

July 21, 2023

160 ATLANTIC STREET PROJECT DESCRIPTION

1. Introduction

Old Town Square LLC is the owner of the property commonly known as 160 Atlantic Street. This property lies within Master Plan Category 11 (Downtown) and the CC (Center City) Zoning District. The property is approximately 9246 square feet and is located on the east side of Atlantic Street approximately 770 feet south of the intersection with Broad Street and immediately north of the ramp from Atlantic Street to the Stamford Town Center parking garage. There is one existing building on the property which would be preserved under the proposal. First County Bank (and its predecessor(s)) was located in that building from approximately 1939 to approximately 2018. The building is currently vacant. The applicant proposes to maintain the existing building consistent with its historical character. Also, the applicant would construct a new 11-story hotel containing 82 rooms and 10 suites with a ground floor restaurant, banquet/meeting rooms, and a roof-top patio. The applicant is submitting an application for special permits as follows:

Special Permit under Table IV - Appendix B note 23 to authorize development of a hotel in the CC Zone with a FAR of 5.99.

Special Permit under Table IV – Appendix B note 7 to allow a front yard setback of 0.0 feet.

Special Permit under Table IV – Appendix B notes 7 and 21 to allow a side yard setback of 6.3 feet (West Side).

Special Permit under Table IV – Appendix B notes 7 and 21 to allow a side yard setback of 38.5 feet (East Side).

Special Permit under Table IV – Appendix B notes 7 and 21 to allow a combined side yard setback of 44.8 feet.

Special Permit under Table IV – Appendix B note 7 to allow a rear yard setback of 0.2 feet.

Special Permit under Section 12.C.3 to allow the use of existing conditions in lieu of the construction of additional sidewalks.

Special Permit under Section 7.5.C to allow a new non-residential structure having a gross floor area of more than twenty thousand (20,000) square feet.

If approved, a boutique hotel with a high-end ground floor restaurant will be developed at the site.

2. Background

In 2019, after the positive recommendation of the Planning Board, the Zoning Board approved Zoning Board Application# 218-63 to modify footnote 23 with the understanding that the applicant would be forthcoming with the present proposed development.

3. Description of the Surrounding Area

The subject property is located on the east side of Atlantic Street adjacent to the recently renovated and upgraded Veterans Memorial Park. The subject property is immediately north and abuts the ramp to the Saks Fifth Avenue Off 5th side of the Stamford Town Center. A variety of dense primarily commercial uses surround the property. To the north of the property is the above-mentioned Veterans Memorial Park; to the east is the Stamford Town Center; to the south is the Heritage Building occupied in good part by law firms; to the south of that building is a strip of stores primarily occupied by Safavieh Home Furnishings; and, to the west of the property is the recently refurbished Old Town Hall and other commercial building including the building known as the Gurley Building or Valeur Building. Some residential units exist on the second floor and above within some of the buildings to the west. The array of uses in the surrounding area include restaurants, office buildings, the Palace Theatre, residential units, stores, the Old Town Hall and Saint John's Basilica. The buildings in the area range in size from one floor to thirteen floors. As mentioned, the property is within the Master Plan Category 11

(Downtown) and generally surrounded by property within the CC (Center City) Zoning District. Zones abutting this district include C-G, MR-D, the Mill River Park, MX-D, R-MF, C-L, M-L and M-G.

4. Description of the Project Area/Proposed Development Site

The site is identified as Tax Id# 002-2088. The existing building on the site has housed a bank for decades and has a parking lot with approximately 12 spaces in the rear. The existing building has a floor area of approximately 5641 square feet and a FAR of approximately .61. This 3 story building is approximately 40.00 feet high. The site has access from the Town Center Drive intersection with Atlantic Street. The applicant proposes to maintain the existing building consistent with its historical character. Also, the applicant intends to construct a boutique hotel as mentioned above. The proposed project conforms with the CC District regulations and would contribute to the continually increasing vibrancy of Downtown Stamford.

5. Conformity of the Proposed Development with the Master Plan

The property is located in Master Plan Category 11 (Downtown). The proposed development is consistent with the goals of this category as the proposed development is located on a significant corridor adjacent to Veterans Memorial Park and would provide “eyes on the park” on around-the-clock basis. The hotel development will support Master Plan Policy 5A: Support Downtown as a Regional Center as the state-of-the-art hotel in the Downtown will add to its first-class reputation and increase the ability of visitors to enjoy quality lodging Downtown. The infill development of the site is also consistent with Implementation Strategy 5A.6: Promote infill Development on vacant sites within Downtown. The ground floor of the hotel would contain a high-end restaurant that will generate pedestrian activity. The design of the hotel is stunning and will be consistent with implementing Policy 5B: Make Downtown a More Pedestrian-Friendly Neighborhood and Implementation Strategy 5B.3: Encourage quality urban design that relates well to streets and people. In addition to the restaurant, the hotel itself will have regular pedestrian activity and both will help enliven this portion of Downtown. This quality is consistent with Implementation Strategy 5B.4: Emphasize ground floor retail and pedestrian activity. Also, as indicated above, the subject development site is adjacent to Veterans Memorial Park. Implementation Strategy 5D.3-c: Maximize the potential of public plazas and open spaces Downtown and in the South End is supported by the proposed development as the liveliness of the park will be increased by the regular pedestrian activity generated by the restaurant and hotel.

6. Description of the Proposed Development

The applicant proposes to preserve the existing Bank Building, and a small addition at its rear (east side) to accommodate a drop-off entry and construct 9 additional stories of approximately 5,400 square feet each joined above it for its hotel. The ground floor would have a lobby, reception area and high-end restaurant of approximately 3,250 square feet. The third floor would include approximately 3700 square feet of meeting and banquets rooms. The additional floors would house 82 rooms and 10 suites and the roof would include a patio. When possible, the existing brick on the existing bank building will be preserved. The new materials for the building include cast stone and thin brick.

In addition, the applicant proposes to locate an outdoor dining area within park property immediately to the north and west of the premises and will work with the park owner Urban Redevelopment Commission to attempt to establish this use.

The applicant is cognizant of the remarkable architecture represented by the existing building on the property. The applicant proposes to maintain this building in its current form including both the exterior and its gracious windows and the beautiful interior with its stunning treatments and two-story ground level interior space enhanced by a beautiful ceiling which will be retained.

In order to enhance the presentation of the proposed new construction, all room air conditioning units will be located internally and not protrude from any of the sides of the building.

The site is accessed through Town Center Drive. The first curb cut to the rear area for the site is approximately 240 feet east of the intersection of Atlantic Street. Parking will be established with off-site arrangements.

The applicant is proposing the development as it believes that it will successfully provide a use complimentary to this area and specifically supportive of Veterans Memorial Park for reasons including security as there will be "eyes on the park" 24 hours a day 7 days a week. The development would utilize the entire property. Specifics in regard to the development are set forth in the zoning data chart and plans submitted with the application. The applicant has submitted its application for special permits as set forth in the Introduction.

7. Action(s) Necessary to Facilitate the Project

The proposal has been submitted to the Historic Preservation Advisory Committee for an advisory recommendation. The applicant is concurrently submitting an application for Site and Architectural Plans and/or Requested Uses. The applicant will also be working with the Urban Renewal Commission and/or the City of Stamford to obtain all approvals and/or easements necessary in order to the subject property.

8. Conclusion

The applications submitted must be approved in order for the proposed development to take place. The hotel and restaurant would create approximately 50 jobs, \$291,500.00 in building permit application fees and \$285,000.00 in annual tax revenue. In addition, Veterans Memorial Park would benefit from the regular daily pedestrian activity at the park generated by the restaurant and hotel. The applicant seeks to maintain the existing structure in a manner that is consistent with its historic character. In addition, the applicant proposes to develop a boutique hotel which would add to the vibrancy of the neighborhood. The applications are consistent with the land use and development goals of the City and, if approved, will provide a positive contribution to the Downtown.

~~October 18, 2021~~ July 21, 2023

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Special Permit under Table IV - Appendix B note 23 to authorize development of a hotel in the CC Zone with a FAR of ~~5.94-5.99~~.

Special Permit under Table IV – Appendix B note 7 to allow a front yard setback of 0.0 feet ~~for the existing structure and all new subsequent floors above.~~

Special Permit under Table IV – Appendix B notes ~~7 and 21~~ to allow a ~~front side~~ yard setback of ~~10-06.3 feet (West Side) feet for all floors of the new structure.~~

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area range in size from one floor to thirteen floors. As mentioned, the property is within the Master Plan Category 11 (Downtown) and generally surrounded by property within the CC (Center City) Zoning District. Zones abutting this district include C-G, MR-D, the Mill River Park, MX-D, R-MF, C-L, M-L and M-G.

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The site is identified as Tax Id# 002-2088. The existing building on the site has housed a bank for decades and has a parking lot with approximately 12 spaces in the rear. The existing building has a floor area of approximately 5641 square feet and a FAR of approximately .61. This 3 story building is approximately 40.00 feet high. The site has access from the Town Center Drive intersection with Atlantic Street. The applicant proposes to maintain the existing building consistent with his historical character. Also, the applicant intends to construct a boutique hotel as mentioned above. The proposed project conforms with the CC District regulations and would contribute to the continually increasing vibrancy of Downtown Stamford.

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Zoning Data Chart Template

Project Name – OLD TOWNE HOTEL

Application number –

Address – 160 ATLANTIC STREET

Zoning District(s) - If multiple Zoning Districts, provide requirement and compliance for each portion of site under the different district - CC

Zoning Section		Required/ Permitted	Existing Conditions	Proposed	Notes (Indicate compliance or Zoning Section for Special Permit if applicable)
	Lot Size	4,000 sq.ft.	9,246 sq.ft	9,246 sq.ft.	Complies
	Gross Floor Area	5,641 sq.ft.	5,641 sq.ft.	55,402 sq.ft.	Complies
	Zoning Floor Area				
	Residential				
	Commercial	55,476 sq.ft.	5,641 sq.ft.	55,402 sq.ft.	Complies
	Community Facility				
	Industrial				
	Total	55,476 sq.ft.	5,641 sq.ft	55,402 sq.ft.	Complies
	F.A.R.	6.0	0.61	5.99	Appendix B, footnote 23
	Residential				
	Commercial	6.0	0.61	5.99	Appendix B, footnote 23
	Community Facility				
	Industrial				
	Total	6.0	0.61	5.99	Appendix B, footnote 23
	Number of units				
	Below Market Rate Units (# and %)				
	Number of seats/ beds / employees if applicable			82 rooms 10 suites 102 beds	Appendix B, footnote 23
	Density(Units/Acre)				
	Street Frontage	40'	191.75'	191.75'	See maps 10, 838 & 10,247 SLR
	Building Coverage (Area and %)	80%	5,558 sq. ft. 60.1%	6,562 sq. ft. 71.0%	Per Chung plan dated March 22 , 2023 and D'Andrea plan dated June 26, 2023 submitted herewith
	Lot coverage (Area and %)	100%	9,006 sq. ft. 97.4%	9,011 sq. ft. 97.5%	Per Chung plan dated March 22, 2023 and D'Andrea plan dated June 26, 2023 submitted herewith
	Building Height (Feet)		Approx. 40.0'	140.51	Complies per Appendix B, footnote 13
	Number of floors		3	11	Complies per Appendix B, footnote 11
	Active ground floor (sq.ft. and %) if applicable		4,200 sq.ft.	5,844 sq.ft.	
	Yards				
	Front yard (Streetline)	Appendix B, footnote 7	0.0'	0.0	Complies per Appendix B, footnote 7
	Front yard (St centerline)	Appendix B, footnote 7	28.3'	28.3'	Complies per Appendix B, footnote 7
	Rear yard	Appendix B, footnote7	0.2'	0.2'	Appendix B, footnote 7
	Side yard	Appendix B, footnotes 7 and 21	6.3/58.4 64.7 totals	6.3'/38.5' 44.8' total	Complies per Appendix B, footnotes 7 and 21

	Parking			
	Residential parking			
	Commercial parking	46	Approx. 12 (most encroach)	65 offsite; 1 on site
				Complies per Appendix B, footnote 23
	Community Facility parking	N/A	0	N/A
	Industrial parking	N/A	0	N/A
	Public open space parking	N/A	0	N/A
	Bike parking	9 class A; 23 class B	0	12 class A; 27 class B
				Complies per §12.J.C.3
	# of levels of parking garage (if applicable)	N/A	0	N/A
	Square footage of parking area	N/A	2,836 sq.ft.	1,932 sq.ft. (including under building)
	Parking setback	10' from street; 5' from building	0' from street; 10' from building	18' from street; 0' from building
				Complies per §12.C.1
	Open space (Area and %)			
	Active (If separate)	N/A	0	N/A
	Passive (If separate)	N/A	0	N/A
	Street Trees			
	Existing	N/A	0	N/A
	Proposed	N/A	0	N/A
	Total	N/A	0	N/A
	Signage			
	Wall signs (# and size)	1 front @ 82.5 sq.ft; 1 rear @ 60 sq.ft; 2 sides @ 60 sq.ft ea..	none	1 front @ 80 sq.ft; 2 sides @ 60 sq.ft ea..
				Complies per §13 (H)
	Ground Signs (# and size)		none	none
	Blade signs (# and size)		none	none
	Fence height	N/A	0	N/A

updated 10/26/2021



Memorandum

To: John Leydon, Esq.

Date: July 20, 2023

Project #: 43289.00

From: Joseph C. Balskus, P.E., PTOE, RSP1
Director of Transportation Systems

Re: Traffic Access Review
Old Towne Hotel
Town Center Drive
Stamford, CT

VHB has previously prepared a traffic study summarizing the potential traffic impacts of the referenced project. This memorandum is prepared to summarize the traffic review of the ingress and egress of all vehicles accessing the proposed Old Towne Hotel.

Project Description

The former bank building is proposed for reuse and construction of a 82-unit, 10 suite hotel with restaurant. The hotel is proposed to be accessed by vehicular traffic at the rear of the building, via the Town Center Drive roadway from Atlantic Street. The ingress, egress and circulation of all vehicles will occur at the rear of the hotel, from Town Center Driveway, under the Stamford Town Center shopping mall parking garage ramp and in the immediate vicinity of the access the lower portions of the mall and loading docks.

This memorandum provides the recommendations to ensure safe and efficient access along Town Center Drive and cooperative operations with the mall loading dock through proposed curbing changes under the ramp at the rear of the hotel.

Site-Generated Traffic – All Vehicles

The anticipated vehicular traffic volumes generated by the proposed development were projected based on guidelines set forth by the Office of State Traffic Administration (OSTA) and data provided in the 11th Edition of the Institute of Transportation Engineers (ITE) Trip Generation Manual. This widely used reference manual, which provides trip generation rates for various land uses based on traffic count data collected at comparable sites, is the industry and OSTA accepted method for forecasting trip generation rates for development.

Land Use Code 310 (Hotel) was used for the proposed hotel development to forecast the traffic volumes generated by the proposed project.

In addition, VHB also conducted a traffic count at the nearby Hampton Inn on Mill River Street to confirm the ITE trip generation rates are appropriate for downtown Stamford hotel trip generation rates. These counts confirmed the ITE trip generation rates are similar with 48 trips in the weekday morning peak hour and 45 trips in the weekday afternoon peak hour to be generated by the hotel.

Using these rates, the proposed development is projected to generate 48 (14 enter, 24 exit) trips during the weekday morning peak hour and 45 (27 enter, 18 exit) trips during the weekday evening peak hour. These are low volumes of traffic and can be readily accommodated by the valet parking operation. At any given time during the weekday morning and weekday afternoon peak hours, it is expected a maximum of four vehicles will be in the valet area.

100 Great Meadow Road
Suite 200
Wethersfield, CT 06109-2377
P 860.807.4300

Ref: 43289.22

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In addition, traffic counts were conducted in early June 2023 at the Atlantic Street at Main Street intersection for the weekday morning and afternoon peak hours for a comparison to the previously submitted traffic study traffic volumes. The most recent traffic counts are similar to the previous traffic study volumes and were inserted into the previous traffic study Build Condition capacity analyses with no changes in the intersection operations for the weekday morning and afternoon peak hours.

Proposed Rear Access Circulation

The proposed hotel does not have direct vehicular access to Atlantic Street and can only be accessed via the public roadway Town Center Drive. This drive is a 10' wide eastbound only roadway with a sidewalk as it parallels the Town Center Mall up ramp to the elevated levels of the parking garage. Town Center Drive provides direct access to the Town Center loading dock area and lower parking garage entrance. Town Center Drive is a wider roadway to the south as it also serves as an access to the rear of other buildings on Atlantic Street to the south. South of the Town Center Mall up ramp, Town Center Drive is a two-way roadway from Tresser Boulevard and provides a connection from the upper levels of the Town Center parking garage.

The ingress of vehicles serving the hotel has been thoroughly reviewed in these traffic review efforts through significant discussions with the hotel team, project architect (Do H. Chung and Partners), project civil engineer (D'Andrea Engineers & Surveyors, P.C.) and hotel operator with firsthand experience in hotel service vehicle organization.

The following is expected for the hotel logistical operations at the rear of the building:

- Hotel goods delivery every two weeks in the mornings with most of the other orders will come regular UPS /FedEx deliveries
- Hotel has in-house laundry facility (no linen delivery) however restaurant will and is expected to be twice per week
- No on site parking, with all parking managed only through a professional parking valet for all hotel/restaurant guests
- Trash pick is early in the morning, based upon other hotels typically 5:00 am and two-three times a week, accessing the service vehicle area only
- Employees will park off site and walk or be shuttled to the hotel (no employee parking onsite)

Based upon these criteria, a vehicle circulation plan was developed by civil engineer (Rocco V. D'Andrea, Inc. D'Andrea Surveying & Engineering, P.C.) providing vehicle circulation for hotel guest parking (valet only) and one for all service vehicles to access the loading area. The circulation plans prepared with input from VHB to detail the vehicle turning maneuvers for passenger cars for valet and service vehicles. These plans are provided in the City submission and attached herein.

To accommodate the valet and service vehicle operations, Town Center Drive will be modified to remove curbing for entering vehicles into the valet area under the overhead Town Center Mall elevated ramp. Exiting the valet area will be across the driveway to the mall loading dock area and exiting to the south along Town Center Drive.

Service vehicles will bypass the valet parking operation, turn into the driveway towards the mall loading and with a minor adjustment of the islands between the columns supporting the elevated overhead ramp to the Town Center mall parking, the service vehicles will pull forward, then back up across the driveway to the mall loading, so they can back into the loading area of the hotel. The service vehicles will exit the same way and utilize the same exit driveway the mall loading dock vehicles use to turn south along Town Center Drive towards Tresser Boulevard.

The circulation of the valet and service vehicle operations will maximize efficiency of the use of Town Center Drive and minimize or avoid impacting the operations of the mall loading dock area and entrance to parking for Town Center Mall. The service vehicle volume is exceptionally low daily as is the traffic accessing the mall loading docks. The movement of all vehicles in this area at the rear of the hotel and under the elevated ramp is an extremely low speed environment, less than 15 miles per hour. Vehicles can effectively operate between the columns, with minimal changes to the curbing while allowing access to the hotel for all users.

Summary

VHB has conducted a detailed review of the proposed hotel rear access using the Town Center Drive inbound roadway from Atlantic Street. This review concludes that the proposed circulation shown on the enclosed plans as a well-managed valet parking program and specified delivery vehicle schedule can provide adequate circulation without significantly impacting the traffic flow on Town Center Drive and minimal conflicts with the access to the Town Center shopping mall loading docks. This is based upon the following:

- The proposed Hotel will generate less than 50 weekday morning and afternoon peak hour trips for all users, including patrons and service vehicles
- Bell Street garage has reserved 60 parking spaces for the hotel use
- Other public parking options are available in the vicinity
- Hotel is a Transit Oriented Development (TOD) use, with proximity to the Stamford Transportation Center will result in less than projected vehicle trips
- Valet only parking is proposed, there are no on-site parking spaces for the hotel, like a typical New York City hotel and other metropolitan hotels
- A well-managed parking valet program will be required to ensure efficient cycling of valet runners to move cars to and from parking areas for hotel patrons
- Detailed ingress/egress and parking operations are provided, showing circulation for hotel patrons with drop off/pickup and valet and for service vehicles
- The valet and service vehicle access is required to maintain efficient traffic flow along Town Center Drive with negligible interaction with Town Center Mall loading dock area and garage access
- Improvements to accommodate the valet and service vehicle operations are required within the public area under the Town Center Mall parking ramp (overhead)
- Bicycle parking is provided alongside the valet parking area

Ref: 43289.22

July 21, 2023

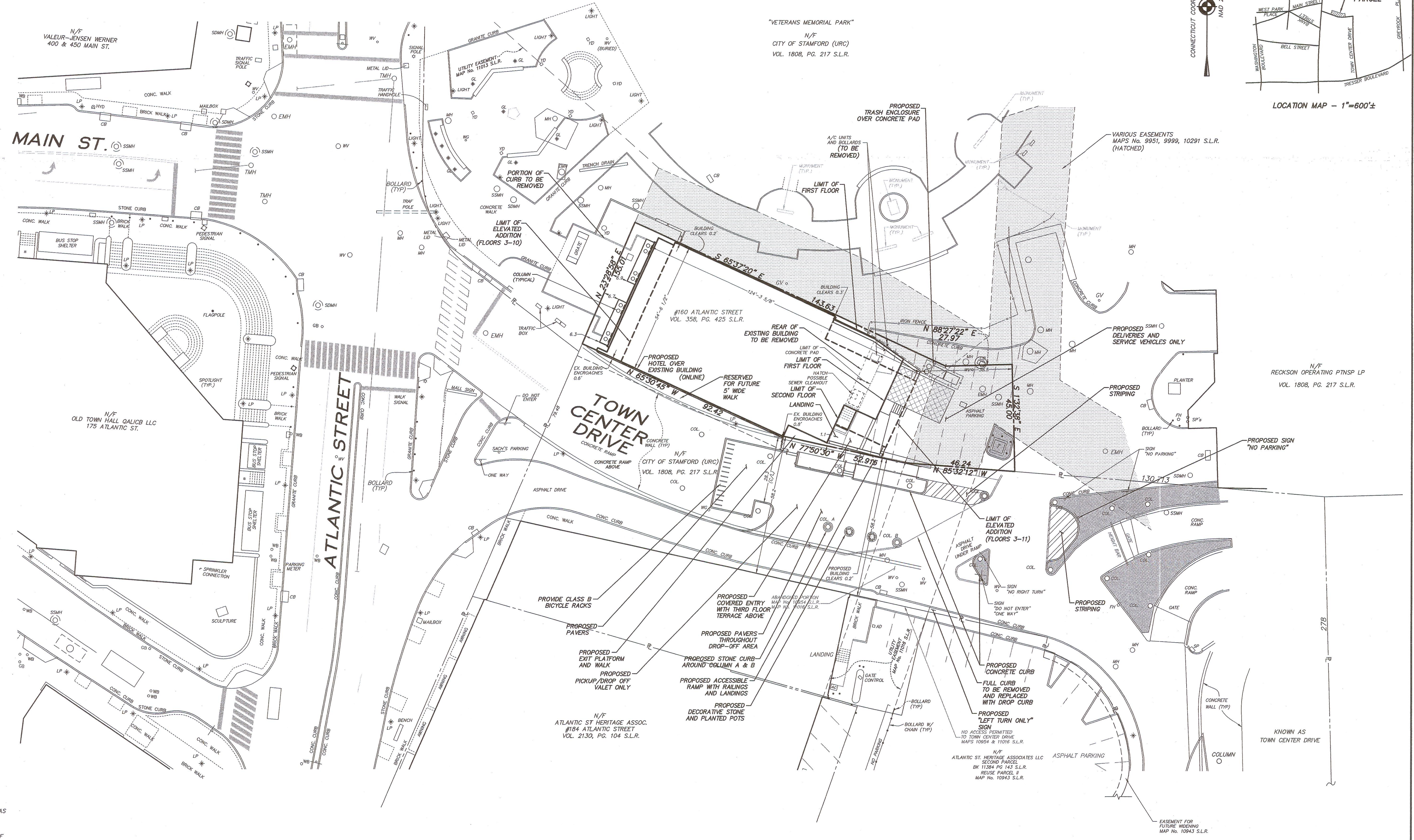
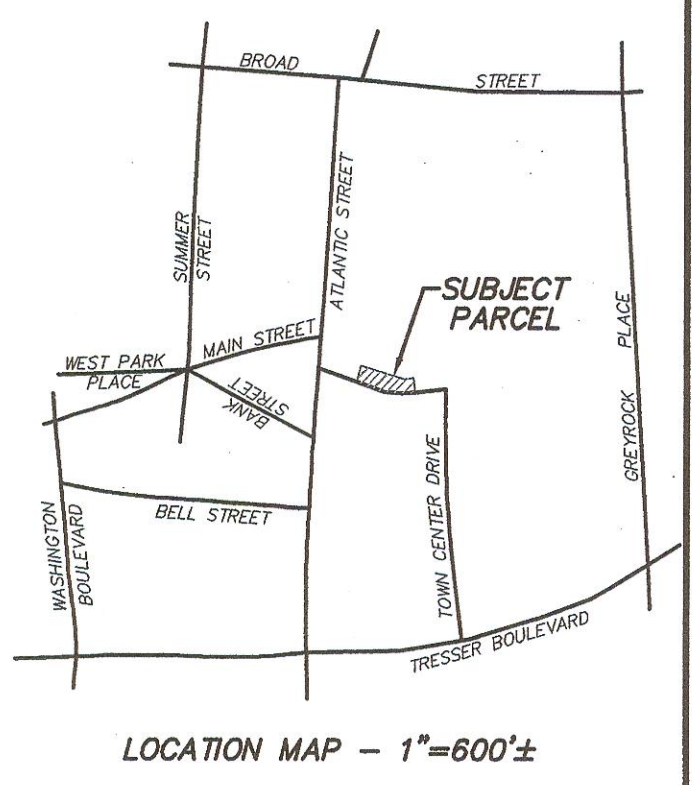
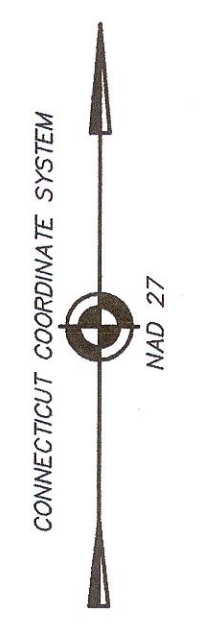
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- Sidewalk access is also provided along Town Center Drive
- Service vehicles should be scheduled to occur outside of the hotel peak hours of operation in the weekday morning and afternoons/evenings
- Signs shall be erected on Town Center Drive and internally to direct hotel visitors to the valet or service area

Enclosures – Circulation Plans prepared D'Andrea Surveying & Engineering, P.C.

