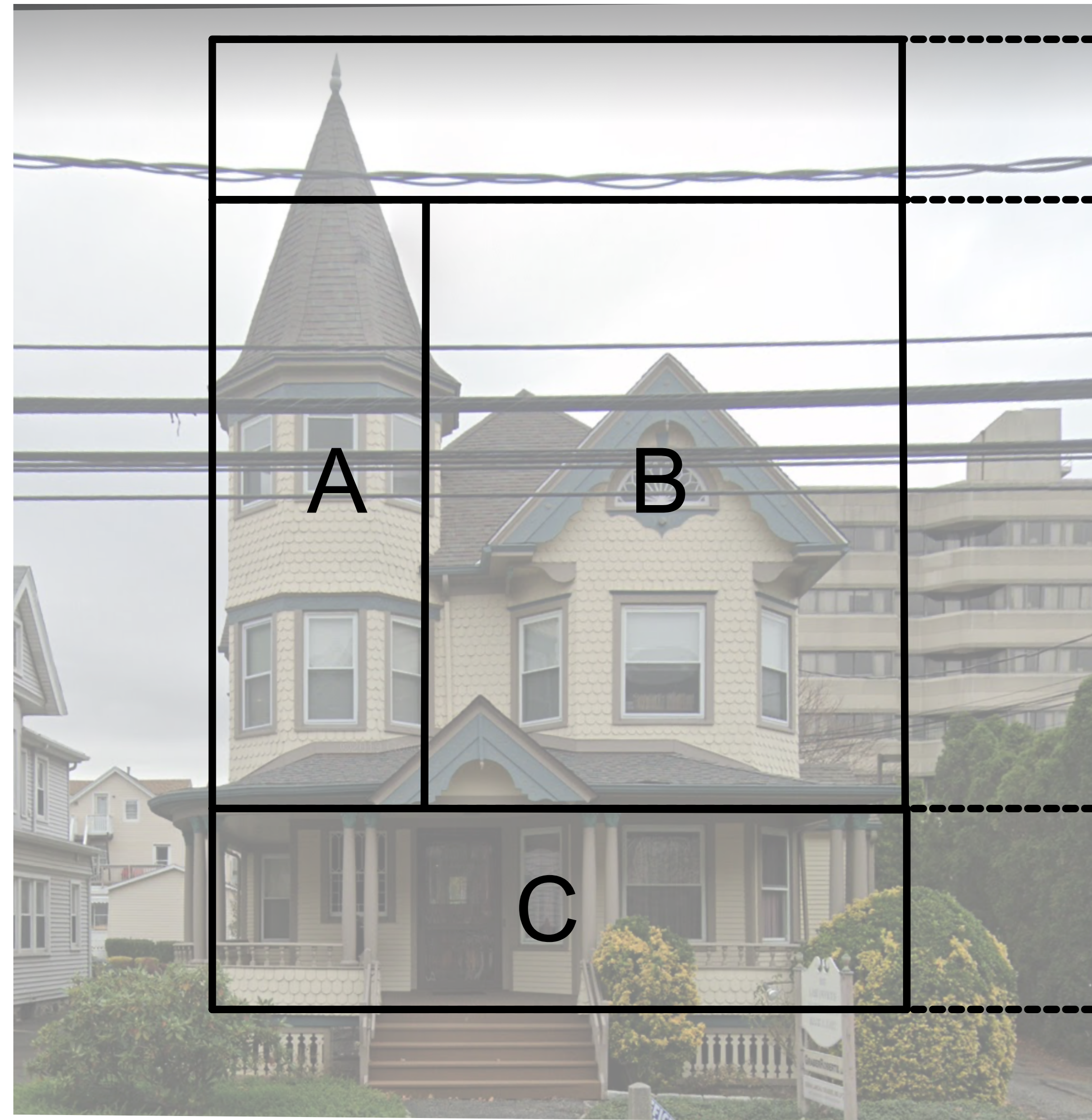
SHEET TITLE

Story Board

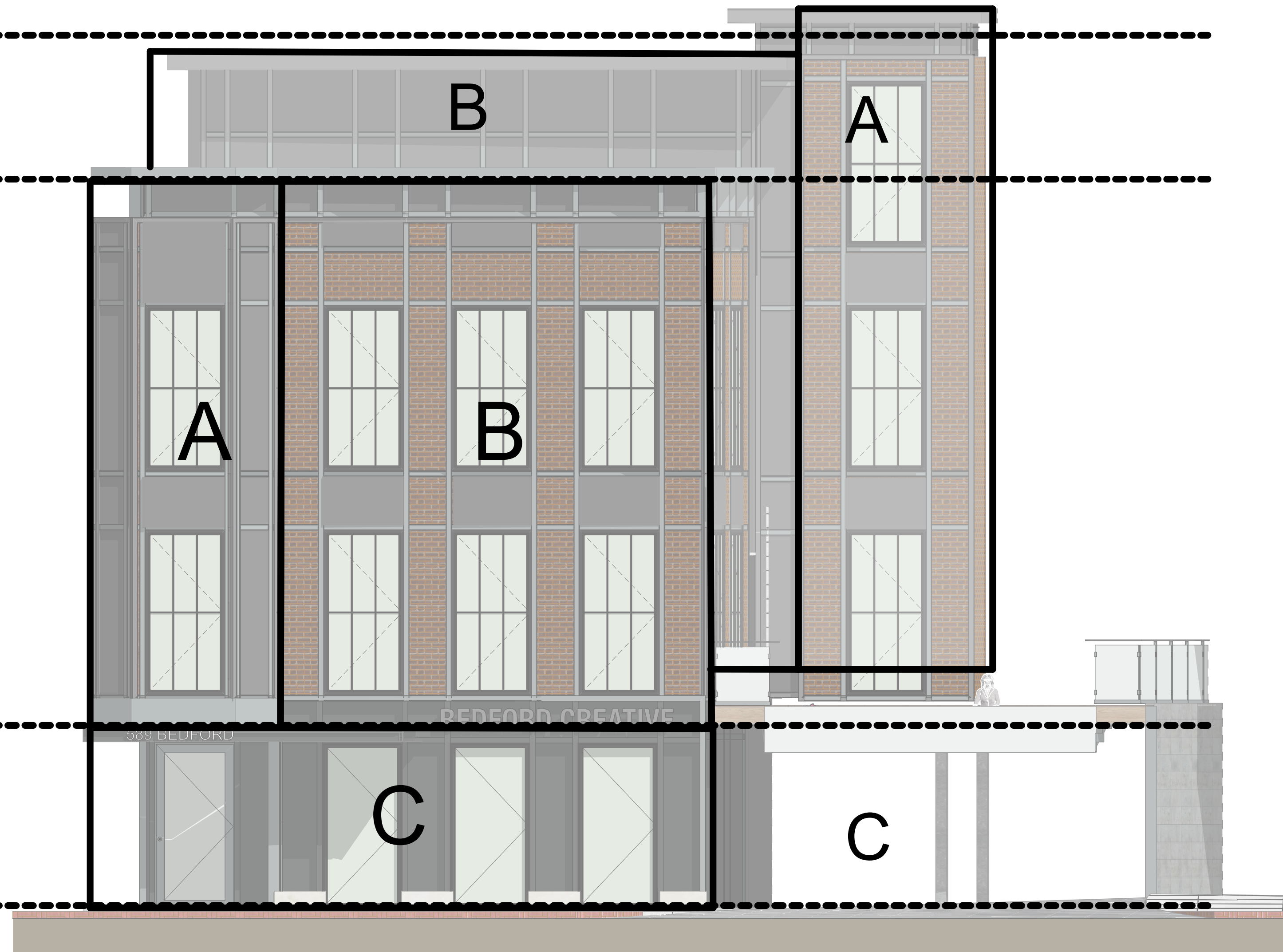
A-504.7.4

SHEET 60

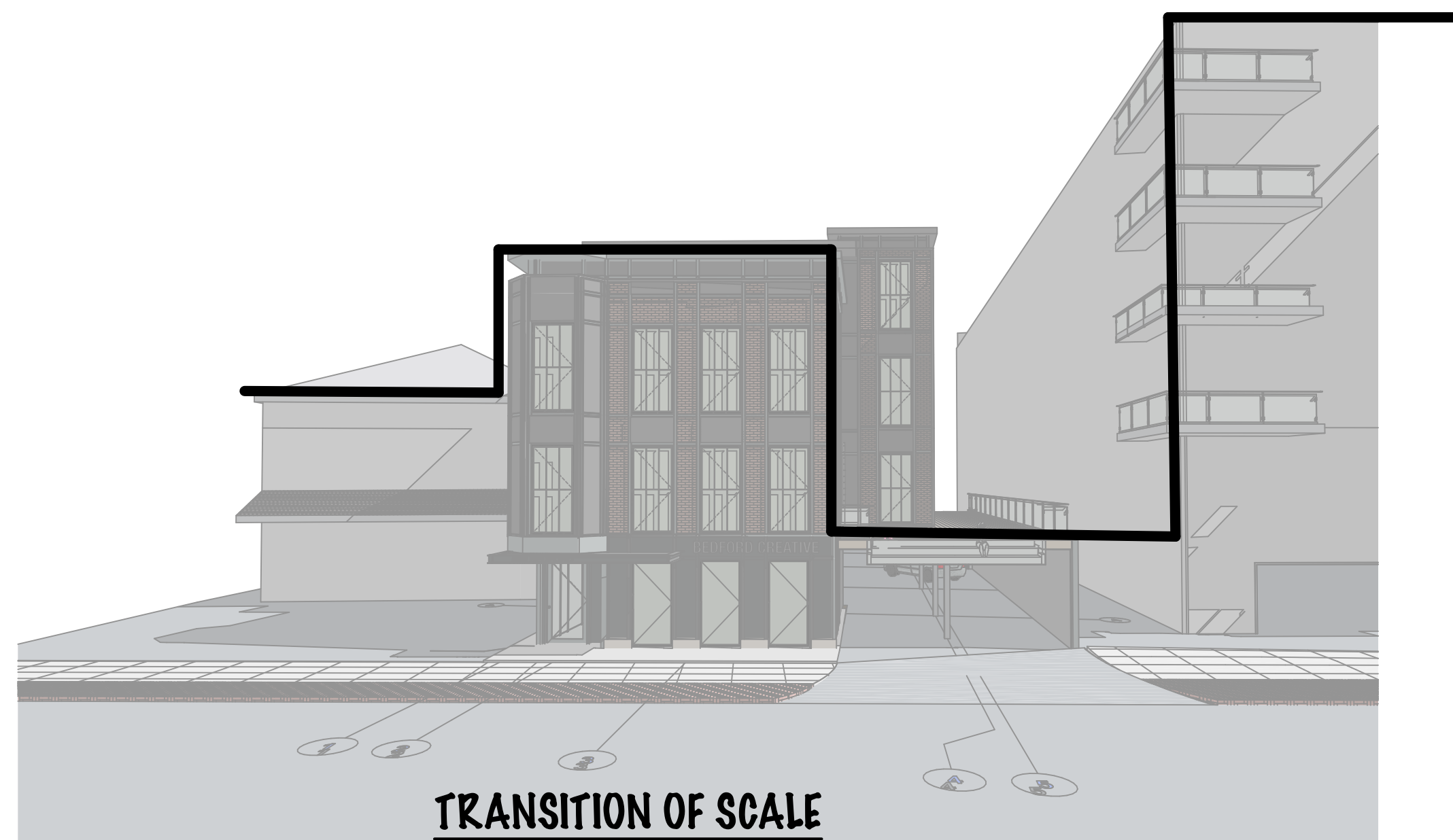
OF 74



660 BEDFORD STREET STAMFORD CT



1 West Elevation (2)
A-504.7.5 SCALE: 1/4" = 1'-0"



TRANSITION OF SCALE

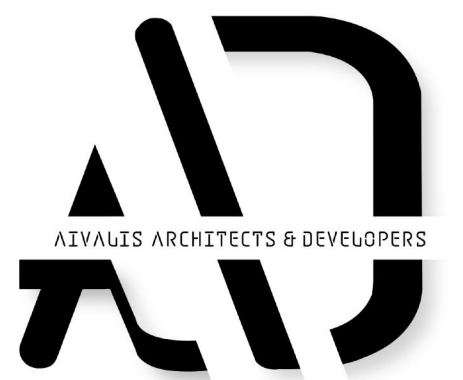
3 scale perspective front
A-504.7.5 SCALE: 1/16" = 1'-0"



PRECEDENTS



CONSULTANTS



**BEDFORD
CREATIVE**

PROJECT NO: Project No.
MODEL FILE:
Bedford Zoning changes 2-6-2023.pln
DRAWN BY: CAD Technician Full Name
COPYRIGHT:

SHEET TITLE

Story Board Visuals

A-504.7.5

SHEET 61

OF 74

LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

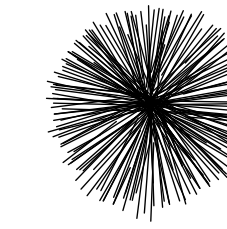
PLANT LIST

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
2	WK	CRATAEGUS 'WINTER KING'	WINTER KING HAWTHORN	2-2 1/2" CAL.	B&B
	AC	AMELANCHIER CANADENSIS	SHAD	4-6' HT.	B&B
10	GG	THUJA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	5-6' HT.	B&B
	PW	AZALEA 'PLEASANT WHITE'	PLEASANT WHITE AZALEA	18-24" HT.	CONT.
	HY	HYDRANGEA 'THE ORIGINAL'	THE ORIGINAL HYDRANGEA	2-3' HT.	CONT.
	IG	ILEX GLABRA 'SHAMROCK'	COMPACT INKBERRY	2-3' HT.	CONT.
	RC	RHODODENDRON CAROLINIANUM	CAROLINA RHODODENDRON	2-3' HT.	CONT.
8	PK	ROSA 'PINK KNOCKOUT'	PINK KNOCKOUT ROSE	2-3' HT.	CONT.
24	PH	PENNISETUM ALOPECUROIDES 'HAMELN'	DWARF FOUNTAIN HAMELN GRASS	1 QT.	

NOTES:

- EXISTING AND PROPOSED SITE INFORMATION TAKEN FROM A DIGITAL AUTOCADD SITE PLAN SUPPLIED BY JIM KOUSIDIS ENGINEERS LLC
- CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 TO HAVE UNDERGROUND UTILITY LINES MARKED BY THEM PRIOR TO START OF ANY EXCAVATION WORK.
- EXACT LOCATION OF PROPOSED PLANTINGS AND SPECIES TYPES MAY VARY FROM THIS PLAN BASED ON SITE PLAN REVISIONS AND/OR ACTUAL FIELD CONDITIONS.
- SEED LAWN AREAS WITH A HIGH QUALITY FESCUE AND BLUEGRASS MIX TURF MIX. APPLY SOIL AMENDMENTS AS RECOMMENDED BY THE MANUFACTURER. SEED AREAS AT THE METHODS AND RATE RECOMMENDED BY THE MANUFACTURER. LIGHTLY MULCH SEEDING AREA WITH WEED-FREE CLEAN HAY. A NURSE CROP SHALL BE ADDED TO THE SEED MIX ON SLOPES OF EXCESS OF 10% AND AS SPECIFIED. LIGHTLY RAKE OR ROLL GROUND SURFACE AFTER SOWING.
- PLANT SPECIES SUBSTITUTIONS MAY BE MADE WITH THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT PRIOR TO PLANTING. SUBSTITUTED PLANTS SHALL BE AT AN EQUAL OR GREATER SIZE AS NOTED USING A SIMILAR TYPE PLANT.
- ALL PLANTING METHODS SHALL BE IN ACCORDANCE WITH THE "AMERICAN STANDARDS FOR NURSERY STOCK", LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- THIS PLAN FOR PLANTING PURPOSES ONLY. SEE PLANS BY OTHERS FOR ADDITIONAL INFORMATION.

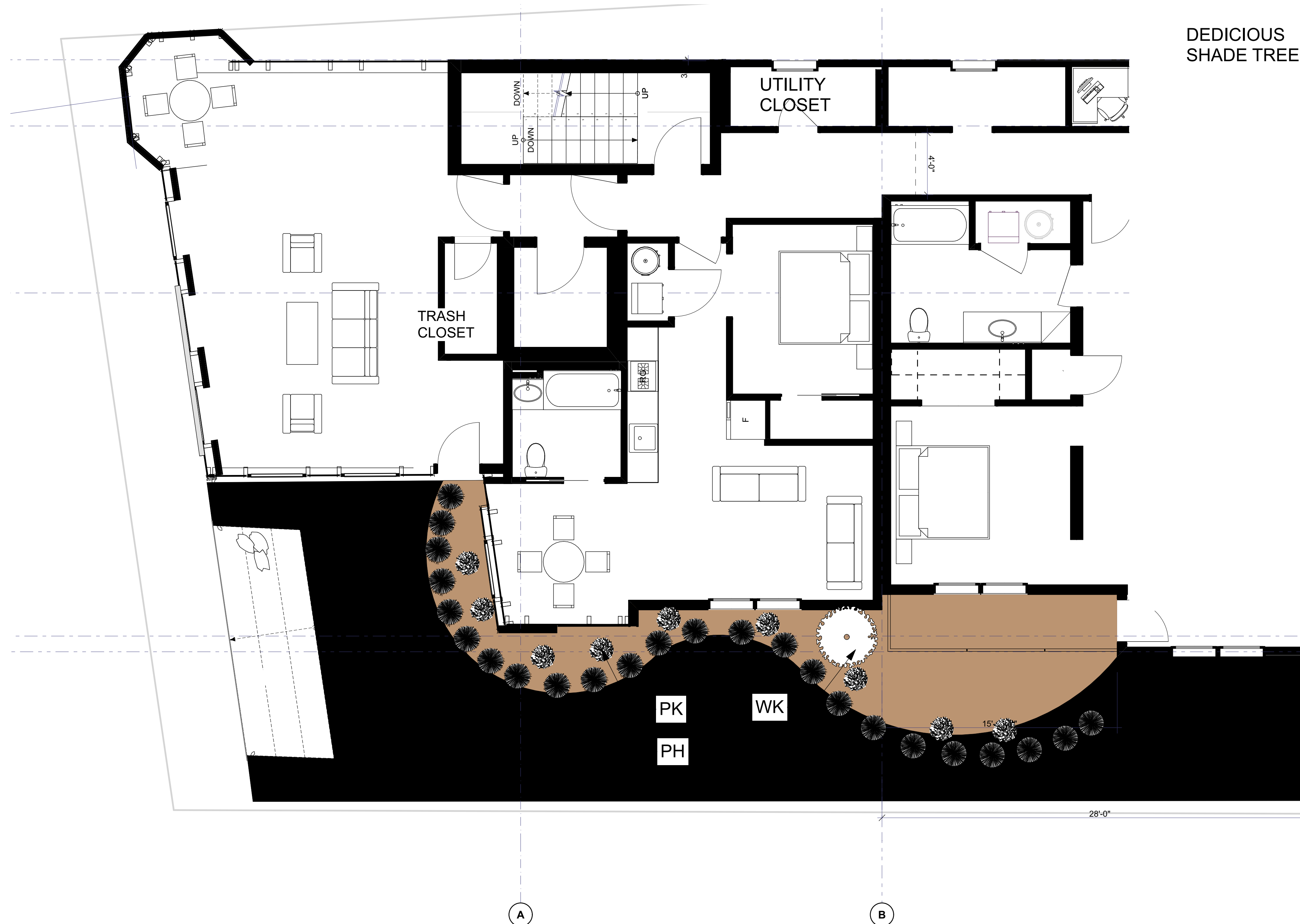
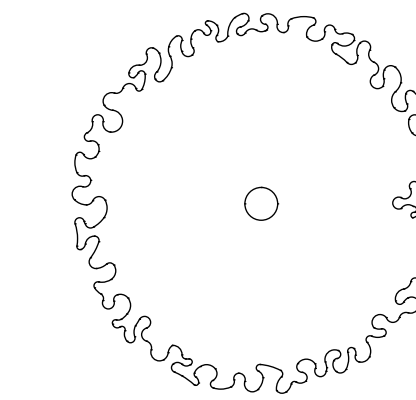
TALL GRASS



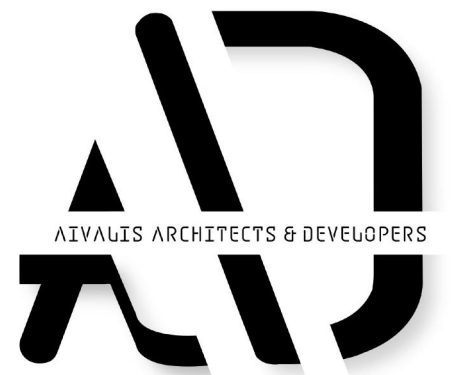
NEW SHRUB



DEDICIOUS SHADE TREE



CONSULTANTS



BEDFORD
CREATIVE

PROJECT NO: Project No.
MODEL FILE:
Bedford Zoning changes 2-6-2023.pln
DRAWN BY: CAD Technician Full Name
COPYRIGHT:

SHEET TITLE
Second Floor Deck Plan

A-115

SHEET 31 OF 74



589 BEDFORD STREET APARTMENTS

CONSULTANTS



BEDFORD
CREATIVE

PROJECT NO: Project No.