GENERAL SURVEYING NOTES

- 1. REFER TO A SURVEY ENTITLED "HOTEL DEVELOPMENT PREPARED FOR OLD TOWN SQUARE, LLC LOCATION 160 ATLANTIC STREET STAMFORD, CONNECTICUT, EXISTING CONDITIONS" PREPARED BY D'ANDREA SURVEYING & ENGINEERING, P.C. FOR EXISTING CONDITIONS.
- 2. PROPOSED BUILDING IMPROVEMENTS ARE BASED ON ARCHITECTURAL PLANS PREPARED BY DO H. CHUNG & PARTNERS.
- 3. REFER TO "LANDSCAPE PLAN" PREPARED BY ENVIRONMENTAL LAND SOLUTIONS, LLC.
- 4. CERTAIN IMPROVEMENTS ARE PROPOSED OUTSIDE OF THE PROPERTY BOUNDARY LINES THAT REQUIRE USE AGREEMENTS WITH THE RESPECTIVE PROPERTY OWNERS.



SITE COVERAGE
 LOT AREA = 9,246 S.F.
 PROPOSED BUILDING = 6,562 S.F.
 DRIVEWAY/PARKING = 1,932 S.F.
 PROPOSED EXIT PLATFORM AND WALK = 43 S.F.
 PROPOSED STEPS & RAMP = 98 S.F.
 PROPOSED EXPANDED PATIO = 376 S.F.
 TOTAL = 9,011 S.F.
 PERCENT COVERAGE = 97.5%

BUILDING COVERAGE
 LOT AREA = 9,246 S.F.
 PROPOSED BUILDING = 6,562 S.F.
 PERCENT COVERAGE = 71.0%

THIS MAP IS A ZONING LOCATION SURVEY. BOUNDARY INFORMATION IS BASED ON A RESURVEY CONDUCTED IN ACCORDANCE WITH HORIZONTAL ACCURACY CLASS "A-2" AS DEFINED IN THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20.

NEW MONUMENTATION HAS NOT BEEN SET AS A RESULT OF THIS SURVEY.

ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

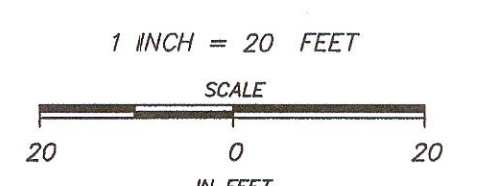
AREA = 9,246 S.F.
 REFER TO BOOK 12151 PAGE 81 AND MAP No. 10247 S.L.R.

LAND LIES IN "CC" ZONING DISTRICT
 TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
 D'ANDREA SURVEYING & ENGINEERING, P.C.

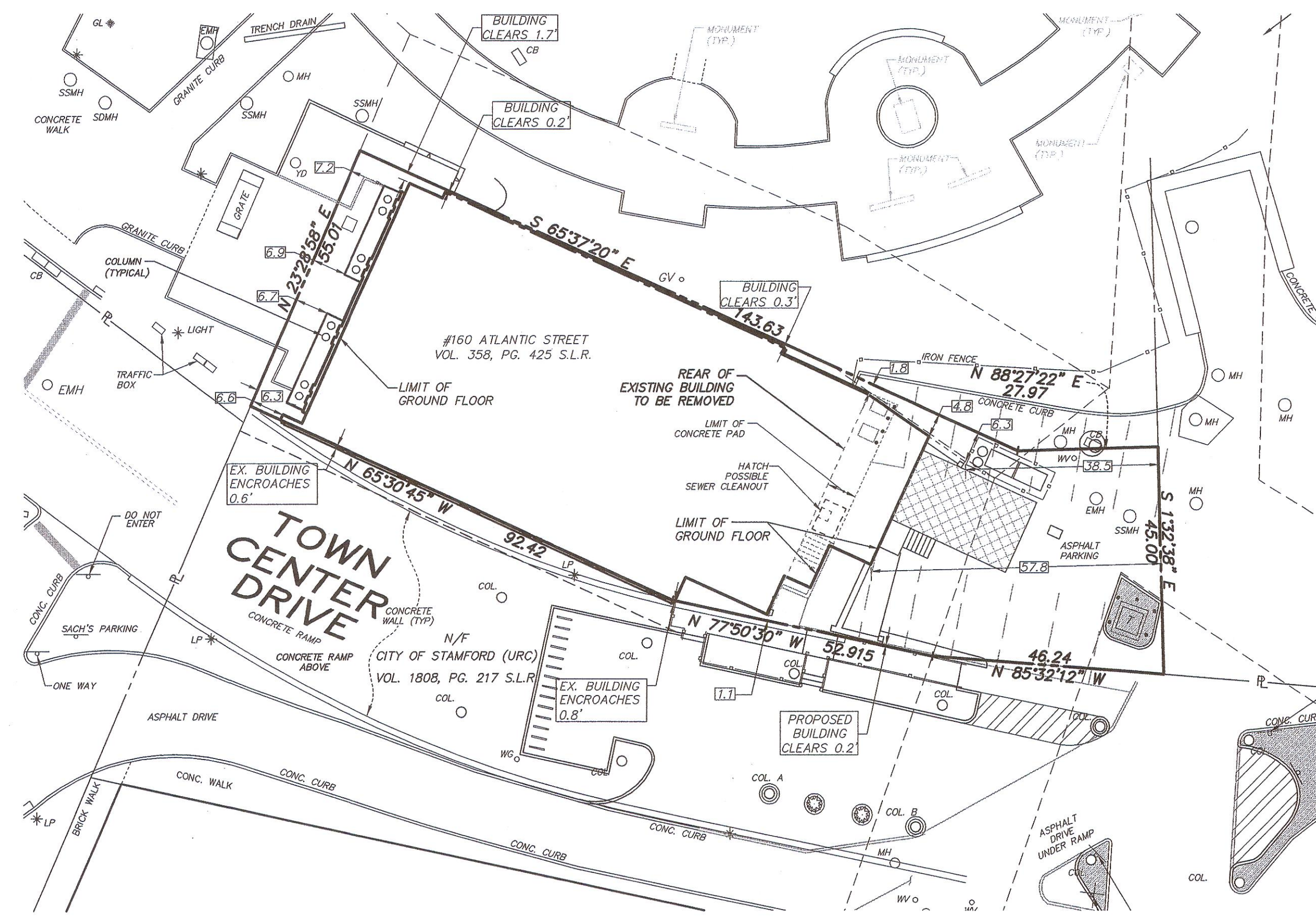
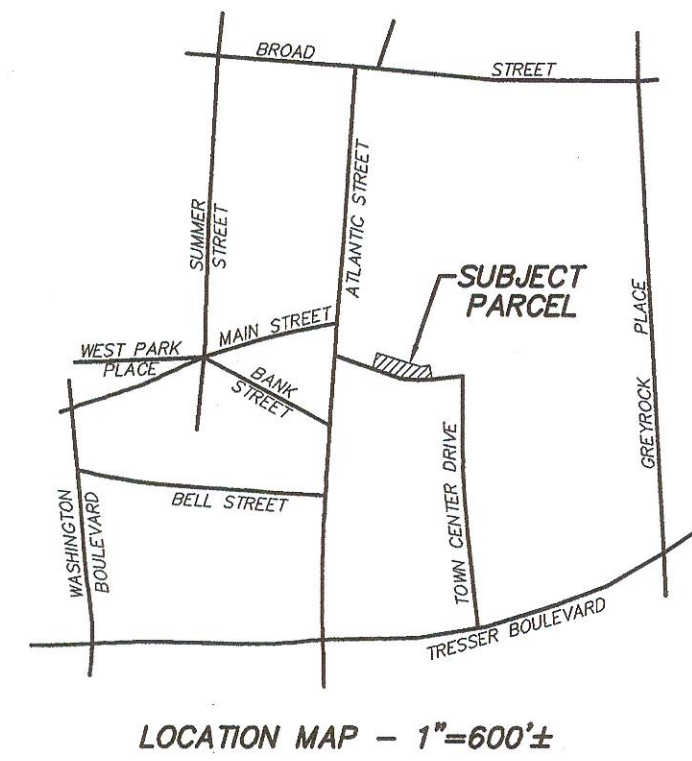


ANTHONY L. D'ANDREA, CT. PE & LS No. 9673
 RIVERSIDE, CONNECTICUT

SURVEYOR
 APRIL 11, 2023 APRIL 19, 2023 JUNE 26, 2023
 JUNE 16, 2021 AUGUST 23, 2021 SEPTEMBER 13, 2021 OCTOBER 18, 2021 APRIL 14, 2022 FEBRUARY 7, 2023 MARCH 3, 2023

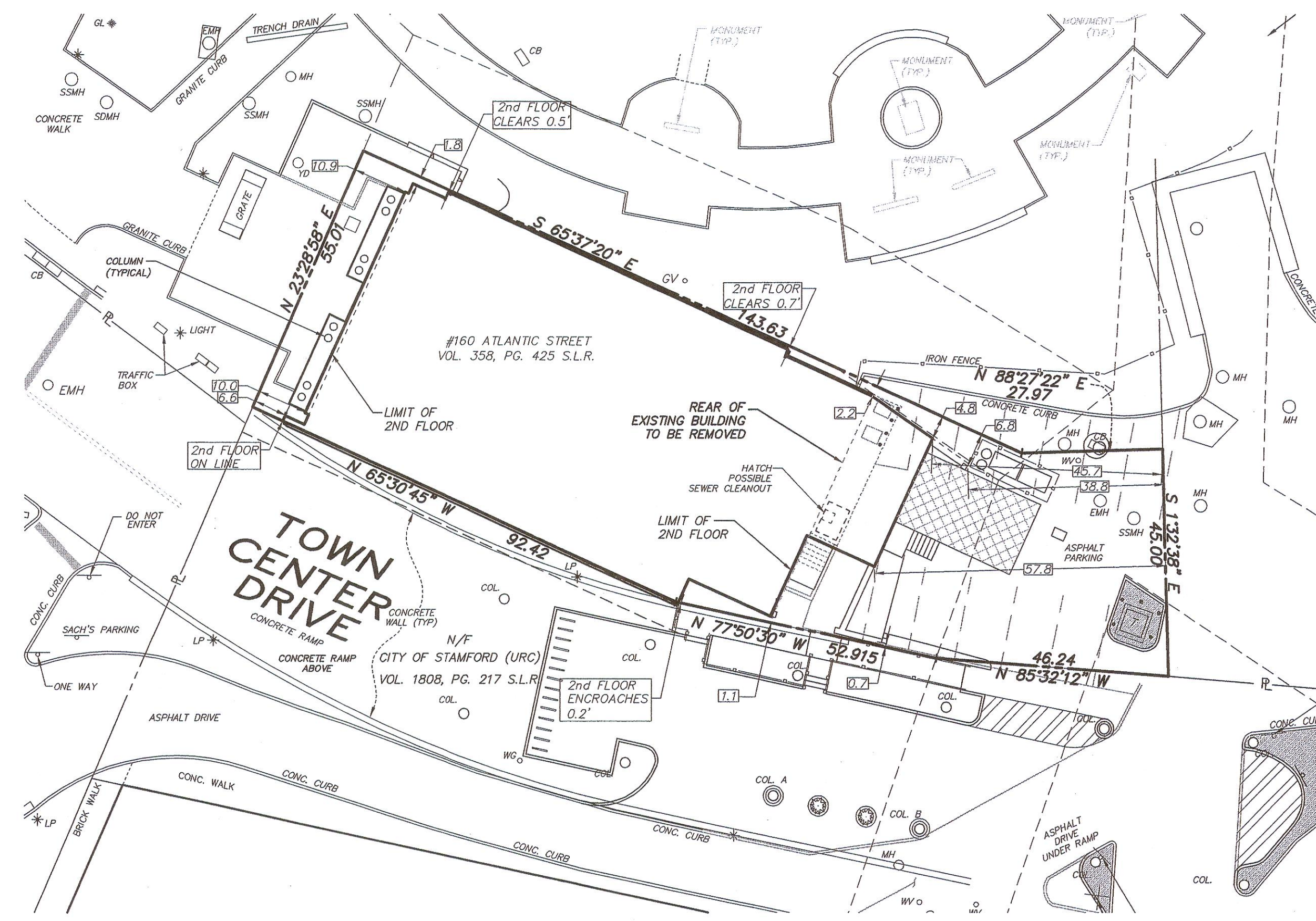


ZONING LOCATION SURVEY
 OF PROPERTY AT
 160 ATLANTIC STREET
 IN
 STAMFORD, CONNECTICUT
 PREPARED FOR
 OLD TOWN SQUARE, LLC



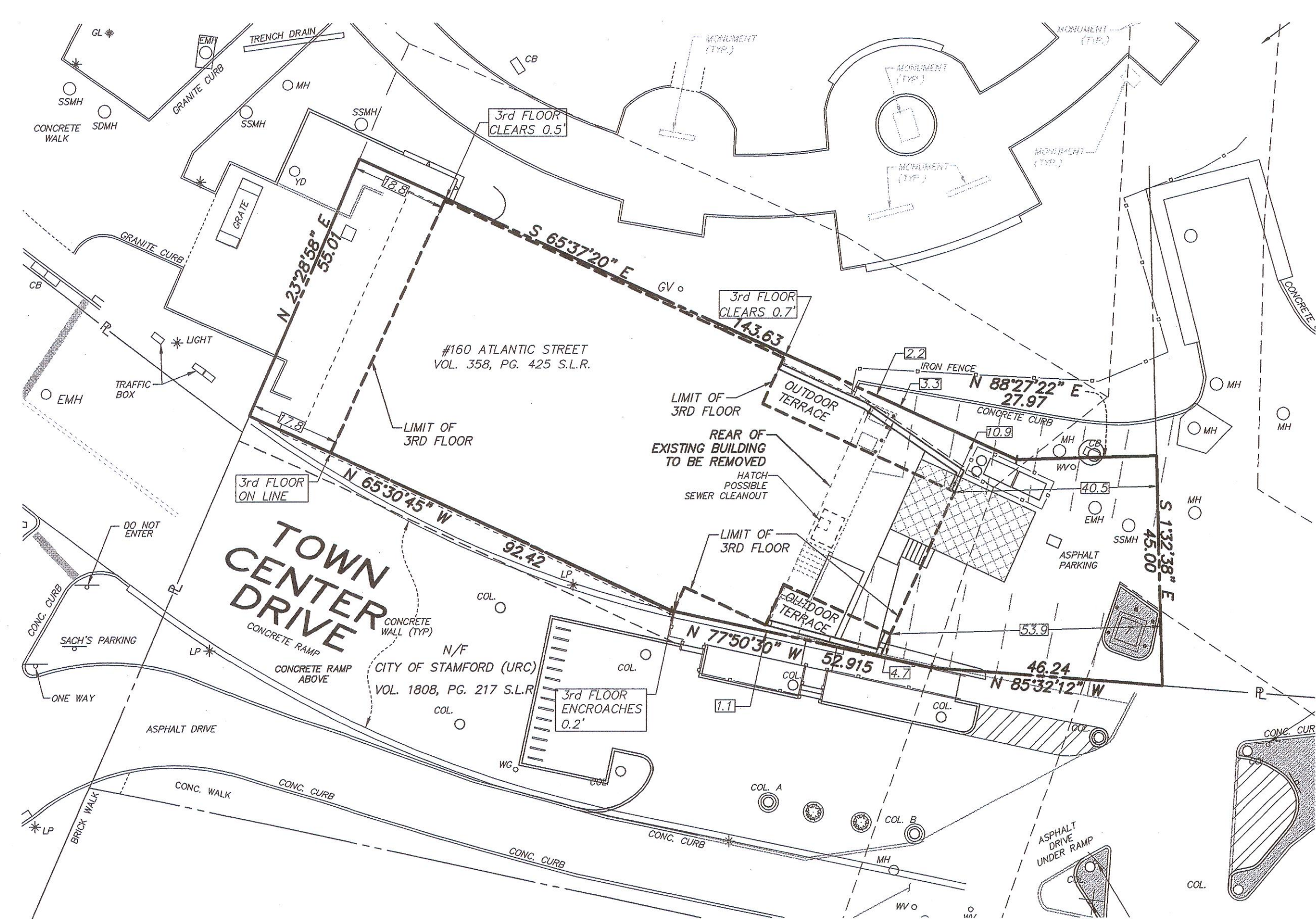
GROUND FLOOR PLAN

SCALE: 1"=20'



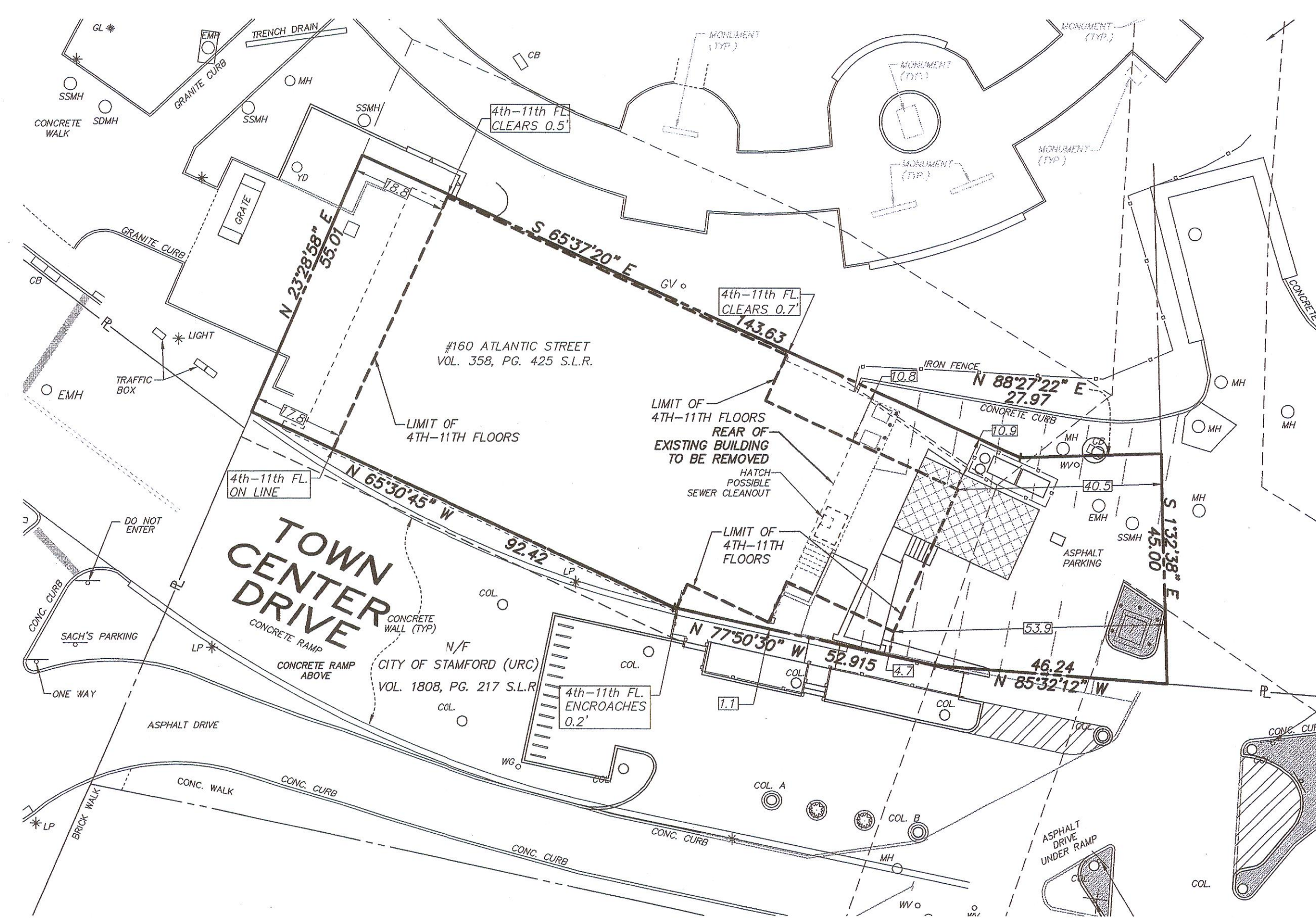
2ND FLOOR PLAN

SCALE: 1"=20'



3RD FLOOR PLAN

SCALE: 1"=20'



4TH - 11TH FLOOR PLAN

SCALE: 1"=20'

ZONING LOCATION SURVEY
OF PROPERTY AT
160 ATLANTIC STREET
IN
STAMFORD, CONNECTICUT
PREPARED FOR
OLD TOWN SQUARE, LLC

ATLANTIC_BLOCK_215_8.DWG (02/7)

GENERAL SURVEYING NOTES
1. REFER TO A SURVEY ENTITLED "ZONING LOCATION SURVEY OF PROPERTY AT 160 ATLANTIC STREET IN STAMFORD, CONNECTICUT PREPARED FOR OLD TOWN SQUARE, LLC SHEET 1 OF 2" PREPARED BY D'ANDREA SURVEYING & ENGINEERING, PC, DATED JUNE 26, 2023.

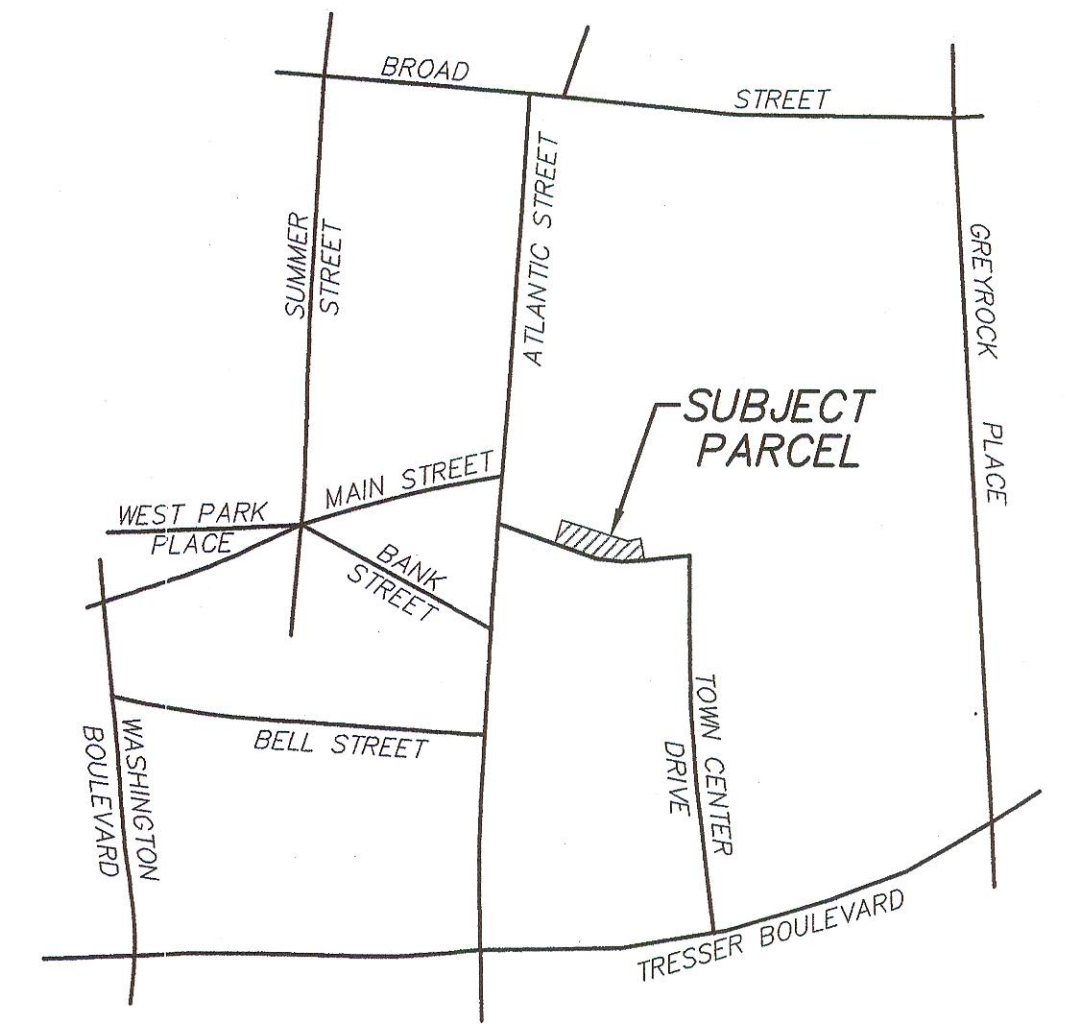
" THE OLD TOWNE HOTEL "

LOCATION

160 ATLANTIC STREET STAMFORD, CONNECTICUT

PREPARED FOR

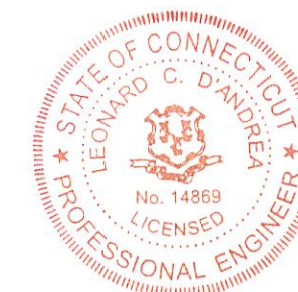
OLD TOWN SQUARE, LLC



LOCATION MAP - 1"=400'±

SHEET INDEX

<u>SHEET</u>	<u>TITLE</u>	<u>REVISION</u>	<u>DATE</u>
1 OF 5	EXISTING CONDITIONS "TOPOGRAPHIC SURVEY"	3	6-26-23
2 OF 5	DEVELOPMENT PLAN	7	6-26-23
3 OF 5	SEDIMENTATION & EROSION CONTROL PLAN	7	6-26-23
4 OF 5	NOTES & DETAILS	2	4-14-22
5 OF 5	CONSTRUCTION LOGISTICS PLAN	7	6-26-23



PLAN SET PREPARED BY:

Leonard C. D'Andrea
D'ANDREA SURVEYING & ENGINEERING, PC
LEONARD C. D'ANDREA, CT PE No. 14889

6-26-23
DATE

ONLY COPIES OF THIS SET, BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL, SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

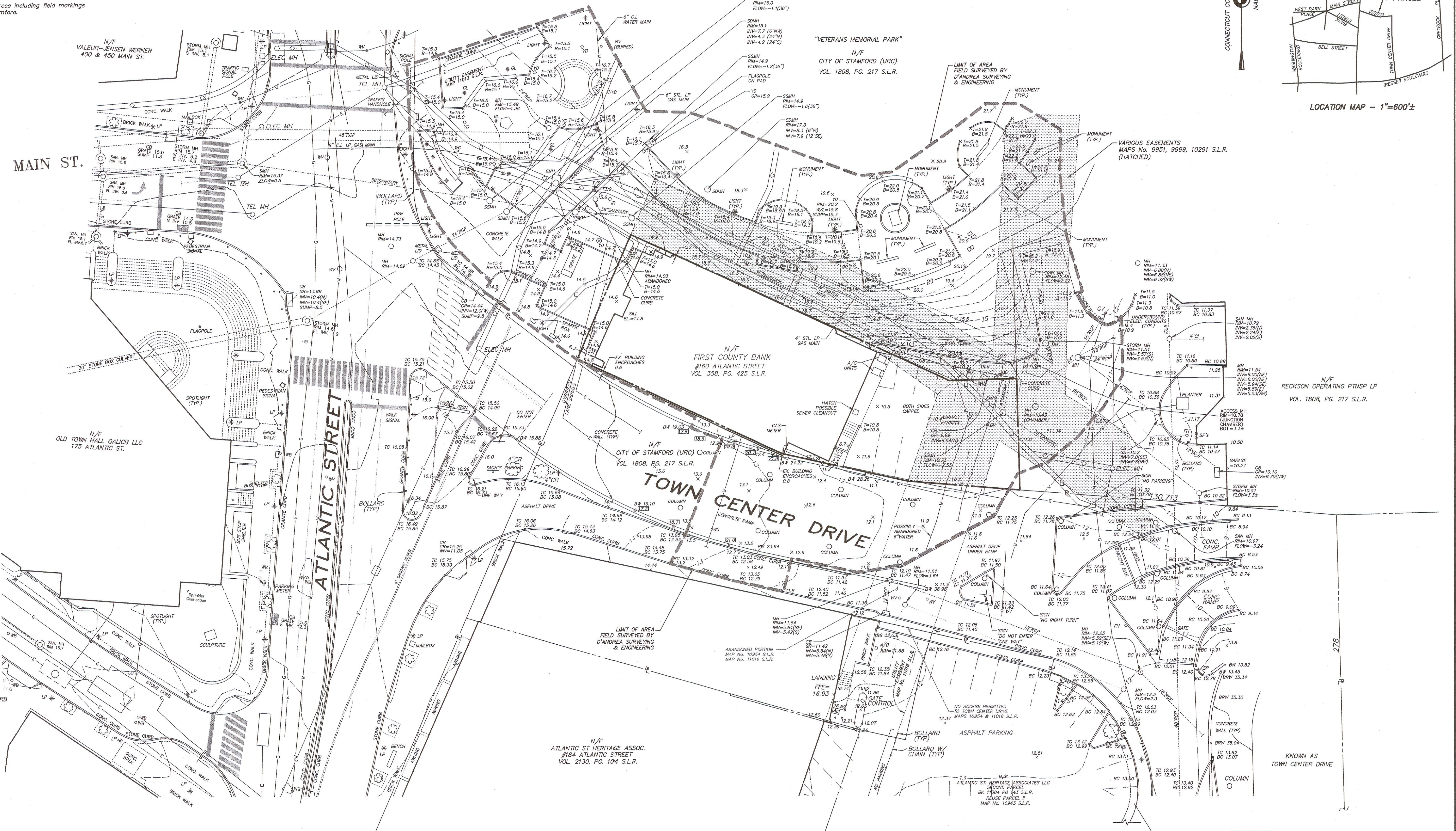
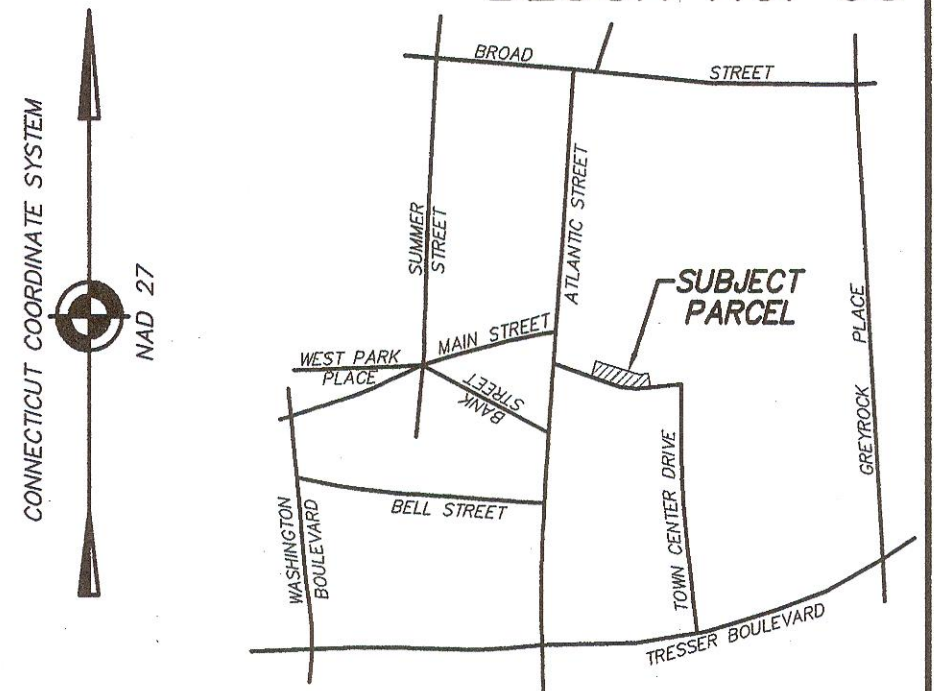
D'ANDREA SURVEYING & ENGINEERING, PC
• LAND PLANNERS
• ENGINEERS
• SURVEYORS
P.O. BOX 549
RIVERSIDE, CT 06878
6 NEIL LANE
TEL. 637-1779

7	6-26-23	CURB MODIFICATION
6	4-19-23	TRANSFORMER LOCATION
5	3-3-23	REVISED PARKING AND WALKS
4	2-7-23	REVISED PARKING AND WALKS
3	1-4-23	REVISED REAR ENTRANCE
2	4-14-22	ENGINEER BUREAU COMMENTS
1	10-18-21	RE-SUBMISSION Z.B.
0	6-16-21	INITIAL SUBMISSION
REV.	DATE	DESCRIPTION

PROJECT	THE OLD TOWNE HOTEL
PREPARED FOR	OLD TOWN SQUARE, LLC
LOCATION	160 ATLANTIC STREET STAMFORD, CONNECTICUT

GENERAL SURVEYING NOTES

- Existing conditions within the noted project limits were taken from a topographic survey prepared by D'Andrea Surveying & Engineering. Outside of the project area, the existing conditions were taken from a survey prepared by Edward J. Frattaroli, Inc. along Atlantic Street and portions of Town Center Drive and Main Street. Limited portions of Veterans Memorial Park were taken from a survey map prepared by Reines and Mead, prior to the Veterans Park improvement.
- Contours and Elevations referenced to the North American Vertical Datum of 1988 (NAVD 88).
- Existing utilities were obtained using multiple sources including field markings by others, and maps on file with the City of Stamford.



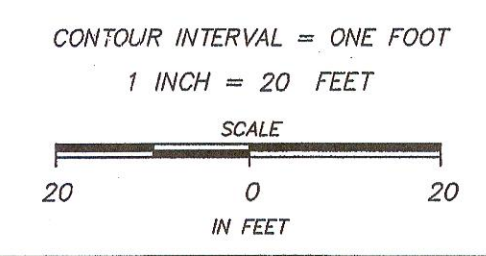
BUILDING COVERAGE
 LOT AREA = 9,246 S.F.
 BUILDING = 5,558 S.F.
 PERCENT COVERAGE = 60.1%

TREE LEGEND
 CR - CHERRY
 SP - SPRUCE
 SY - SYCAMORE

LEGEND:

- 30- EXISTING CONTOUR
- x 25.3 EXISTING SPOT ELEVATION
- x 144.0 TOP/BOTTOM OF WALL OR CURB
- x 143.0 EXISTING SPOT ELEVATION OF UNDER SIDE OF RAMP
- DECIDUOUS TREE
- MH MANHOLE
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- CB CATCH BASIN
- AD AREA DRAIN
- YD YARD DRAIN
- TD TRENCH DRAIN
- PVC POLYVINYL CHLORIDE
- CPV CORRUGATED PLASTIC PIPE
- RCV REINFORCED CONCRETE PIPE
- TW TOP OF WALL
- ⊕ FIRE HYDRANT
- ⊙ UTILITY POLE
- ⊙ SIGN
- ⊙ LIGHT POST
- WG WATER GATE
- WV WATER VALVE
- GV GAS VALVE
- ELECTRIC CONDUIT BANK
- UNDERGROUND UTILITY SERVICE
 W= WATER, G= GAS, E= ELECTRIC

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION, INCLUDING PHYSICAL EVIDENCE, AND UTILITY COMPANY SKETCHES. DEPICTED UTILITIES ARE APPROXIMATE, AND ARE INCOMPLETE. SURVEY DECLARATION OF ACCURACY DOES NOT EXTEND TO THE PLOTTING OF UNDERGROUND UTILITIES. UNDERGROUND UTILITY LOCATION SHALL BE FIELD VERIFIED AND MARKED PRIOR TO COMMENCING ANY EXCAVATION ACTIVITIES. "CALL BEFORE YOU DIG," 1-800-922-4455.



THIS MAP IS A TOPOGRAPHIC SURVEY. TOPOGRAPHIC DATA IS IN ACCORDANCE WITH CLASS "1-2" AND "1-3" TOPOGRAPHIC ACCURACY. BOUNDARY INFORMATION IS BASED ON A RESURVEY CONDUCTED IN ACCORDANCE WITH HORIZONTAL ACCURACY CLASS "A-2" AS DEFINED IN THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20.

NEW MONUMENTATION HAS NOT BEEN SET AS A RESULT OF THIS SURVEY.

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AREA = 9,246 S.F.

REFER TO BOOK 12151 PAGE 81 AND MAP No. 10247 S.L.R.

LAND LIES IN "CC" ZONING DISTRICT

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

D'ANDREA SURVEYING & ENGINEERING, PC
 LAND PLANNERS
 ENGINEERS
 SURVEYORS
 P.O. BOX 549 RIVERSIDE, CT 06878 6 NEIL LANE TEL. 637-1779

PROJECT	HOTEL DEVELOPMENT	
PREPARED FOR	OLD TOWN SQUARE, LLC	
LOCATION	160 ATLANTIC STREET STAMFORD, CONNECTICUT	
1 OF 5	EXISTING CONDITIONS	

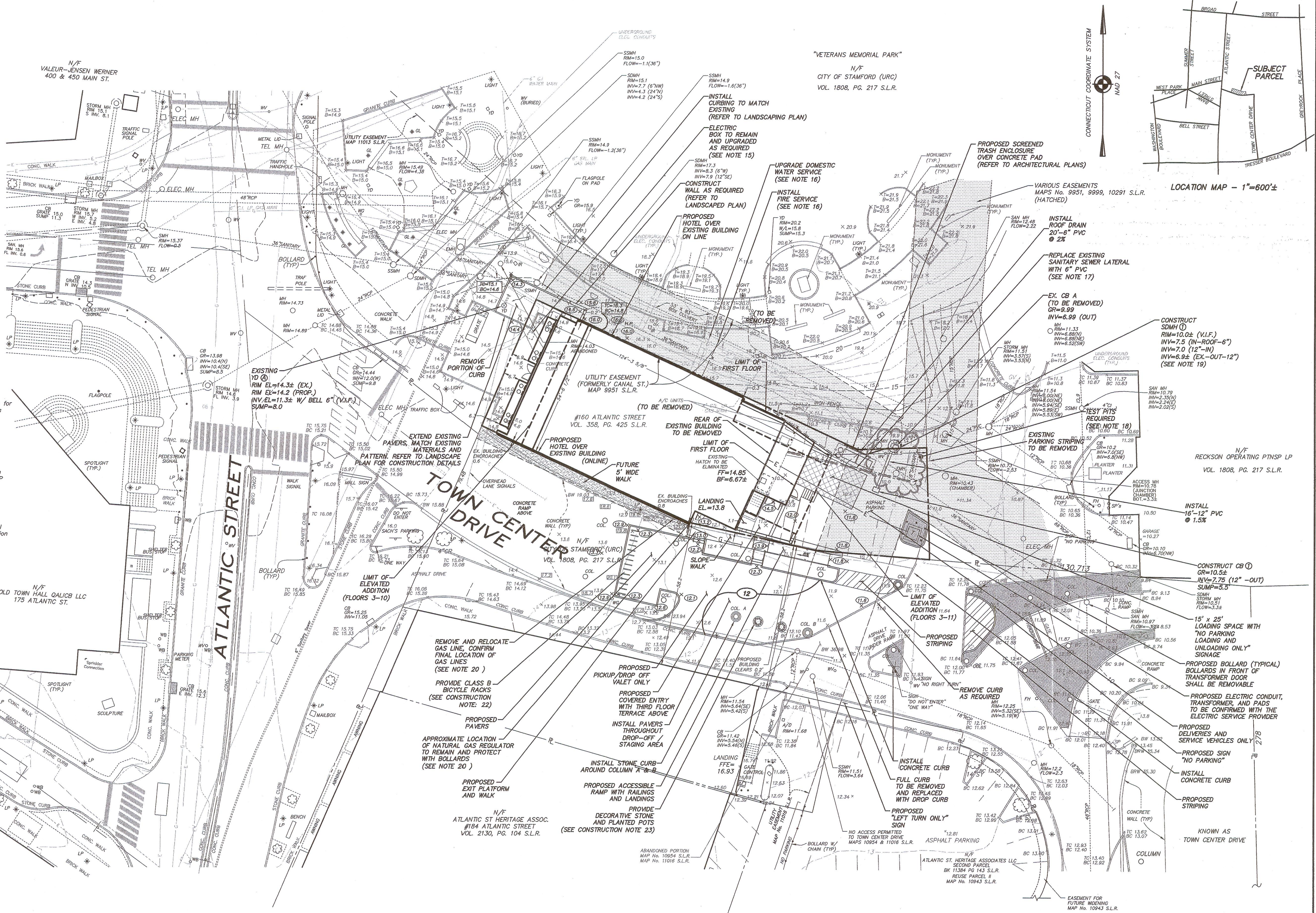
REV.	DATE	DESCRIPTION
3	6-26-23	UPDATED TOPOGRAPHIC SURVEY
2	2-23-23	UPDATED TOPOGRAPHIC SURVEY
1	2-7-23	UPDATED TOPOGRAPHIC SURVEY
0	4-14-22	TOPOGRAPHIC SURVEY

ANTHONY L. D'ANDREA CT. PE & LS No. 5673
Anthony L. D'Andrea
 ENGINEER/SURVEYOR 6-26-23

ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

CONSTRUCTION NOTES:

- The contractor shall be solely responsible to coordinate his work with the work being done by others. The contractor shall likewise bear the responsibility for delays or other factors related to the work by others. No claims shall be allowed due to the contractor's failure to adequately coordinate such work.
- Appropriate measures shall be taken to control any sedimentation and erosion which may result during construction.
- A building permit shall be obtained prior to commencing construction.
- Existing utilities in conflict through or above this parcel shall be relocated as directed by the appropriate utility company or the owner. The contractor shall excavate test pits to verify the location and depth of utilities where conflicts may exist.
- Pavement replacement shall be bituminous concrete, placed in accordance with the City of Stamford standards and/or Connecticut State Highway specifications.
- Grading, filling, and other such alterations to the site shall be restricted to the minimum level necessary to complete the project as shown on the plan.
- The contractor shall provide all equipment, tools, labor and materials necessary to satisfactorily clean and remove all visible obstructions, dirt, sand, sludge, roots, gravel, stones, etc., from the storm drains, sanitary sewers, and structures.
- Processed aggregate shall be in accordance with the City of Stamford standards and/or Connecticut State Highway specifications.
- Driveway pavement shall be 2 course bituminous concrete placed in accordance with the City of Stamford standards and/or Connecticut State Highway specifications.
- The contractor shall be responsible to field-mark all utilities within the project area and take every measure necessary to protect such services through the construction phase.
- The project engineer shall be notified a minimum of three working days prior to the commencement of each phase of construction.
- Appropriate measures shall be taken to control any sedimentation and erosion which may result during construction.
- There shall be no dumping of construction debris and/or excess excavated material into or in proximity to any inland or tidal wetland areas. All excavated material shall be stockpiled and contained on-site within silt fencing. The contractor shall be responsible for the removal of all excess material excavated during construction. All excess material shall be removed in a careful and environmentally sound manner and shall be disposed of legally off-site.
- Shoulders and disturbed areas shall receive four inches of topsoil; fine graded and mulched, soon as practical to prevent erosion.
- Contractor shall confirm power requirements through the MEP for the project and coordinate electric service requirements with Eversource, and communication services with the appropriate communication service company. Any such proposed services depicted hereon are conceptual in design, and not to be construed as final design.
- Fire service waterline and any upgrade to the existing domestic service waterline shall be coordinated with Aquarum Water Company, and the MEP for the project. The project MEP shall be responsible for providing final design and upgrade requirements.
- The final pipe diameter and material selection for the proposed sanitary sewer lateral replacement shall be determined by the MEP for the project and approved by the Water Pollution Control Authority (WPCA). Any restaurant kitchen, if proposed, will have to conform to all local requirements for FOG control. The contractor shall be responsible for securing all connection and upgrade permits as may be required by the WPCA. The contractor shall coordinate with the project land surveyor to locate the sanitary sewer lateral before backfilling.
- All existing mapped buried utilities was compiled from various sources and is understood to be approximate and may not depict all buried utilities. The contractor, in addition to copying in buried utility marking through Call Before You Dig, shall retain an outside marking contractor to verify and confirm that all buried utilities serving the building have been properly identified. Subsequent to this task, the contractor shall provide test pits where noted and/or where required to confirm the size and depth of marked utilities. Conflicts between the proposed design and such utilities shall be brought to the immediate attention of the owner, project engineer, project architect and project MEP before proceeding with installation so that an evaluation, and if necessary, a redesign of the site improvements, can be provided.
- The final location of the roof leader outlet from the building shall be coordinated with the MEP for the project and adjusted as necessary after consulting with the site civil engineer for the project.
- The present location of a portion of the exterior gas line encroaches over the property line and shall be removed and relocated as noted. The location shown here on is approximate and the final location shall be coordinated with the project MEP and Yankee Gas before commencing with the installation.
- Refer to Architectural plans by DO H Chung & Partners.
- For the selection of the bicycle rack, and for the location of an additional Class A and B bicycle racks, refer to Architectural building plans.
- Refer to Landscape Plan prepared by Environmental Land Solutions, LLC.

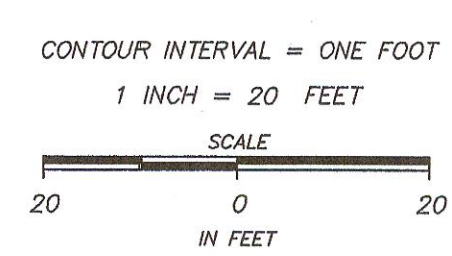


TREE LEGEND

- AP - APPLE
- B - BIRCH
- CH - CHERRY
- EL - ELM
- FR - FRAXINUS
- LO - LOCUST
- M - MAPLE
- MC - MULBERRY
- PI - PINE
- SP - SPRUCE
- SY - SYCAMORE
- MU - MULBERRY
- TR - TRINNY

LEGEND

--- 30 ---	EXISTING CONTOUR	COL.	CONCRETE COLUMN
x 30.0	EXISTING SPOT ELEVATION	MH	MANHOLE
x 30.0	EXISTING TOP/BOTTOM SPOT ELEVATION	C.B.	CATCH BASIN
x 30.0	EXISTING SPOT ELEVATION OF UNDER SIDE OF RAMP	D.I.	DRAIN INLET
--- 30 ---	PROPOSED CONTOUR	SDMH	STORM DRAIN MANHOLE
x 30.0	PROPOSED SPOT ELEVATION	SSMH	SANITARY SEWER MANHOLE
○	DECIDUOUS TREE	PVC	POLYVINYL CHLORIDE
○	TREE TO BE REMOVED	RCP	REINFORCED CONCRETE PIPE
○	UTILITY POLE	VTP	VITRIFIED TILE PIPE
○	GAS GATE	U.U.S.	UNDERGROUND UTILITY SERVICE:
○	WATER GATE	C=CABLE, E=ELECTRIC, G=GAS, T=TELEPHONE, W=WATER	
		A.O.B.E.	AS ORDERED BY ENGINEER
		V.I.F.	VERIFY IN FIELD
		---	LIMIT OF WETLANDS AS FLAGGED



REV.	DATE	DESCRIPTION
7	6-26-23	CURB MODIFICATION
6	4-19-23	TRANSFORMER LOCATION
5	3-3-23	REVISED PARKING AND WALKS
4	2-7-23	REVISED PARKING AND WALKS
3	1-4-23	REVISED REAR ENTRANCE
2	4-14-22	ENGINEER BUREAU COMMENTS
1	10-18-21	RE-SUBMISSION Z.B.
0	6-16-21	INITIAL SUBMISSION

D'ANDREA SURVEYING & ENGINEERING, PC
LAND PLANNERS
ENGINEERS
SURVEYORS

P.O. BOX 549
RIVERSIDE, CT 06878
6 NEIL LANE
TEL. 637-1779

PROJECT: **THE OLD TOWNE HOTEL**

PREPARED FOR: **OLD TOWN SQUARE, LLC**

LOCATION: **160 ATLANTIC STREET STAMFORD, CONNECTICUT**

2 OF 5 **DEVELOPMENT PLAN**

ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

SEDIMENTATION AND EROSION CONTROL NOTES:

1. Temporary soil and erosion control measures, inclusive of filter barriers, water breaks, check dams, and anti-tracking areas, shall remain in place for as long as necessary to permanently stabilize developed areas.
2. Erosion and sediment control devices shall be installed in their proper sequence. No clearing or grading may be done in any area until the erosion control devices for that area, as shown on the plan, are in place and functional.
3. Natural vegetation shall be maintained and protected to the greatest extent practical.
4. All sediment and erosion control devices and provisions shall be maintained in operational condition by the contractor until final acceptance of the project.
5. No changes of this soil erosion and sediment control plan may be made without prior approval of the supervising engineer.
6. Land disturbance is to be kept to a minimum. Re-establishment and/or stabilization of disturbed areas shall be scheduled as soon as practical.
7. Erosion controls shall be monitored periodically to verify that they are maintained in effective working order. If, during construction, additional control measures are necessary, they shall be installed by that contractor.
8. Sediment or debris shall be removed from the drainage pipes and structures as it accumulates during construction. It shall be disposed of in a manner which is consistent with the intent of this plan.
9. The contractor may provide alternate means of sediment control, but he may not eliminate placement of protection in the areas indicated herein.
10. Sediment fencing shall be installed where required prior to commencing construction, and shall remain in place for the duration of the project. Fencing shall be Propex Silt Stop (TM) as manufactured by Amoco, or engineer approved equivalent.
11. The contractor shall re-grade, topsoil, and seed all disturbed areas immediately after construction has been completed.
12. Refer to Connecticut Guidelines for Soil Erosion and Sediment Control (2002) for additional details and specifications.
13. Additional protection measures shall be implemented to control any sedimentation and erosion which may result during construction.
14. All designated trees shall be protected during the construction period, except those designated to be removed. Tree protection shall be in accordance with generally accepted standards. (Refer to the Connecticut Guidelines for Soil Erosion and Sediment Control (2002) for details and specifications).
15. Ground under decks and stairs shall be stabilized with 6" of 1/4" crushed stone, flagstone or other suitable material, if applicable.
16. An additional 10% of trap rock, hay bales, snow fencing, fabric fencing, and other control materials are to be stockpiled on site for use as necessary.
17. A silt sack shall be installed in each catch basin prior to connecting site disturbance. The contractor is responsible for the maintenance of the silt sacks for the duration of construction. The contractor shall monitor the weather forecast and clean silt sacks prior to rainfall events.