MODEL FILE:
Bedford Zoning changes 2-6-2023.pln

DRAWN BY: CAD Technician Full Name

COPYRIGHT:

SHEET TITLE

Cover Sheet

G-001

SHEET 13

OF 74

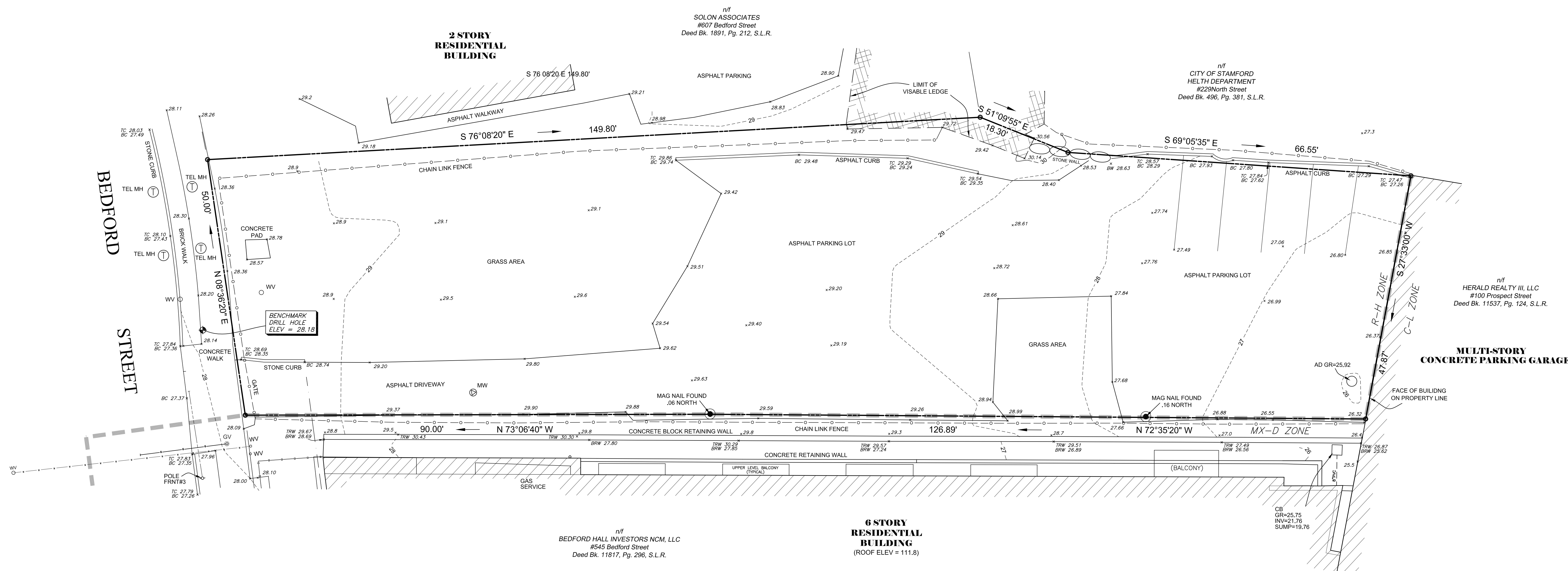
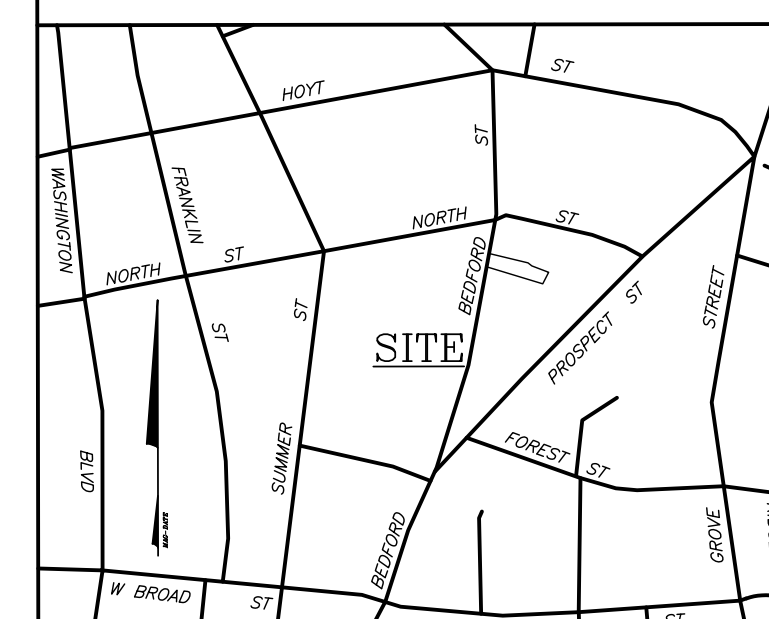
Zoning Data Chart

Project Name - BEDFORD
CREATIVE

Application number -
Address - 589 BEDFORD
STREET

Zoning District(s) - If multiple Zoning Districts, provide requirement and compliance for each portion of site under the different district

Zoning Section		Required/ Permitted	Existing Conditions	Proposed	Notes (Indicate compliance or Zoning Section for Special Exception if applicable)
	Lot Size		11,807	11,807	
	Gross Floor Area		0	21,346	
	Zoning Floor Area				
	Residential	14,759	0	14,388	
	Commercial				
	Community Facility		0	0	
	Industrial		0	0	
	Total	0	0	14,388	
	F.A.R.	1.25			
	Residential	14,759	0	14,388	
	Commercial		0		
	Community Facility		0	0	
	Industrial		0	0	
	Total	14,760	0	14,388	
	Number of units	FAR	0	21	
	Below Market Rate Units (# and %)	2	2	10%	
	Number of seats/ beds / employees if applicable	0	0	0	
	Density(Units/Acre)	N/A	N/A	N/A	
	Street Frontage	50	50	50	
	Building Coverage (Area and %)				
	Lot coverage (Area and %)				
	Building Height (Feet)	150	0	40	
	Number of floors	NULL	0	4	
	Active ground floor (sq.ft. and %) if applicable				
	Yards				
	Front yard (Streetline)				
	Front yard (St centerline)				
	Rear yard				
	Side yard				
	Parking				
	Residential parking	15.75	0	19	
	Commercial parking	0	0	0	
	Community Facility parking		0	0	
	Industrial parking		0	0	
	Public open space parking		0	0	
	Bike parking		0	0	
	# of levels of parking garage (if applicable)		0	1	
	Square footage of parking area		0	0	
	Parking setback	5	0	5	enclsoed
	Open space (Area and %)	25% GF			
	Active (If separate)	2481	0	2481	25% ground floor
	Passive (If separate)	0	0	0	
	Street Trees				
	Existing	0	0	0	
	Proposed	0	0	0	
	Total	0	0	0	
	Signage				
	Wall signs (# and size)			2	
	Ground Signs (# and size)				
	Blade signs (# and size)				
	Fence height				



NOTES:

1. This survey has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. as a Property and Topographic Survey the Boundary Determination Category of which is a Resurvey conforming to Horizontal Accuracy Class A-2 and the locations and elevations of which conform to Topographic Accuracy Class T-2. It is intended to depict property boundaries, locations and elevations of improvements and topographic features.
2. Reference is hereby made to the following: Maps 5162, 961, 6971 and 9733 of the Stamford Land Records.
3. Reference is made to the deed of record found in Vol. 6225, on page 209 of the Stamford Land Records.
4. Reference in made to instruments of record as labeled hereon.
5. Elevations depicted hereon are based on (NAVD88) datum.
6. Property area= 11,807 Sq.Ft.

PROPERTY AND TOPOGRAPHIC SURVEY
 DEPICTING
 589 BEDFORD STREET
 STAMFORD, CT
 PREPARED FOR
 BEDFORD PROPERTIES LLC

Scale: 1" = 10'

Drawn By: TRM | Checked By: Ip | Date: 07/27/2021

To my knowledge and belief this map is substantially correct as noted herein.

LAWRENCE W. POISSON, JR. CT. L.S. #16130
 7/28/2021
 DATE

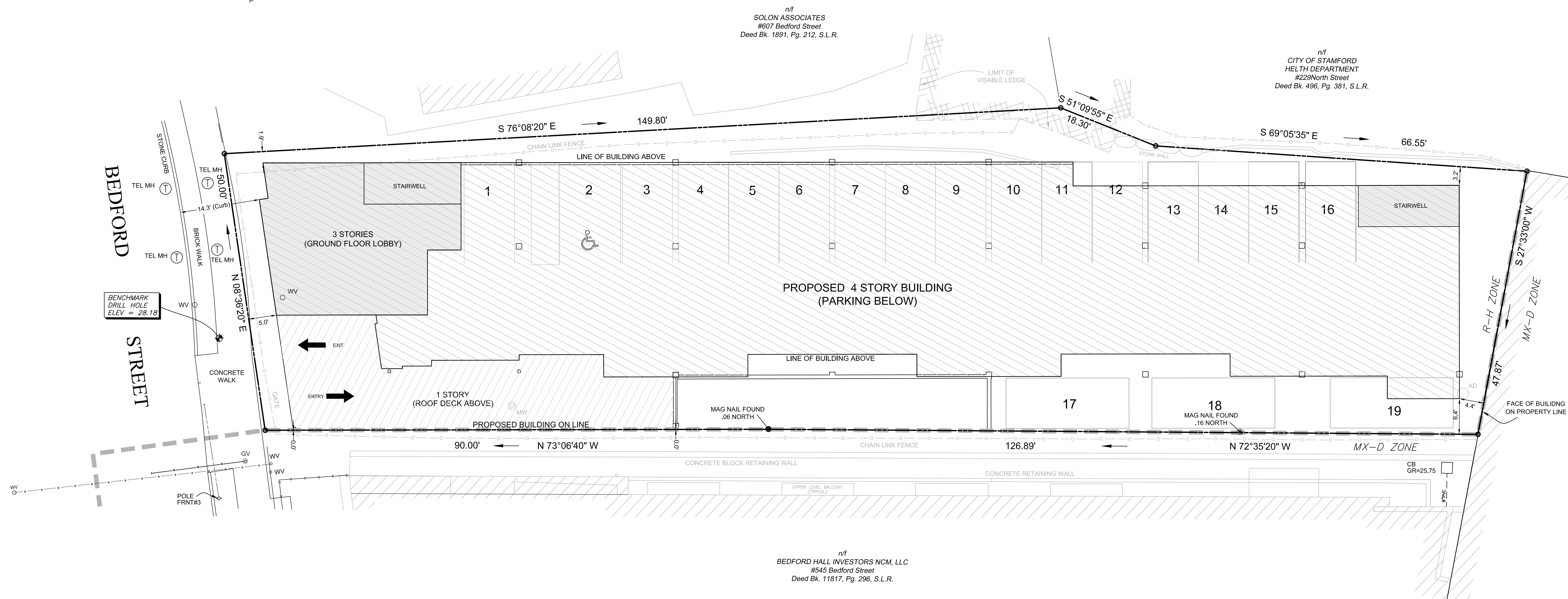
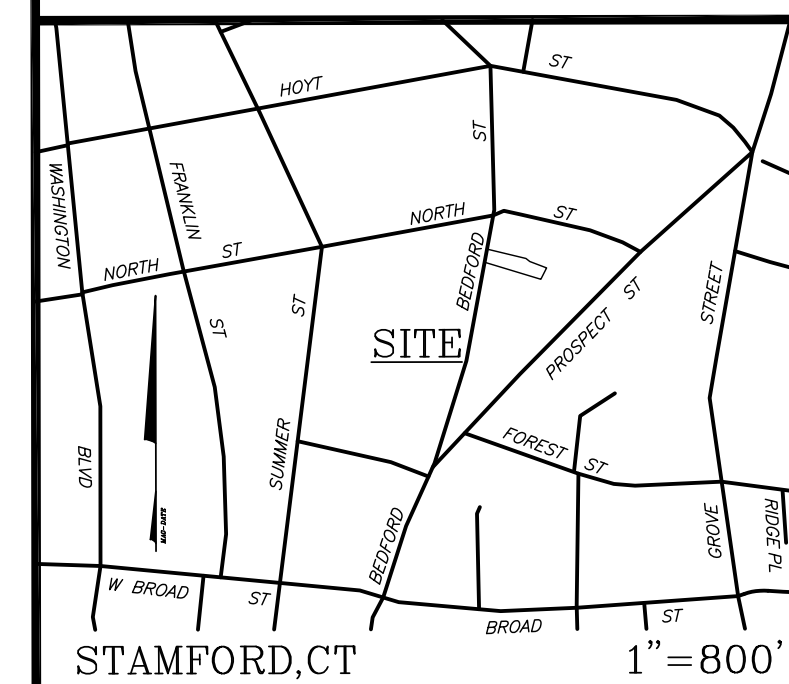
This document and copies thereof are valid only if they bear the signature and embossed seal of the designated licensed professional. Unauthorized alterations render any declaration herein null and void.

LAND SURVEYING
 CIVIL ENGINEERING
 PLANNING & ZONING CONSULTING
 PERMITTING

Sheet No:
PSTS

22 First Street | Stamford, CT 06905
 Tel: 203.374.9500 | Fax: 203.357.1118
 www.rednissmead.com

Comm. No.: 3397



ZONING DATA TABLE (ZONE R-HD)

REGULATION	MINIMUM REQUIRED	EXISTING	PROPOSED
LOT AREA	5,000 sf	11,807 sf	No Change
LOT FRONTAGE	50'	50'	No Change
FRONT	15' (Curb Line)	N/A	14.3'
SIDE	None	N/A	0' / 1.9'
REAR	30'	N/A	4.4'
BUILDING COVERAGE	60% (Max)	N/A	71.6%
MAXIMUM HEIGHT	7 stories (Max)	N/A	4 stories
	80 feet (Max)	N/A	40 feet

-Refer to Section 4.B.11.(d) & to Section 4.B.11.(m) Application and Review Procedure, of the Zoning Regulations, City of Stamford 12/7/2022.

NOTES:

- This survey has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. as a Zoning Location Survey the Boundary Determination Category of which is a Resurvey conforming to Horizontal Accuracy Class A-2 and intended to be used for application for determination of zoning compliance and for building permit purposes.
- Property Area= 11,807 Sq.Ft.
- Reference is hereby made to the following: Maps 5162, 961, 6971 and 9733 of the Stamford Land Records.
- Reference is made to the deed of record found in Vol. 6225, on page 209 of the Stamford Land Records.
- Reference is made to instruments of record as labeled hereon.
- Elevations depicted hereon are based on (NAVD88) datum.
- Reference is made to "Property & Topographic Survey depicting 589 Bedford Street" prepared for Bedford Properties LLC, prepared by Redniss & Mead, dated 7/28/2021.
- Reference is made to Engineering plans titled Proposed New Residential Development For: 589 Bedford Street, Stamford, CT., prepared by Kousidis Engineering, LLC, dated 3/8/23.
- Reference is made to Architectural plans, 589 Bedford Street Apartments, prepared by Aivalis Architects & Developers, dated 3/8/23.

ZONING LOCATION SURVEY

DEPICTING
PROPOSED IMPROVEMENTS
#589 BEDFORD STREET
 STAMFORD, CONNECTICUT
 PREPARED FOR
BEDFORD PROPERTIES LLC



REDNISS & MEAD

LAND SURVEYING
 CIVIL ENGINEERING
 PLANNING & ZONING CONSULTING
 PERMITTING

22 First Street | Stamford, CT 06905
 Tel: 203.327.0900 | Fax: 203.357.1118
 www.rednissmead.com

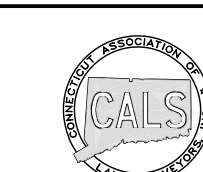
Scale: 1"=10'

Drawn By: SAJ Checked By: Date: 03/15/2023

To my knowledge and belief this map is substantially correct as noted hereon

Lawrence W. Posson, Jr.
 LAWRENCE W. POSSON, JR. CT. L.S. #18130
 3/16/2023
 DATE

This document and copies thereof are valid only if they bear the signature and embossed seal of the designated licensed professional. Unauthorized alterations render any declaration herein null and void.

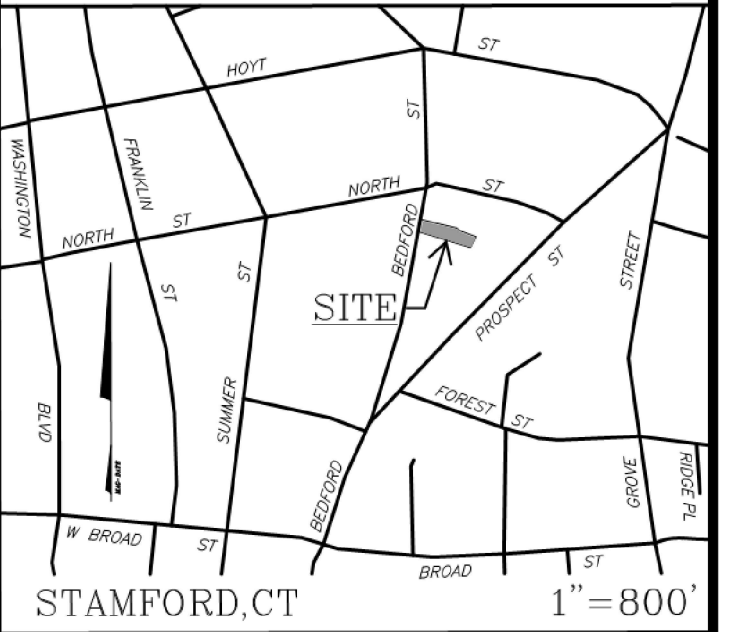


Sheet No:
ZLS
 Comm. No.: 3397

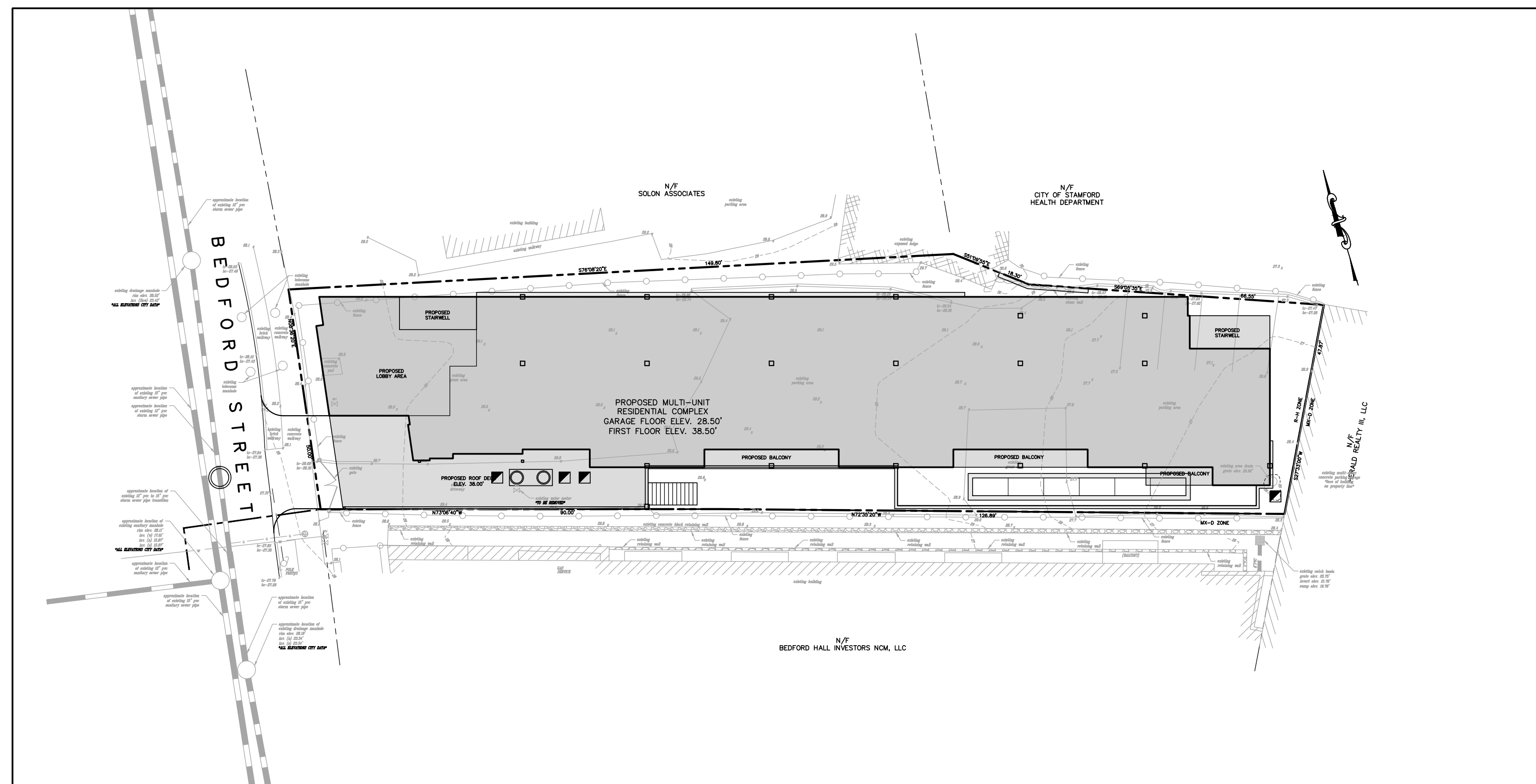
PROPOSED NEW RESIDENTIAL DEVELOPMENT FOR:

589 BEDFORD STREET, STAMFORD, CT

BLOCK: 223 ZONE: R-H



ORIENTATION



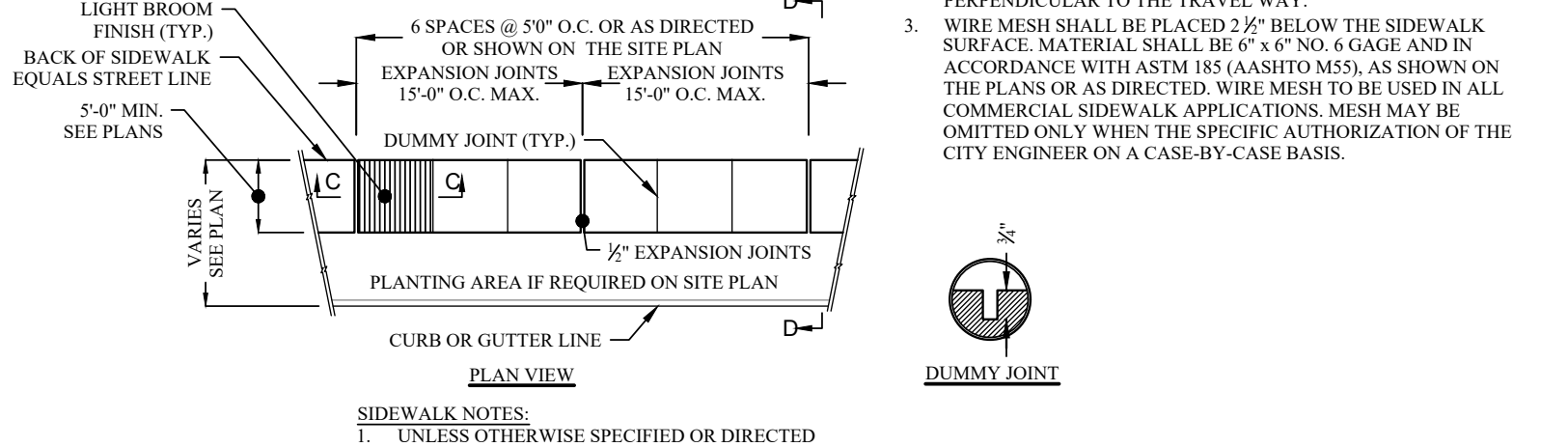
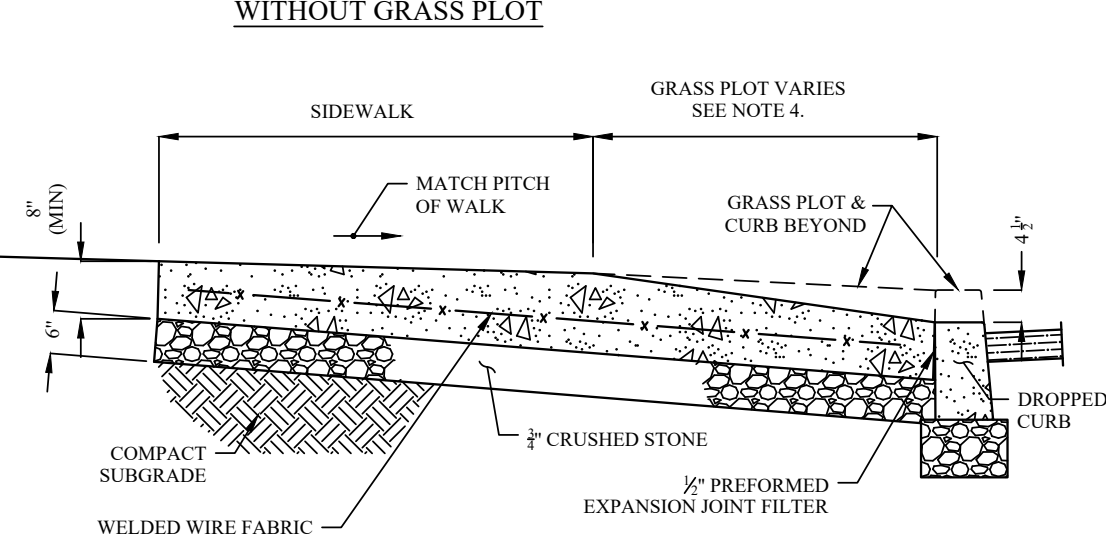
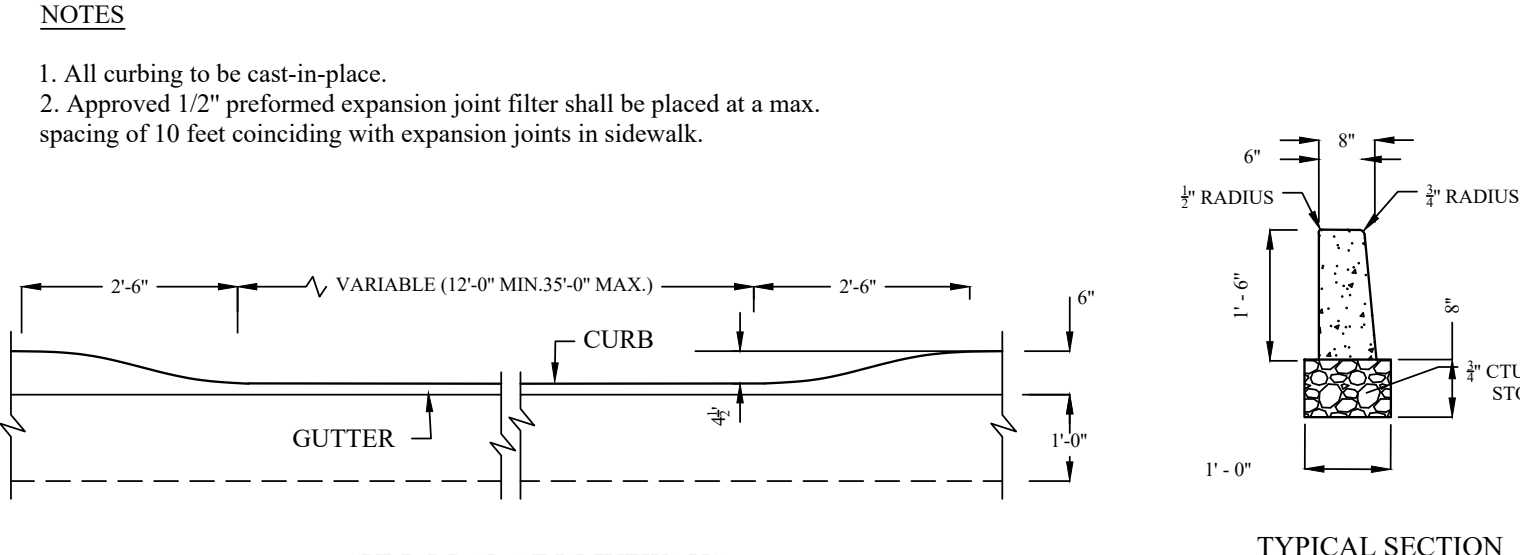
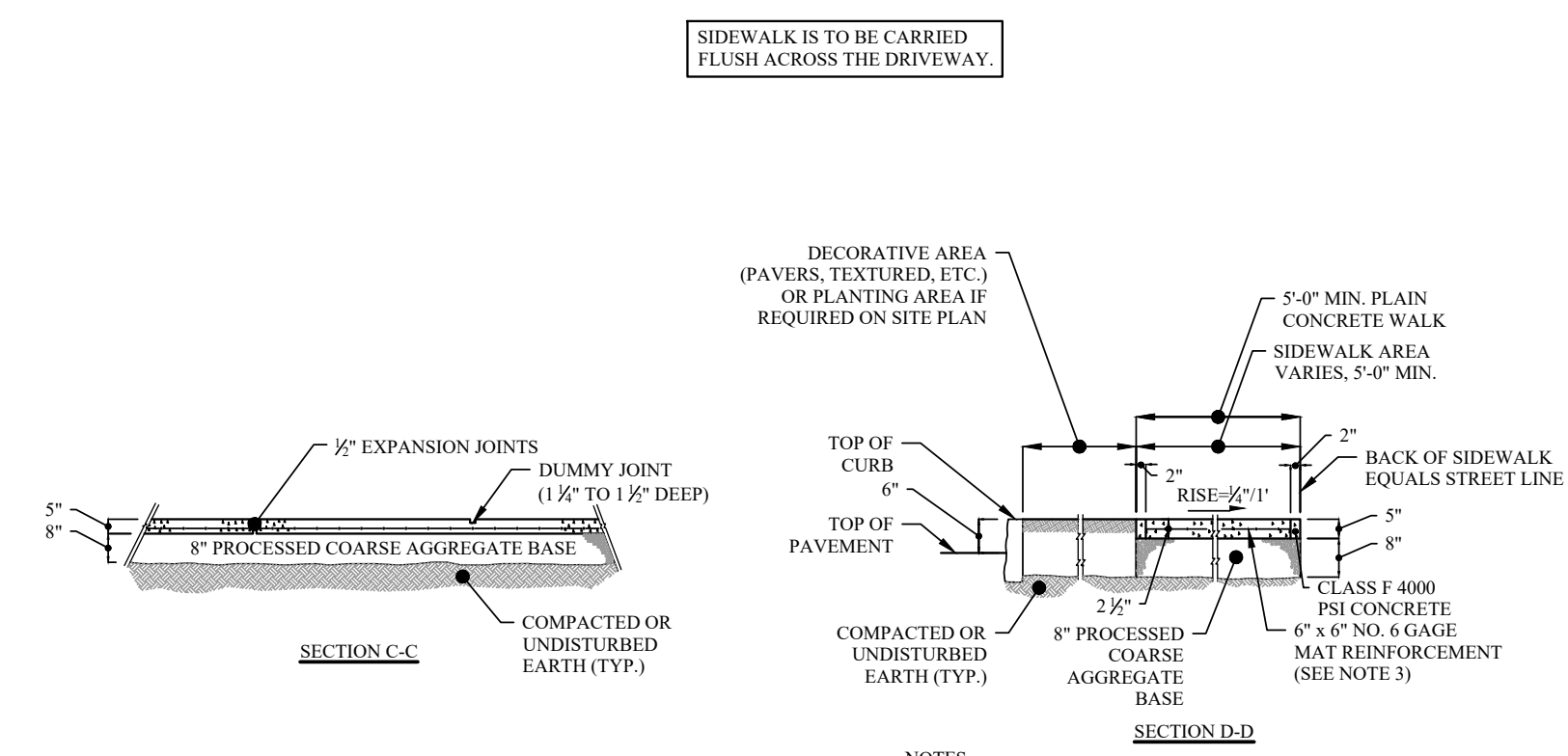
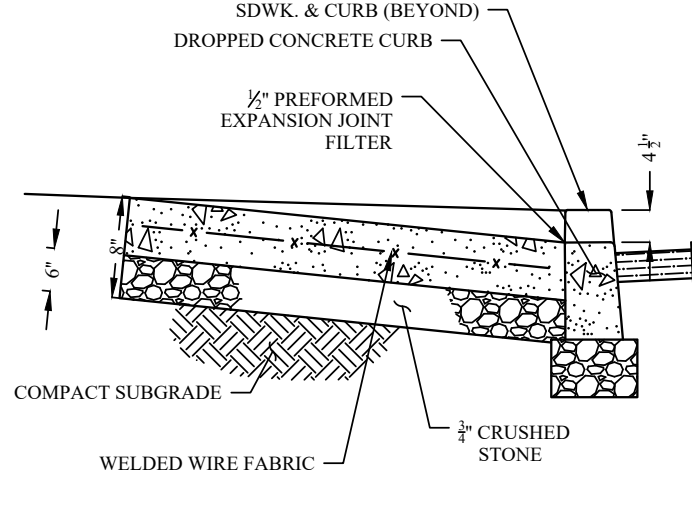
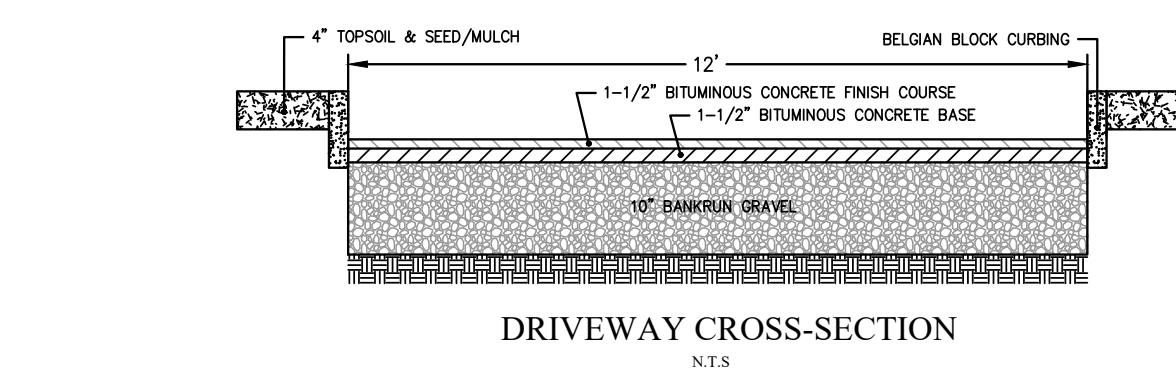
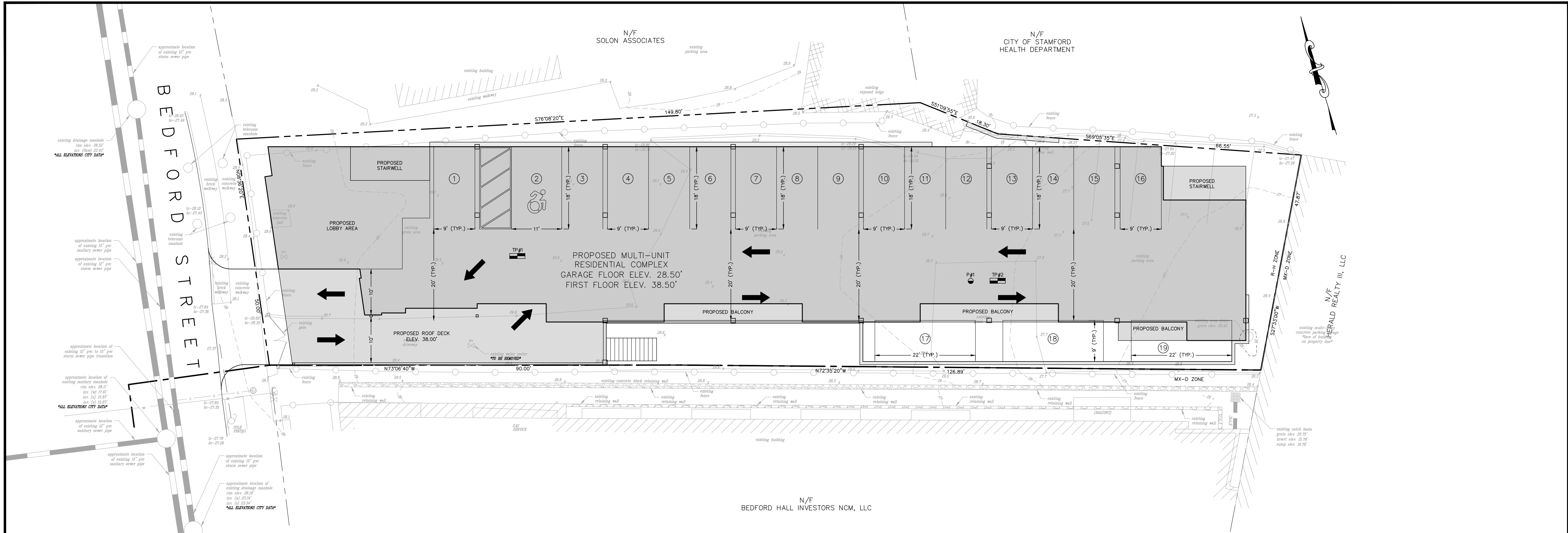
SCALE: 1" = 20'

REFERENCE DRAWINGS:

- IMPROVEMENT LOCATION SURVEY
- CE 1 - ZONING LAYOUT PLAN
- CE 2 - GRADING & DRAINAGE PLAN
- CE 3 - UTILITY LAYOUT PLAN
- CE 4 - SEDIMENT AND EROSION CONTROLS PLAN
- FULL SET OF ARCHITECTURAL PLANS

LEGEND

LIMIT OF PAVEMENT		ELECTRIC SERVICE	
CURBING		STORM GRAVITY SEWER	
RETAINING WALL		GAS SERVICE	
BLDG FOOTPRINT		CATCH BASIN (CB)	
WATER SERVICE		STORM DETENTION SYSTEM	
SANITARY GRAVITY SEWER			



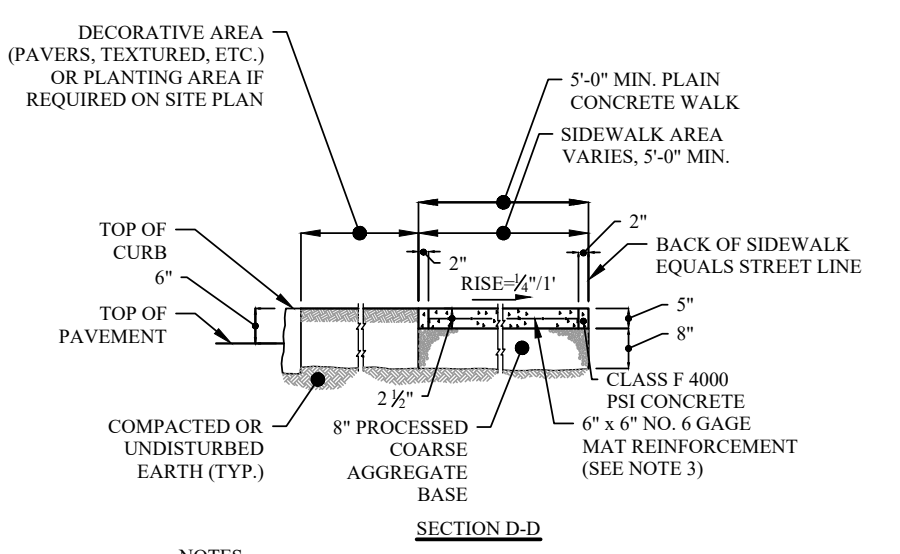
NOTES

1. All curbing to be cast-in-place.
2. Approved 1/2" preformed expansion joint filter shall be placed at a max. spacing of 10 feet coinciding with expansion joints in sidewalk.

NOTES

1. In areas with no sidewalks, driveway ramps shall extend a minimum of 4'-0" from back of curb.
2. Welded wire fabric (WWF): 4x4-W4.0xW4.0 (sheets only). Discontinue at expansion joints.
3. WWF shall be installed mid depth of ramp and shall be supported in concrete block or other approved materials.
4. Where grass plot is less than 4'-0" wide, ramp construction is to be as directed by the engineer.

SIDEWALK IS TO BE CARRIED FLUSH ACROSS THE DRIVEWAY.



- NOTES:**
1. MATERIALS, METHODS OF INSTALLATION, CURING, TESTING, SHALL CONFORM TO THE CITY OF STAMFORD STANDARDS.
 2. ANY WALKING SURFACE SHALL BE LIGHTLY BROOMED PERPENDICULAR TO THE TRAVEL WAY.
 3. WIRE MESH SHALL BE PLACED 2" BELOW THE SIDEWALK SURFACE MATERIAL SHALL BE 6" x 6" NO. 6 GAGE AND IN ACCORDANCE WITH ASTM 185 (ASHTO M5), AS SHOWN ON THE PLANS OR AS DIRECTED. WIRE MESH TO BE USED IN ALL COMMERCIAL SIDEWALK APPLICATIONS. MESH MAY BE OMITTED ONLY WHEN THE SPECIFIC AUTHORIZATION OF THE CITY ENGINEER ON A CASE-BY-CASE BASIS.

CITY OF STAMFORD
ENGINEERING BUREAU
SKETCHES & CALCULATIONS

Project No. & Name CITY STANDARDS
Subject CONCRETE CURBING DETAILS
Made by: PG Date: 3/21/14 Rev: _____
Chk. by: AC Date: 3/21/14
Sheet No. 1 of 1

CITY OF STAMFORD
ENGINEERING BUREAU
SKETCHES & CALCULATIONS

Project No. & Name CITY STANDARDS
Subject DRIVEWAY APRON DETAILS
Made by: PG Date: 3/21/14 Rev: _____
Chk. by: AC Date: 3/21/14
Sheet No. 1 of 1

TYPICAL SIDEWALK DETAILS
N.T.S.

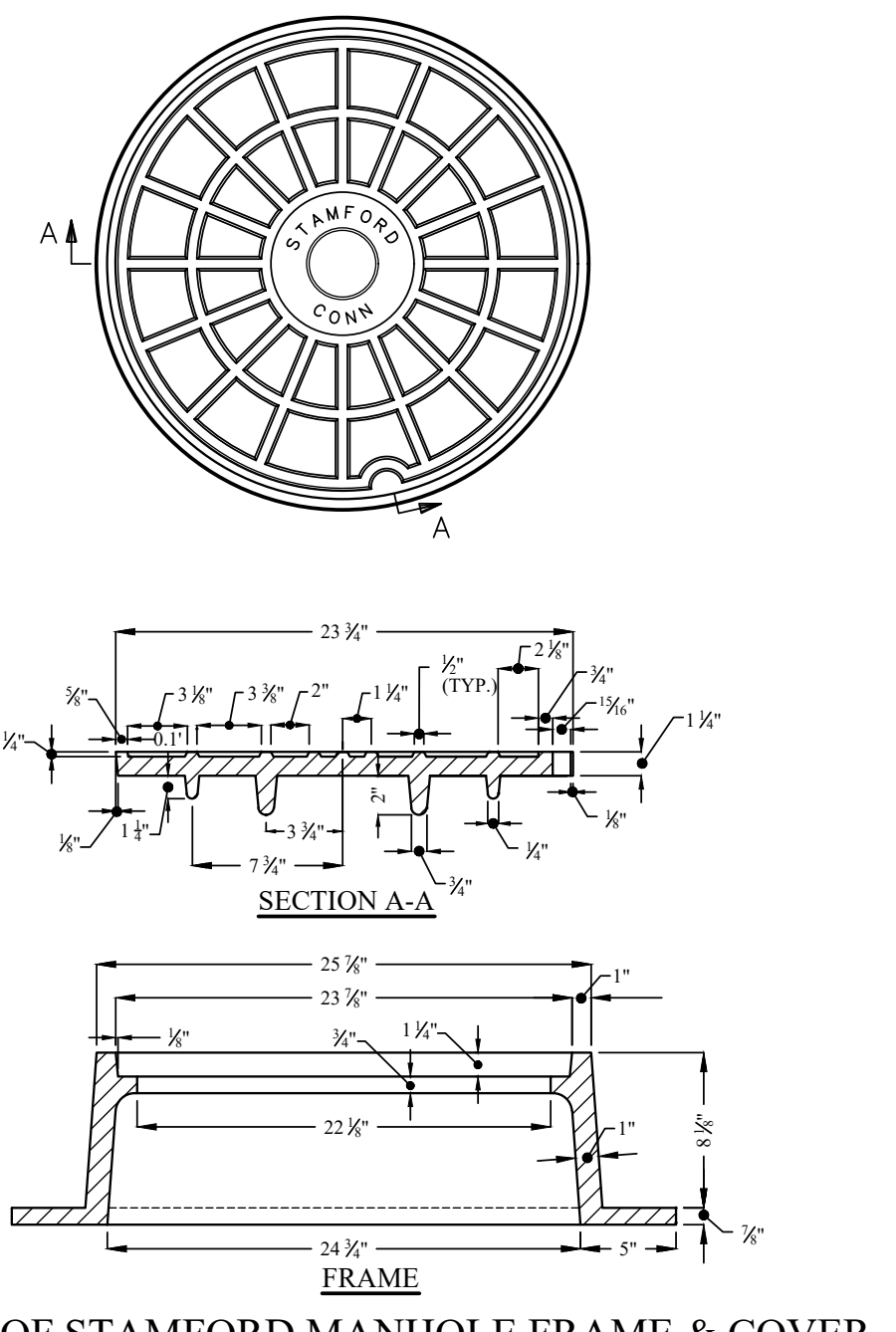
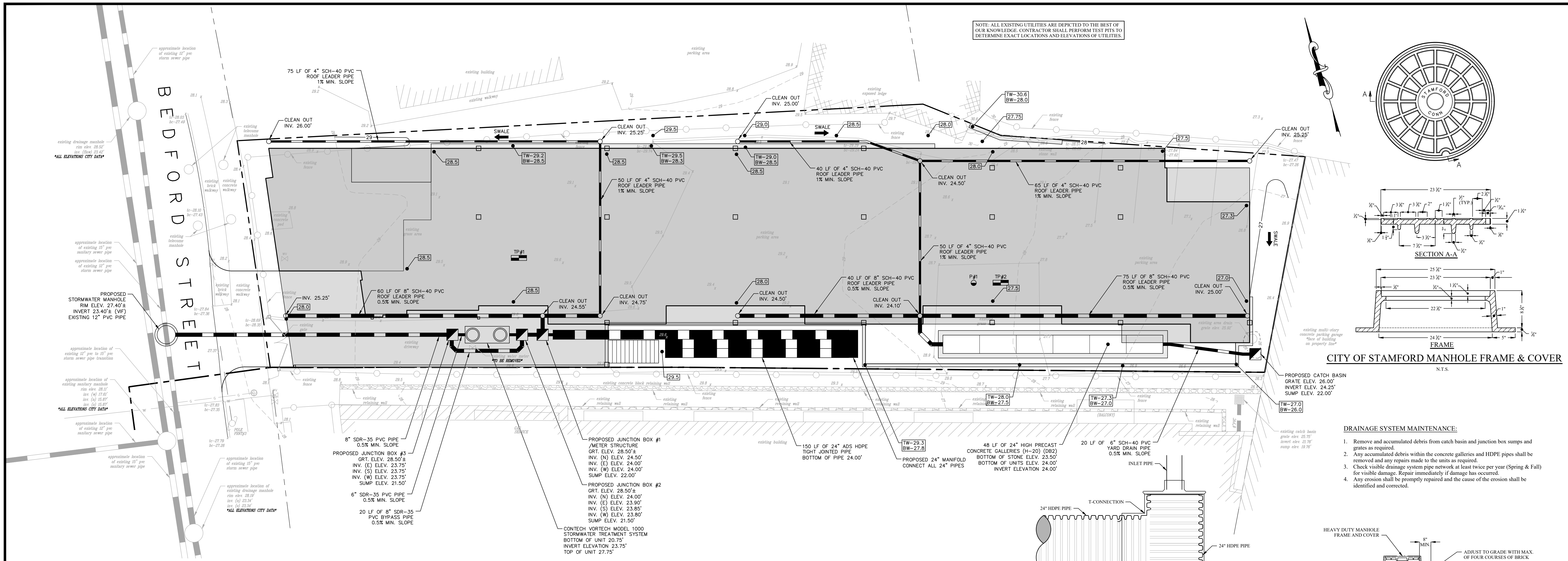


ZONING LAYOUT PLAN
589 BEDFORD STREET
STAMFORD, CT
Prepared for
BEDFORD PROPERTIES, LLC

SCALE: 1" = 10'

DATED: 03/08/2023
JOB NO: SA23-1
SHEET NO: CE-1

KOUSIDIS ENGINEERING, LLC
Land Development Consultants and Site Design
10-B First Street, Norwalk, CT 06855 E: jim@kousidisengineering.com
P: 203-557-8943 F: 203-557-8944 Web: www.kousidisengineering.com



CITY OF STAMFORD MANHOLE FRAME & COVER N.T.S.

- DRAINAGE SYSTEM MAINTENANCE:**
1. Remove and accumulated debris from catch basin and junction box sumps and grates as required.
 2. Any accumulated debris within the concrete galleries and HDPE pipes shall be removed and any repairs made to the units as required.
 3. Check visible drainage system pipe network at least twice per year (Spring & Fall) for visible damage. Repair immediately if damage has occurred.
 4. Any erosion shall be promptly repaired and the cause of the erosion shall be identified and corrected.