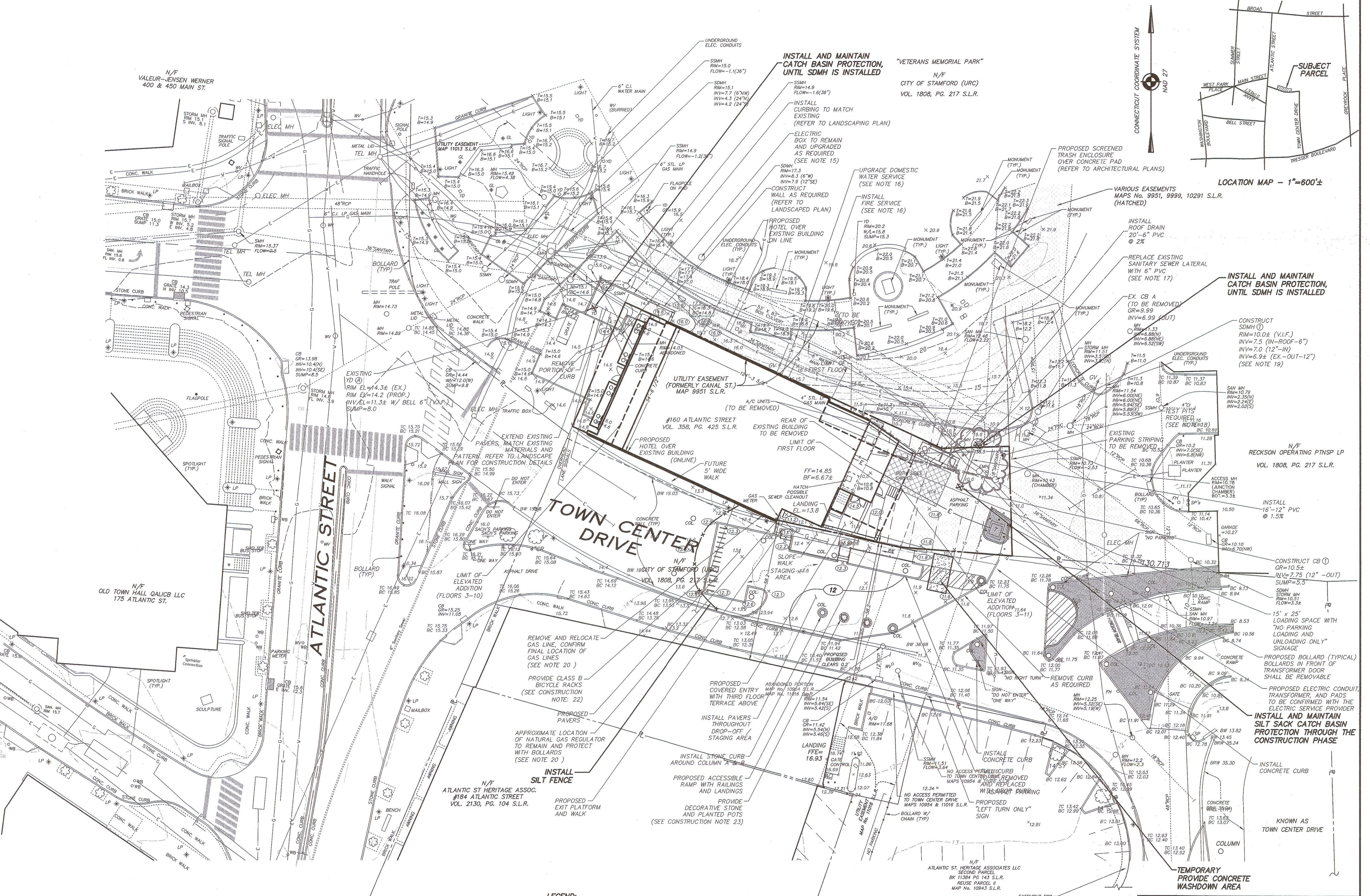
CONSTRUCTION STAGING:

1. Install catch basin silt sock.
2. Install project fencing.
3. Disconnect utilities serving the existing building as required.
4. Remove portion of existing building, refer to Architectural plans.
5. Excavate for proposed addition.
6. Backfill and rough grade around foundations, stabilize all slopes.
7. Construct proposed addition and upper floors.
8. Install sanitary sewer lateral and other utilities.
9. Install storm drainage system.
10. Construct proposed service drive, walks, and other hardscape.
11. Fine grade and stabilize all slopes.
12. Landscape as required.
13. Remove sedimentation and erosion controls.

TREE LEGEND

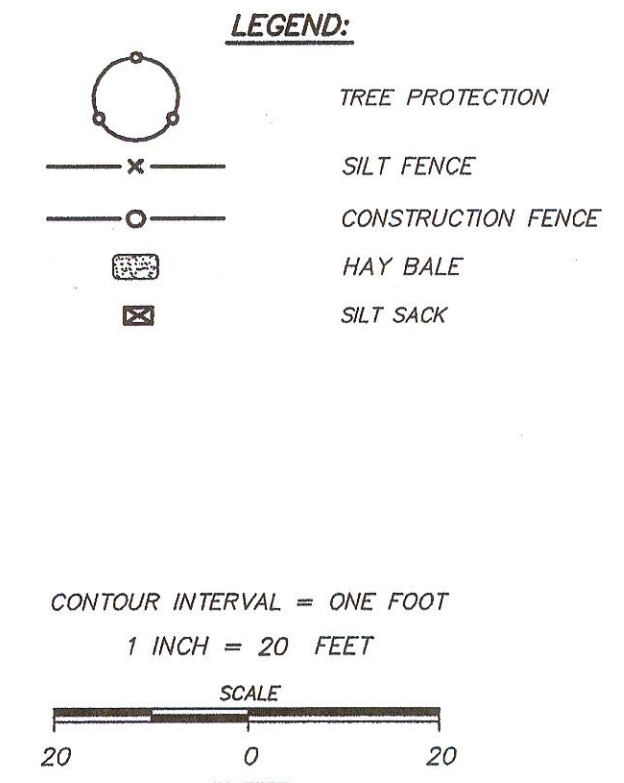
AP	APPLE
B	BIRCH
CH	CHERRY
E	ELM
H	HICKORY
LD	LINDSEY
M	MAPLE
O	OAK
P	PINE
S	SPRUCE
SY	SYCAMORE
MU	MULBERRY
TR	TRIN

NOTE: A SILT SACK SHALL BE INSTALLED IN EACH CATCH BASIN DURING ROADWAY RECONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF THE SILT SACKS FOR THE DURATION OF CONSTRUCTION. THE CONTRACTOR SHALL MONITOR THE WEATHER FORECAST AND CLEAN SILT SACKS PRIOR TO RAINFALL EVENTS.



LEGEND

---	EXISTING CONTOUR
x 30.0	EXISTING SPOT ELEVATION
x 30.0 / B=28.5	EXISTING TOP/BOTTOM SPOT ELEVATION
---	PROPOSED CONTOUR
x 4.3	PROPOSED SPOT ELEVATION
(Tree symbol)	DECIDUOUS TREE
(Tree symbol)	TREE TO BE REMOVED
(Symbol)	UTILITY POLE
(Symbol)	GAS GATE
(Symbol)	WATER GATE
MH	MANHOLE
C.B.	CATCH BASIN
D.I.	DRAIN INLET
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
VTP	VITRIFIED TILE PIPE
C	UNDERGROUND UTILITY SERVICE: C=CABLE, E=ELECTRIC, G=GAS, T=TELEPHONE, W=WATER
(Symbol)	AS ORDERED BY ENGINEER
(Symbol)	VERIFY IN FIELD
(Symbol)	LIMIT OF WETLANDS AS FLAGGED



NOTE: THE STREET AND PROJECT FRONTAGE AREA SHALL BE SWEEPED CLEAN AT THE END OF EACH DAY AS REQUIRED. IN PARTICULAR, THE CONSTRUCTION ENTRANCE SHALL BE KEPT FREE OF DUST AND SEDIMENT.

D'ANDREA SURVEYING & ENGINEERING, PC
LAND PLANNERS
ENGINEERS
SURVEYORS
P.O. BOX 549 RIVERSIDE, CT 06878
6 NEIL LANE TEL. 637-1779

PROJECT	THE OLD TOWNE HOTEL
PREPARED FOR	OLD TOWN SQUARE, LLC
LOCATION	160 ATLANTIC STREET STAMFORD, CONNECTICUT
DATE	6-26-23

3 OF 5	SEDIMENTATION & EROSION CONTROL PLAN
--------	--------------------------------------

NO.	DATE	DESCRIPTION
7	6-26-23	CURB MODIFICATION
6	4-19-23	REVISED PARKING AND WALKS
5	3-3-23	REVISED PARKING AND WALKS
4	2-7-23	REVISED PARKING AND WALKS
3	1-4-23	REVISED REAR ENTRANCE
2	4-14-22	ENGINEER BUREAU COMMENTS
1	10-18-21	RE-SUBMISSION Z.B.
0	6-16-21	INITIAL SUBMISSION

REVISIONS

LEONARD C. D'ANDREA, CT PE No. 14869
ENGINEER

CONSTRUCTION NOTES:

- The contractor shall be solely responsible to coordinate his work with the work being done by others. The contractor shall bear the responsibility for delays or other factors related to the work by others. No claims shall be allowed due to the contractor's failure to adequately coordinate such work.
- Appropriate measures shall be taken to control any sedimentation and erosion which may result during construction.
- All specimen trees shall be protected during the construction period, except those specifically designated to be removed, in accordance with generally accepted standards.
- The proposed building shall be designed by the architect in order to conform with current applicable zoning setback criteria and regulations, and a building permit shall be obtained prior to commencing construction.
- Existing utilities in conflict through or above this parcel shall be relocated as directed by the appropriate utility company or the owner. The contractor shall excavate test pits to verify the location and depth of utilities where conflicts may exist.
- Pavement replacement shall be bituminous concrete, placed in accordance with the City of Stamford standards and/or Connecticut State Highway specifications.
- The contractor shall not commence any paving until the grading and shaping of the compacted gravel base has been approved by the project engineer.
- Regrading, filling, and other such alterations to the site shall be restricted to the minimum level necessary to complete the project as shown on the plan.
- Existing inverts on storm drains, sanitary sewers, and utility conduits shall be field verified where appropriate, before commencing construction. The contractor shall excavate test pits where indicated hereon or wherever design conflicts may occur. The contractor shall notify the project engineer of the test results. Design conflicts if any, shall be brought to the immediate attention of the project engineer. Plans or backfill and patch test pits as directed by the project engineer.
- Manhole structures shall be precast concrete with gaskets as manufactured by Eastern Precast Co., Inc. or engineer approved equal, unless noted otherwise.
- Precast concrete cone section to be eccentric. Flat slab tops to have eccentric openings. Eccentric cone sections shall be used when the vertical distance between manhole frame and top of highest pipe is six (6) feet or greater, otherwise flat slab tops shall be used. Aluminum manhole steps (drop form type) shall be provided in all manholes at 12 inch intervals. Each step shall be capable of supporting a minimum load of 1,000 pounds. Wall joints to be "C"-ring rubber gasket type with the interior and exterior faces of joints to be sealed with waterproof non-shrink grout.
- Connection between manholes and PVC sanitary sewer or storm drain pipes shall be made with flexible rubber boot type connections sealed water tight with a stainless steel clamp. The contractor shall make sure that all connections of new sanitary sewers are water tight. Connections to manholes for reinforced concrete storm and sanitary sewer pipe shall be made with concrete brick enclosures, or non-shrink grout. The contractor shall make sure that all connections of new sanitary sewers to manholes are water tight.
- All gravity PVC storm drain and sanitary sewer pipe shall conform to ASTM D 3034 "Standard Specification for Type PSM Poly Vinyl Chloride (PVC) Sewer Pipe and Fittings" or approved equal (SDR35).
- Corrugated plastic pipe (CPP) shall be HDPE, N-12, smooth interior pipe as manufactured by Advanced Drainage Systems, Inc. or engineer approved equal and shall comply with AASHTO M294-94 Type S (smooth inner liner).
- Where unsuitable foundation is encountered during construction of storm drains or sanitary sewers, the contractor shall remove the unsuitable material and replace it with other material approved by the project engineer.
- Bedding and backfill material shall conform to ASTM D3231 specification "standard recommended practice for underground installations of flexible thermoplastic sewer pipe (PVC)".
- All storm drainage and sewer connections shall be sloped at 2% (minimum) or as otherwise noted. The contractor shall provide all equipment, tools, labor and materials necessary to satisfactorily clean and remove all visible obstructions, dirt, sand, sludge, roots, gravel, stones, etc., from the storm drains, sanitary sewers, and structures.
- Processed aggregate shall be in accordance with the City of Stamford standards and/or Connecticut State Highway specifications.
- All existing manhole frames, catch basin grates, and utility structures shall be adjusted to new finish grade as required. Contractor to coordinate with existing utility companies to ensure their facilities are adjusted to finish grade.
- All traffic control devices including traffic signs and pavement markings shall be installed in conformance with the current edition of the Manual on Uniform Traffic Control Devices for Streets and Highways, U.S. Department of Transportation, Federal Highway Administration.
- All utility relocations and installations shall be coordinated with each respective utility company prior to construction. Coordinate all utility installation and connection specifications with each respective utility company.
- All construction shall be inspected by a professional engineer prior to backfill and as the work progresses.
- The project engineer shall be notified a minimum of three working days prior to the commencement of each phase of construction.
- Appropriate measures shall be taken to control any sedimentation and erosion which may result during construction.
- There shall be no dumping of construction debris and/or excess excavated material into or in proximity to any inland or tidal wetland areas. All excavated material shall be stockpiled and contained on-site within silt fencing. The contractor shall be responsible for the removal of all excess material excavated during construction. All excess material shall be removed in a careful and environmentally sound manner and shall be disposed of legally off-site.
- Shoulders and disturbed areas shall receive four inches of topsoil, fine graded and seeded as soon as practical to prevent erosion.
- Regrading, filling, and other such alterations to the site shall be restricted to the minimum level necessary to complete the project as shown on the plan.

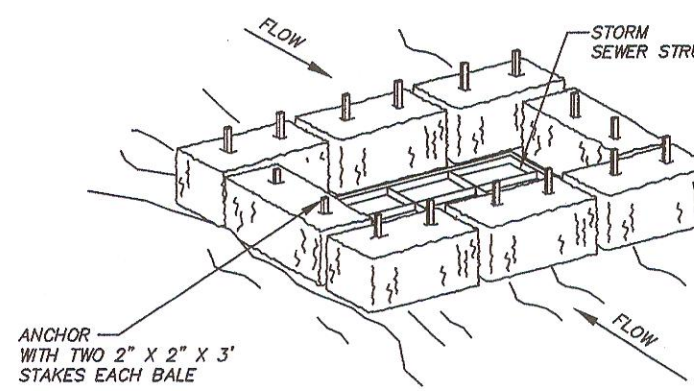
STANDARD CITY OF STAMFORD NOTES:

- A Street Opening Permit is required for all work within the City of Stamford Right-of-Way.
- All work within the City of Stamford Right-of-Way shall be constructed to City of Stamford requirements, the State of Connecticut Basic Building Code and the Connecticut Guidelines for Soil Erosion and Sedimentation Control.
- The Engineering Bureau of the City of Stamford shall be notified three days prior to any commencement of construction or work within the City of Stamford Right-of-Way.
- Trees within the City of Stamford Right-of-Way to be removed shall be posted in accordance with the Tree Ordinance.
- Prior to any excavation the Contractor and/or Applicant/Owner, in accordance with Public Act 77-350, shall be required to contact "Call Before You Dig" at 1-800-922-4455 for mark out of underground utilities.
- All retaining walls three (3) feet or higher measured from finished grade at the bottom of the wall to finished grade at the top of the wall and retaining walls supporting a surcharge or impounding Class I, II or III-A liquids are required to have a Building Permit. Retaining walls shall be designed and inspected during construction by a Professional Engineer licensed in the State of Connecticut. Prior to the issuance of a Certificate of Occupancy, retaining walls shall be certified by a Professional Engineer licensed in the State of Connecticut.
- Certification will be required by a professional engineer licensed in the State of Connecticut that work has been completed in compliance with the approved drawings.
- A Final Improvement Location Survey will be required by a professional land surveyor licensed in the State of Connecticut.
- Connection to a city-owned storm sewer shall require the Waiver Covering Storm Sewer Connection to be filed with the City of Stamford Engineering Bureau.
- Granite block or other decorative stone or brick, depressed curb, driveway apron and curbing within the City of Stamford Right-of-Way shall require the Waiver Covering Granite Block Depressed Curb and Driveway Aprons to be filed with the City of Stamford Engineering Bureau.
- Sediment and erosion controls shall be maintained and repaired as necessary throughout construction until the site is stabilized.
- To obtain a Certificate of Occupancy, submittal must include all items outlined in the Checklist for Certificate of Occupancy (Appendix D of the City of Stamford Drainage Manual).

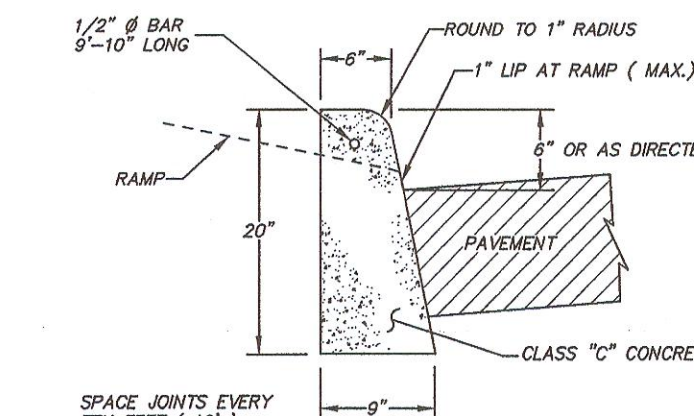
STAMFORD DRAINAGE MAINTENANCE REQUIREMENTS AND SCHEDULE:

NOTE: THE FOLLOWING IS A BEST PRACTICE MAINTENANCE SCHEDULE FOR THE STORMWATER MANAGEMENT STRUCTURES DESIGNED HEREIN ON THIS PLAN SET FOR THE OWNERS OF THE SUBJECT PARCEL TO FOLLOW. IT IS NOT INTENDED TO DESCRIBE OR SUPERSEDE THE MAINTENANCE AGREEMENT COVENANT OF THE SUBJECT PARCEL, AS REQUIRED BY THE CITY OF STAMFORD UPON COMPLETION OF WORK AND PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. REFER TO THE CITY OF STAMFORD DRAINAGE MAINTENANCE AGREEMENT COVENANT REGARDING LONG-TERM MAINTENANCE REQUIREMENTS, CITY APPROVAL, CITY RIGHTS TO INSPECTION, AND PENALTY AND LEGAL ACTION FOR FAILURE OF COMPLIANCE TO SAID AGREEMENT COVENANT.

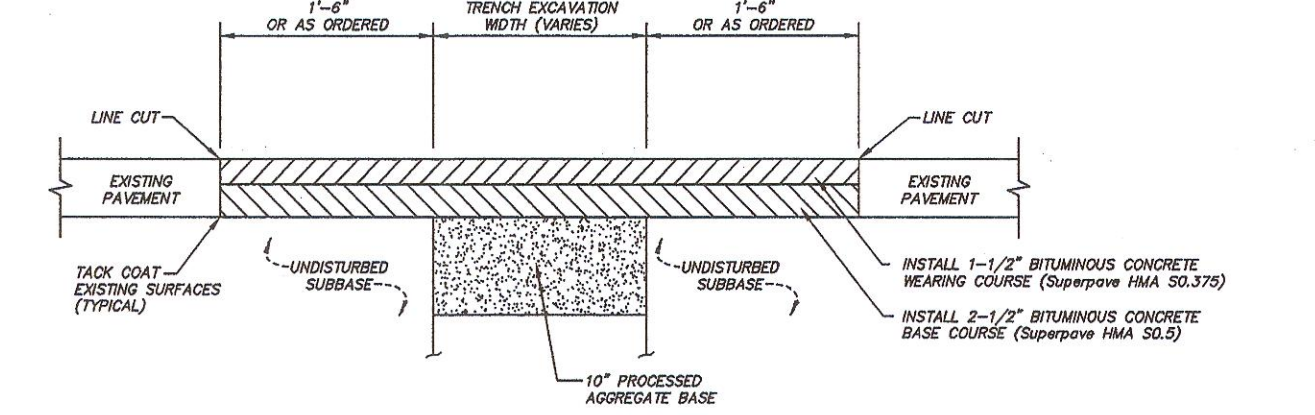
- OWNER shall clean the drainage facilities or cause such facilities to be cleaned by periodic removal of accumulated sediment and debris in a good and workman-like manner, at least two (2) times during every twelve (12) month period, which times shall be in the period between April and June and between October and December and more often as the City may determine to be necessary.
- OWNER shall sweep, or cause to be swept, garage facilities, driveways and roadway surfaces located on the Property at least once per calendar quarter.
- OWNER shall utilize only sand or calcium chloride in connection with the de-icing of areas within the Property meaning and intending that road salt (Sodium Chloride) shall not be used for said purpose.
- OWNER shall repair or replace any defects or defective drainage facilities so as to maintain the drainage facilities, at all times, in a fully functional capacity.
- OWNER shall file as-built drainage plans with the EPB immediately upon the completion of work. Said plans shall be prepared by a professional engineer/surveyor registered in the State of Connecticut.



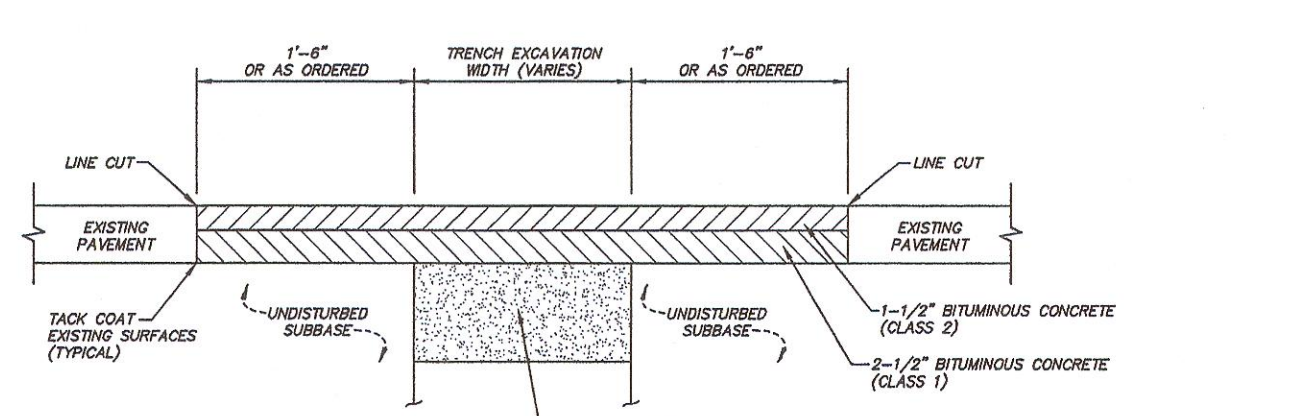
HAY BALE INSTALLATION AT CATCH BASINS
N.T.S.



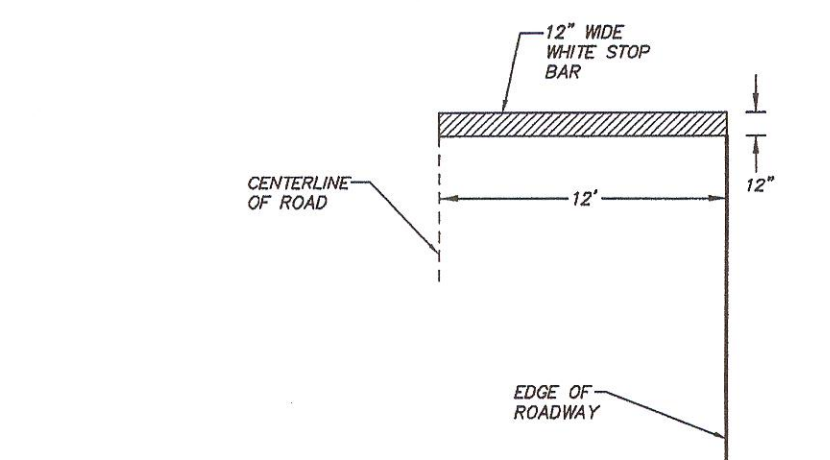
CONCRETE CURB
N.T.S.



DETAIL FOR TRENCH REPAIR
N.T.S.



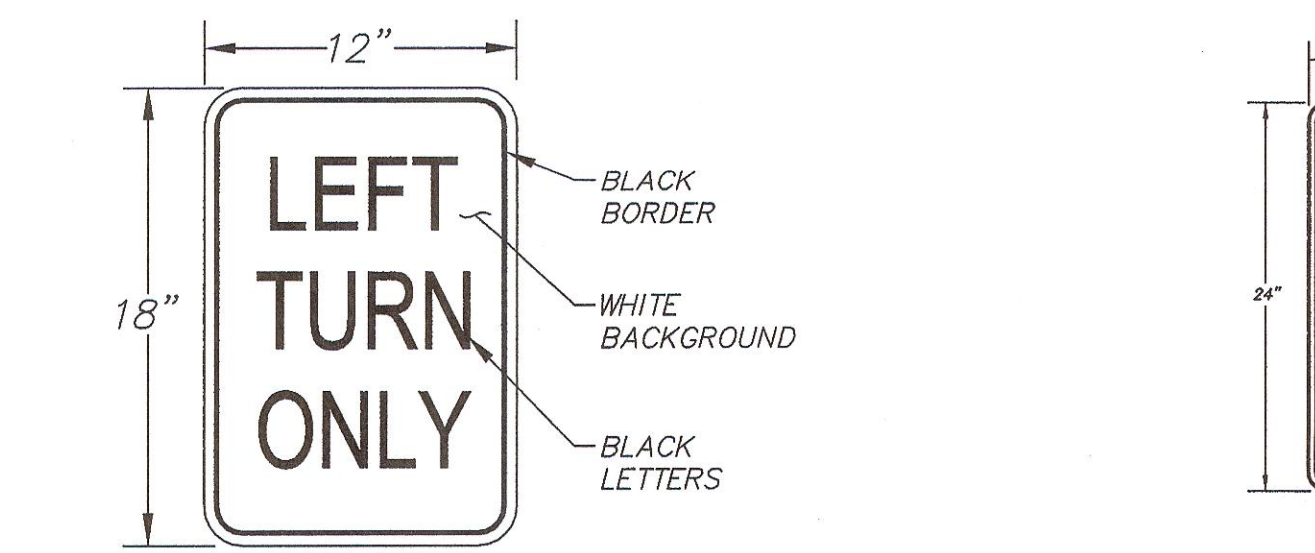
DETAIL FOR TRENCH REPAIR
N.T.S.



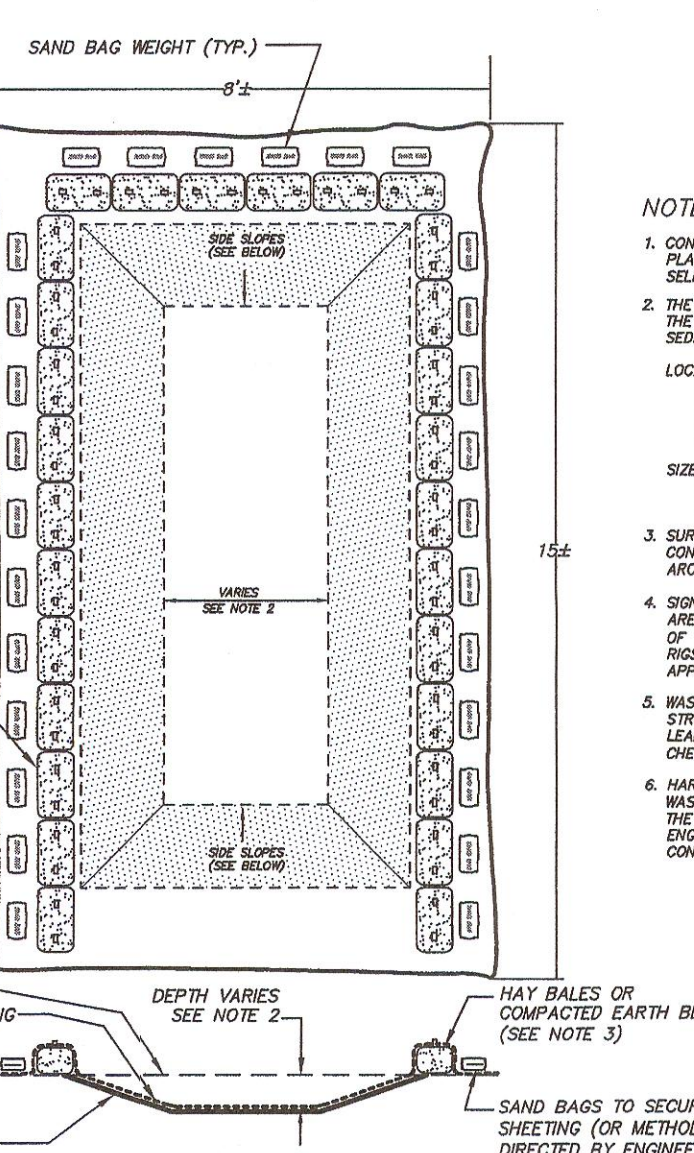
STOP BAR DETAIL
N.T.S.

- STOP BAR NOTES:**
- STOP BARS TO BE 12" MIN. UNLESS OTHERWISE NOTED ON PLANS.
 - STOP BARS TO BE MARKED A MINIMUM OF 4' IN ADVANCE OF NEAREST EDGE OF CROSSWALK.
 - IN ABSENCE OF MARKED CROSSWALK THE STOP BAR SHALL BE PLACED AT THE DESIRED STOPPING POINT. IN NO CASE MORE THAN 30' OR LESS THAN 5' FROM THE NEAREST EDGE OF THE INTERSECTING ROADWAY AND 90' TO THE CENTERLINE OF ROADWAY.
 - THE STOP BAR SHALL ORDINARILY BE PLACED IN LINE WITH THE STOP SIGN. HOWEVER, IF THE STOP SIGN CANNOT BE LOCATED EXACTLY WHERE VEHICLES ARE EXPECTED TO STOP, THE STOP BAR SHOULD BE PLACED AT THE STOPPING POINT.

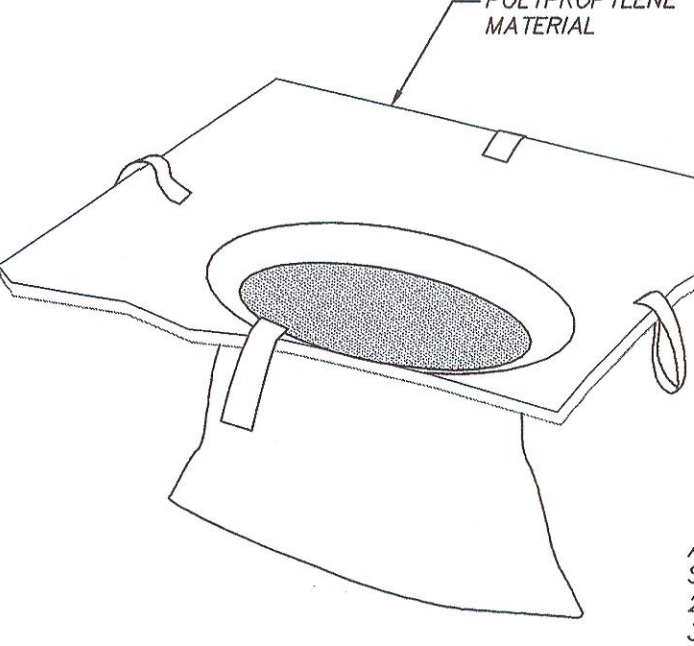
STOP BAR NOTES:



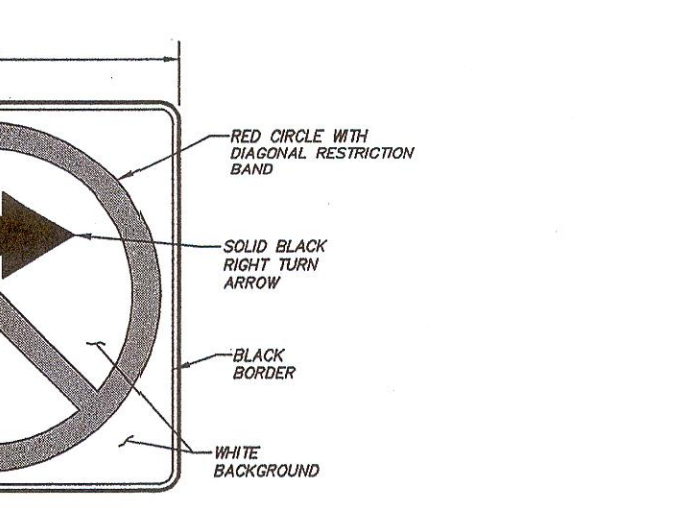
"LEFT TURN ONLY" SIGN DETAIL (K-1831)
N.T.S.



CONCRETE WASHOUT AREA
N.T.S.



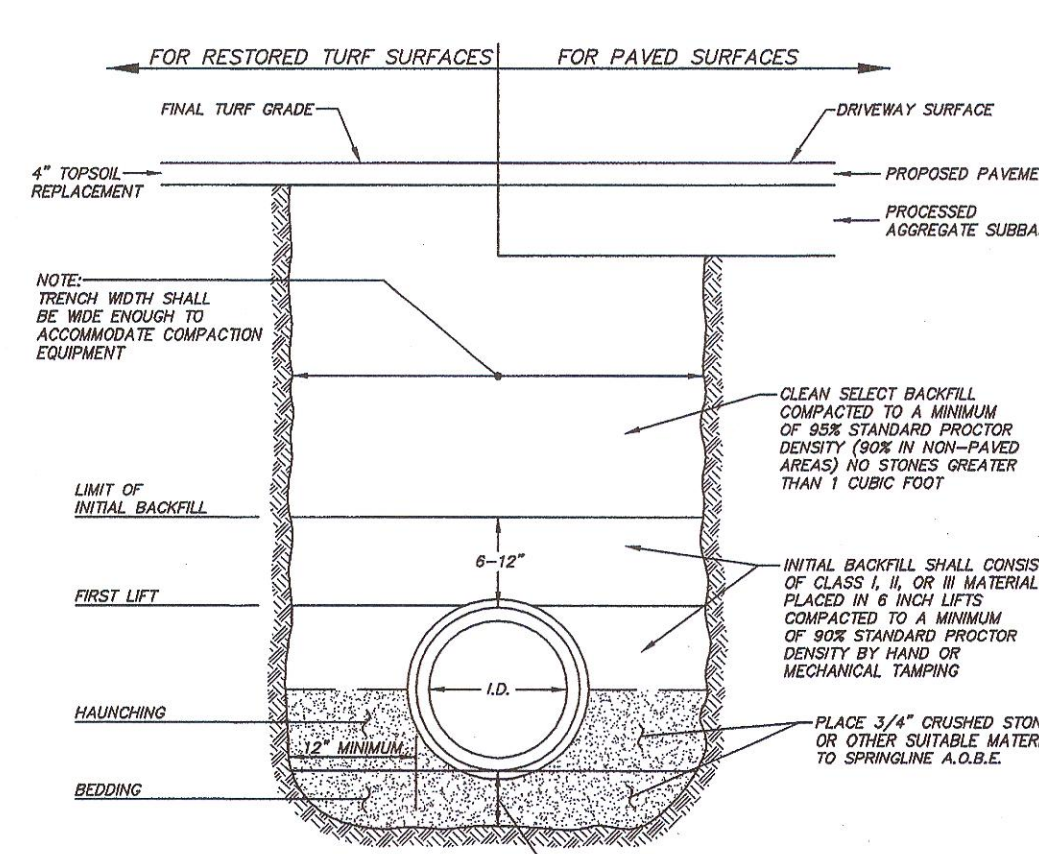
PIG™ - STORM DRAIN FILTER DETAIL
N.T.S.



"NO RIGHT TURN" SIGN DETAIL (R3-1)
N.T.S.

All "NO RIGHT TURN" signs shall be a 24-inch white square on which is inscribed a red circle with a red diagonal restriction band, and a black left turn arrow.

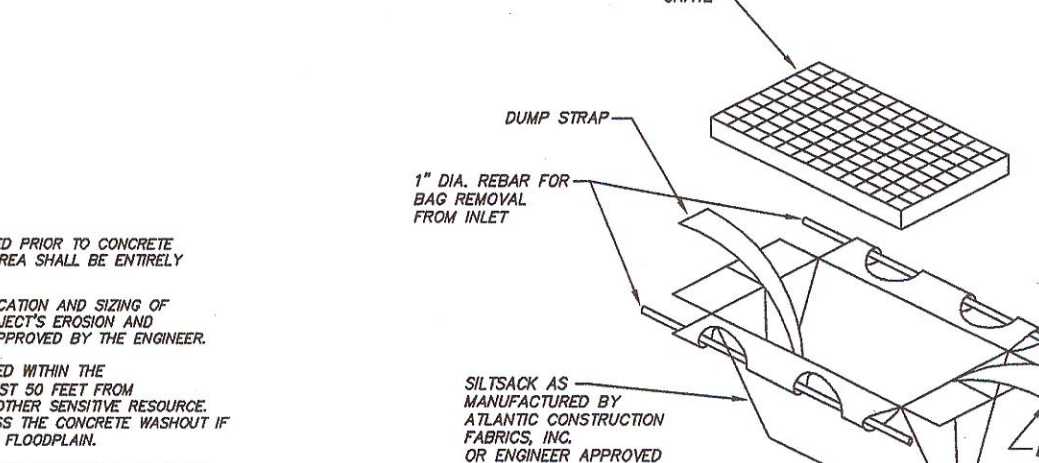
All "NO RIGHT TURN" sign legend, color, size, and installation shall be in conformance with the Manual on Uniform Traffic Control Devices for Streets and Highways, U.S. Department of Transportation, Federal Highway Administration, Millennium Edition, as amended to date.



DETAIL FOR PVC SANITARY SEWER AND PVC/CPP STORM DRAIN INSTALLATION
N.T.S.

1. REFER TO ASTM D3231 (STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS) FOR TRENCHING SPECIFICATIONS.

NOTE: VERTICAL AND HORIZONTAL ALIGNMENT OF CURB TO BE AS APPROVED.



CATCH BASIN SILTSACK DETAIL
N.T.S.

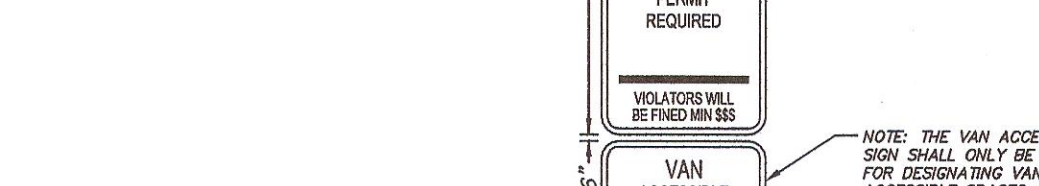
NOTE: THE VAN ACCESSIBLE SIGN SHALL ONLY BE USED FOR DESIGNATING VAN ACCESSIBLE SPACES.

HANDICAPPED PARKING PERMIT REQUIRED & *VAN ACCESSIBLE* signs shall have white lettering against a blue background.

All accessible signage sizes, lettering, and symbols shall comply with federal and state specifications.

All accessible signage shall be installed 60" (minimum) above the floor or ground surface of the parking space, measured to the bottom of the sign.

Confirm fine amount prior to sign fabrication.



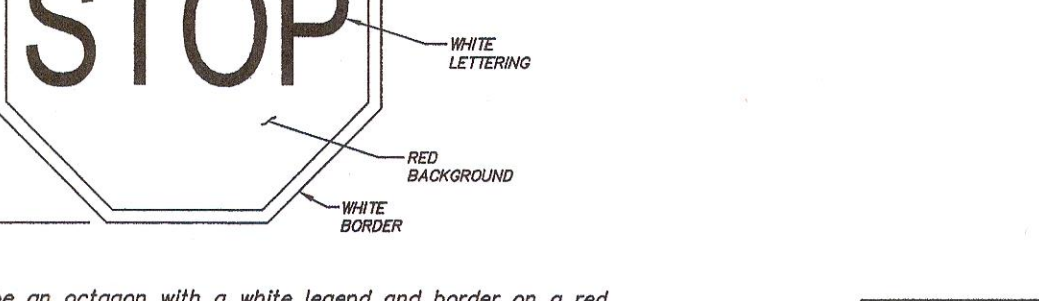
HANDICAPPED PARKING SPACE SIGN DETAIL
N.T.S.

All "STOP" signs shall be an octagon with a white legend and border on a red background.

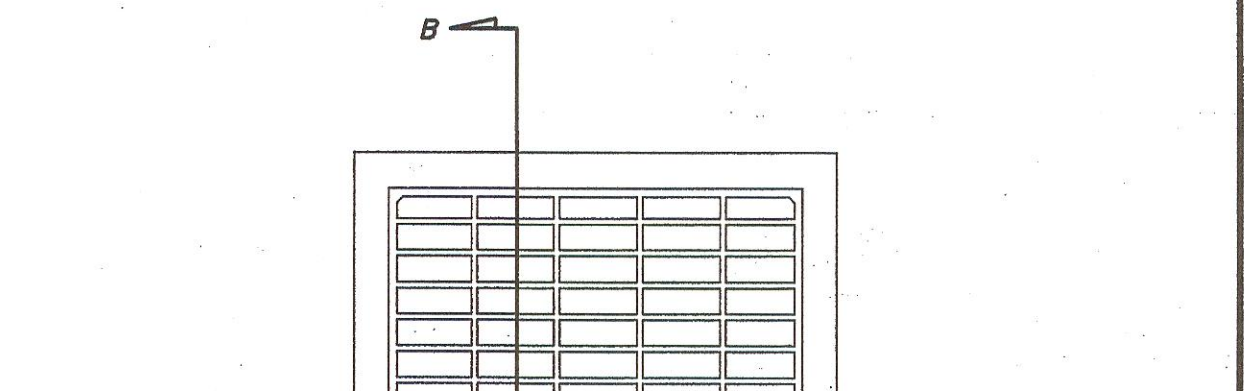
The standard "STOP" sign shall be 30 x 30 inches.

All "STOP" signs shall be installed at a height of at least 5 feet, measured from the bottom of the sign to the near edge of the pavement.

"STOP" sign legend, color, size, and installation shall be in conformance with the Manual on Uniform Traffic Control Devices for Streets and Highways, U.S. Department of Transportation, Federal Highway Administration, Millennium Edition, as amended to date.



"STOP" SIGN DETAIL (R1-1)
N.T.S.



SECTION "B-B" SINGLE CATCH BASIN DETAIL (TYPE "CL")
N.T.S.

CATCH BASIN SHALL HAVE A MINIMUM SUMP OF 2 FEET AS MEASURED FROM THE LOWEST PIPE INVERT ELEVATION TO THE INTERIOR BOTTOM OF THE STRUCTURE.

CASTING AND COVER SHALL BE EQUAL TO PATTERN NO. 1027 AS MANUFACTURED BY CAMPBELL FOUNDRY COMPANY OR APPROVED EQUAL. COVER SHALL HAVE "STAMFORD CODE" CAST ON COVER.

ADJUST IF REQUIRED TO GRADE WITH MINIMUM 2 COURSES MAXIMUM 6 COURSES OF CONCRETE BRICK OR PRECAST RINGS (1" GROUT MAXIMUM) EXTERIOR SURFACES OF ADJACENT COURSES TO BE COVERED WITH 1/4" TO 3/8" OF MASONRY CEMENT PLASTER.

ALUMINUM MANHOLE STEPS OR APPROVED EQUAL.

SET BOTTOM STEP 4" MAXIMUM 12" MINIMUM ABOVE FINISH.

0-RING RUBBER GASKET AND MORTAR REQUIRED FOR ALL MANHOLE SECTIONS.

PRECAST CONCRETE UNITS AS PER ASTM C-478.

BRICK MASONRY OR CLASS "A" CONCRETE.

BRICK MASONRY INVERT AND SHELF.

6" (MINIMUM) CRUSHED STONE.

1 1/2" BITUMINOUS CONCRETE REINFORCING COURSE (Superpave HMA 50.375).

2 1/2" BITUMINOUS CONCRETE BINDER COURSE (Superpave HMA 50.3).

8" PROCESSED AGGREGATE BASE.

COMPACTED SUBGRADE.

ASPHALT DRIVEWAY AND PARKING LOT DETAIL
N.T.S.

PIPE SIZE	CAMPBELL PATTERN NUMBER
6"	2560
8"	2561
10"	2562
12"	2563
15"	2564
18"	2565
24"	2566
30"	2569

TABLE FOR CATCH BASIN TRAP ASSEMBLY

TOP OF CASTING TO BE 1/4" BELOW FINISHED GRADE IN BITUMINOUS CONCRETE PAVEMENT; FLUSH TO FINISHED GRADE ELSEWHERE.

CASTING AND COVER SHALL BE EQUAL TO PATTERN NO. 1027 AS MANUFACTURED BY CAMPBELL FOUNDRY COMPANY OR APPROVED EQUAL. COVER SHALL HAVE "STAMFORD CODE" CAST ON COVER.

ADJUST IF REQUIRED TO GRADE WITH MINIMUM 2 COURSES MAXIMUM 6 COURSES OF CONCRETE BRICK OR PRECAST RINGS (1" GROUT MAXIMUM) EXTERIOR SURFACES OF ADJACENT COURSES TO BE COVERED WITH 1/4" TO 3/8" OF MASONRY CEMENT PLASTER.