DEEP TEST PIT LOG
 CONDUCTED BY: KOUSIDIS ENGINEERING, LLC
 DATE CONDUCTED: DECEMBER 22, 2022

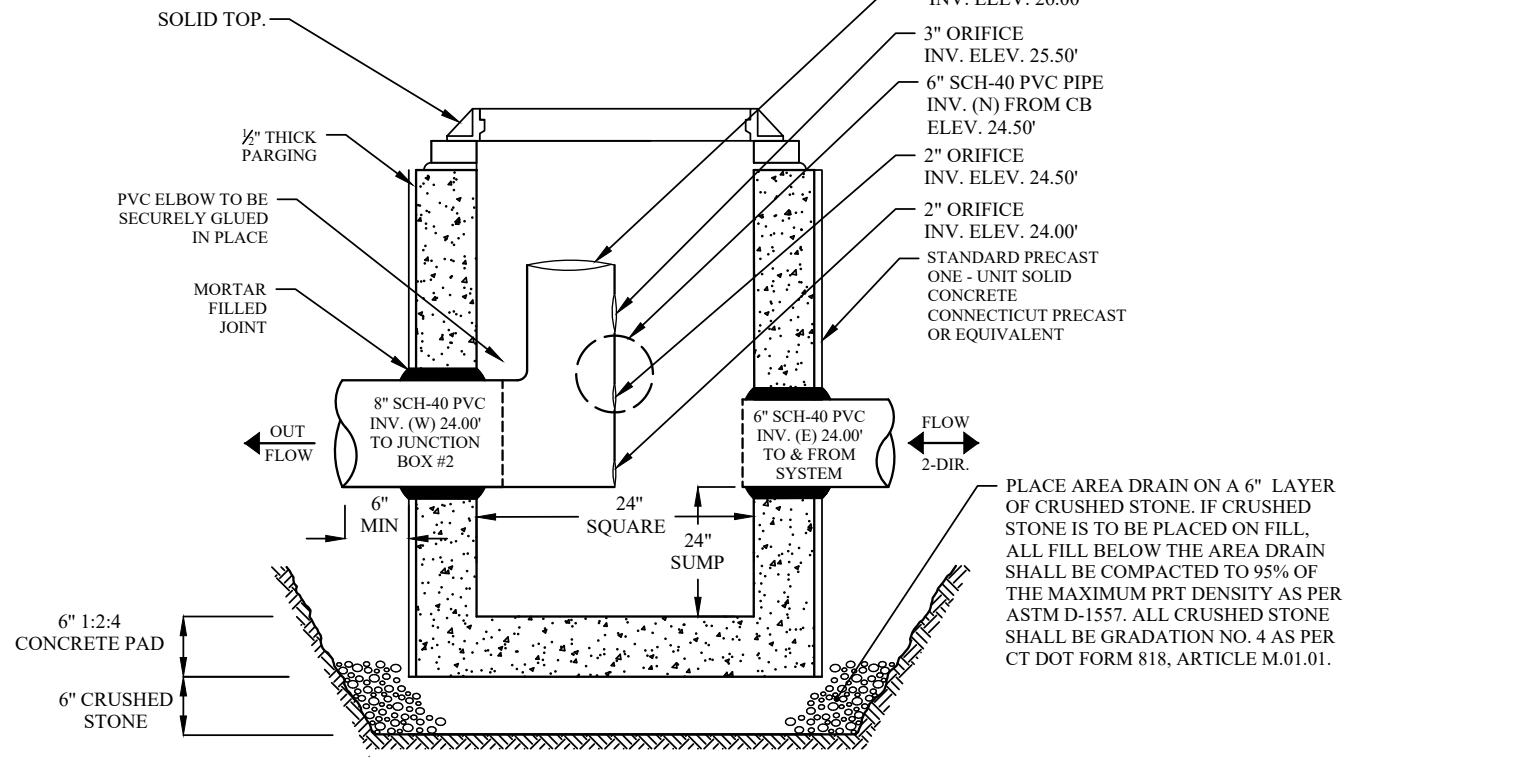
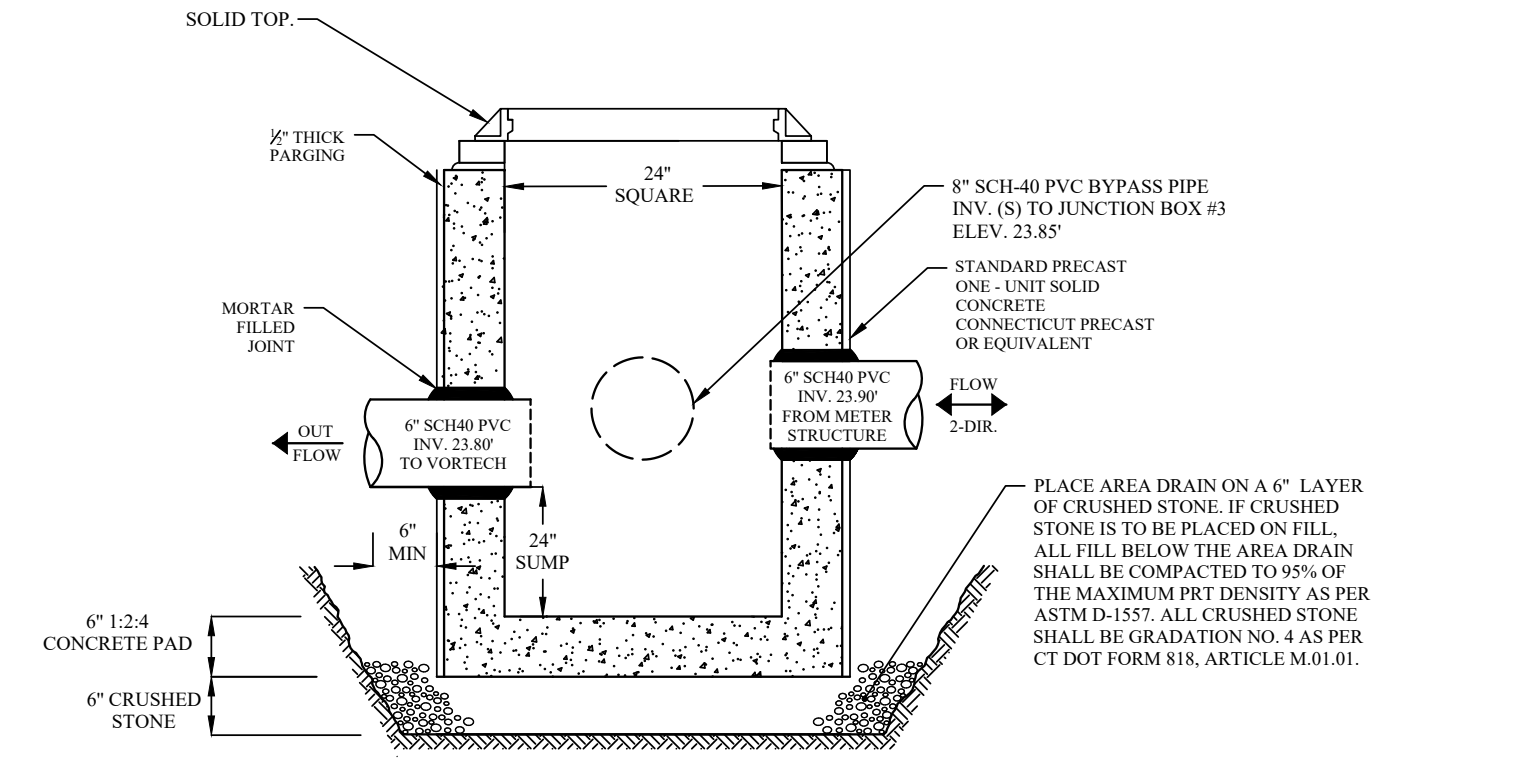
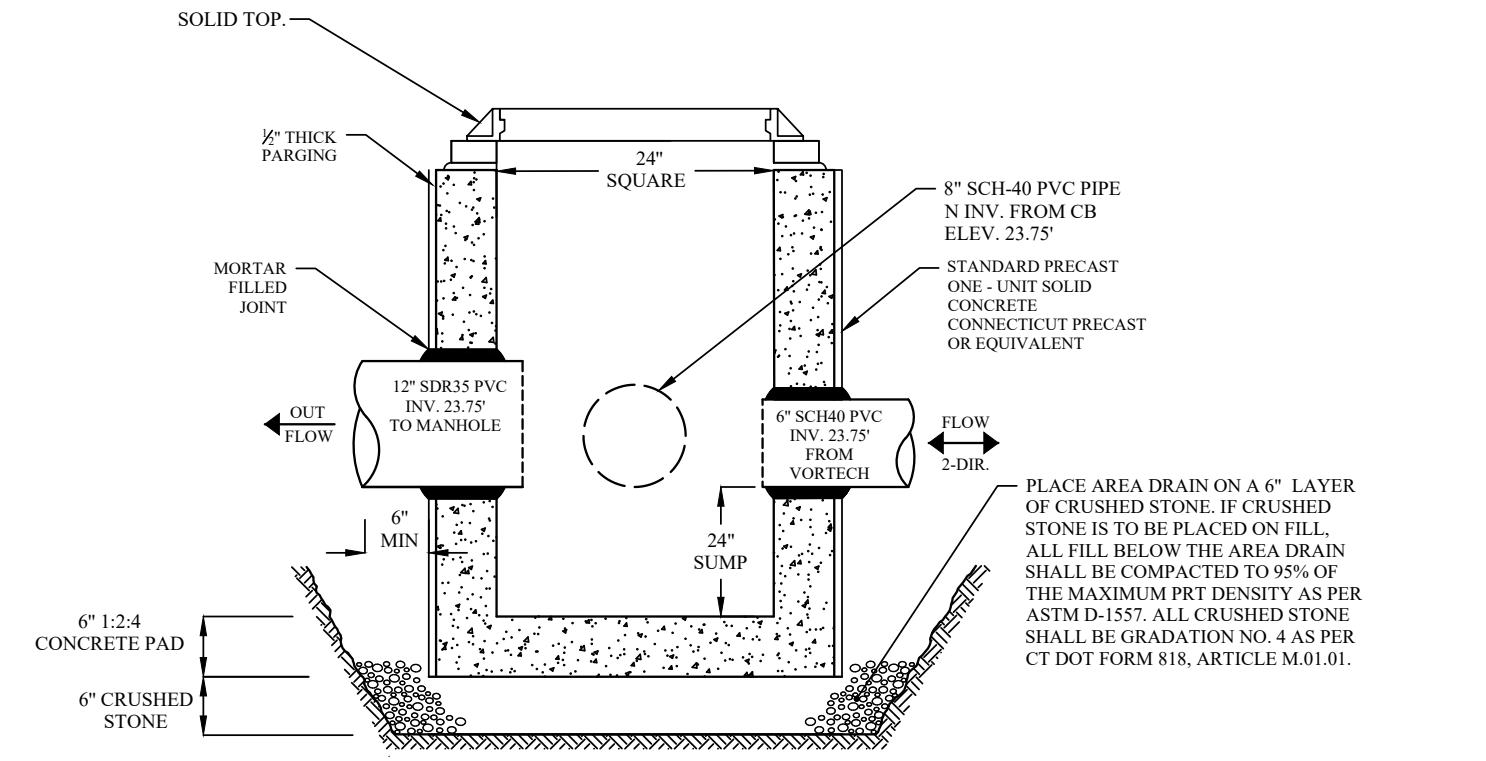
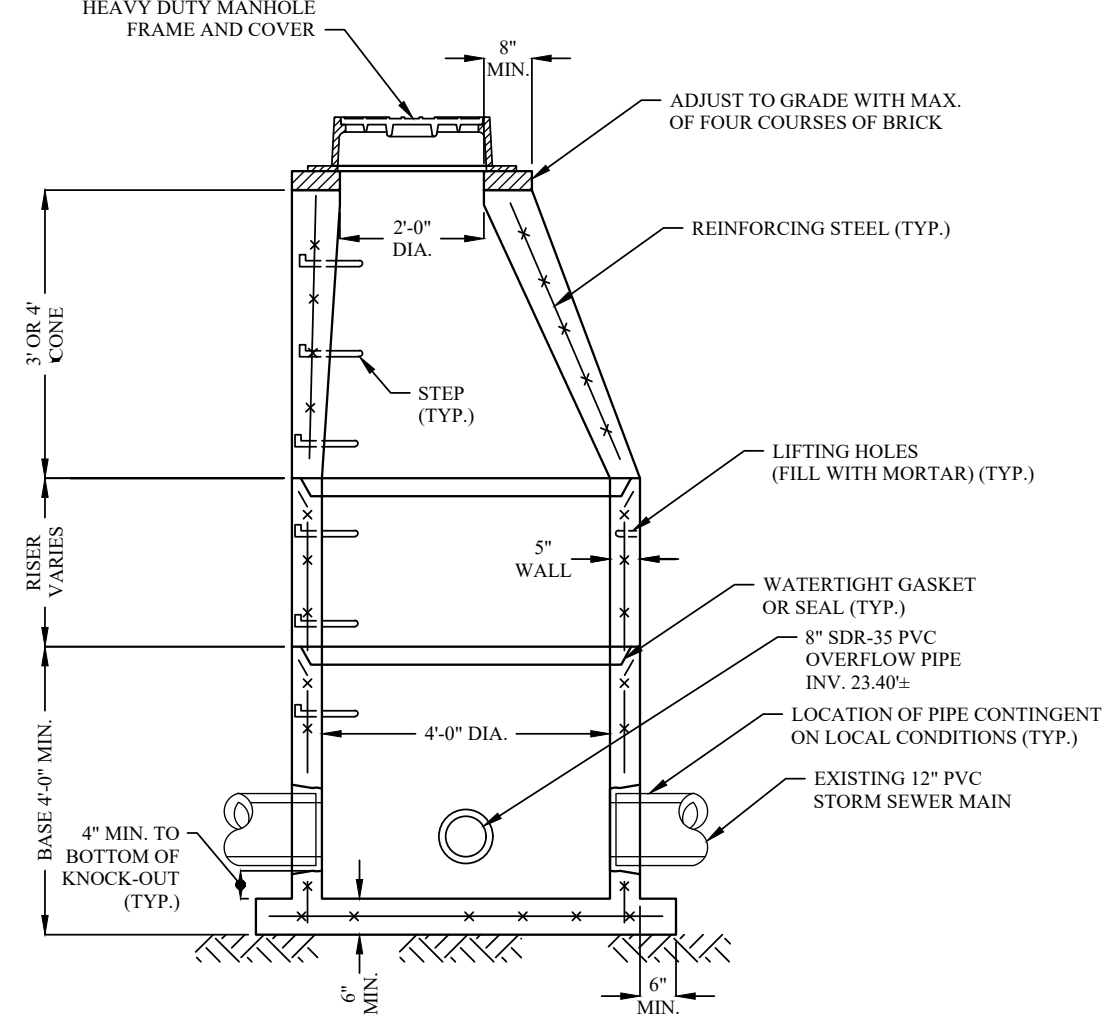
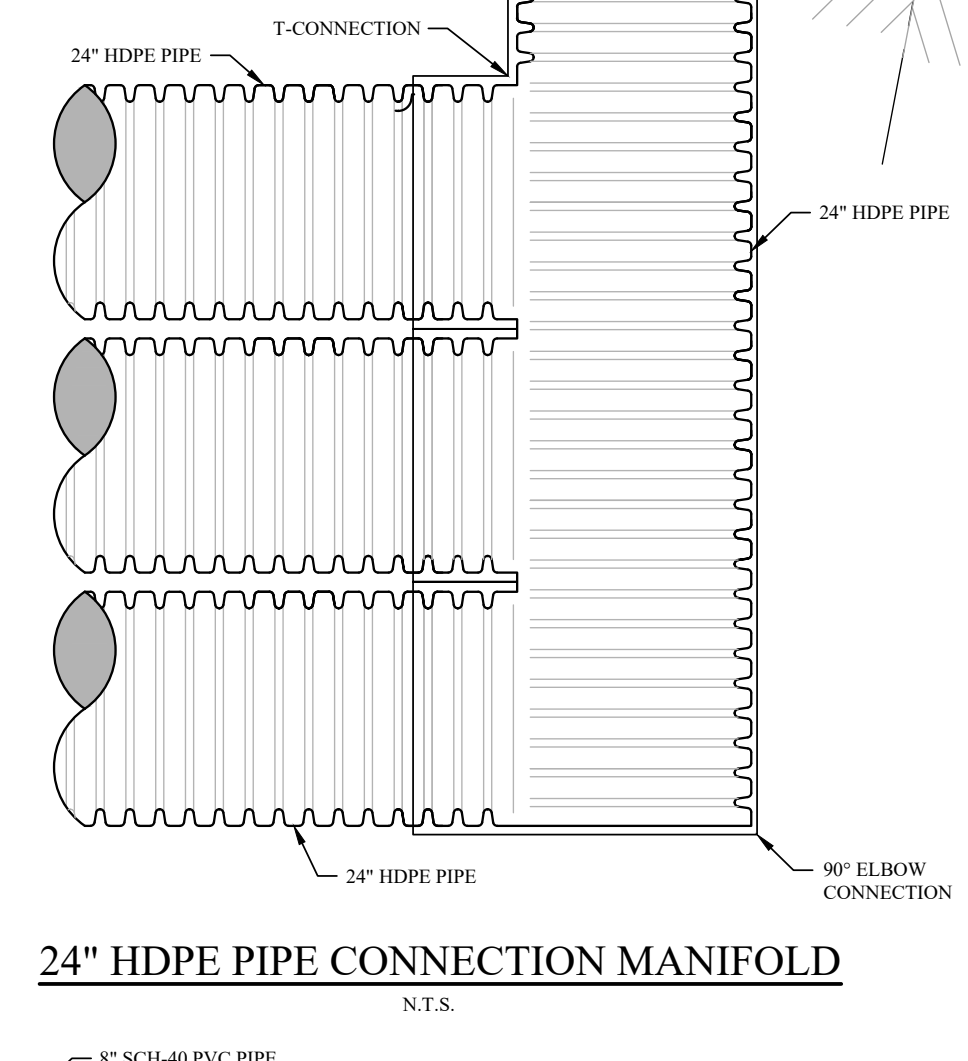
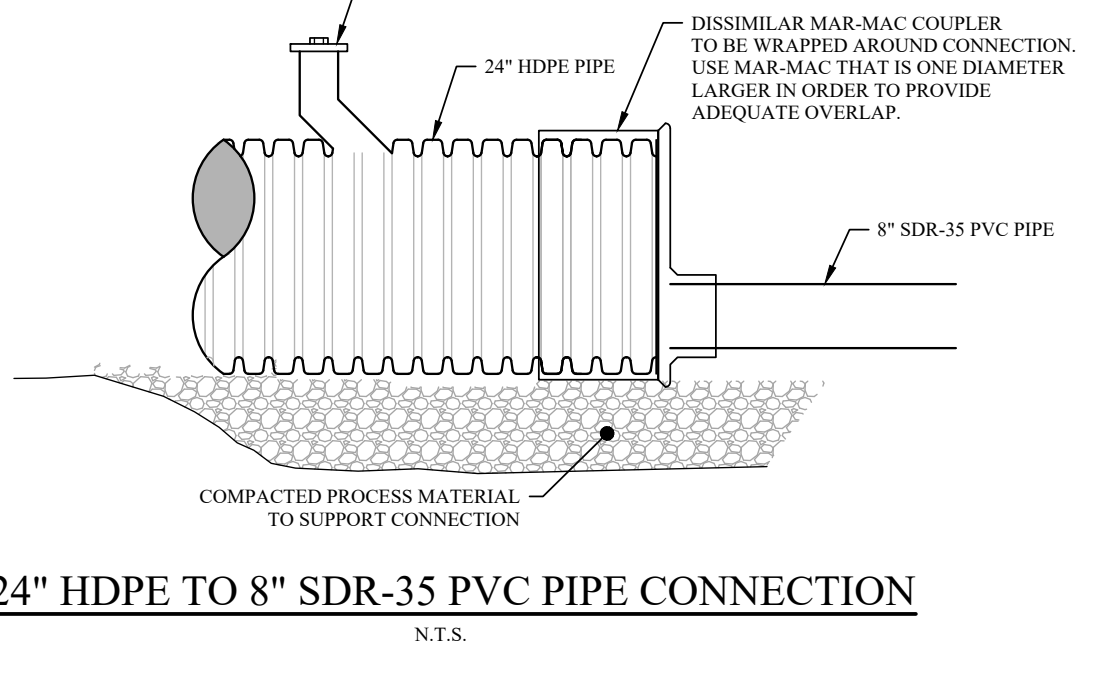
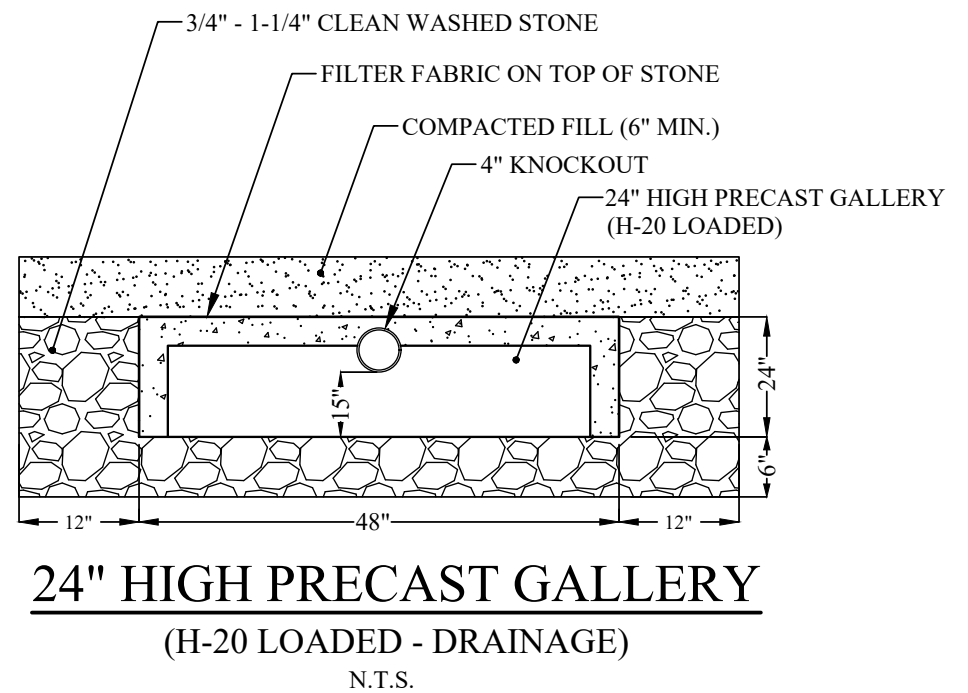
TEST PIT #1
 00-50" MISCELLANEOUS FILL
 50-60" ORIGINAL TOPSOIL
 60-68" YELLOW BROWN SILTY LOAM
 68-102" TAN MOTTLED FINE SAND & SILT
 *MOTTLES @ 68"
 *NO GROUND WATER
 *NO LEDGE
 *NO ROOTS

TEST PIT #2
 00-10" TOPSOIL
 10-42" ORANGE BROWN SILTY LOAM
 42-64" TAN FINE TO MEDIUM SAND WITH TRACE SILT
 *NO MOTTLES
 *NO GROUND WATER
 *LEDGE @ 64"
 *NO ROOTS

PERCOLATION TEST DATA:

P#1
 PERFORMED BY: KOUSIDIS ENGINEERING, LLC
 DATE: DECEMBER 22, 2022
 DIAMETER: 9" SANITARIAN: N/A
 DEPTH: 32" PRE SOAK TIME: 10:00

TIME	TIME INCREMENT	DEPTH TO WATER	DROP IN INCHES	PERC. RATE (MIN./INCH)
11:00	-	9.25"	-	-
11:10	10.0 MIN.	12.50"	3.25"	3.08
11:20	10.0 MIN.	14.75"	2.25"	4.44
11:30	10.0 MIN.	16.25"	1.50"	6.67
11:40	10.0 MIN.	17.50"	1.25"	8.00
11:50	10.0 MIN.	18.75"	1.25"	8.00
12:00	10.0 MIN.	20.00"	1.25"	8.00

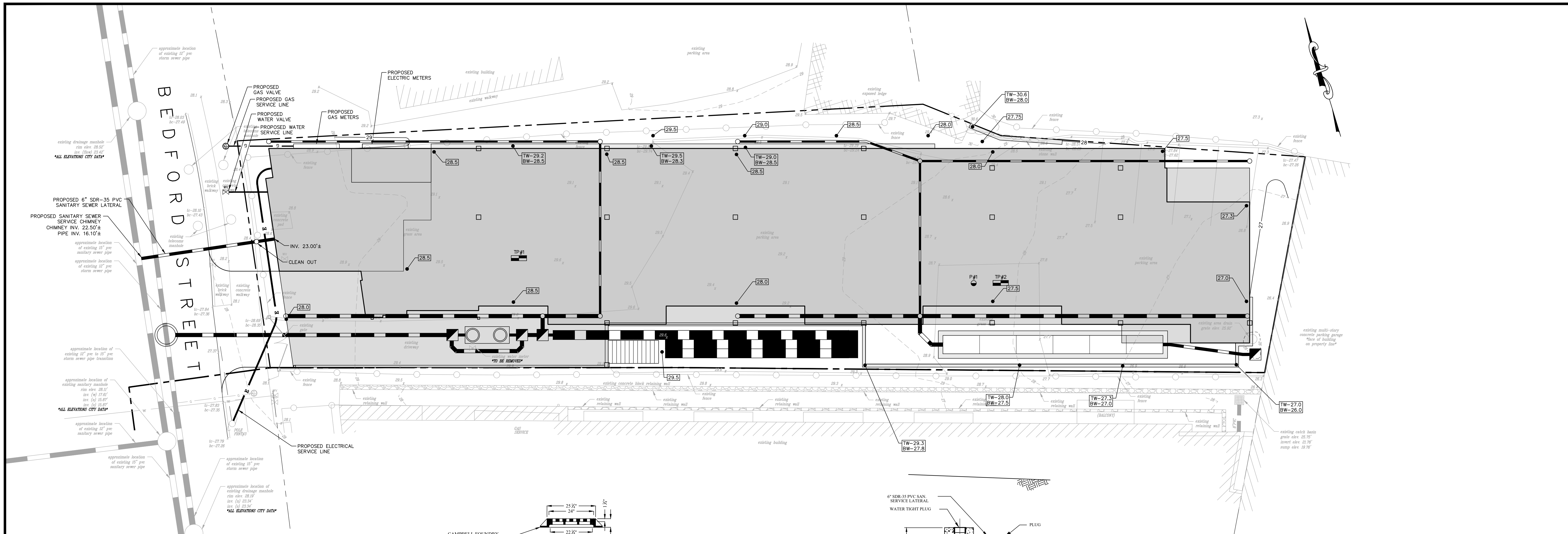


GRADING & DRAINAGE PLAN
 589 BEDFORD STREET
 STAMFORD, CT
 Prepared for
BEDFORD PROPERTIES, LLC

SCALE: 0 10 20
 1" = 10'