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D'ANDREA SURVEYING & ENGINEERING, P.C.
LAND PLANNERS
ENGINEERS
SURVEYORS

P.O. BOX 549
RIVERSIDE, CT 06878

6 NEIL LANE
TEL. 637-1779

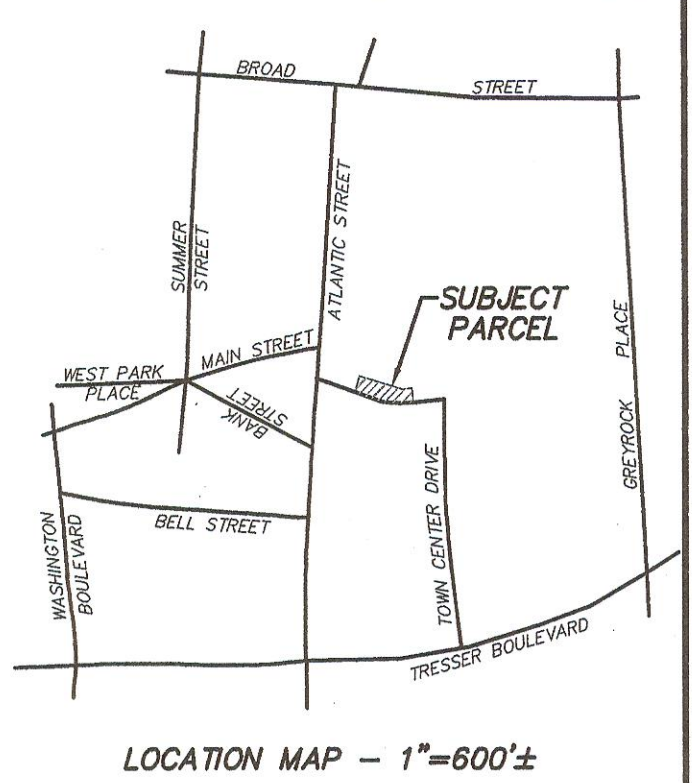
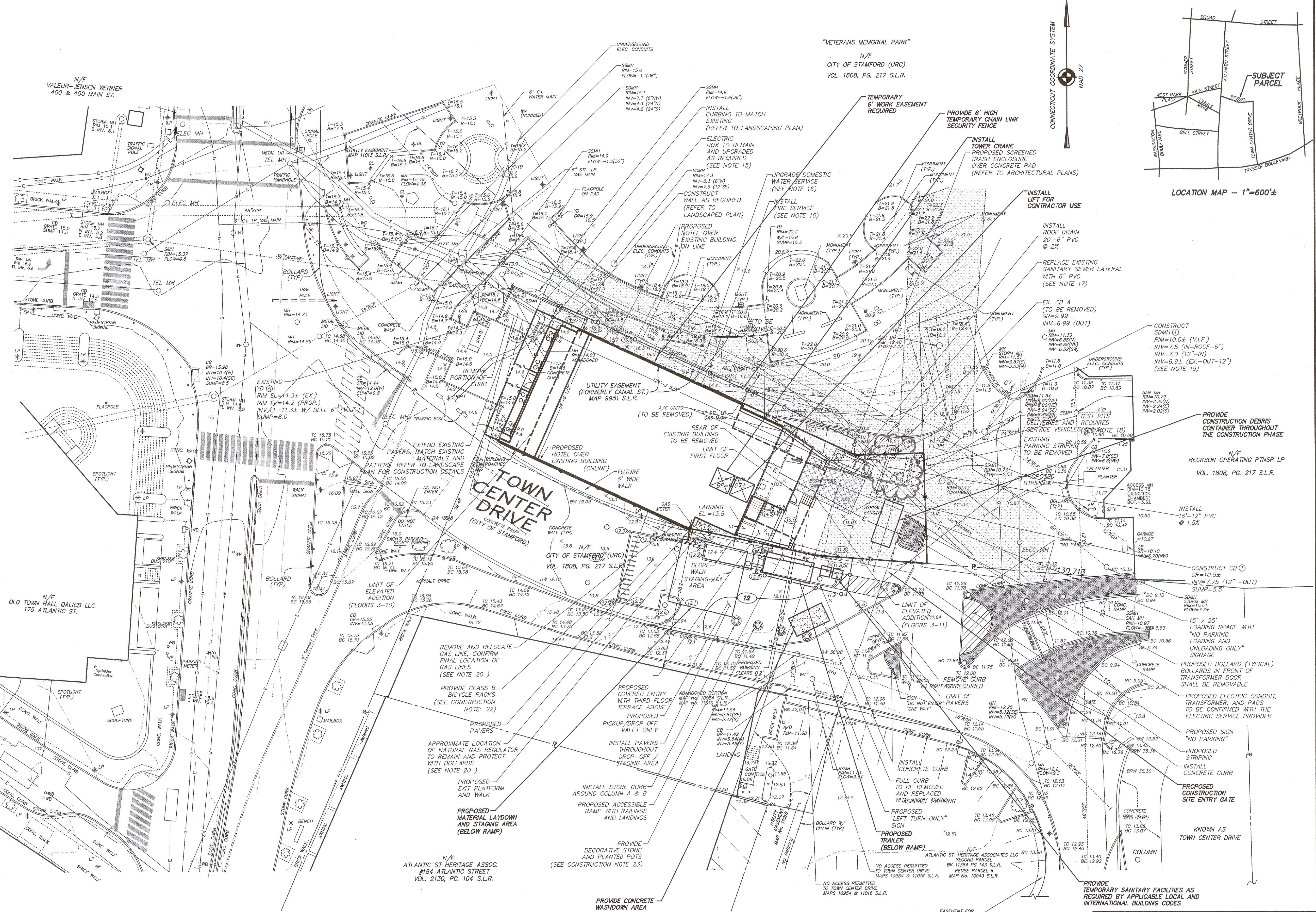
PROJECT	HOTEL DEVELOPMENT	
PREPARED FOR	OLD TOWN SQUARE, LLC	
LOCATION	160 ATLANTIC STREET STAMFORD, CONNECTICUT	
REV. DATE	DESCRIPTION	
2	4-14-22	ENGINEER BUREAU COMMENTS
1	10-18-21	RE-SUBMISSION Z.B.
0	6-16-21	INITIAL SUBMISSION
REV. DATE	DESCRIPTION	
LEONARD C. D'ANDREA, CT PE No. 14869	4-14-22	DATE
ENGINEER	DATE	

ONLY COPIES OF THIS PLAN BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL ARE TRUE, VALID COPIES.

4 OF 5

NOTES AND DETAILS

- Notes:**
- The contractor shall be required to coordinate and install security fencing around the entire project limits as noted hereon or as agreed to with the owner and the City of Stamford Office of Operations. As noted hereon, certain sections of fencing shall fall outside of the property boundary. The owner shall coordinate a temporary work easement with the City of Stamford prior to the installation of the fencing. The location of the double access gate shall be mutually agreed upon with the City of Stamford prior to the installation of the fencing.
 - Material laydown area, project trailer, and temporary sanitary facilities are proposed outside of the property boundary. The owner shall coordinate the temporary use of this area below the Stamford Mall ramp prior to commencing with construction.
 - The contractor shall be responsible for coordinating temporary power to the project trailer.
 - The owner and/or contractor shall coordinate off-site parking for the project workforce with the owner of the Stamford Mall parking garage or other off-site parking operator.
 - The installation of the tower crane and contractor people lift shall be coordinated with the architect and structural engineer for the project.
 - The contractor shall arrange for debris containers throughout the construction phase and containers shall not be overfilled.
 - Contractor shall arrange for the proper number of temporary sanitary facilities throughout the construction phase and such facilities shall be properly maintained and sanitized throughout the construction phase.

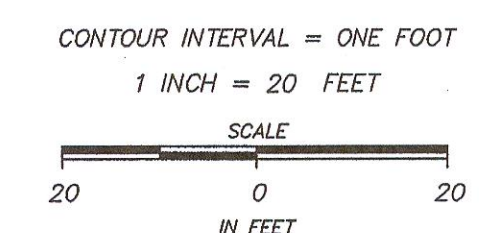


LEGEND

--- 30 ---	EXISTING CONTOUR	MH	MANHOLE
x 30.0	EXISTING SPOT ELEVATION	C.B.	CATCH BASIN
T=30.0	EXISTING TOP/BOTTOM SPOT ELEVATION	D.I.	DRAIN INLET
x 29.5	PROPOSED CONTOUR	SDMH	STORM DRAIN MANHOLE
(30)	PROPOSED SPOT ELEVATION	SSMH	SANITARY SEWER MANHOLE
(tree symbol)	DECIDUOUS TREE	PVC	POLYVINYL CHLORIDE
(tree symbol)	TREE TO BE REMOVED	RCP	REINFORCED CONCRETE PIPE
(pole symbol)	UTILITY POLE	VTP	VENTRIFIED TILE PIPE
(gas symbol)	GAS GATE	U.S.	UNDERGROUND UTILITY SERVICE: C=CABLE, E=ELECTRIC, G=GAS, T=TELEPHONE, W=WATER
(water symbol)	WATER GATE	A.O.B.E.	AS ORDERED BY ENGINEER
		V.I.F.	VERIFY IN FIELD
		Z.I.	LIMIT OF WETLANDS AS FLAGGED

TREE LEGEND

OP	OPALE
B	BIRCH
CR	CHERRY
EL	ELM
HO	HONEYLOCUST
MA	MAPLE
O	OAK
PL	PLANE
SP	SPRUCE
ST	STEAMBORE
MU	MULTI
TR	TRIV



7	6-26-23	TRANSFORMER LOCATION
6	4-19-23	TRANSFORMER LOCATION
5	3-3-23	REVISED PARKING AND WALKS
4	2-7-23	REVISED PARKING AND WALKS
3	1-4-23	REVISED REAR ENTRANCE
2	4-14-22	ENGINEER BUREAU COMMENTS
1	10-18-21	RE-SUBMISSION Z.B.
0	6-16-21	INITIAL SUBMISSION

D'ANDREA SURVEYING & ENGINEERING, PC
 LAND PLANNERS
 ENGINEERS
 SURVEYORS
 P.O. BOX 549
 RIVERSIDE, CT 06878
 6 NEIL LANE
 TEL. 637-1779

PROJECT	THE OLD TOWNE HOTEL
PREPARED FOR	OLD TOWN SQUARE, LLC
LOCATION	160 ATLANTIC STREET STAMFORD, CONNECTICUT
5 OF 5	CONSTRUCTION LOGISTICS PLAN

REV. DATE DESCRIPTION
 LEONARD C. D'ANDREA, CT PE No. 14889
 6-26-23
 ENGINEER

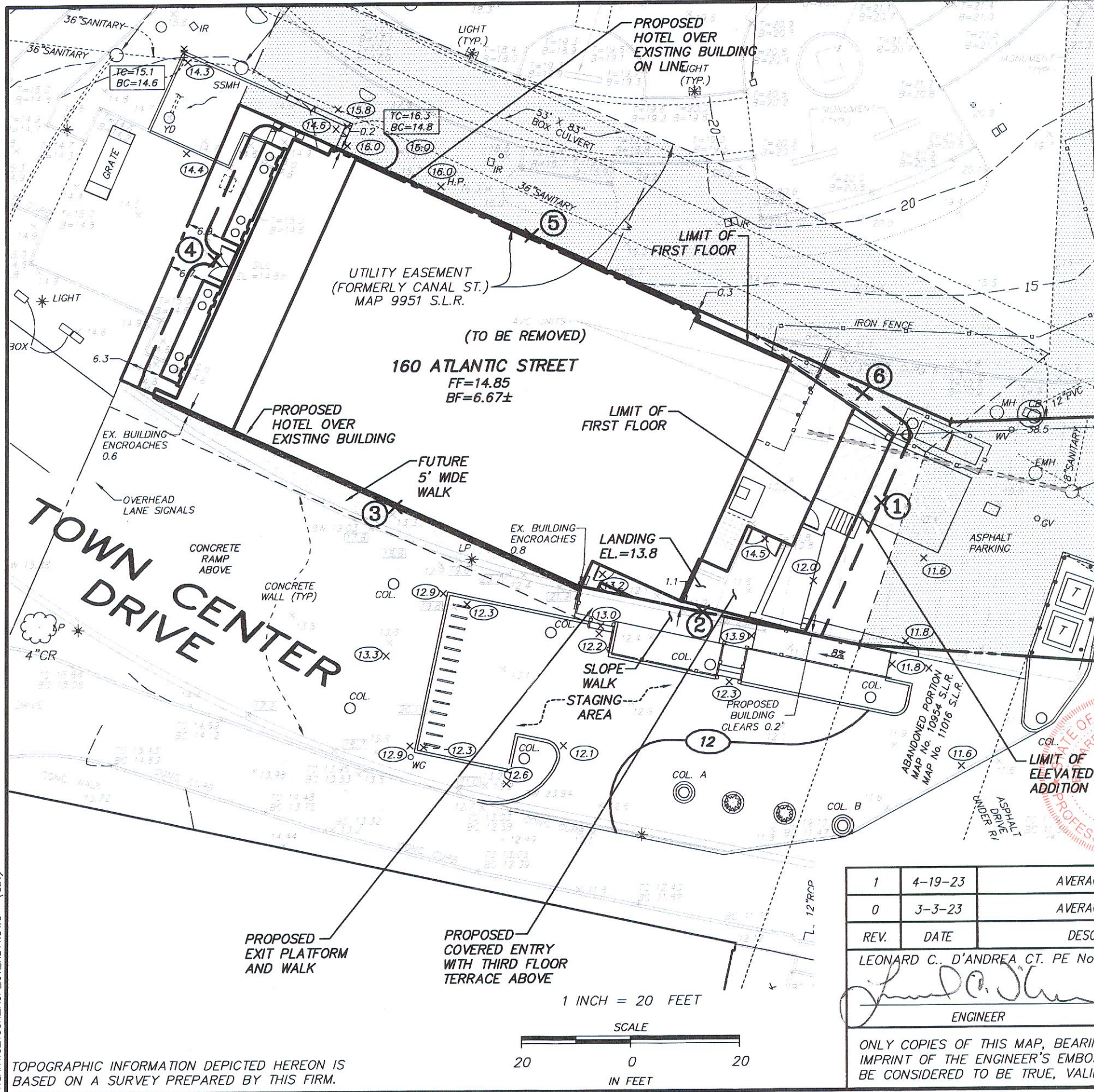
ONLY COPIES OF THIS MAP BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.



Segment	Grade
1	11.4
2	13.9
3	13.3
4	14.6
5	16.0
6	10.5
Total	79.7
Average Grade: =====>	13.3

LEGEND:

- x (88.8) EXISTING SPOT ELEVATION
- (1) PROPOSED SPOT ELEVATION
- (1) GRADE PLANE ANALYSIS
- (1) BUILDING SIDE DESIGNATION



ROCCO V. D'ANDREA, INC.

- LAND PLANNERS
- ENGINEERS
- SURVEYORS

P.O. BOX 549
RIVERSIDE, CT 06878

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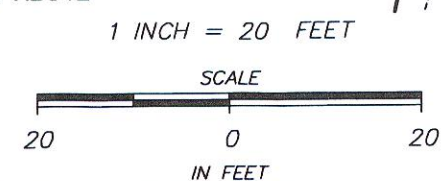
REV.	DATE	DESCRIPTION
1	4-19-23	AVERAGE GRADE
0	3-3-23	AVERAGE GRADE

LEONARD C., D'ANDREA CT. PE No. 14869

Leonard C. D'Andrea 4-19-23
ENGINEER DATE

ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

PROJECT	THE OLD TOWNE HOTEL
PREPARED FOR	OLD TOWN SQUARE, LLC
LOCATION	160 ATLANTIC STREET STAMFORD, CONNECTICUT
1 OF 1	AVERAGE GRADE ANALYSIS PLAN



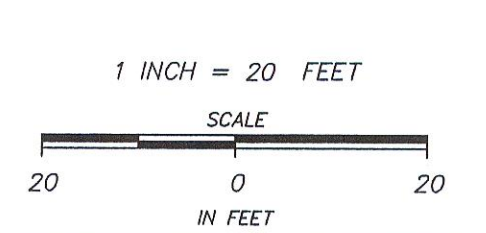
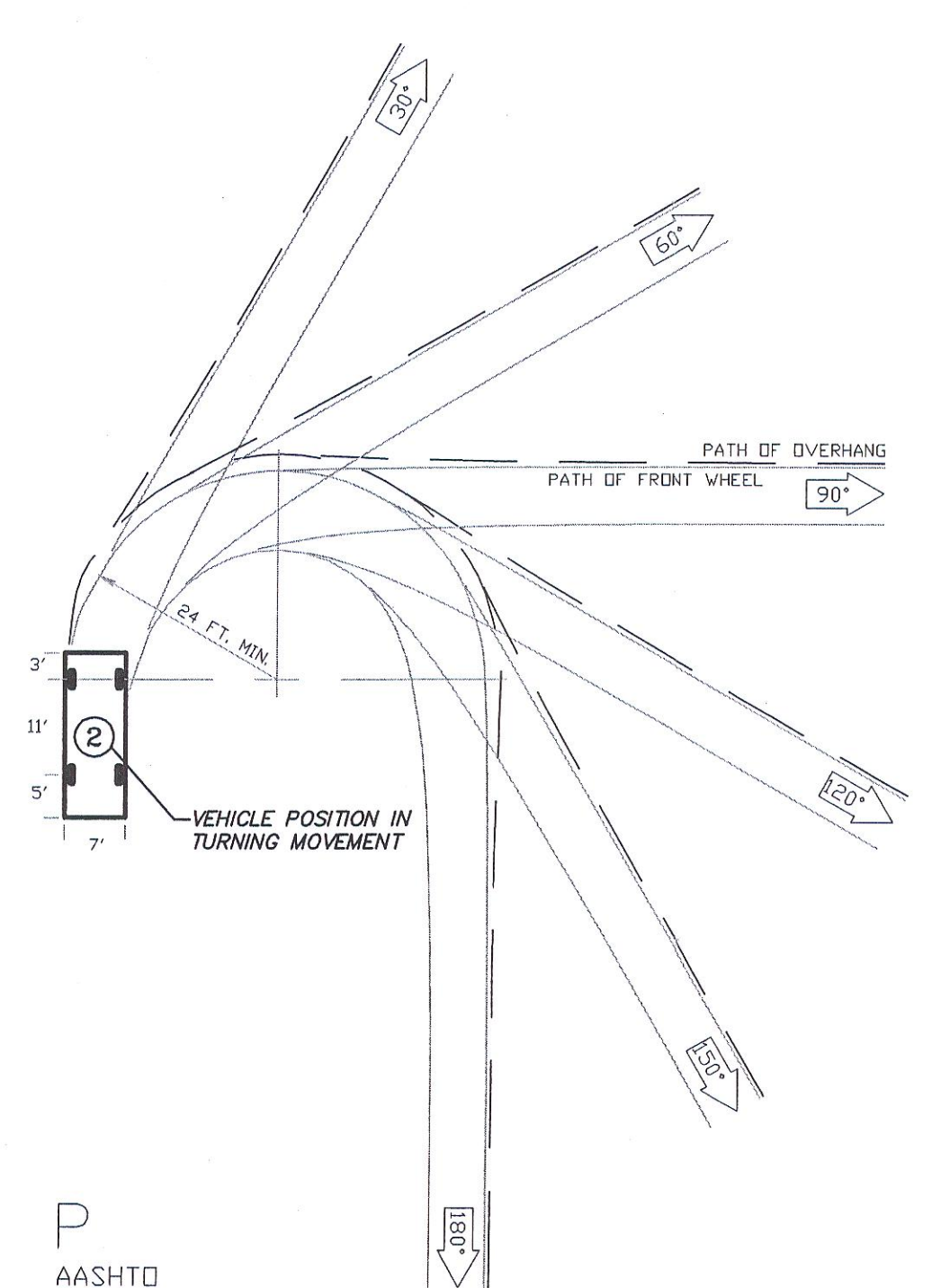
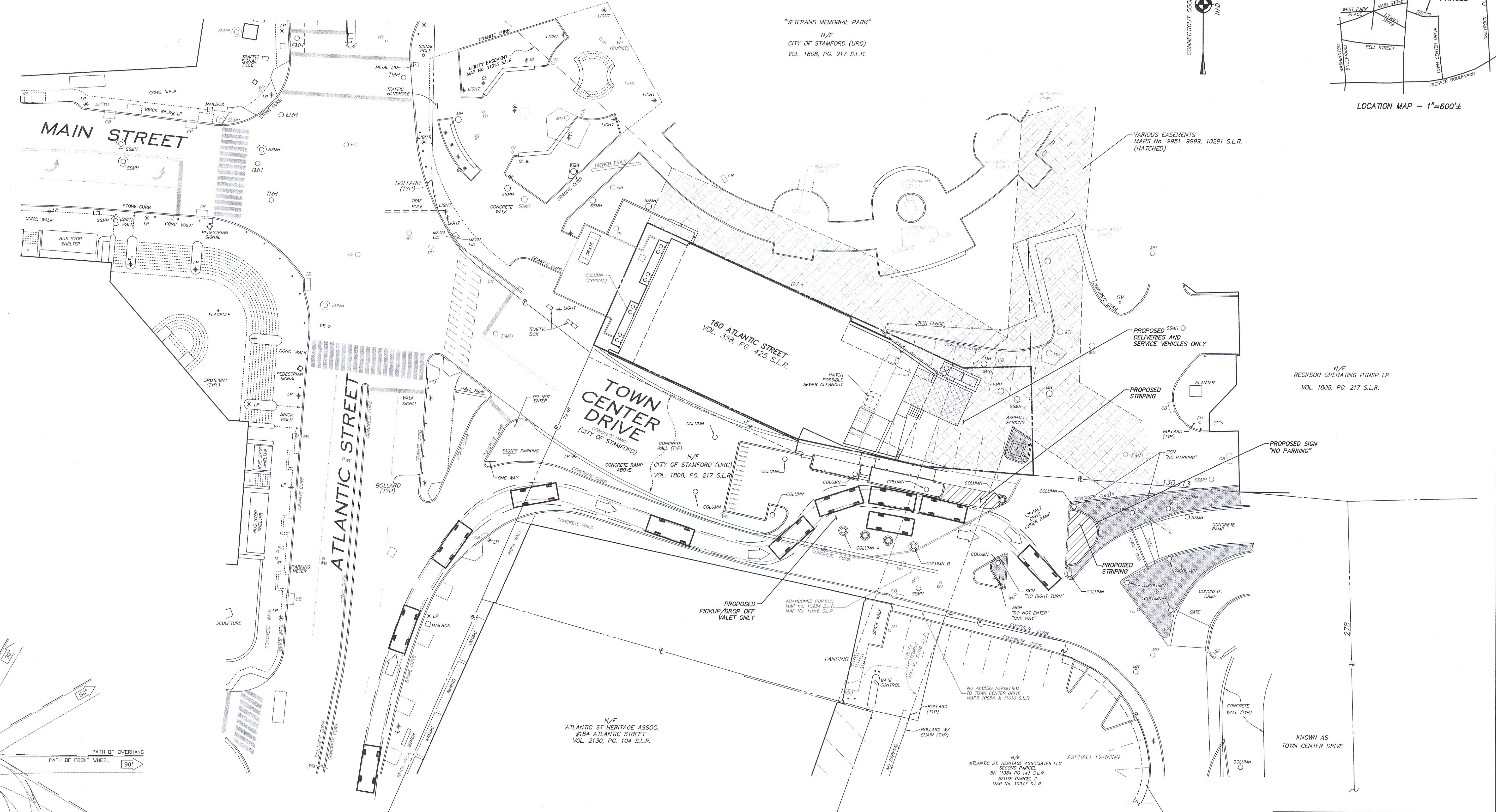
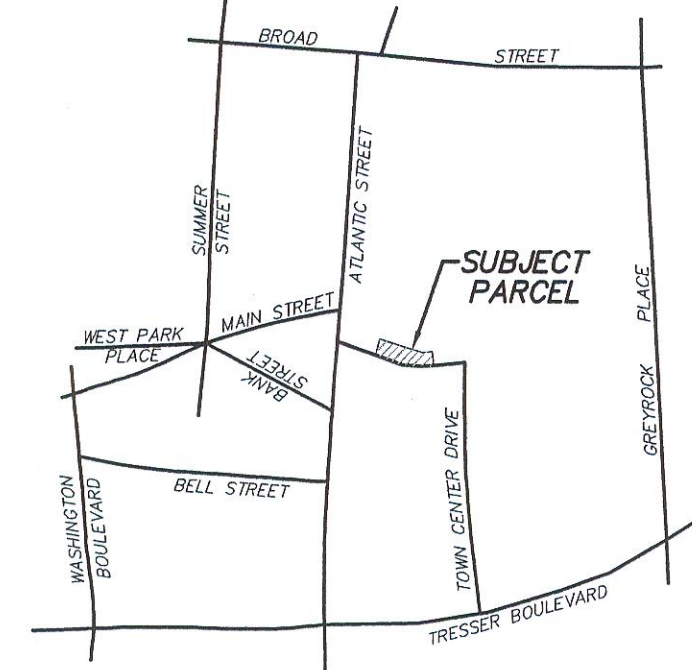
ATLANTIC_TBCA_AGP_01_REV1.DWG (GLT)

TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED ON A SURVEY PREPARED BY THIS FIRM.

18CA

GENERAL SURVEYING NOTES

1. THE PURPOSE OF THIS PLAN IS TO DEMONSTRATE TURNING MOVEMENTS OF A PASSENGER CAR ENTERING AND EXITING THE PROPERTY.
2. TURNING TEMPLATES DEPICT AASHTO P VEHICLE MOVEMENTS.
3. REFER TO PLANS AND MAPS PREPARED BY D'ANDREA SURVEYING & ENGINEERING, P.C. FOR EXISTING AND PROPOSED IMPROVEMENTS.
4. PROPOSED BUILDING IMPROVEMENTS ARE BASED ON ARCHITECTURAL PLANS PREPARED BY DO H. CHUNG & PARTNERS.
5. REFER TO "LANDSCAPE PLAN" PREPARED BY ENVIRONMENTAL LAND SOLUTIONS, LLC.