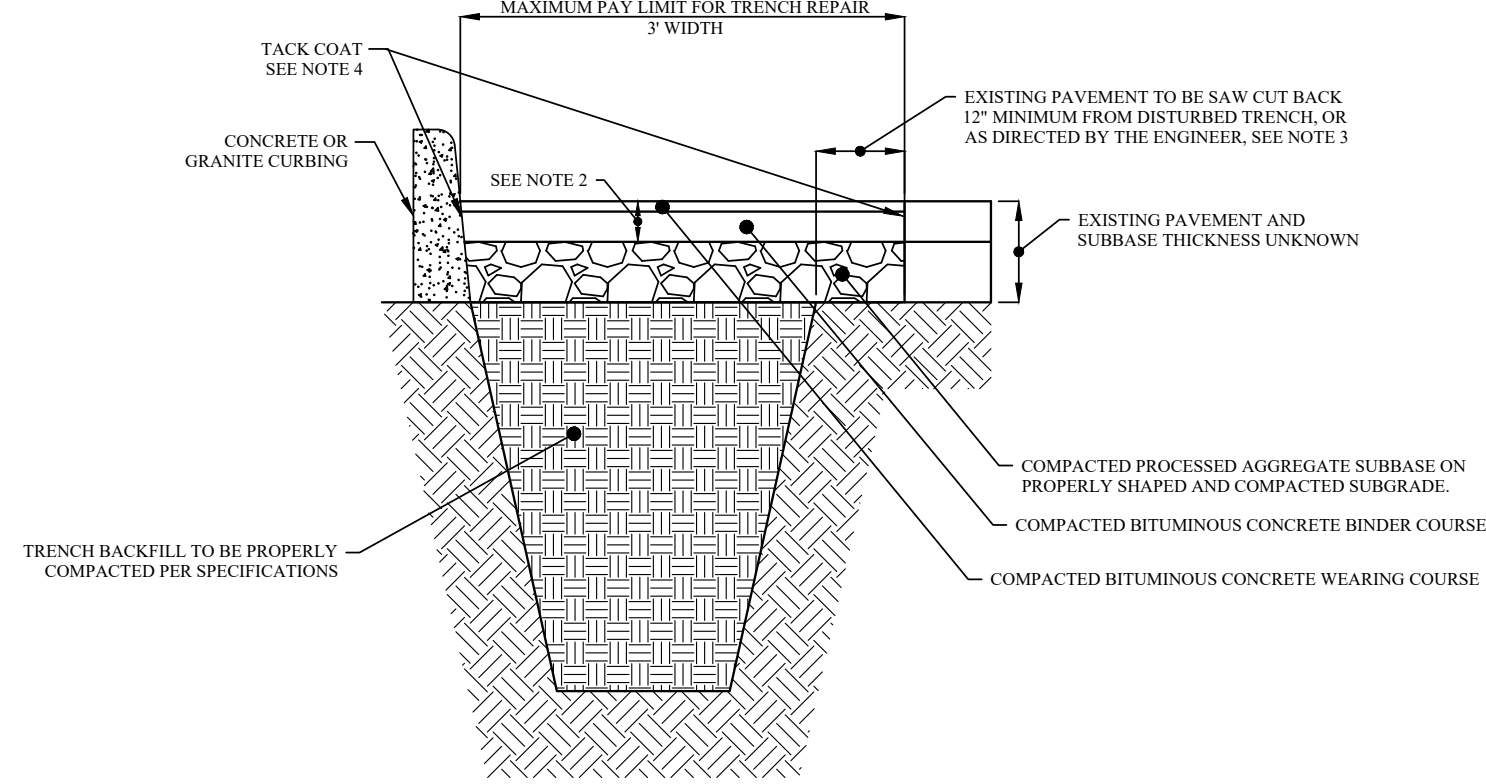
DATED: 03/08/2023
 JOB NO: SA23-1
 SHEET NO: CE-2

KOUSIDIS ENGINEERING, LLC
 Land Development Consultants and Site Design
 10-B First Street, Norwalk, CT 06855 E: jim@kousidisengineering.com
 P: 203-557-8943 F: 203-557-8944 Web: www.kousidisengineering.com



PROPOSED 6" SDR-35 PVC SANITARY SEWER LATERAL
 PROPOSED SANITARY SEWER SERVICE CHIMNEY INVERT 22.50'±
 PIPE INVERT 16.10'±

BEDFORD STREET

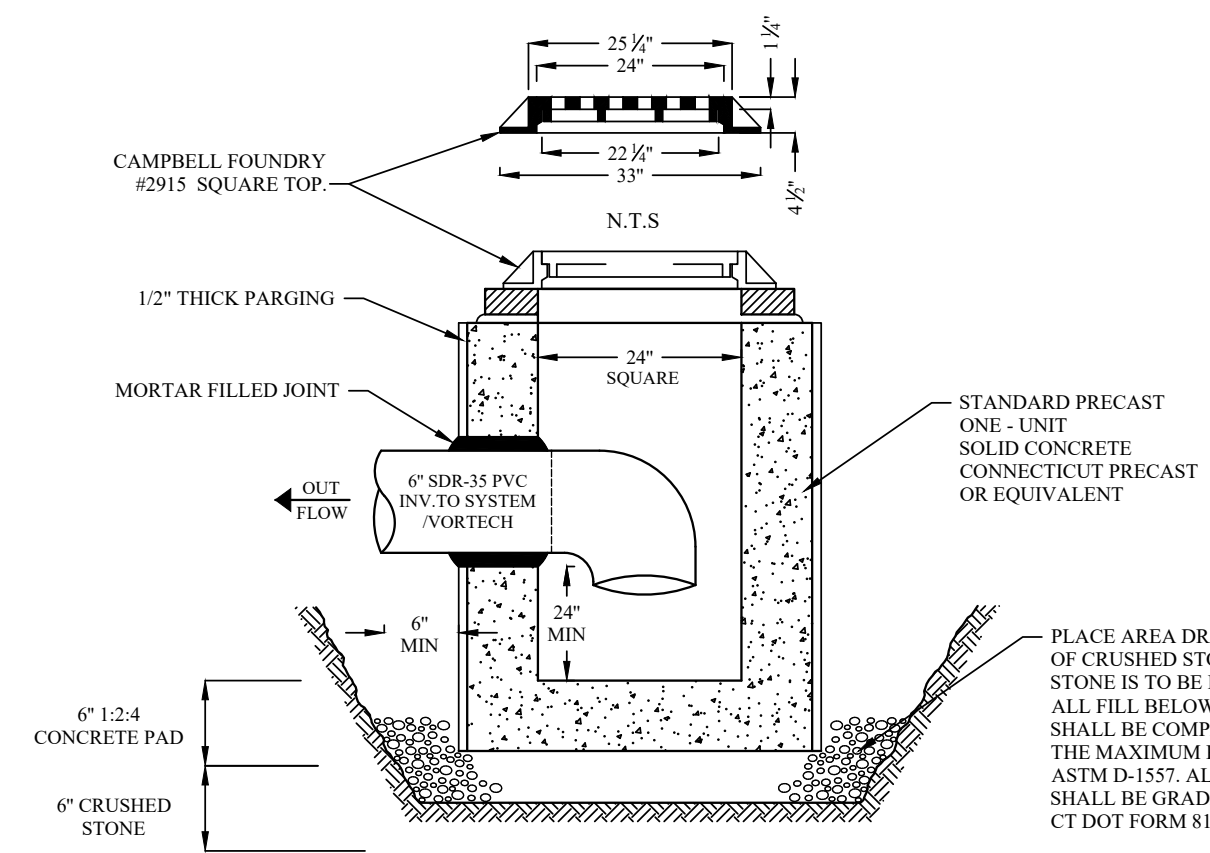


PERMANENT TRENCH REPAIR
 ASPHALT ROADWAY
 N.T.S.

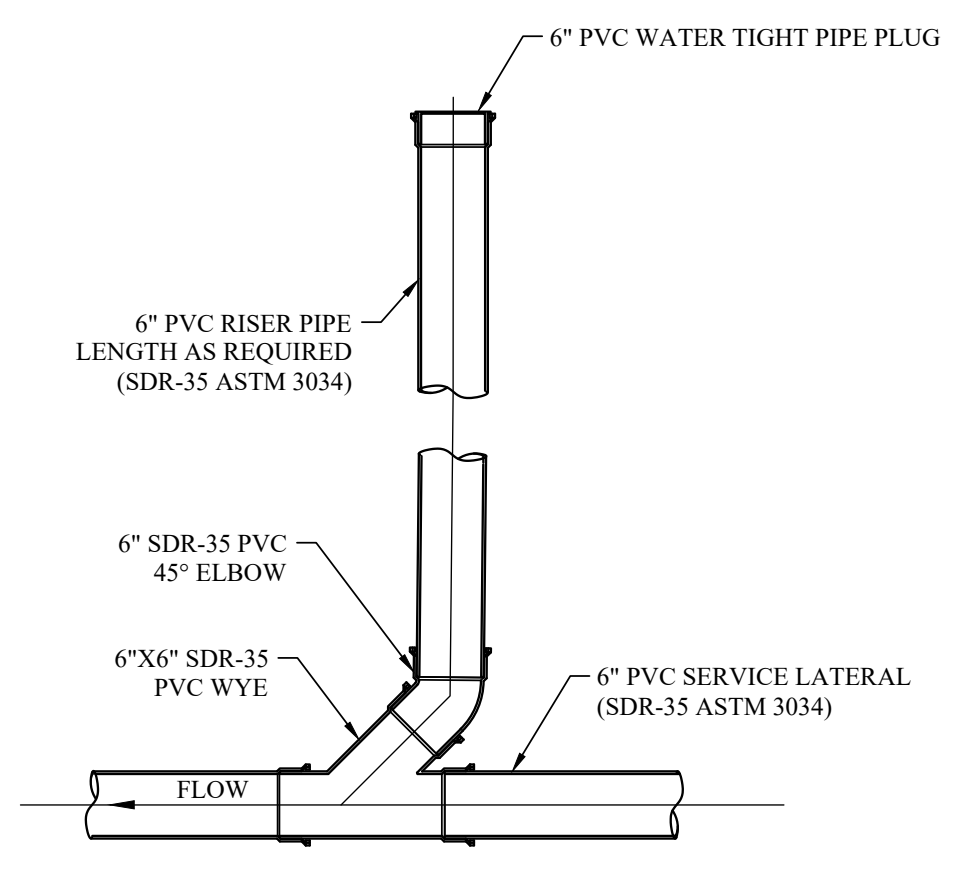
- NOTES:
1. ALL WORK TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONNECTICUT DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, AND INCIDENTAL CONSTRUCTION, LATEST EDITION OR AS DIRECTED BY THE ENGINEER.
 2. SHOULD THE TOTAL THICKNESS OF EXISTING PAVEMENT EXCEED THICKNESS OF PROPOSED BINDER PLUS WEARING COURSE, THE THICKNESS OF BINDER COURSE SHALL BE INCREASED SUCH THAT THE TOTAL THICKNESS OF REPAIR BITUMINOUS PAVEMENT MATCHES EXISTING.
 3. CUTBACKS SHALL BE MADE IMMEDIATELY PRIOR TO TRENCH REPAIR AND NOT WHEN TRENCH IS EXCAVATED. CUTBACKS SHALL BE STRAIGHT AND EVEN TO ELIMINATE IRREGULAR EDGES.
 4. TACK COAT SHALL BE APPLIED TO THE FULL DEPTH OF EXISTING PAVEMENT ALONG THE PERIMETER EDGES OF THE TRENCH AND ALL CONTACT SURFACES SUCH AS CURBING AND STRUCTURES (MANHOLES AND CATCH BASINS). TACK COAT SHALL BE APPLIED BETWEEN LIFTS COURSES THAT HAVE BEEN IN PLACE LONGER THAN FIVE (5) DAYS.
 5. HMA 50.50 BINDER COURSE SHALL NOT BE PLACED IN LIFTS GREATER THAN 2" COMPACTED THICKNESS.
 6. NORTH STREET IS A MINOR ARTERIAL ROAD. BINDER COURSE THICKNESS MUST BE 4/8" INCHES FOR PERMANENT TRENCH REPAIR.

PAVEMENT COMPOSITION		
ROADWAY CLASSIFICATION	COLLECTOR	ARTERIAL
WEARING COURSE	1 1/2" HMA 50.375	1 1/2" HMA 50.375
BINDER COURSE	2 1/2" HMA 50.50	4 1/2" HMA 50.50
PROC. AGG. SUBBASE	8"	8"

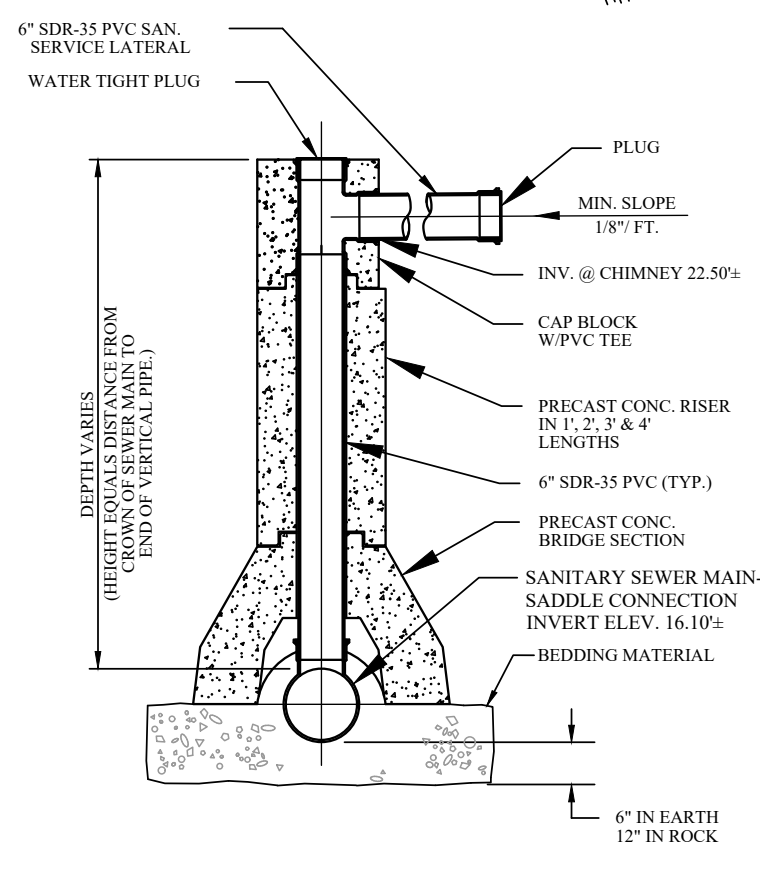
TABLE NOTES:
 1. ENGINEER TO DETERMINE ROADWAY CLASSIFICATION.
 2. THICKNESS INDICATED IS THAT OF COMPACTED MATERIAL.
 3. * DENOTES COURSES REQUIRING MULTIPLE LIFTS.



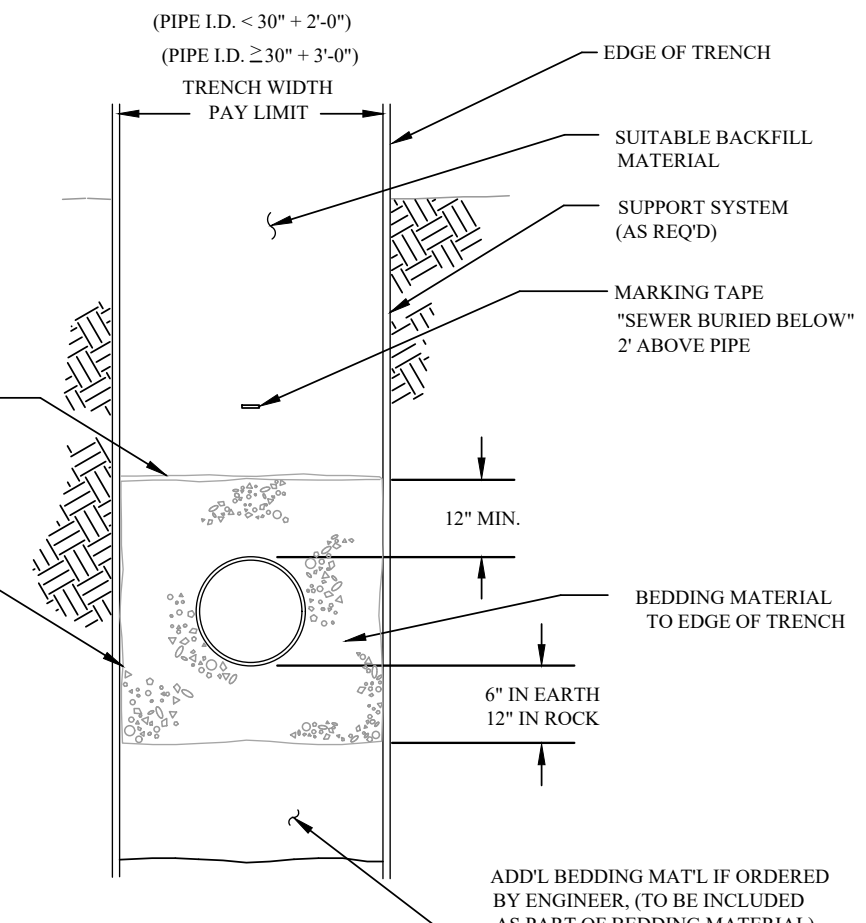
CATCH BASIN
 N.T.S.



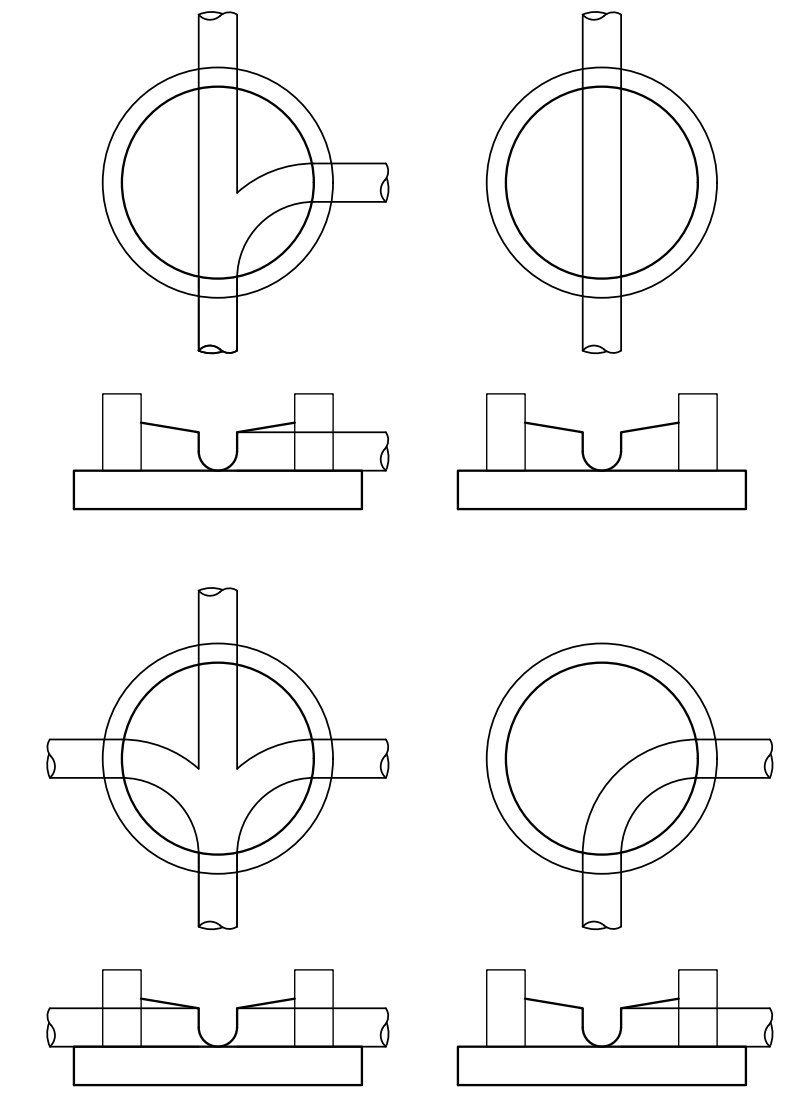
CLEAN OUT DETAIL
 N.T.S.



PRECAST CONCRETE SERVICE CHIMNEY
 N.T.S.



TYPICAL TRENCH SECTION
 SANITARY SEWER
 N.T.S.



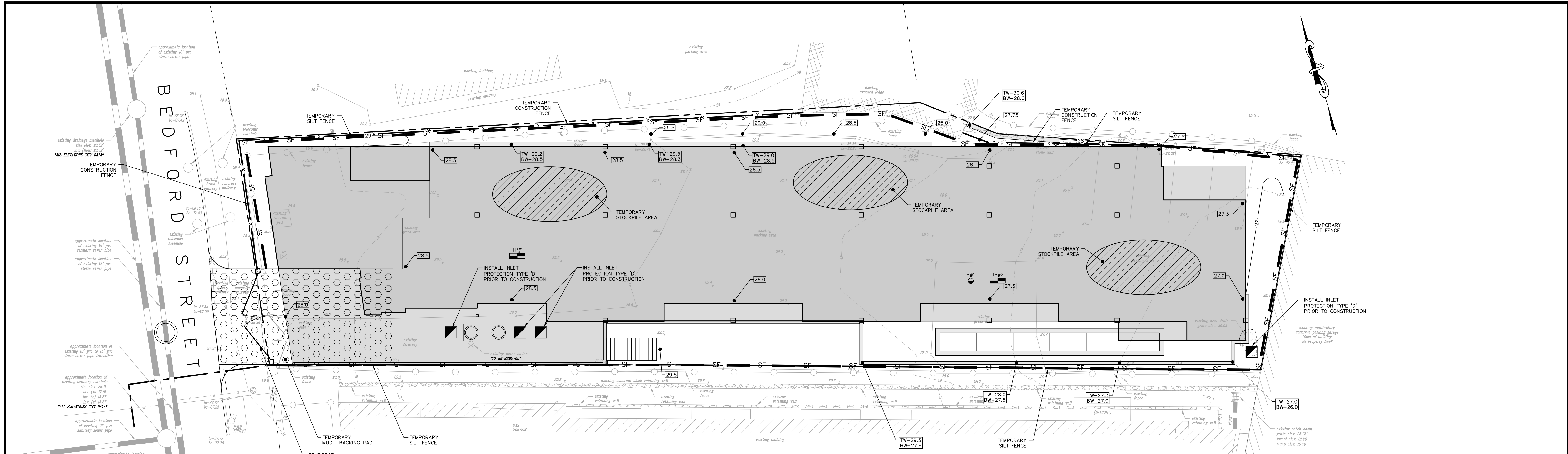
TYPICAL STORMWATER MANHOLE INVERTS
 N.T.S.

UTILITY LAYOUT PLAN
 589 BEDFORD STREET
 STAMFORD, CT
 Prepared for
BEDFORD PROPERTIES, LLC

SCALE: 0 10 20
 1" = 10'

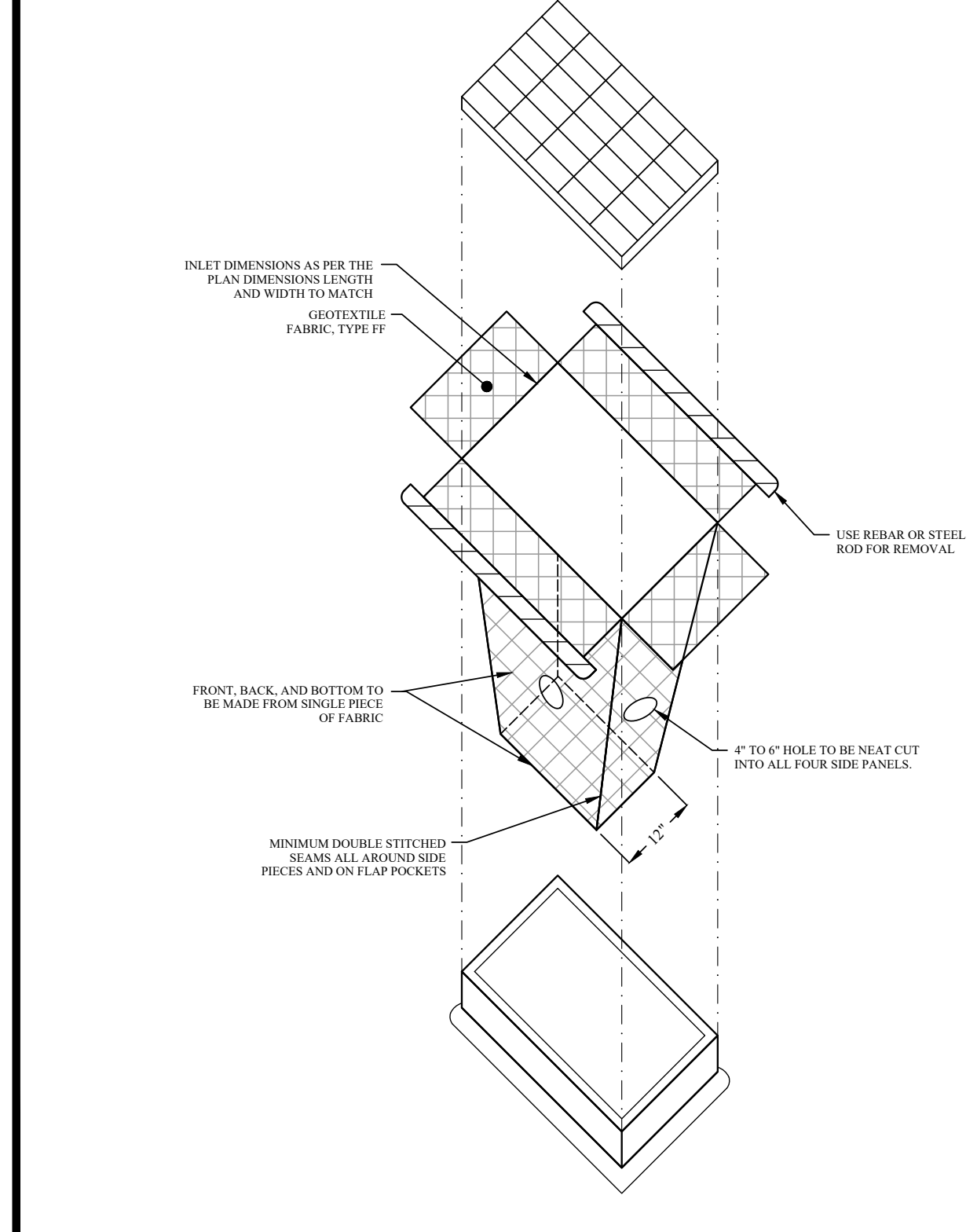
DATED: 03/08/2023
 JOB NO: SA23-1
 SHEET NO: CE-3

KOUSDIS ENGINEERING, LLC
 Land Development Consultants and Site Design
 10-B First Street, Norwalk, CT 06855 E: jim@kousdisengineering.com
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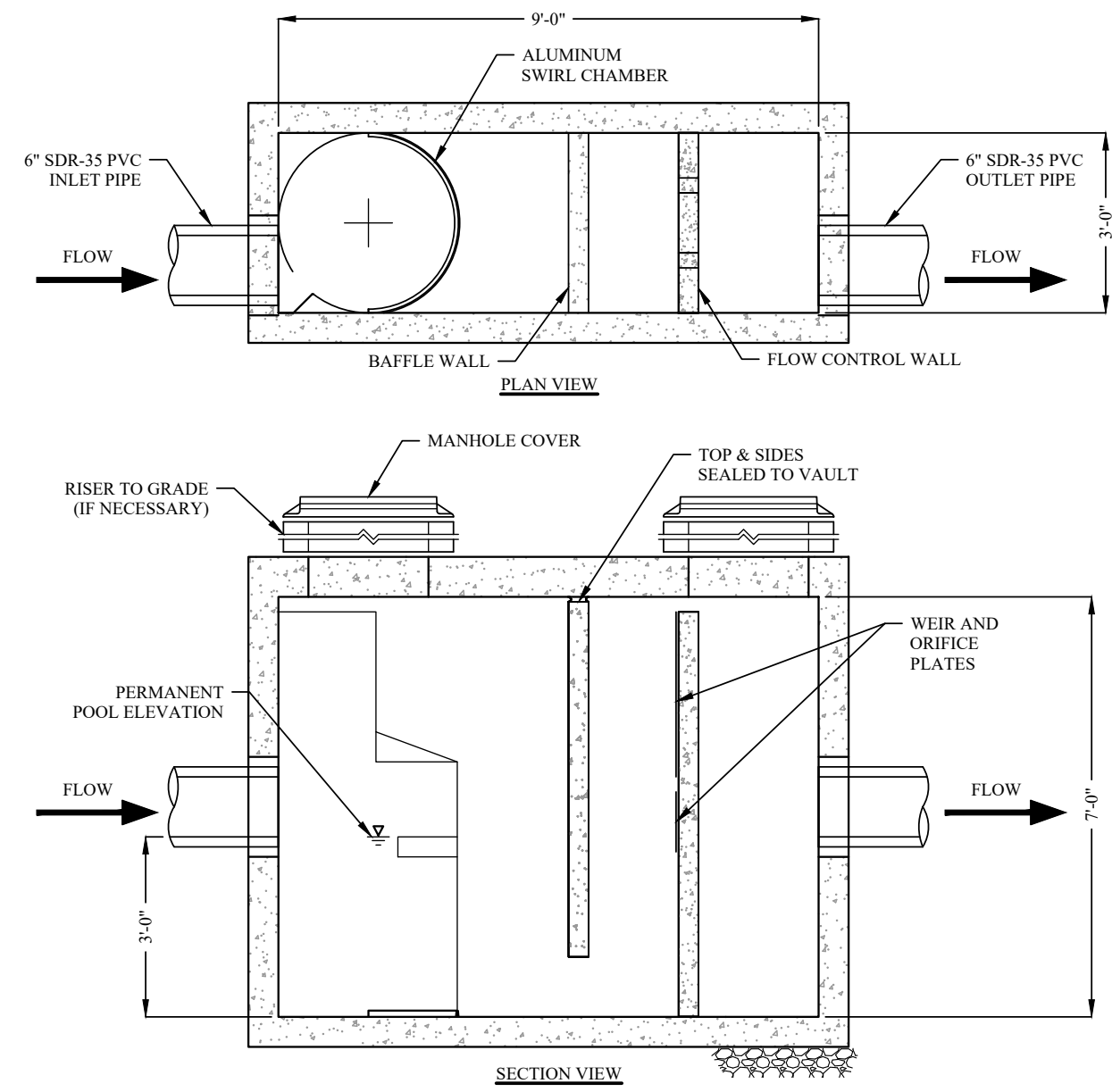


- CITY OF STAMFORD STANDARD NOTES:**
1. A STREET OPENING PERMIT IS REQUIRED FOR ALL WORK WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY.
 2. ALL WORK WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY SHALL BE CONSTRUCTED TO CITY OF STAMFORD REQUIREMENTS, THE STATE OF CONNECTICUT BASIC BUILDING CODE AND THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL.
 3. THE ENGINEERING BUREAU OF THE CITY OF STAMFORD SHALL BE NOTIFIED THREE DAYS PRIOR TO ANY COMMENCEMENT OF CONSTRUCTION OR WORK WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY.
 4. TREES WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY TO BE REMOVED SHALL BE POSTED IN ACCORDANCE WITH THE TREE ORDINANCE.
 5. PRIOR TO ANY EXCAVATION THE CONTRACTOR AND/OR APPLICANT OWNER, IN ACCORDANCE WITH PUBLIC ACT 77-350, SHALL BE REQUIRED TO CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 FOR MARK OUT OF UNDERGROUND UTILITIES.
 6. ALL RETAINING WALLS THREE (3) FEET OR HIGHER MEASURED FROM FINISHED GRADE AT THE BOTTOM OF THE WALL TO FINISHED GRADE AT THE TOP OF THE WALL AND RETAINING WALLS SUPPORTING A SURCHARGE OR IMPOUNDING CLASS I, II OR III LIQUIDS ARE REQUIRED TO HAVE A BUILDING PERMIT. RETAINING WALLS SHALL BE DESIGNED AND INSPECTED DURING CONSTRUCTION BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, RETAINING WALLS SHALL BE CERTIFIED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT.
 7. CERTIFICATION WILL BE REQUIRED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT THAT WORK HAS BEEN COMPLETED IN COMPLIANCE WITH THE APPROVED DRAWINGS.
 8. A FINAL IMPROVEMENT LOCATION SURVEY WILL BE REQUIRED BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF CONNECTICUT.
 9. CONNECTION TO A CITY-OWNED STORM SEWER SHALL REQUIRE THE WAIVER COVERING STORM SEWER CONNECTION TO BE FILED WITH THE CITY OF STAMFORD ENGINEERING BUREAU.
 10. GRANITE BLOCK OR OTHER DECORATIVE STONE OR BRICK, DEPRESSED CURB, DRIVEWAY APRON AND CURBING WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY SHALL REQUIRE THE WAIVER COVERING GRANITE BLOCK DEPRESSED CURB AND DRIVEWAY APRONS TO BE FILED WITH THE CITY OF STAMFORD ENGINEERING BUREAU.
 11. SEDIMENT AND EROSION CONTROLS SHALL BE MAINTAINED AND REPAIRED AS NECESSARY THROUGHOUT CONSTRUCTION UNTIL THE SITE IS STABILIZED.
 12. TO OBTAIN A CERTIFICATE OF OCCUPANCY, SUBMITTAL MUST INCLUDE ALL ITEMS OUTLINED IN THE CHECKLIST FOR CERTIFICATE OF OCCUPANCY (APPENDIX D OF THE CITY OF STAMFORD DRAINAGE MANUAL).

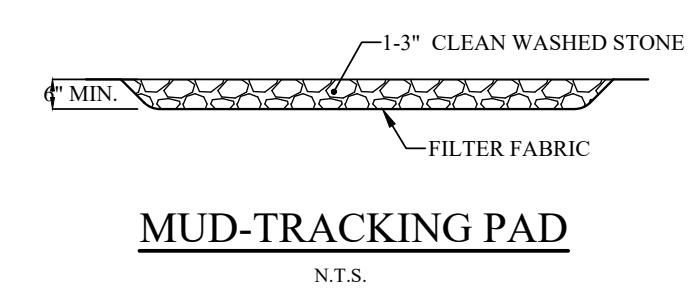
- GENERAL NOTES:**
1. ALL SURVEY DATA, BOUNDARY LINES AND TOPOGRAPHY, ARE FROM A "PROPERTY AND TOPOGRAPHIC SURVEY" PREPARED FOR BEDFORD PROPERTIES, LLC AT 589 BEDFORD STREET, STAMFORD, CT, PREPARED BY REDNISS & MEAD, DATED JULY 28, 2021.
 2. ALL CONSTRUCTION SHALL COMPLY WITH THE TOWN OF STAMFORD REQUIREMENTS, THE STATE OF CONNECTICUT BASIC BUILDING CODE AND THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
 3. INFORMATION OF EXISTING UTILITIES HAS BEEN COMPILED FROM VARIOUS SOURCES INCLUDING UTILITY COMPANY RECORDS, MUNICIPAL RECORD MAPS AND FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES.
 4. THE PROPERTY WILL BE SERVED BY PUBLIC WATER AND MUNICIPAL SEWER SYSTEM.
 5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ANY EXCAVATION SAFEGUARDS, NECESSARY BARRICADES, FLAGMEN, ETC., FOR TRAFFIC CONTROL AND SITE SAFETY. ALL WORK SHALL BE DONE IN ACCORDANCE WITH OSHA REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH OSHA REQUIREMENTS.
 6. REMOVE STUMPS AND BRUSH FROM SITE, OR CHIP AND USE DURING LANDSCAPING. DO NOT BURY STUMPS ON SITE.
 7. THE WORK SHALL BE DONE IN CONFORMANCE WITH THE PLANS UNLESS CHANGES HAVE BEEN APPROVED IN WRITING BY THE DESIGN ENGINEER PRIOR TO THE WORK BEING DONE.
 8. ALL DISTURBED AREAS SHALL BE MULCHED AND SEEDED AS SOON AS POSSIBLE.
 9. AREAS OF ASPHALT PAVEMENT THAT ARE DISTURBED BY THE CONSTRUCTION OF THIS PROJECT SHALL BE REPLACED IN ACCORDANCE WITH THE ASPHALT TRENCH REPAIR DETAIL. THE FINISHED GRADE OF ASPHALT PAVING SHALL BLEND TO EXISTING GRADE AND THE EDGE OF THE CONCRETE PAVEMENT SMOOTHLY WITH NO SLOPES EXCEEDING 4%.
 10. A MINIMUM OF 6" OF CRUSHED STONE MUST BE INSTALLED UNDER ALL EXTERIOR PORCHES AND STAIRS.
 11. EARTHWORK & GRADING:
 12. GRADE AWAY FROM BUILDING WALLS AT 2% MINIMUM (TYPICAL).
 13. PROPOSED EARTH SLOPES SHALL BE NO STEEPER THAN 3:1 (HORZ. VERT.), UNLESS OTHERWISE DEPICTED ON SITE PLAN.
 14. GENERAL FILL BEYOND PAVED AREAS SHALL BE FREE OF BRUSH RUBBISH, STUMPS. FILL SHALL BE PLACED IN LAYERS NOT TO EXCEED 8" IN THICKNESS. THE DRY DENSITY AFTER COMPACTATION SHALL NOT BE LESS THAN 95% OF THE STANDARD PROCTOR TEST AND DONS IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM D698. AFTER COMPACTING, THE FILL SHALL BE 4" BELOW THE REQUIRED GRADE AS SHOWN ON THE PLAN.
 15. AFTER THE AREAS TO BE TOPSOILED HAVE BEEN BROUGHT TO GRADE, THE SUBGRADE SHALL BE LOOSENED BY SCARIFYING TO A DEPTH OF AT LEAST 2" TO ENSURE BONDING OF THE TOPSOIL AND SUBSOIL.
 16. FILL OR TOPSOIL SHALL NOT BE PLACED NOR COMPACTED WHILE IN A FROZEN OR MUDDY CONDITION OR WHILE SUBGRADE IS FROZEN.
 17. ALL EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
 18. STORM SEWER SYSTEMS:
 19. ALL PIPE SHALL BE INSTALLED STRAIGHT AND AT THE VERTICAL AND HORIZONTAL ALIGNMENT SHOWN. NO 90° BENDS IN ALL PIPES.
 20. MINIMUM COVER ON ALL PIPES SHALL BE TWO FEET (2') UNLESS OTHERWISE NOTED.
 21. ALL POLY VINYL CHLORIDE PIPE (PVC) SHALL BE SDR 35 WITH RUBBER JOINTS AND MEET THE REQUIREMENTS ASTM D31 AND D3212.
 22. ALL AREA DRAINS SHALL HAVE A 2' SUMP.
 23. CONTACT THE DESIGN ENGINEER THREE DAYS PRIOR TO EXCAVATING FOR THE INFILTRATION SYSTEM. DURING THE EXCAVATION, THE DESIGN ENGINEER MAY REVISE THE ELEVATIONS OF THE SYSTEM IF FIELD CONDITIONS DICTATE.
 24. THE ENGINEER OF RECORD IS REQUIRED TO WITNESS THE INSTALLATION OF THE DRAINAGE SYSTEM PRIOR TO BACKFILLING.
 25. DIRECT THE ENTIRE ROOF AREA AND THE CATCH BASIN INLET STRUCTURES TO THE PROPOSED DRAINAGE SYSTEMS AS DEPICTED.
 26. SEDIMENT & EROSION CONTROLS:
 27. THE CONTRACTOR SHALL CONSTRUCT ALL EROSION AND SEDIMENT CONTROL MEASURES PER THE APPROVED PLAN AND SHALL HAVE THEM INSPECTED AND APPROVED BY THE SITE ENGINEER PRIOR TO ANY LAND DISTURBANCE. MINOR SEDIMENT CONTROL DEVICE LOCATION ADJUSTMENT MAY BE MADE IN THE FIELD WITH THE APPROVAL OF THE SITE ENGINEER.
 28. THE CONTRACTOR SHALL ENSURE THAT ALL RUNOFF FROM DISTURBED AREAS IS DIRECTED TO THE SEDIMENT CONTROL DEVICES AND SHALL NOT REMOVE ANY EROSION OR SEDIMENT CONTROL MEASURES WITHOUT PRIOR PERMISSION FROM THE SITE ENGINEER.
 29. THE CONTRACTOR SHALL PROTECT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS TO PREVENT THE DEPOSITION OF MATERIALS ONTO PUBLIC OR PRIVATE ROADS. ALL MATERIALS DEPOSITED ONTO SUCH ROADS SHALL BE REMOVED AS SOON AS POSSIBLE.
 30. THE CONTRACTOR SHALL INSPECT DAILY AND MAINTAIN CONTINUOUSLY IN AN EFFECTIVE OPERATING CONDITION ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL SUCH TIMES AS THEY REMOVED WITH PRIOR PERMISSION FROM THE SITE ENGINEER.
 31. ALL DISTURBED AREAS WITH A SLOPE STEEPER THAN 3:1 SHALL BE STABILIZED WITH SOIL OR SEED AND ANCHORED STRAW MULCH OR OTHER APPROVED STABILIZATION MEASURE, AS SOON AS POSSIBLE BUT NO LATER THAN 5 CALENDAR DAYS.
 32. SEDIMENT TRAPS AND BASINS SHALL NOT BE CONSTRUCTED WITHIN 25' OF AN EXISTING FOUNDATION OR ONE THAT IS UNDER CONSTRUCTION.
 33. SEDIMENT REMOVED FROM TRAPS, SILTATION FENCES OR BASINS SHALL BE PLACED AND STABILIZED IN APPROVED AREAS BUT NOT WITHIN A FLOODPLAIN, WETLANDS OR TREE-SAVE AREAS.
 34. ALL WATER REMOVED FROM EXCAVATED AREAS SHALL BE PASSED THROUGH APPROVED DEWATERING PRACTICES OR PUMPED TO A SEDIMENT BASIN PRIOR TO DISCHARGE TO A FUNCTIONAL STORM DRAIN SYSTEM OR TO STABLE GROUND SURFACE.
 35. PRIOR TO REMOVAL OF SEDIMENT CONTROL MEASURES THE CONTRACTOR SHALL STABILIZE AND HAVE ESTABLISHED PERMANENT STABILIZATION FOR ALL DISTURBED AREAS USING SOIL OR AN APPROVED MIXTURE. AREAS BROUGHT TO FINISHED GRADE DURING THE SEEDING SEASON MUST BE STABILIZED WITH PERMANENT GROWTH AS SOON AS POSSIBLE. WHEN PROPERTY IS BROUGHT TO FINISHED GRADE DURING THE WINTER MONTHS WHEN PERMANENT STABILIZATION IS IMPRACTICAL THEN AN APPROVED TEMPORARY STABILIZATION SHALL BE DONE UNTIL THE SPRING MONTHS WHERE PERMANENT STABILIZATION IS POSSIBLE.



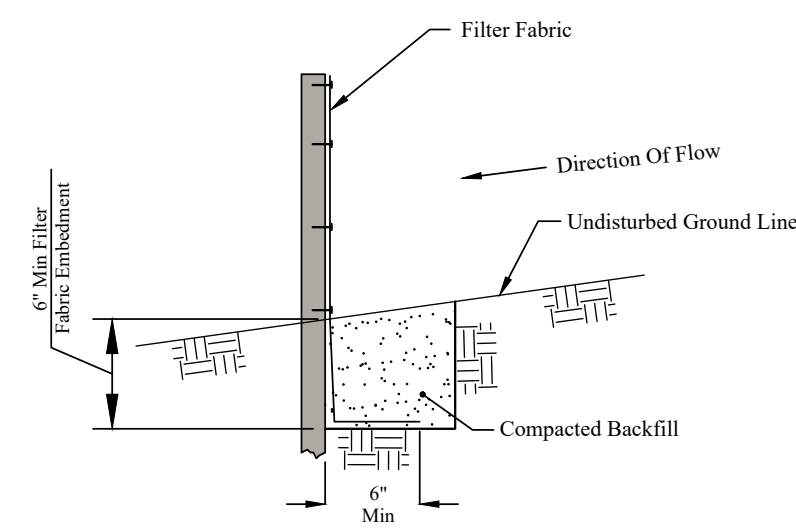
INLET PROTECTION TYPE D
N.T.S.



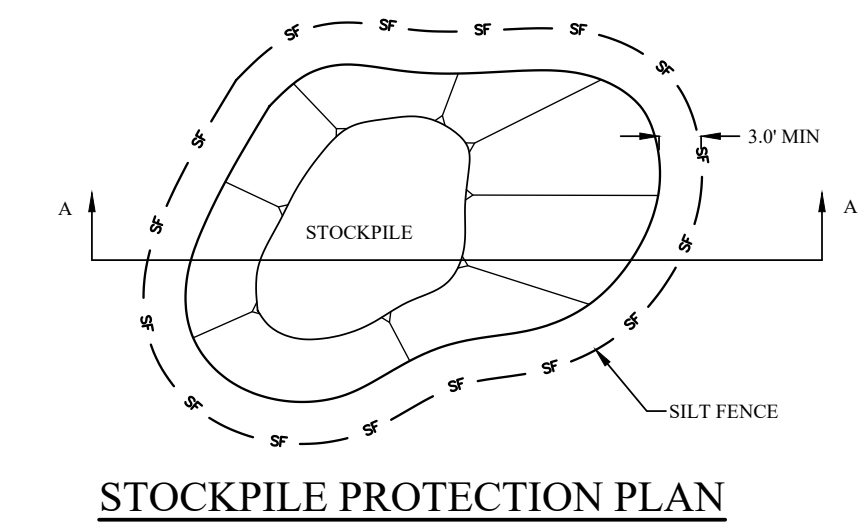
VORTECH MODEL 1000 STORMWATER TREATMENT SYSTEM
N.T.S.



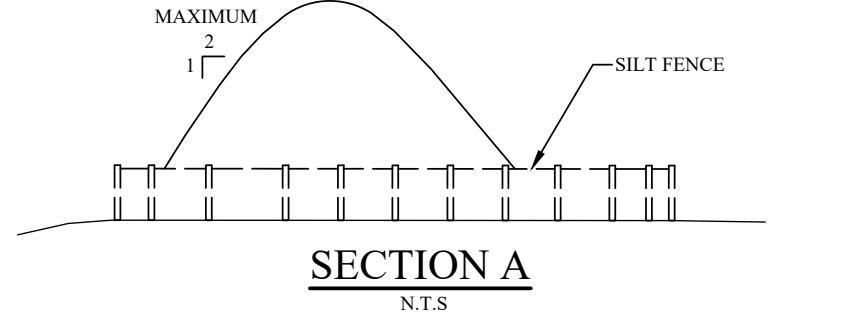
MUD-TRACKING PAD
N.T.S.



FILTER FABRIC FENCING
N.T.S.



STOCKPILE PROTECTION PLAN



SECTION A
N.T.S.

SEDIMENT & EROSION CONTROLS PLAN

589 BEDFORD STREET
STAMFORD, CT

Prepared for
BEDFORD PROPERTIES, LLC

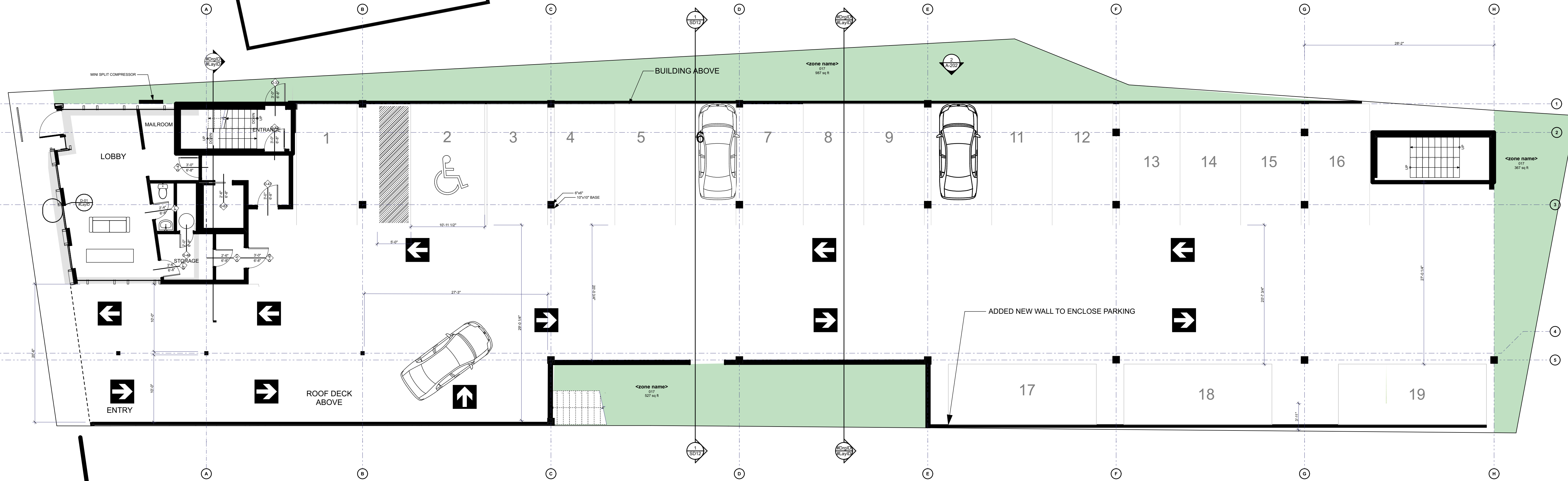
SCALE: 0 10 20
1" = 10'

DATED: 03/08/2023
JOB NO: SA23-1
SHEET NO: CE-4

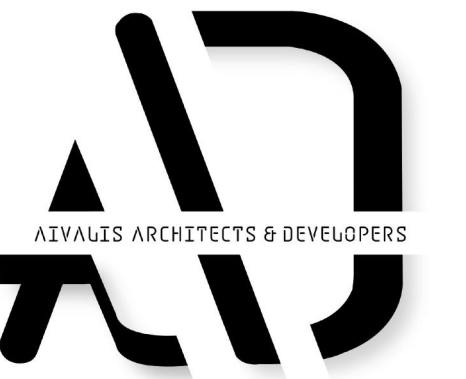
KOUSSIDIS ENGINEERING, LLC
Land Development Consultants and Site Design
10-B First Street, Norwalk, CT 06855 E: jim@koussidisengineering.com
P: 203-557-8943 F: 203-557-8944 Web: www.koussidisengineering.com