D'ANDREA SURVEYING & ENGINEERING, P.C.
 LAND PLANNERS
 ENGINEERS
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 TEL. 637-1779

PROJECT	THE OLD TOWNE HOTEL TURNING MOVEMENT PLAN	
PREPARED FOR	OLD TOWN SQUARE, LLC	
LOCATION	160 ATLANTIC STREET STAMFORD, CONNECTICUT	
1 OF 2	VEHICLE DROP OFF	

REV.	DATE	DESCRIPTION
2	6-26-23	TURNING MOVEMENT AND MODIFY CURB
1	5-2-23	TURNING MOVEMENT PLAN
0	4-20-22	TURNING MOVEMENT PLAN

REV. DATE DESCRIPTION
 LEONARD C. D'ANDREA CT. PE No. 14869
Leonard C. D'Andrea 6-26-23
 ENGINEER DATE



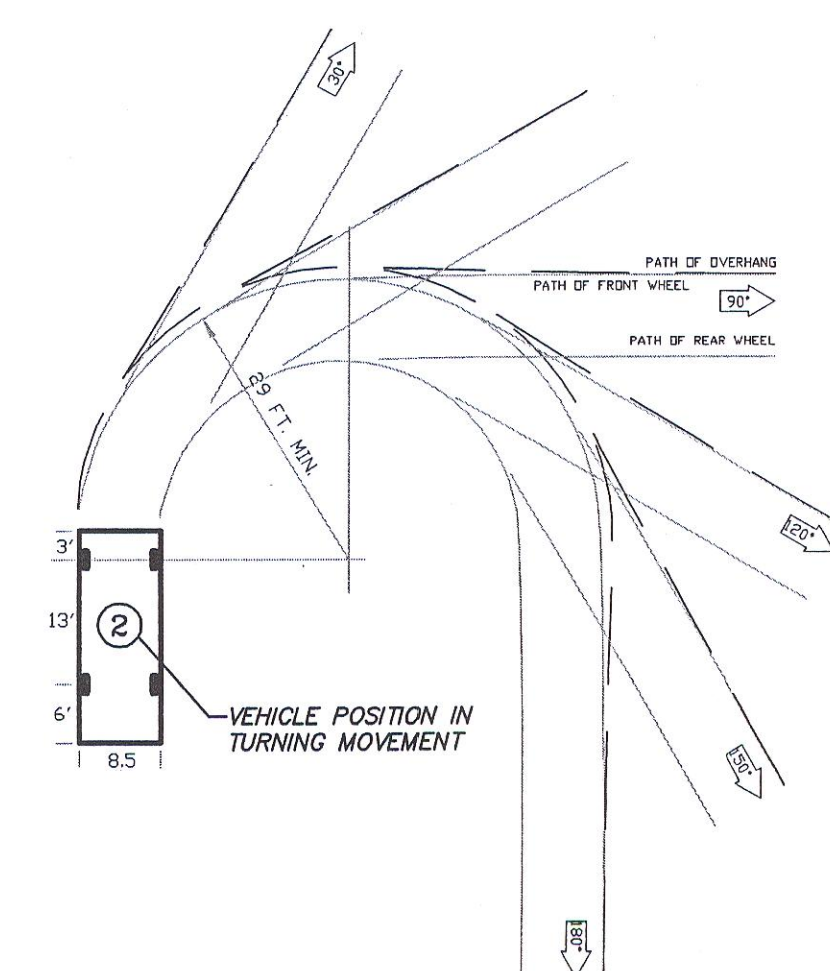
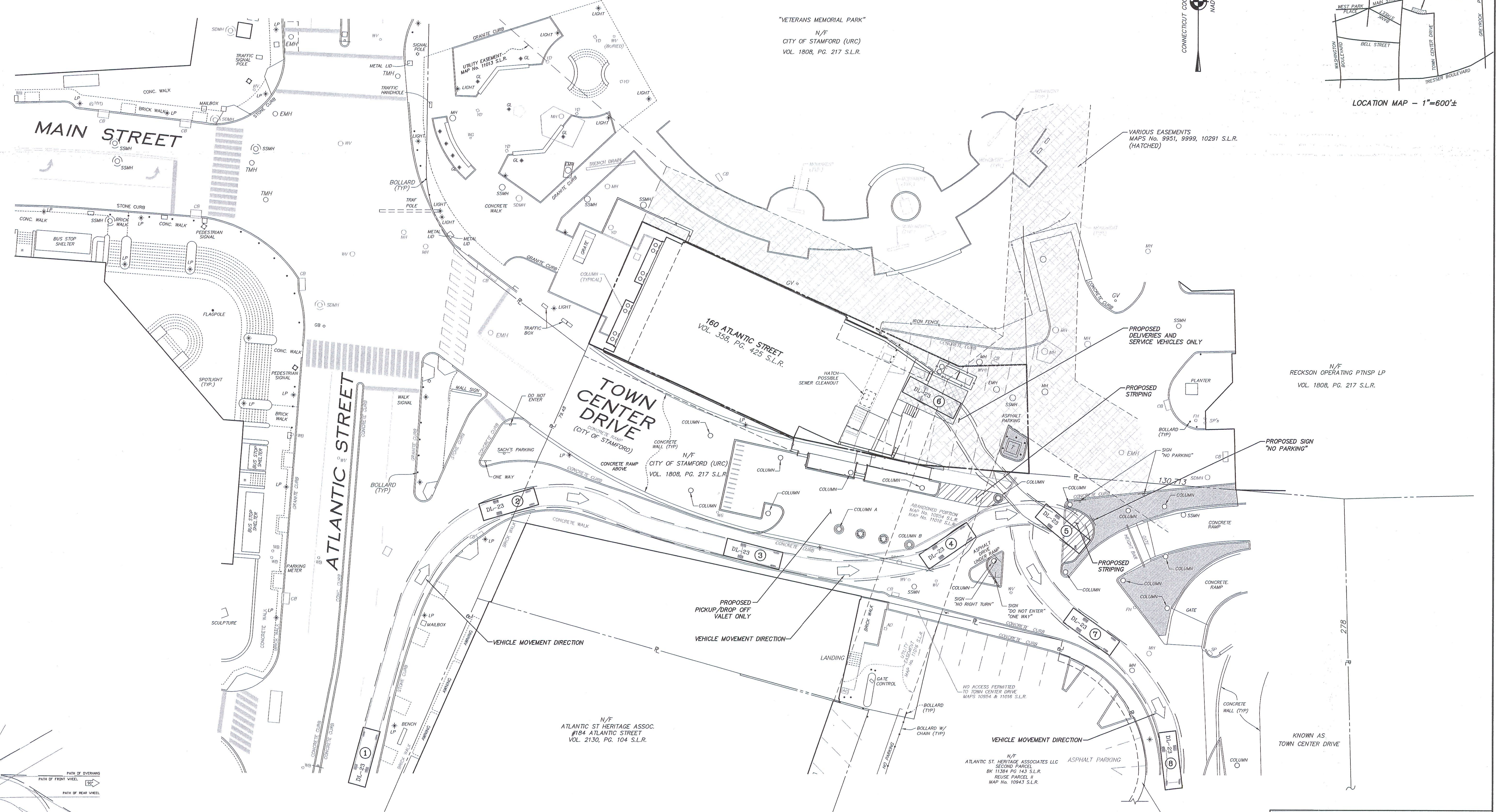
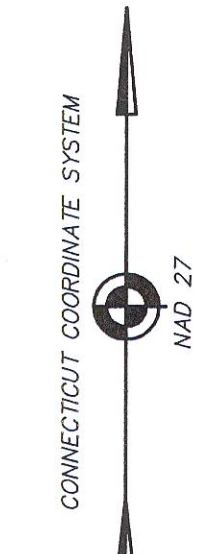
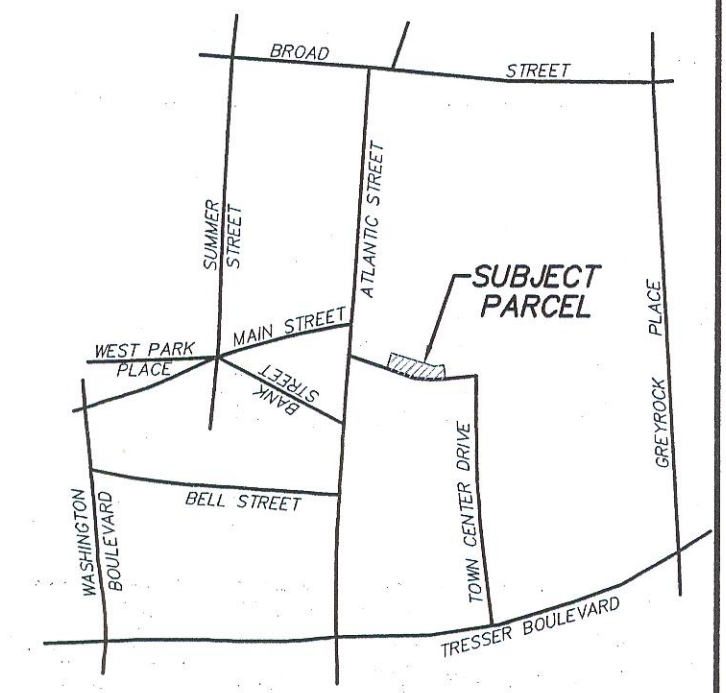
ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL, SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

ATLANTIC_STEEL_IMG_2_SHT1.DWG (02/7)

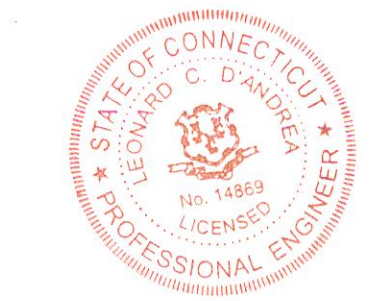
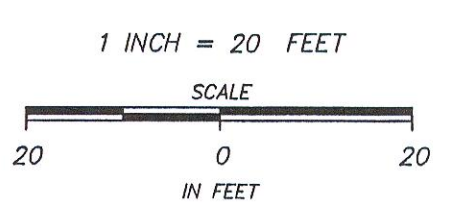
GENERAL SURVEYING NOTES

1. THE PURPOSE OF THIS PLAN IS TO DEMONSTRATE TURNING MOVEMENTS OF AN SU-30 DELIVERY VEHICLE ENTERING AND EXITING THE PROPERTY.
2. TURNING TEMPLATES DEPICT AASHTO SU-30 VEHICLE MOVEMENTS.
3. REFER TO PLANS AND MAPS PREPARED BY D'ANDREA SURVEYING & ENGINEERING, P.C. FOR EXISTING AND PROPOSED IMPROVEMENTS.
4. PROPOSED BUILDING IMPROVEMENTS ARE BASED ON ARCHITECTURAL PLANS PREPARED BY DO H. CHUNG & PARTNERS.
5. REFER TO "LANDSCAPE PLAN" PREPARED BY ENVIRONMENTAL LAND SOLUTIONS, LLC.

BLOCK No. 63



DL-23
AASHTO



REV.	DATE	DESCRIPTION
2	6-26-23	TURNING MOVEMENT AND MODIFY CURB
1	5-2-23	TURNING MOVEMENT PLAN
0	4-20-22	TURNING MOVEMENT PLAN

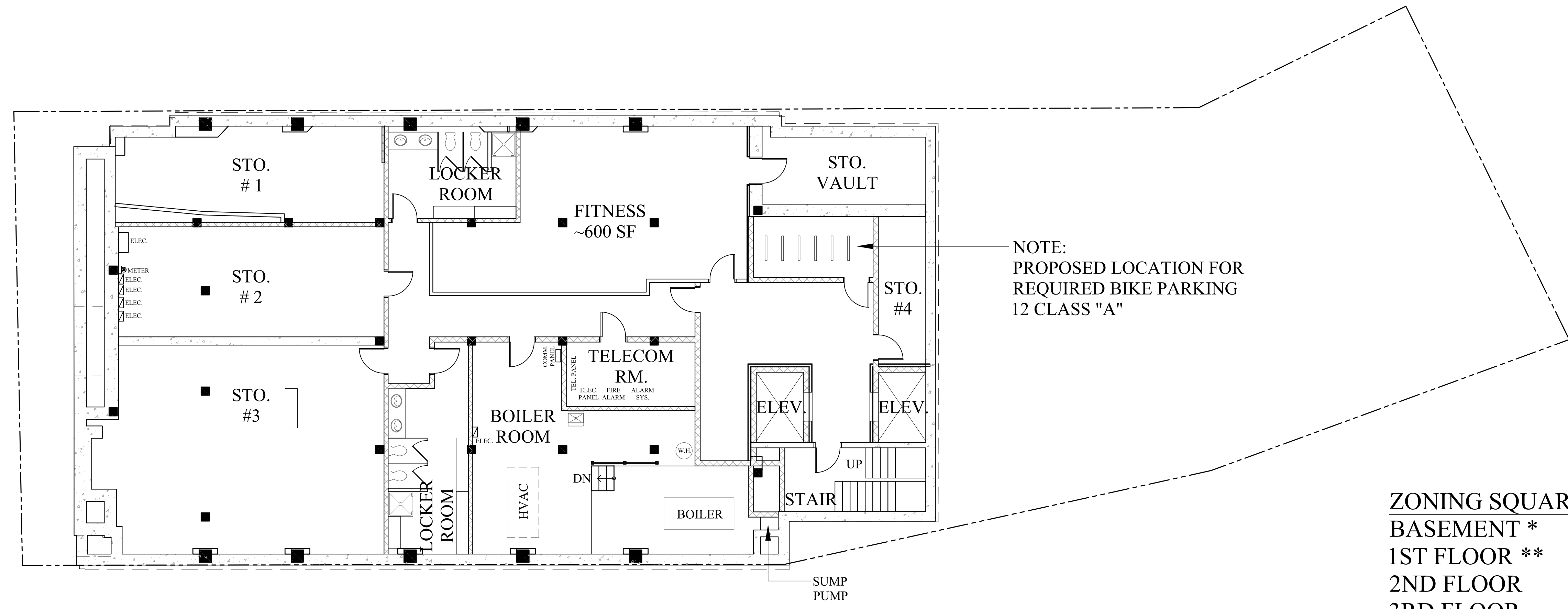
LEONARD C. D'ANDREA CT. PE No. 14869
Leonard C. D'Andrea
 ENGINEER DATE 6-26-23

D'ANDREA SURVEYING & ENGINEERING, P.C.
 LAND PLANNERS
 ENGINEERS
 P.O. BOX 549 RIVERSIDE, CT 06878
 6 NEIL LANE TEL. 637-1779

PROJECT	THE OLD TOWNE HOTEL TURNING MOVEMENT PLAN
PREPARED FOR	OLD TOWN SQUARE, LLC
LOCATION	160 ATLANTIC STREET STAMFORD, CONNECTICUT
2 OF 2	TRUCK LOADING AND UNLOADING

ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

*NOTE: EXACT ROOM MIX, INTERIOR LAYOUT AND SQUARE FOOTAGES SUBJECT TO CHANGE. ANY REVISION TO SQUARE FOOTAGE WILL NOT EXCEED ALLOWED FAR



NOTE:
PROPOSED LOCATION FOR
REQUIRED BIKE PARKING
12 CLASS "A"

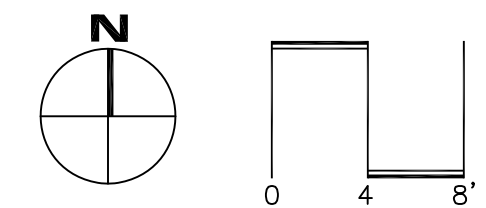
SQUARE FOOTAGE
BSMT

ZONING SQUARE FOOTAGES	
BASEMENT *	5,548 SF
1ST FLOOR **	5,844 SF
2ND FLOOR	1,939 SF
3RD FLOOR	5,386 SF
4TH-10TH FLS.	5,368 SF
11TH FLOOR	4,657 SF
TOTAL:	55,083 SF

FAR: 55,402 SF/
9,246 SF LOT
=5.99 FAR

*NOTE 1: BASEMENT SQUARE FOOTAGE EXEMPT FROM FAR CALCULATIONS - MORE THAN 50% BELOW FINISHED GRADE
**NOTE 2: ELEVATOR SHAFT SQUARE FOOTAGE DEDUCTED FROM 2ND-11TH FLOORS
***NOTE 3: ALL SQUARE FOOTAGES TAKEN FROM OUTSIDE OF EXTERIOR STRUCTURE WALLS TO FACE OF INTERIOR STRUCTURE/STUDS

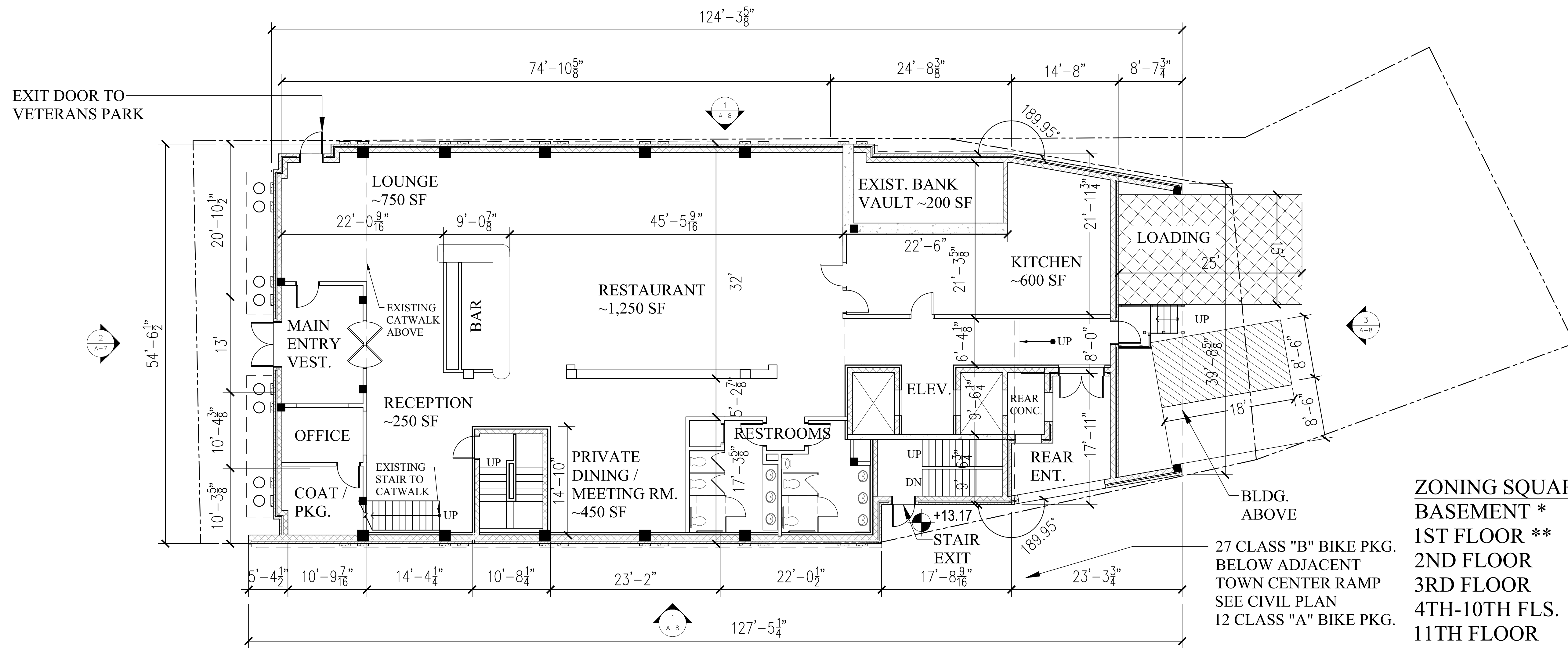
THE OLD TOWNE HOTEL
160 ATLANTIC ST.
STAMFORD, CT



OLD TOWN SQUARE, LLC
DO H. CHUNG & PARTNERS

PROPOSED BASEMENT FL. PLAN
S: 1/8" = 1'-0"
DATE: 3-22-2023

*NOTE: EXACT ROOM MIX, INTERIOR LAYOUT AND SQUARE FOOTAGES SUBJECT TO CHANGE. ANY REVISION TO SQUARE FOOTAGE WILL NOT EXCEED ALLOWED FAR

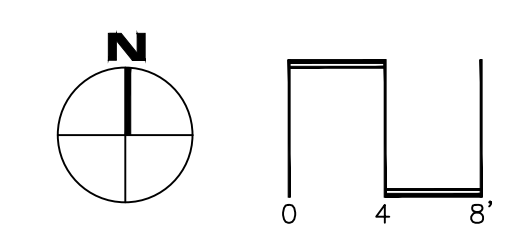


ZONING SQUARE FOOTAGES	
BASEMENT *	5,548 SF
1ST FLOOR **	5,844 SF
2ND FLOOR	1,939 SF
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4TH-10TH FLS.	5,368 SF
11TH FLOOR	4,657 SF
TOTAL:	55,083 SF

FAR: 55,402 SF/
9,246 SF LOT
=5.99 FAR

*NOTE 1: BASEMENT SQUARE FOOTAGE EXEMPT FROM FAR CALCULATIONS - MORE THAN 50% BELOW FINISHED GRADE
 **NOTE 2: ELEVATOR SHAFT SQUARE FOOTAGE DEDUCTED FROM 2ND-11TH FLOORS
 ***NOTE 3: ALL SQUARE FOOTAGES TAKEN FROM OUTSIDE OF EXTERIOR STRUCTURE WALLS TO FACE OF INTERIOR STRUCTURE/STUDS

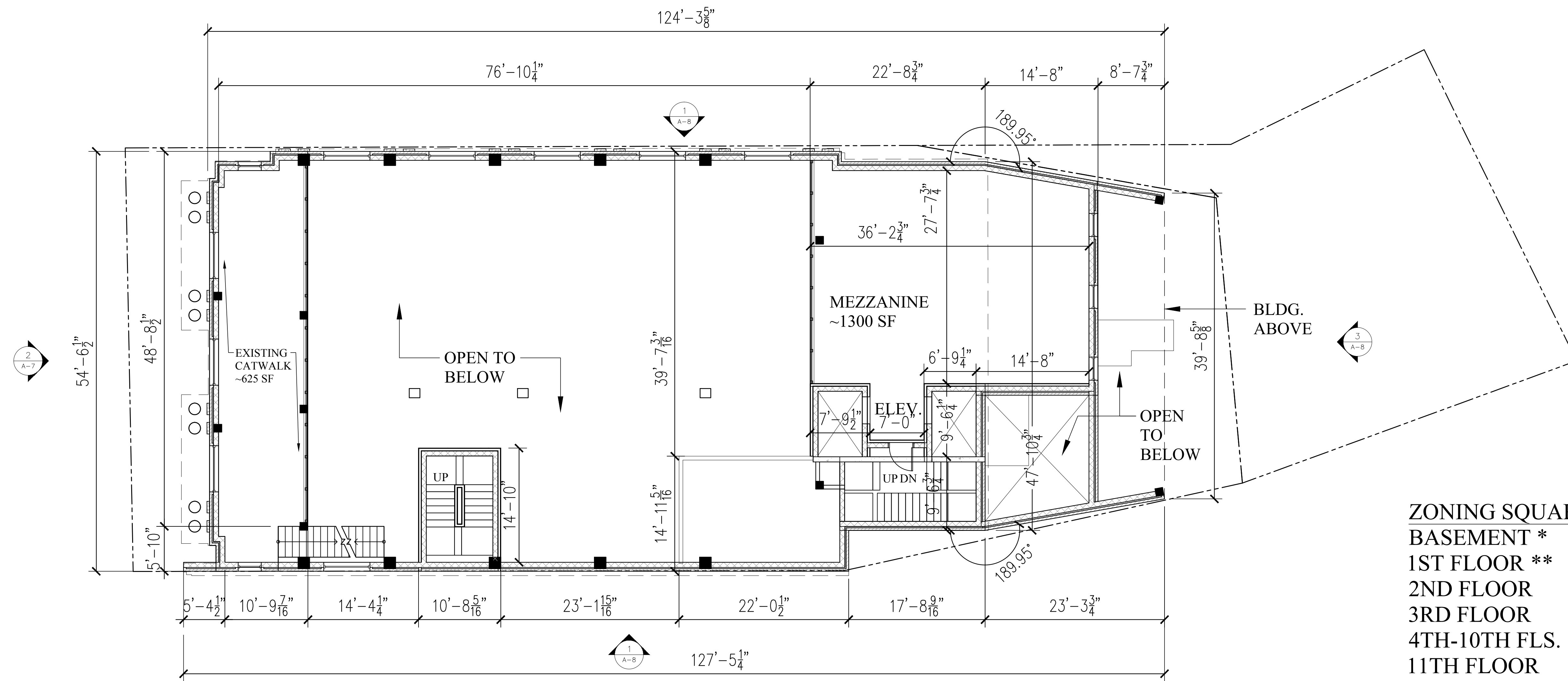
THE OLD TOWNE HOTEL
160 ATLANTIC ST.
STAMFORD, CT



OLD TOWN SQUARE, LLC
DO H. CHUNG & PARTNERS

GROUND FL. PLAN
S: 1/8" = 1'-0"
DATE: 3-22-2023

*NOTE: EXACT ROOM MIX, INTERIOR LAYOUT AND SQUARE FOOTAGES SUBJECT TO CHANGE. ANY REVISION TO SQUARE FOOTAGE WILL NOT EXCEED ALLOWED FAR



ZONING SQUARE FOOTAGES	
BASEMENT *	5,548 SF
1ST FLOOR **	5,844 SF
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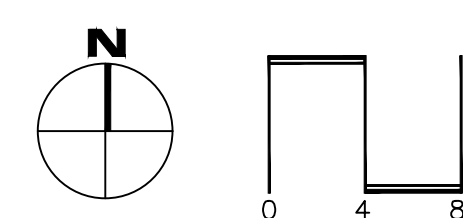
FAR: 55,402 SF/
9,246 SF LOT
=5.99 FAR