AMENITY SPACE
845 Sq Ft

OUTDOOR SPACE
1881



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SHEET TITLE

Ground Floor Plan

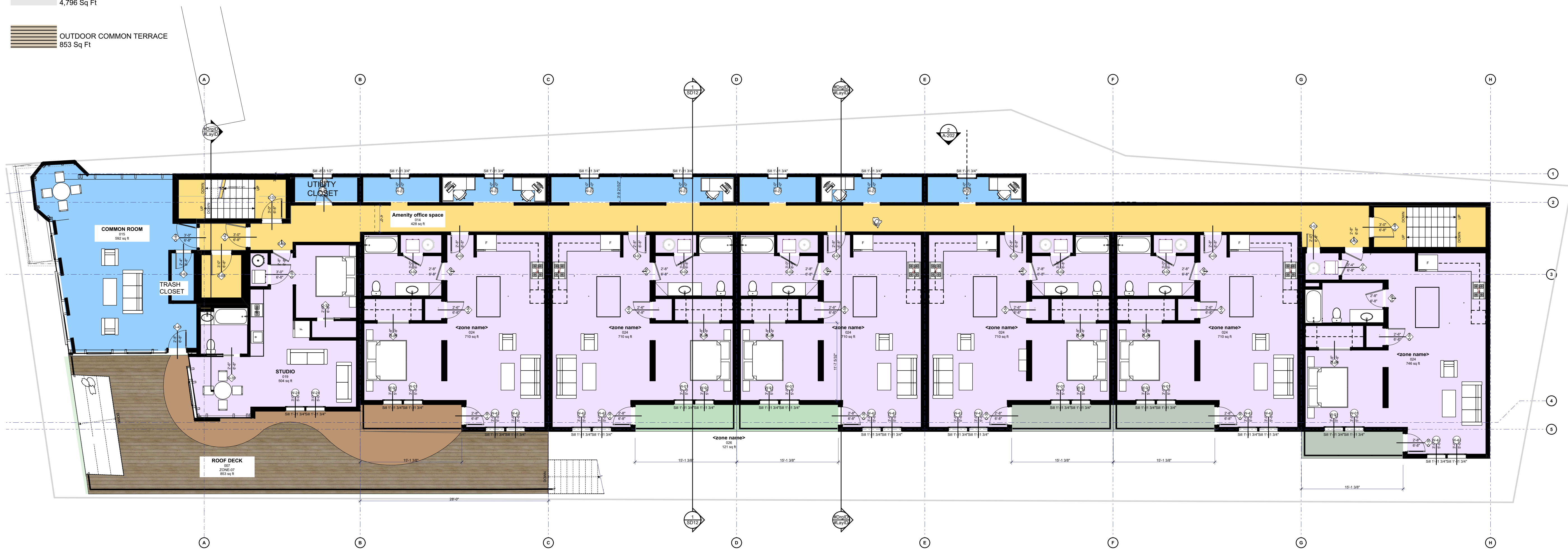
A-109

SHEET 25

OF 74

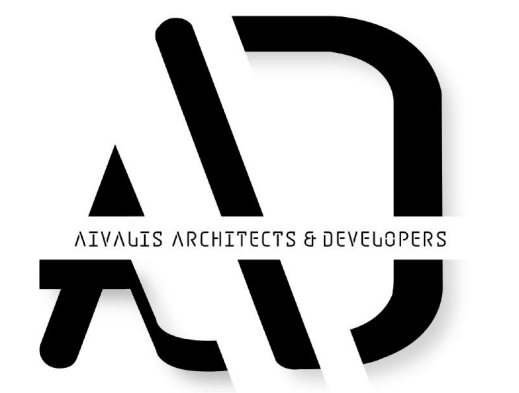
1 First Floor Plan
A-109 SCALE: 1/8" = 1'-0"

- AMENITY SPACE
1,020
- OUTDOOR SPACE
200 Sq Ft
- CIRCULATION
1,215 Sq Ft
- RESIDENTIAL UNITS
4,796 Sq Ft
- OUTDOOR COMMON TERRACE
853 Sq Ft



1 Second Floor (1)
A-110 SCALE: 1/8" = 1'-0"

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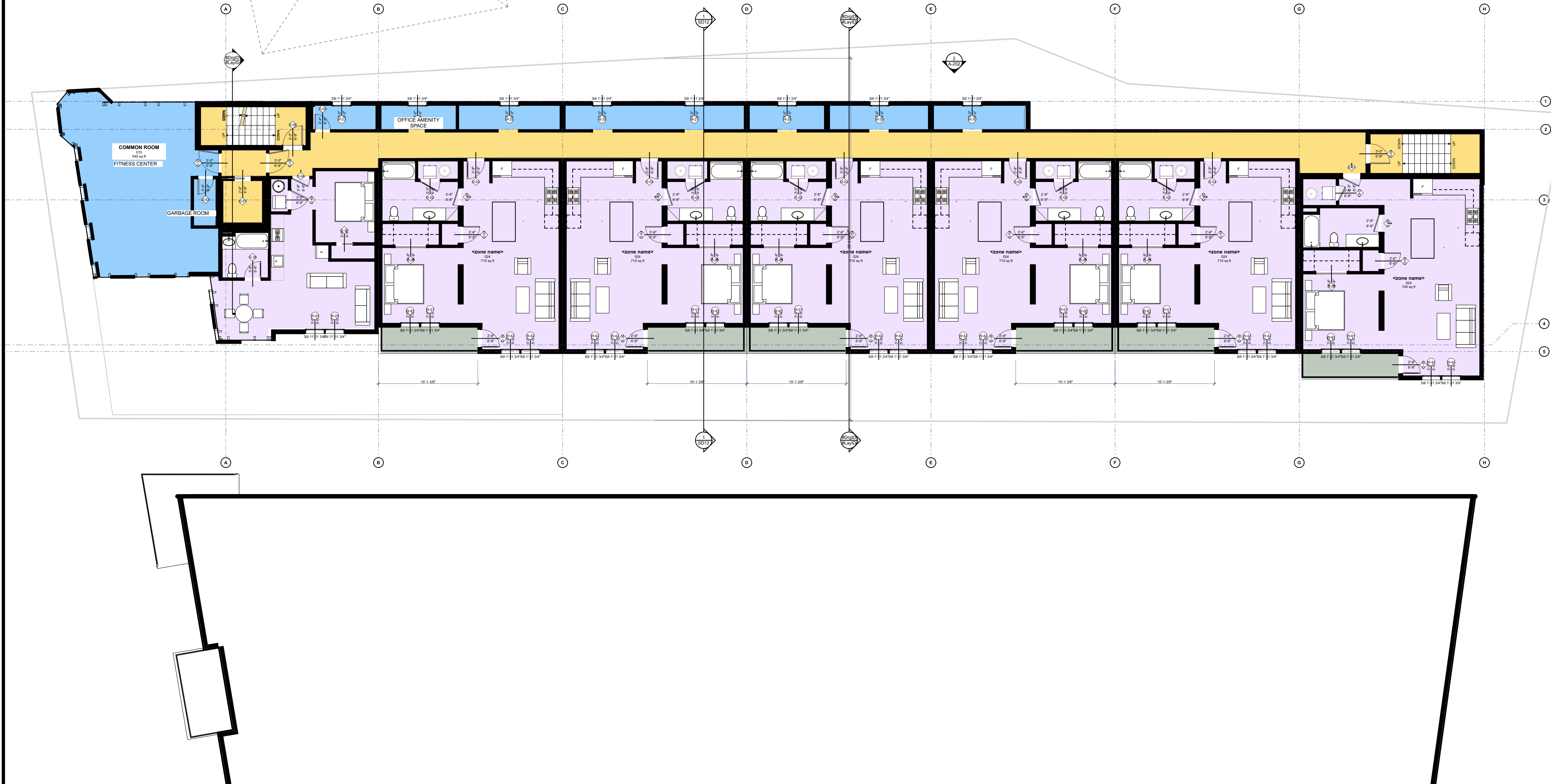
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SHEET TITLE
Second Floor Plan

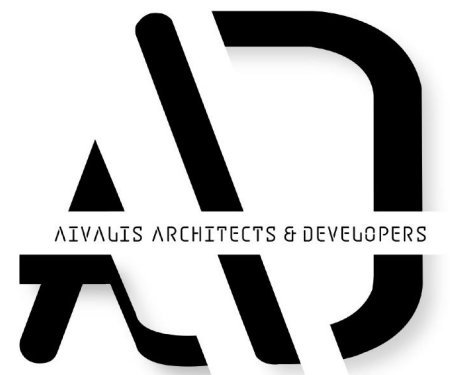
A-110
SHEET 26 OF 74

- AMENITY SPACE
1,020 Sq Ft
- OUTDOOR SPACE
200 Sq Ft
- CIRCULATION
1,215 Sq Ft
- RESIDENTIAL UNITS
4,796 Sq Ft



Third Floor
SCALE: 1/8" = 1'-0"

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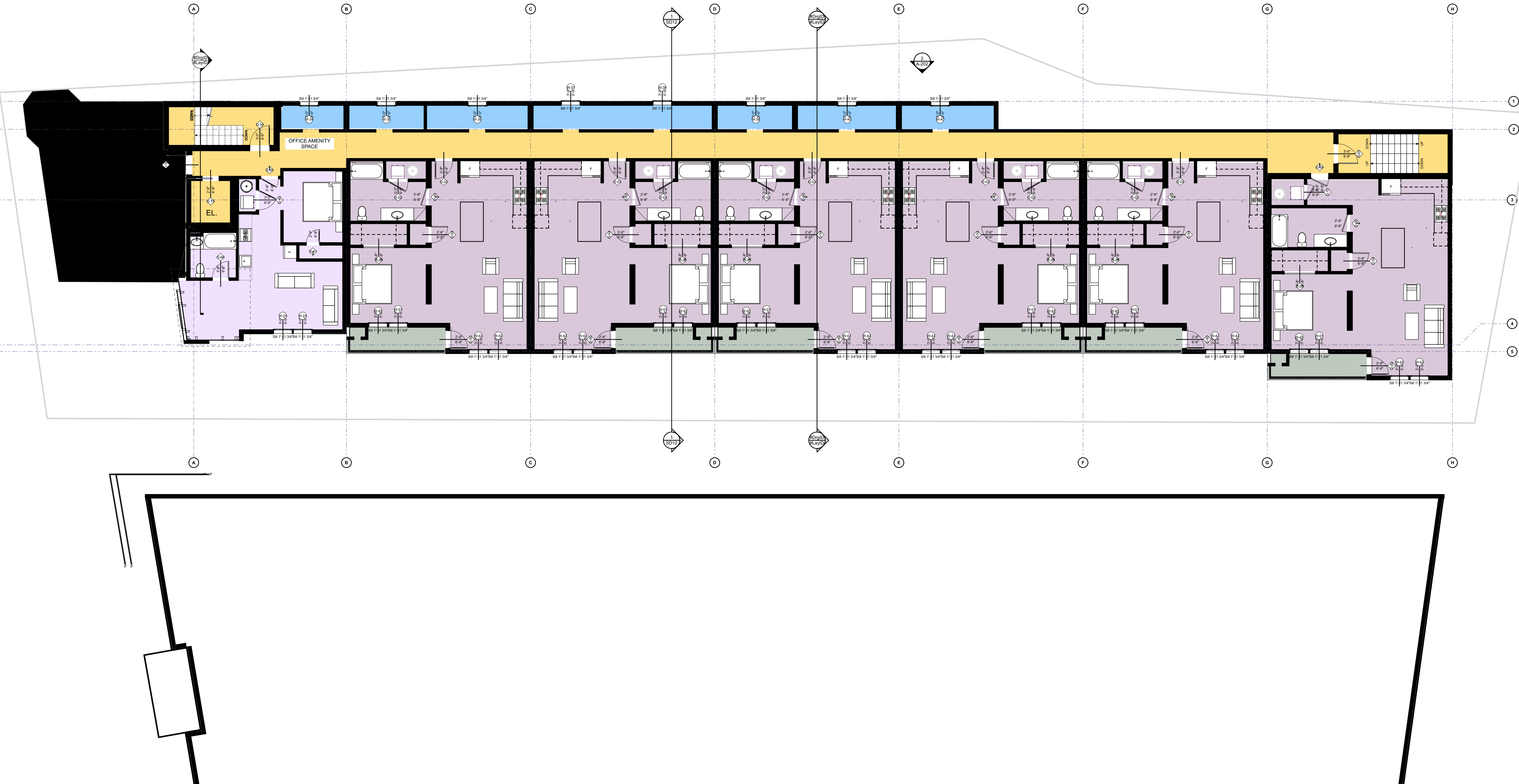
Third Floor Plan

A-111

SHEET 27

OF 74

- AMENITY SPACE
428 Sq Ft
- OUTDOOR SPACE
200 Sq Ft
- CIRCULATION
1,215 Sq Ft
- RESIDENTIAL UNITS
4,796 Sq Ft



Fourth Floor
SCALE: 1/8" = 1'-0"

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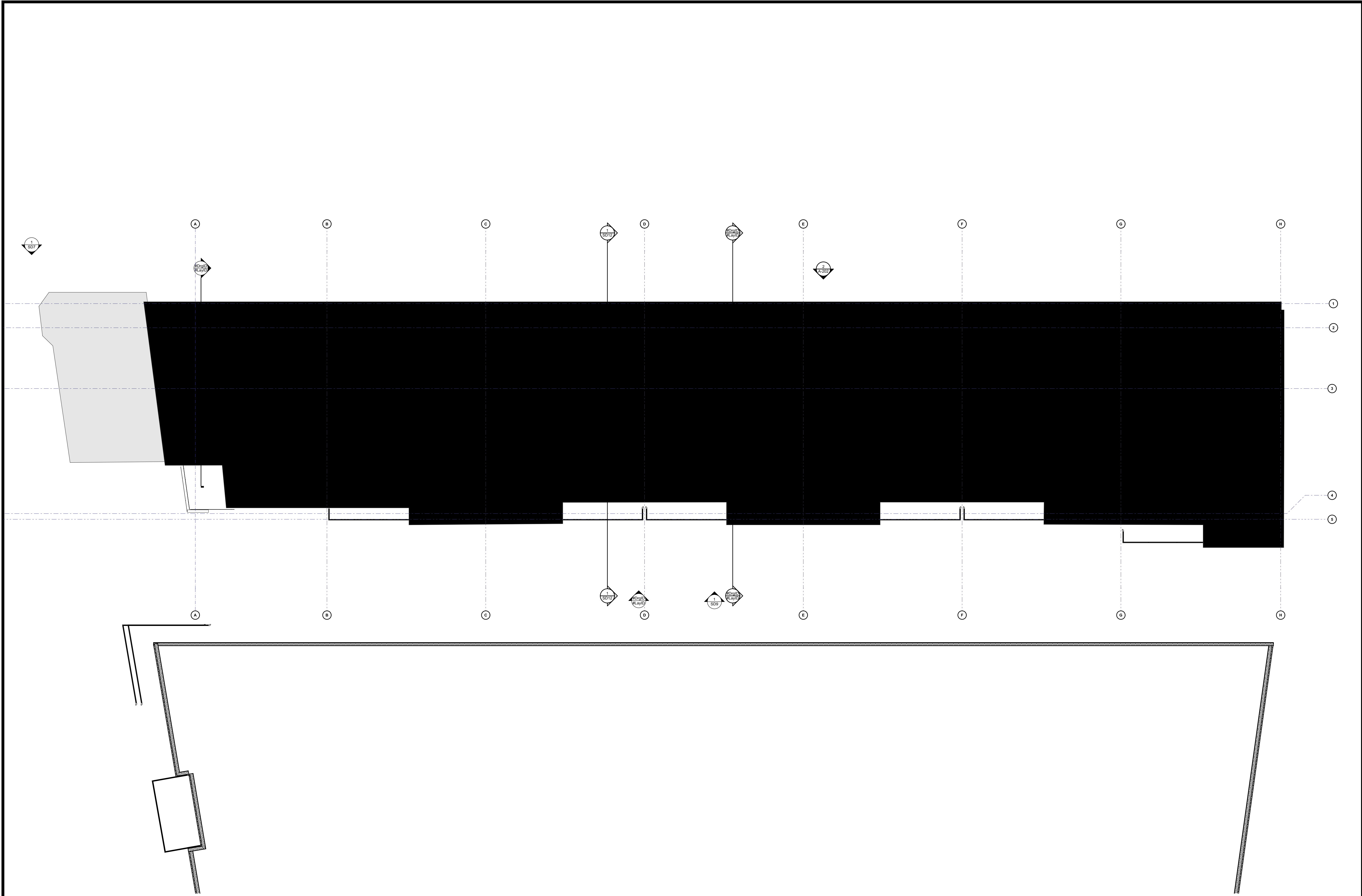


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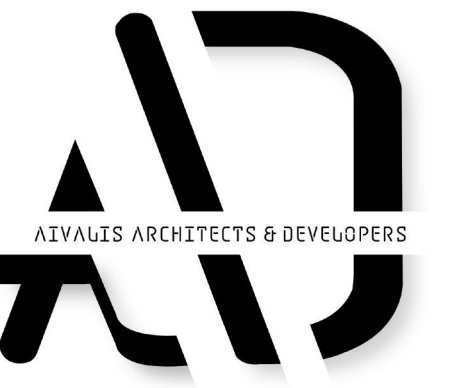
SHEET TITLE
 Fourth Floor Plan

A-112
 SHEET 28 OF 74



1
A-113 Roof (1)
SCALE: 1/8" = 1'-0"

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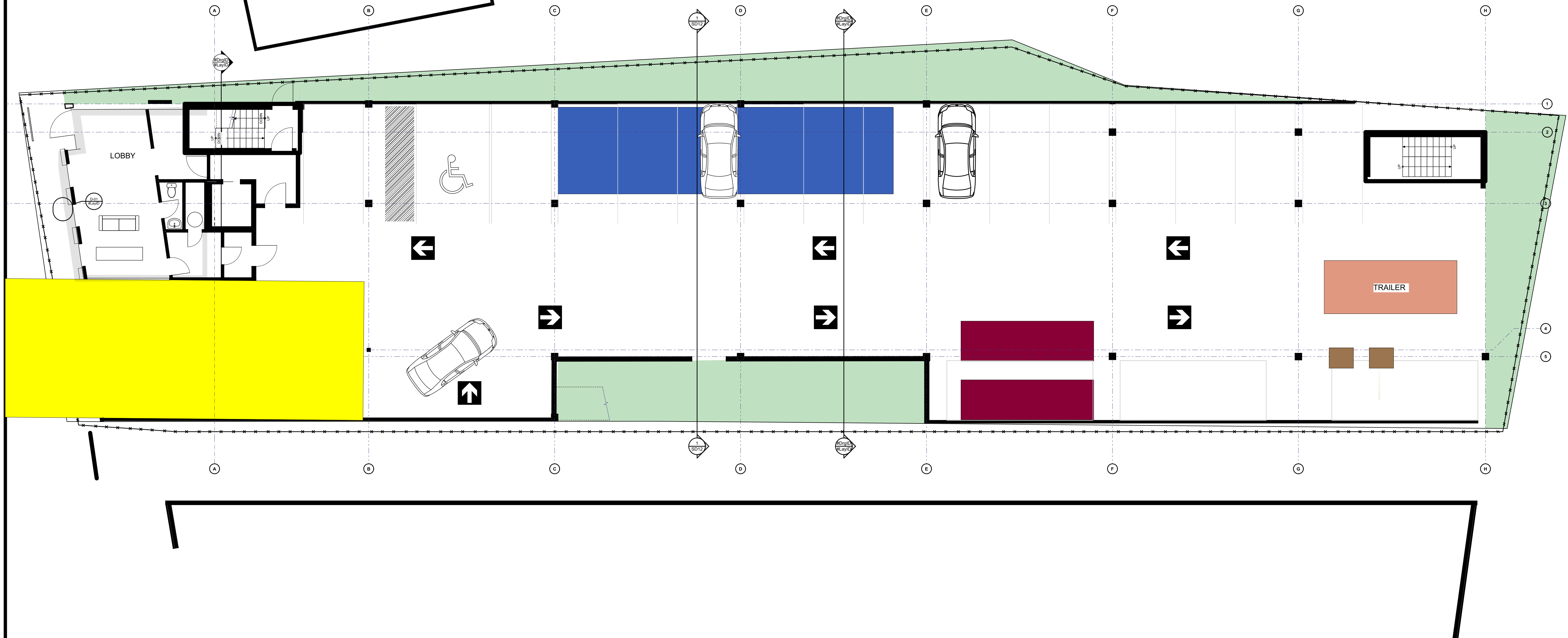
Roof Plan

A-113

SHEET 29

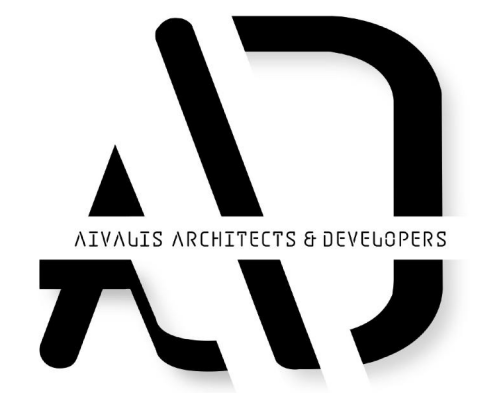
OF 74

- DUMPSTER
- DELIVERY - UNLOADING AREA
- PARKING
- CONSTRUCTION TRAILER
- PORTABLE POTTY



1
A-114 First Floor
SCALE: 1/8" = 1'-0"

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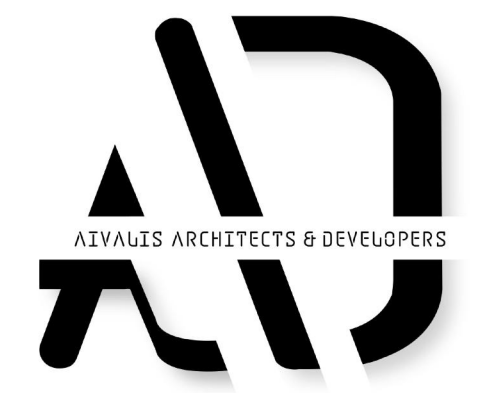
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SHEET TITLE
Construction Staging
Plan

A-114
SHEET 30 OF 74



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Exterior Elevations

A-201

SHEET 38 OF 74

1 West Elevation
 A-201 SCALE: 1/4" = 1'-0"



South Elevation
SCALE: 1/8" = 1'-0"



North Elevation
SCALE: 1/8" = 1'-0"

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Exterior Elevations

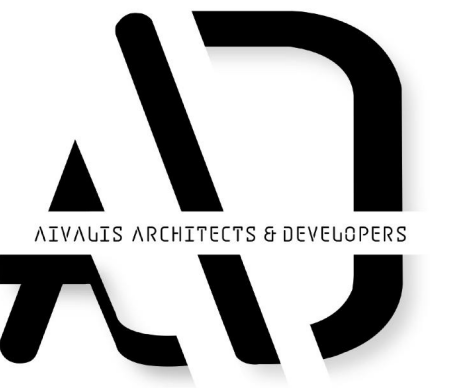
A-202

SHEET 39

OF 74



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Renderings

A-203

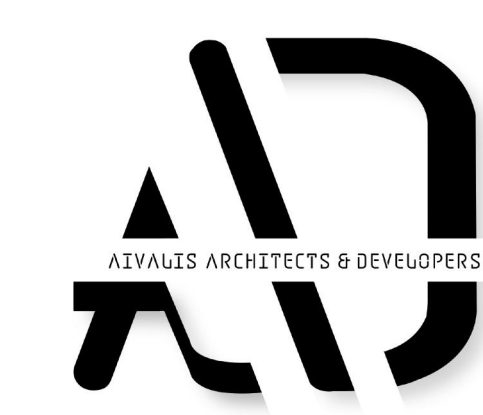
SHEET 40

OF 74



2 section 2
 A-301 SCALE: 3/16" = 1'-0"

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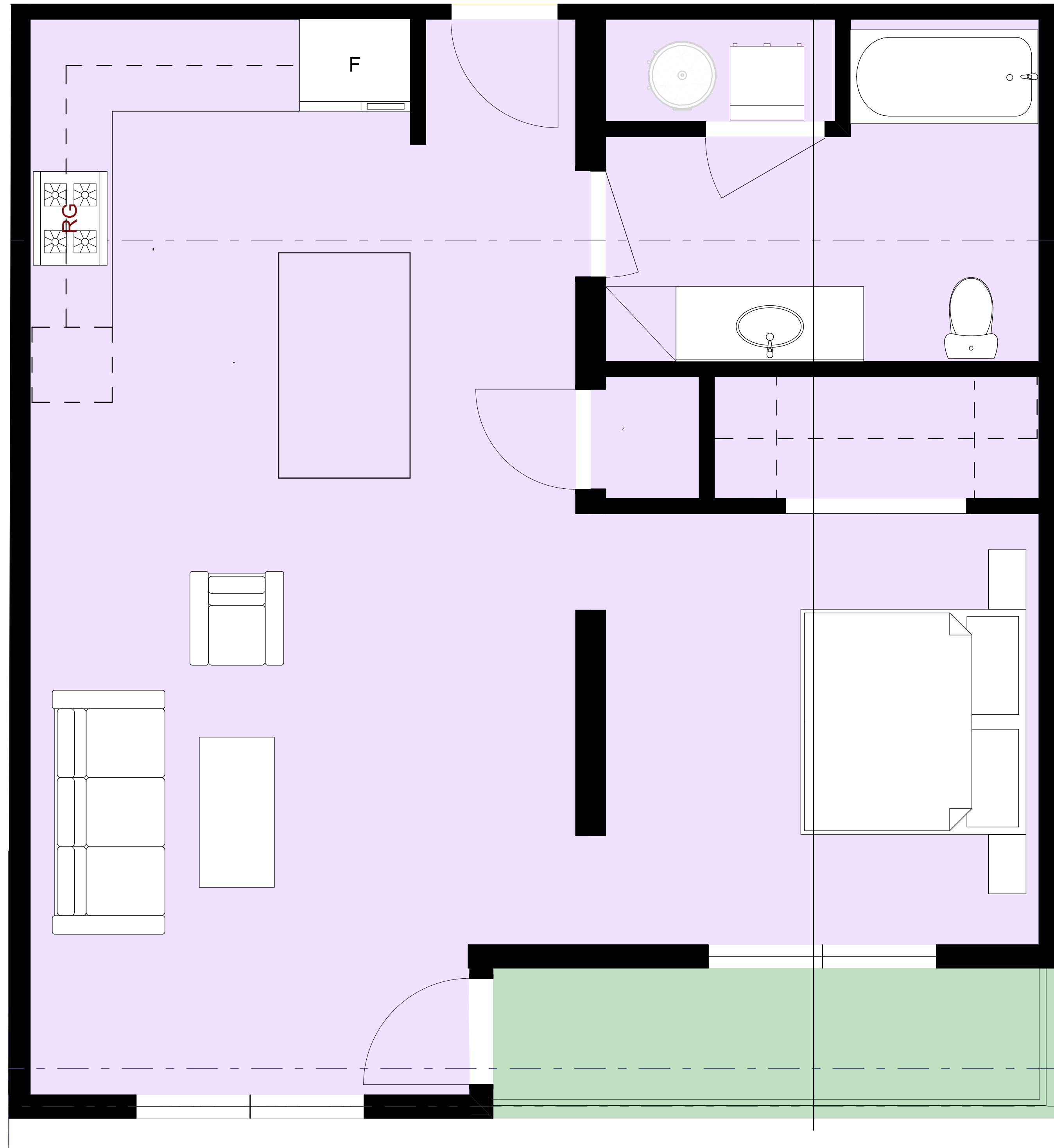
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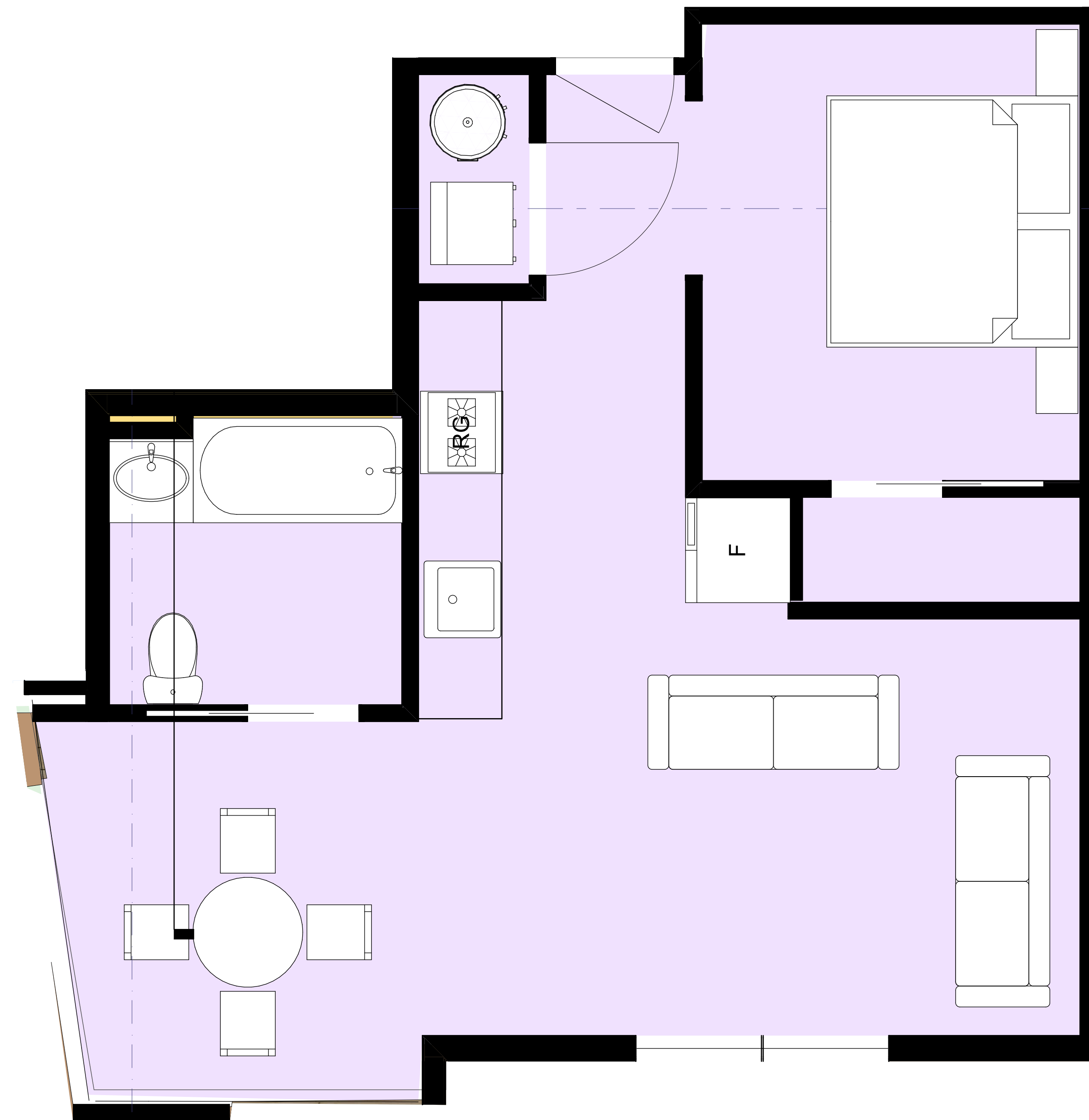
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 Building Sections

A-301

SHEET 44 OF 74

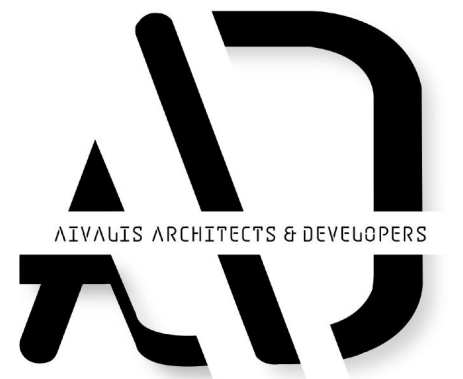


1 STUDIO PLUS
A-401 SCALE: 1/2" = 1'-0"



2 CORNER STUDIO
A-401 SCALE: 1/2" = 1'-0"

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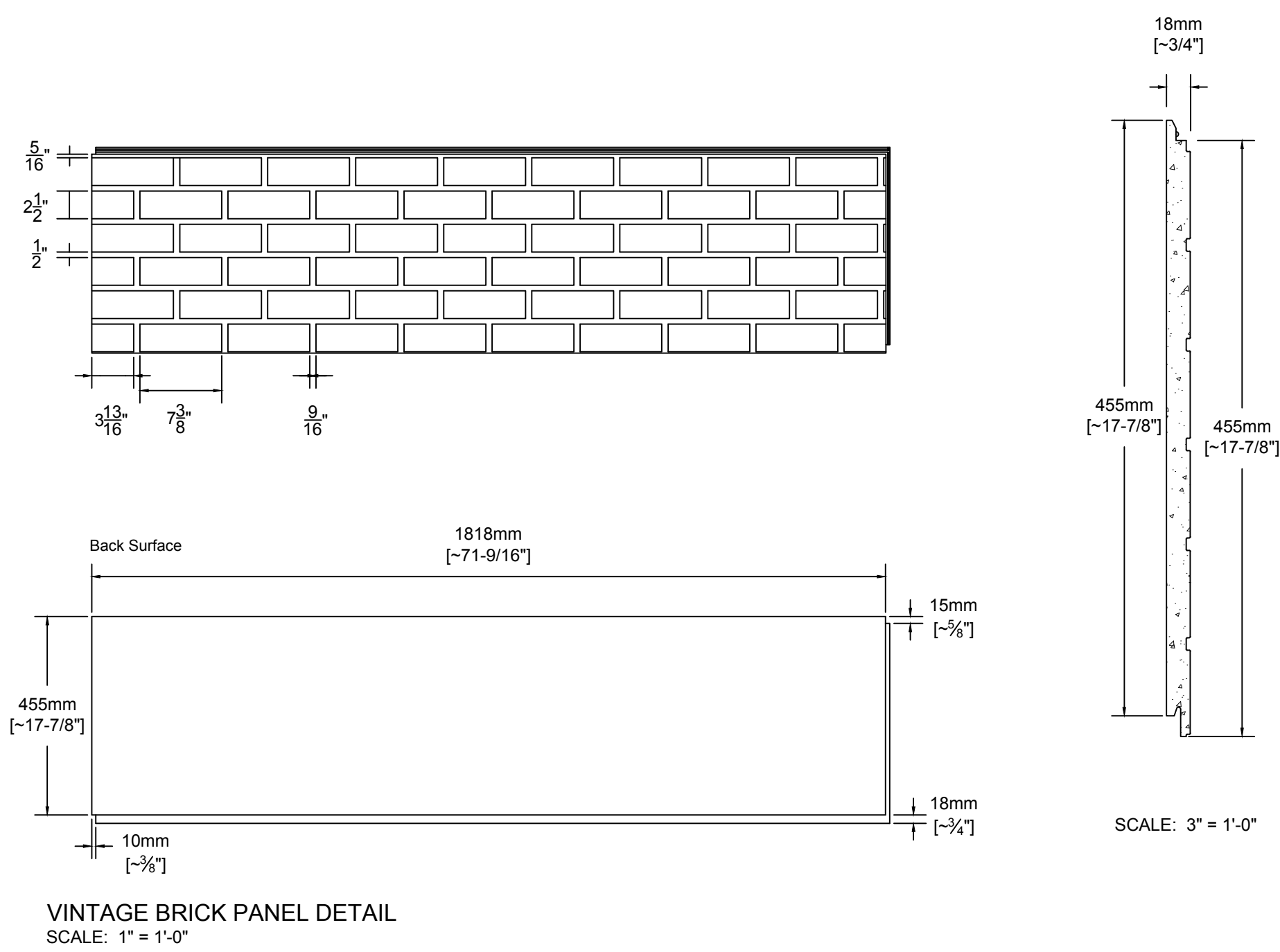
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Enlarged Plans

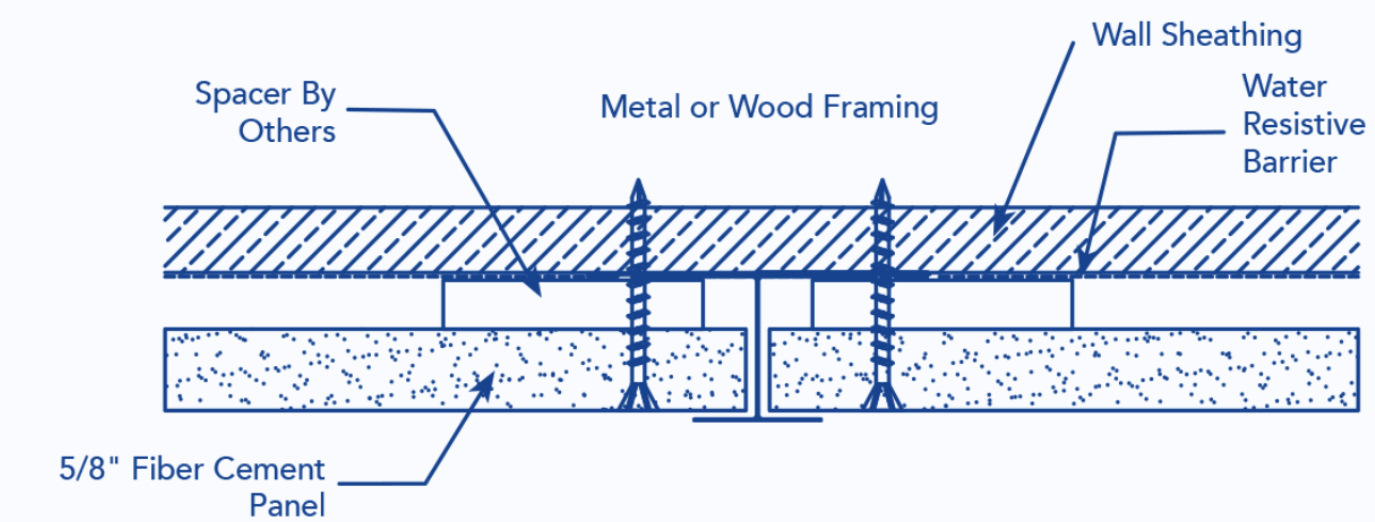
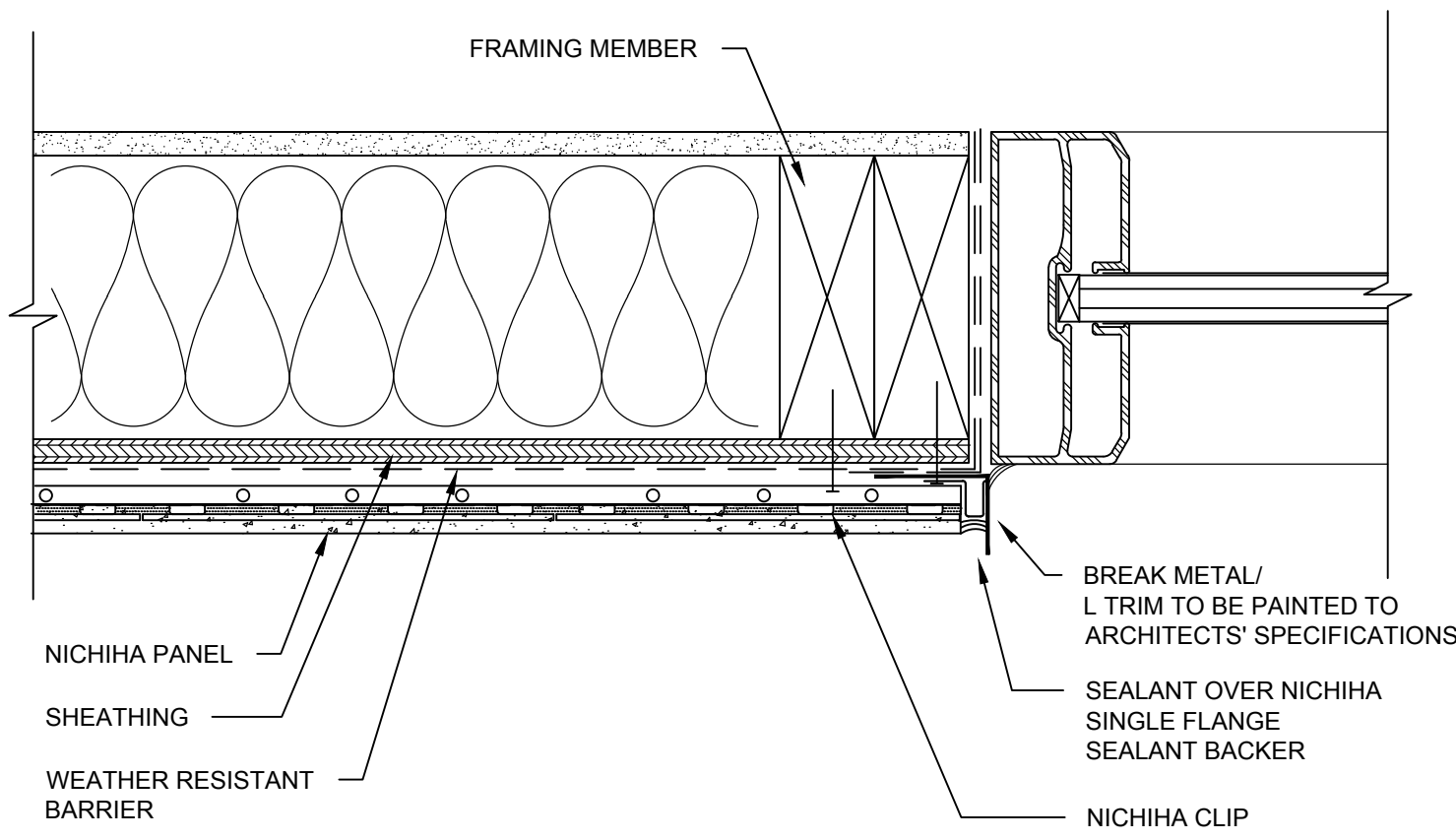
A-401

SHEET 46

OF 74



- NOTES:
1. THIS CONCEPTUAL DETAIL IS A GUIDE FOR INSTALLATION OF NICHHA PRODUCTS. ARCHITECTS/ENGINEERS/CONTRACTORS ARE RESPONSIBLE FOR SUCCESSFUL APPLICATION WHICH DEPENDS UPON SUBSTRATE DESIGN AND CONSTRUCTION BUILT IN ACCORDANCE WITH BEST PRACTICES AND LOCAL BUILDING CODES.
 2. NICHHA PANEL REPRESENTED HERE IS 5/8" NICHHA PRODUCT, ADJUST ACCORDINGLY FOR OTHER PRODUCT THICKNESSES.
 3. SHEATHING REPRESENTED HERE IS 1/2" PLYWOOD OR 7/16" OSB. IF USING OTHER THICKNESSES ADJUST ACCORDINGLY.
 4. ADJUST FASTENER LENGTH TO COMPENSATE FOR UP TO 1" FOAM PLASTIC CONTINUOUS INSULATION.

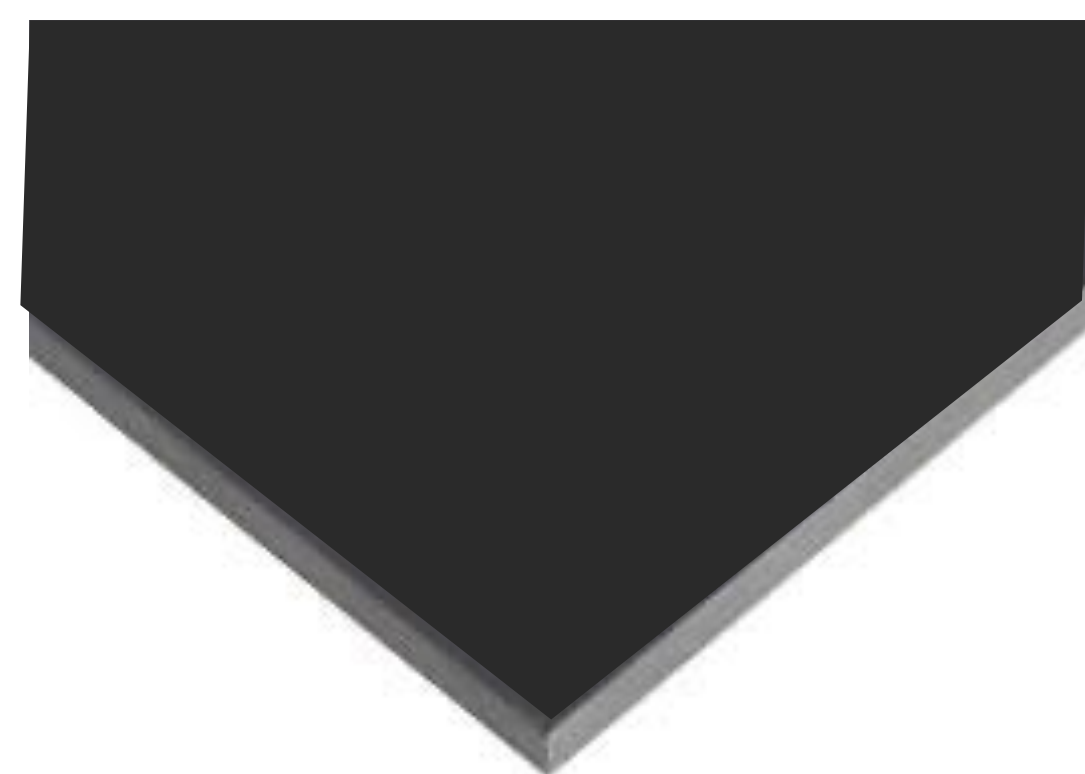


1
A-501 Nichiha-Detail-VintageBrick-Dimensions-1-20
SCALE: 1' = 1'-0"

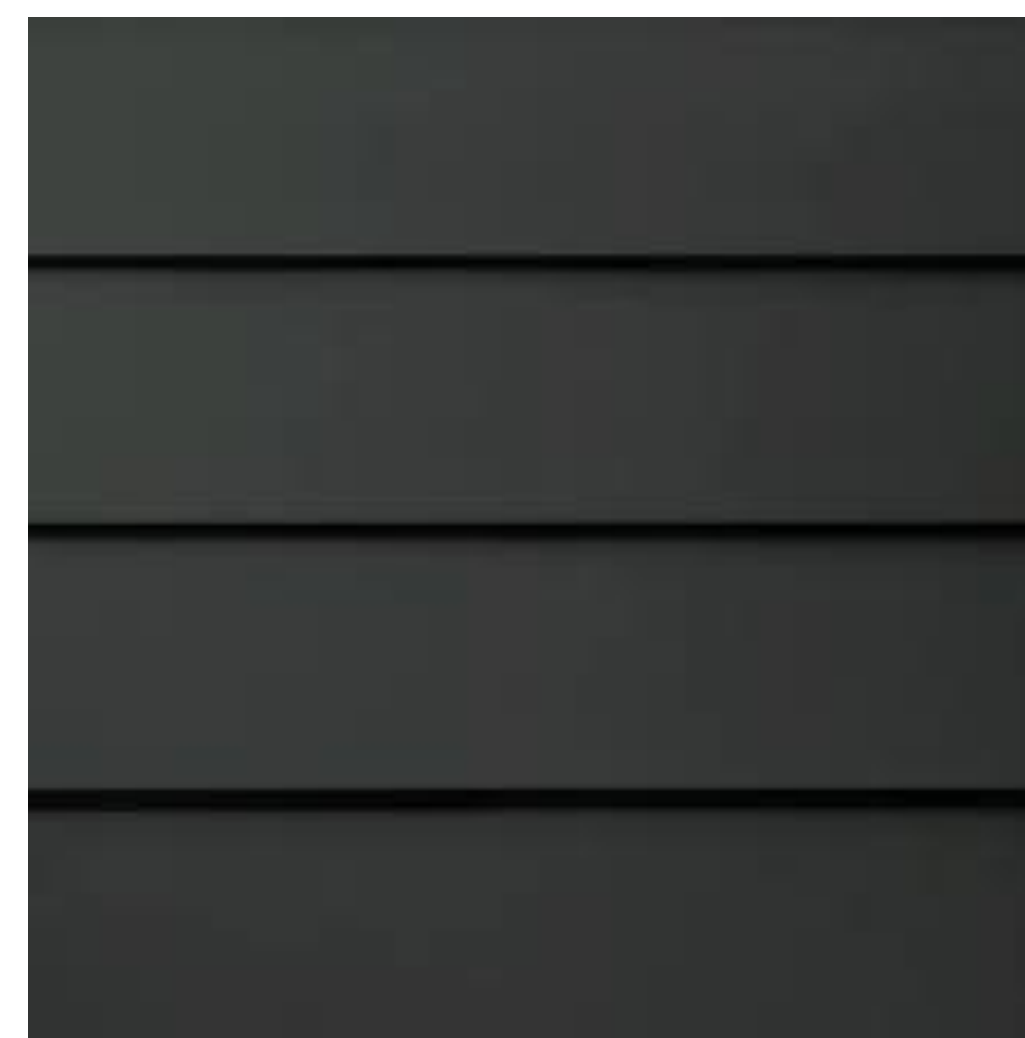
2
A-501 nichiha-detail-horizontal-awp-studs-window-jamb-recessed-break-metal-4-19
SCALE: 1' = 1'-0"



VINTAGE BRICK



GREY PVC PANELS

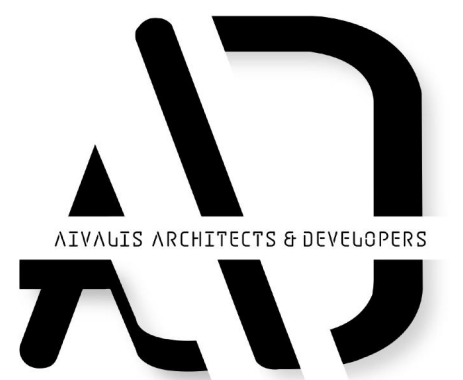


DARK GREY LAP SIDING



LIGHT DARK GREY LAP SIDING

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Facade Materials

A-501

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