*NOTE 1: BASEMENT SQUARE FOOTAGE EXEMPT FROM FAR CALCULATIONS - MORE THAN 50% BELOW FINISHED GRADE

**NOTE 2: ELEVATOR SHAFT SQUARE FOOTAGE DEDUCTED FROM 2ND-11TH FLOORS

***NOTE 3: ALL SQUARE FOOTAGES TAKEN FROM OUTSIDE OF EXTERIOR STRUCTURE WALLS TO FACE OF INTERIOR STRUCTURE/STUDS

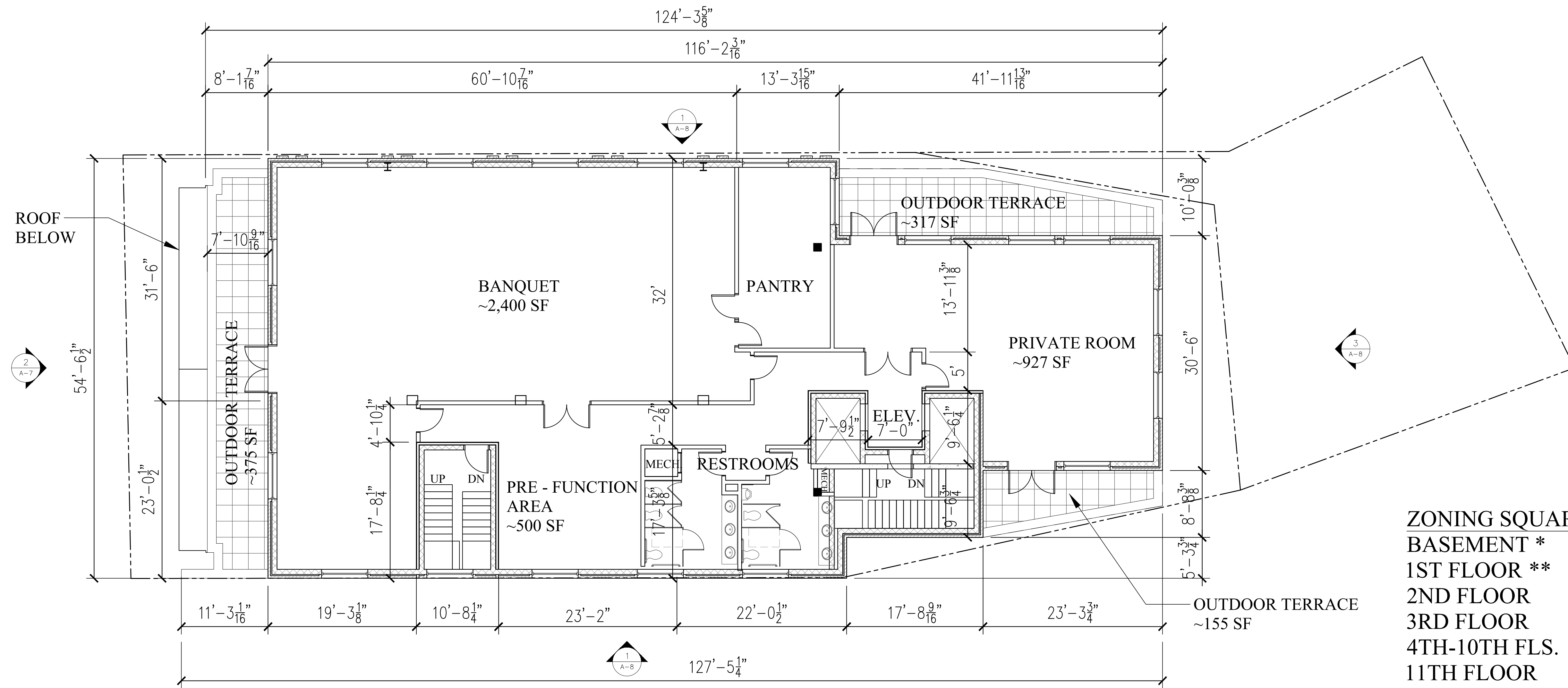
THE OLD TOWNE HOTEL
160 ATLANTIC ST.
STAMFORD, CT



OLD TOWN SQUARE, LLC
DO H. CHUNG & PARTNERS

2ND. FL. PLAN
S: 1/8" = 1'-0"
DATE: 3-22-2023

*NOTE: EXACT ROOM MIX, INTERIOR LAYOUT AND SQUARE FOOTAGES SUBJECT TO CHANGE. ANY REVISION TO SQUARE FOOTAGE WILL NOT EXCEED ALLOWED FAR



ZONING SQUARE FOOTAGES	
BASEMENT *	5,548 SF
1ST FLOOR **	5,844 SF
2ND FLOOR	1,939 SF
3RD FLOOR	5,386 SF
4TH-10TH FLS.	5,368 SF
11TH FLOOR	4,657 SF
TOTAL:	55,083 SF

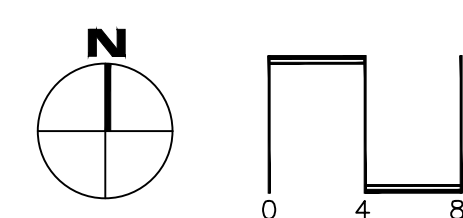
FAR: 55,402 SF/
9,246 SF LOT
=5.99 FAR

*NOTE 1: BASEMENT SQUARE FOOTAGE EXEMPT FROM FAR CALCULATIONS - MORE THAN 50% BELOW FINISHED GRADE

**NOTE 2: ELEVATOR SHAFT SQUARE FOOTAGE DEDUCTED FROM 2ND-11TH FLOORS

***NOTE 3: ALL SQUARE FOOTAGES TAKEN FROM OUTSIDE OF EXTERIOR STRUCTURE WALLS TO FACE OF INTERIOR STRUCTURE/STUDS

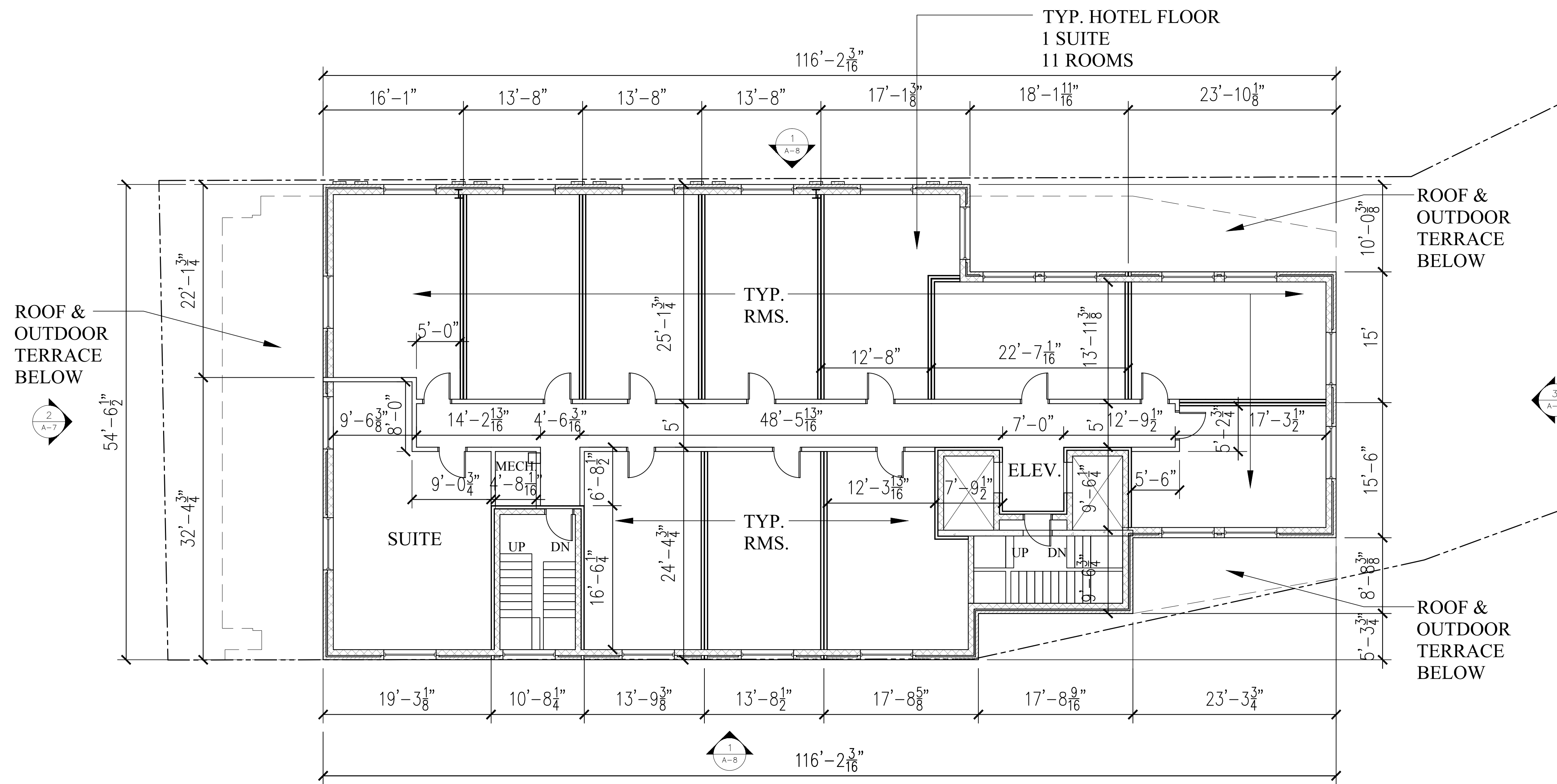
THE OLD TOWNE HOTEL
160 ATLANTIC ST.
STAMFORD, CT



OLD TOWN SQUARE, LLC
DO H. CHUNG & PARTNERS

3RD. FL. PLAN
S: 1/8" = 1'-0"
DATE: 3-22-2023

*NOTE: EXACT ROOM MIX, INTERIOR LAYOUT AND SQUARE FOOTAGES SUBJECT TO CHANGE. ANY REVISION TO SQUARE FOOTAGE WILL NOT EXCEED ALLOWED FAR

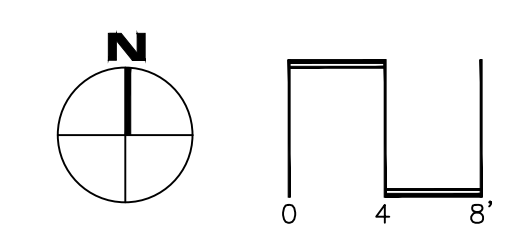


ZONING SQUARE FOOTAGES	
BASEMENT *	5,548 SF
1ST FLOOR **	5,844 SF
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4TH-10TH FLS.	5,368 SF
11TH FLOOR	4,657 SF
TOTAL:	55,083 SF

FAR: 55,402 SF/
9,246 SF LOT
=5.99 FAR

*NOTE 1: BASEMENT SQUARE FOOTAGE EXEMPT FROM FAR CALCULATIONS - MORE THAN 50% BELOW FINISHED GRADE
 **NOTE 2: ELEVATOR SHAFT SQUARE FOOTAGE DEDUCTED FROM 2ND-11TH FLOORS
 ***NOTE 3: ALL SQUARE FOOTAGES TAKEN FROM OUTSIDE OF EXTERIOR STRUCTURE WALLS TO FACE OF INTERIOR STRUCTURE/STUDS

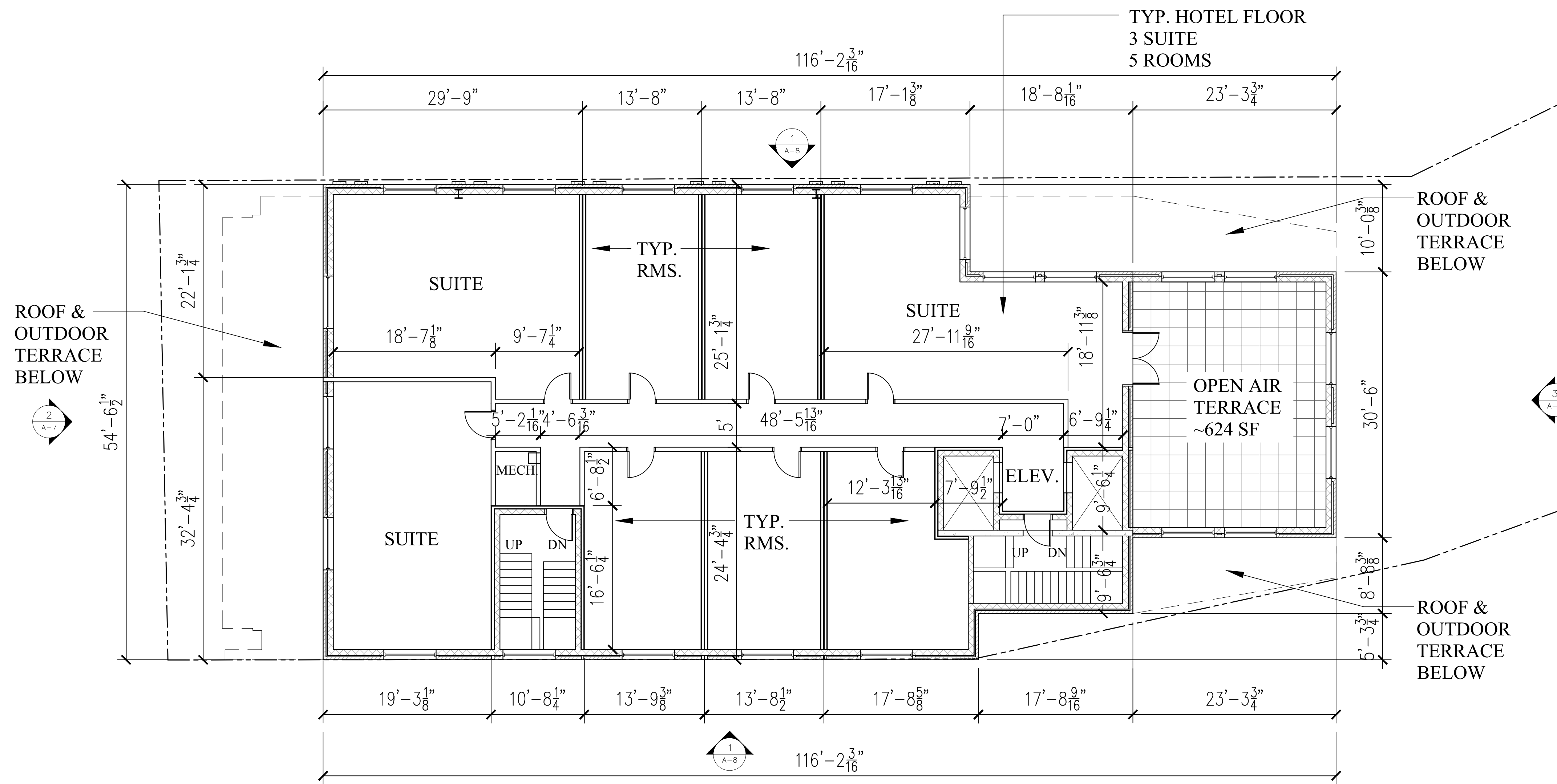
THE OLD TOWNE HOTEL
160 ATLANTIC ST.
STAMFORD, CT



OLD TOWN SQUARE, LLC
DO H. CHUNG & PARTNERS

4TH - 10TH. FL. PLAN
S: 1/8" = 1'-0"
DATE: 3-22-2023

*NOTE: EXACT ROOM MIX, INTERIOR LAYOUT AND SQUARE FOOTAGES SUBJECT TO CHANGE. ANY REVISION TO SQUARE FOOTAGE WILL NOT EXCEED ALLOWED FAR

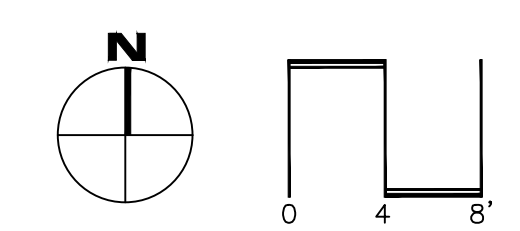


ZONING SQUARE FOOTAGES	
BASEMENT *	5,548 SF
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3RD FLOOR	5,386 SF
4TH-10TH FLS.	5,368 SF
11TH FLOOR	4,657 SF
TOTAL:	55,083 SF

FAR: 55,402 SF/
9,246 SF LOT
=5.99 FAR

*NOTE 1: BASEMENT SQUARE FOOTAGE EXEMPT FROM FAR CALCULATIONS - MORE THAN 50% BELOW FINISHED GRADE
 **NOTE 2: ELEVATOR SHAFT SQUARE FOOTAGE DEDUCTED FROM 2ND-11TH FLOORS
 ***NOTE 3: ALL SQUARE FOOTAGES TAKEN FROM OUTSIDE OF EXTERIOR STRUCTURE WALLS TO FACE OF INTERIOR STRUCTURE/STUDS

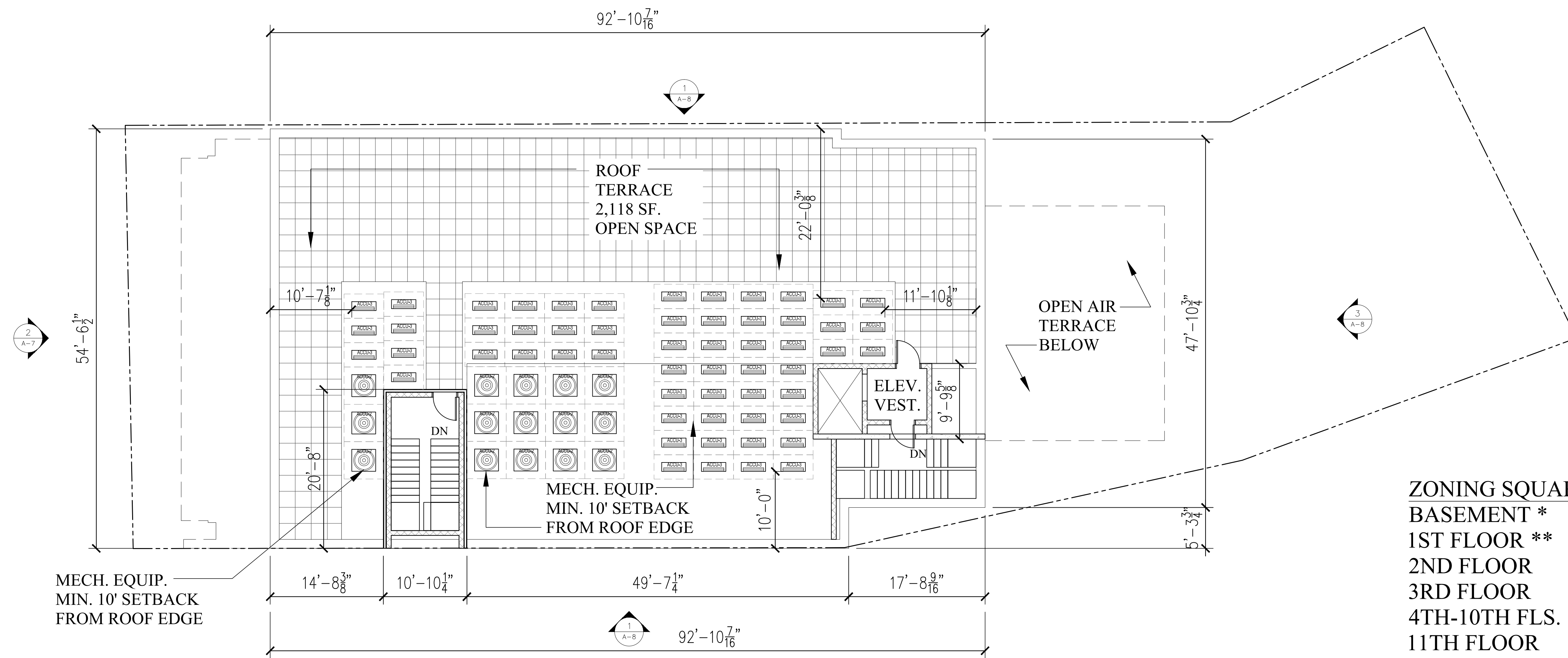
THE OLD TOWNE HOTEL
160 ATLANTIC ST.
STAMFORD, CT



OLD TOWN SQUARE, LLC
DO H. CHUNG & PARTNERS

11TH. FL. PLAN
S: 1/8" = 1'-0"
DATE: 3-22-2023

*NOTE: EXACT ROOM MIX, INTERIOR LAYOUT AND SQUARE FOOTAGES SUBJECT TO CHANGE. ANY REVISION TO SQUARE FOOTAGE WILL NOT EXCEED ALLOWED FAR



ZONING SQUARE FOOTAGES	
BASEMENT *	5,548 SF
1ST FLOOR **	5,844 SF
2ND FLOOR	1,939 SF
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TOTAL:	55,083 SF

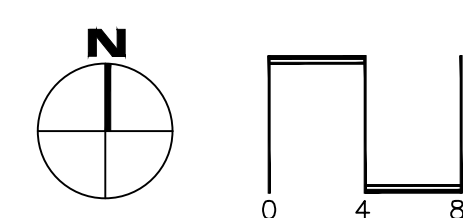
FAR: 55,402 SF/
9,246 SF LOT
=5.99 FAR

*NOTE 1: BASEMENT SQUARE FOOTAGE EXEMPT FROM FAR CALCULATIONS - MORE THAN 50% BELOW FINISHED GRADE

**NOTE 2: ELEVATOR SHAFT SQUARE FOOTAGE DEDUCTED FROM 2ND-11TH FLOORS

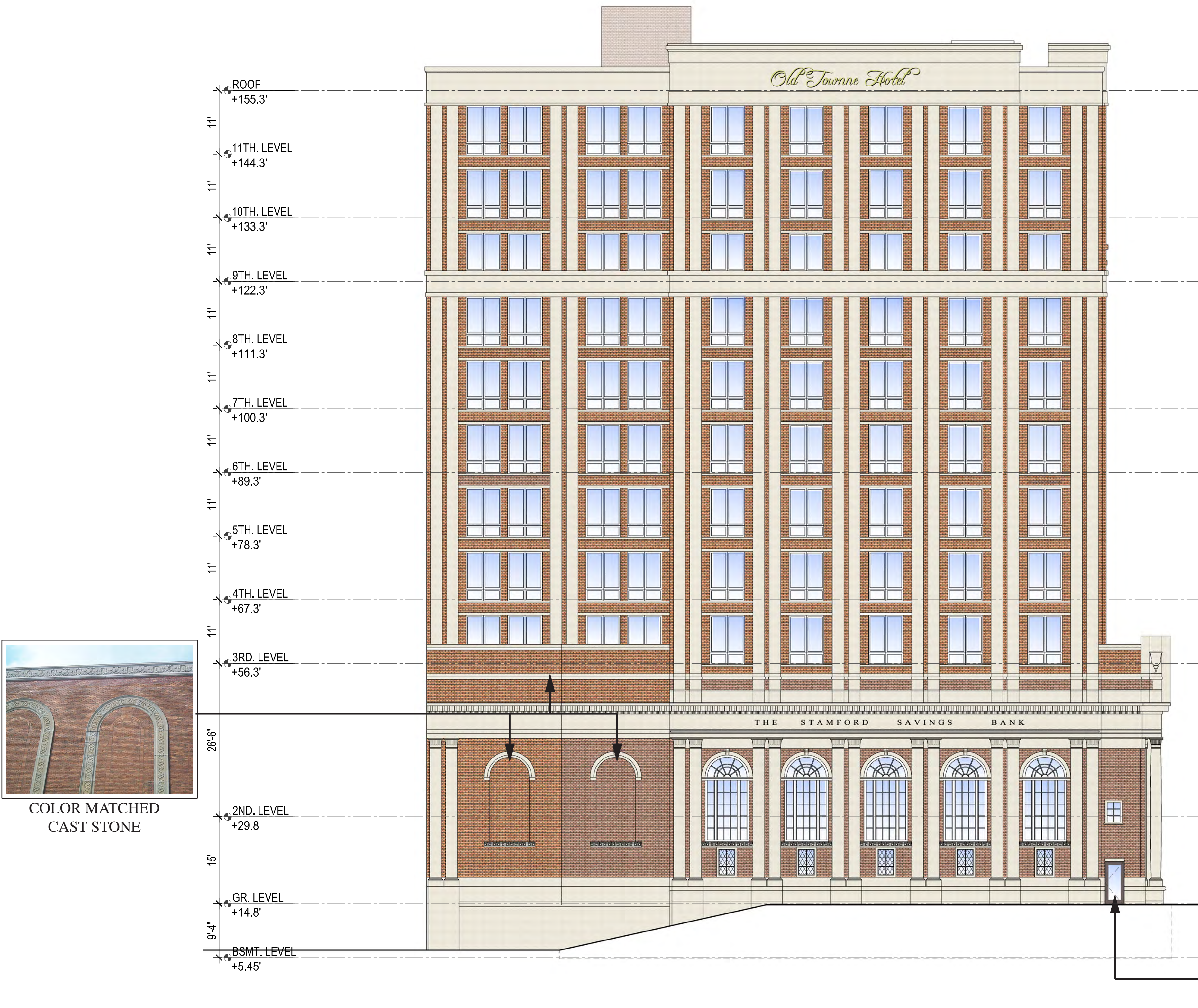
***NOTE 3: ALL SQUARE FOOTAGES TAKEN FROM OUTSIDE OF EXTERIOR STRUCTURE WALLS TO FACE OF INTERIOR STRUCTURE/STUDS

THE OLD TOWNE HOTEL
160 ATLANTIC ST.
STAMFORD, CT



OLD TOWN SQUARE, LLC
DO H. CHUNG & PARTNERS

ROOF PLAN
S: 1/8" = 1'-0"
DATE: 3-22-2023



1 NORTH ELEVATION
3/32" = 1'-0"



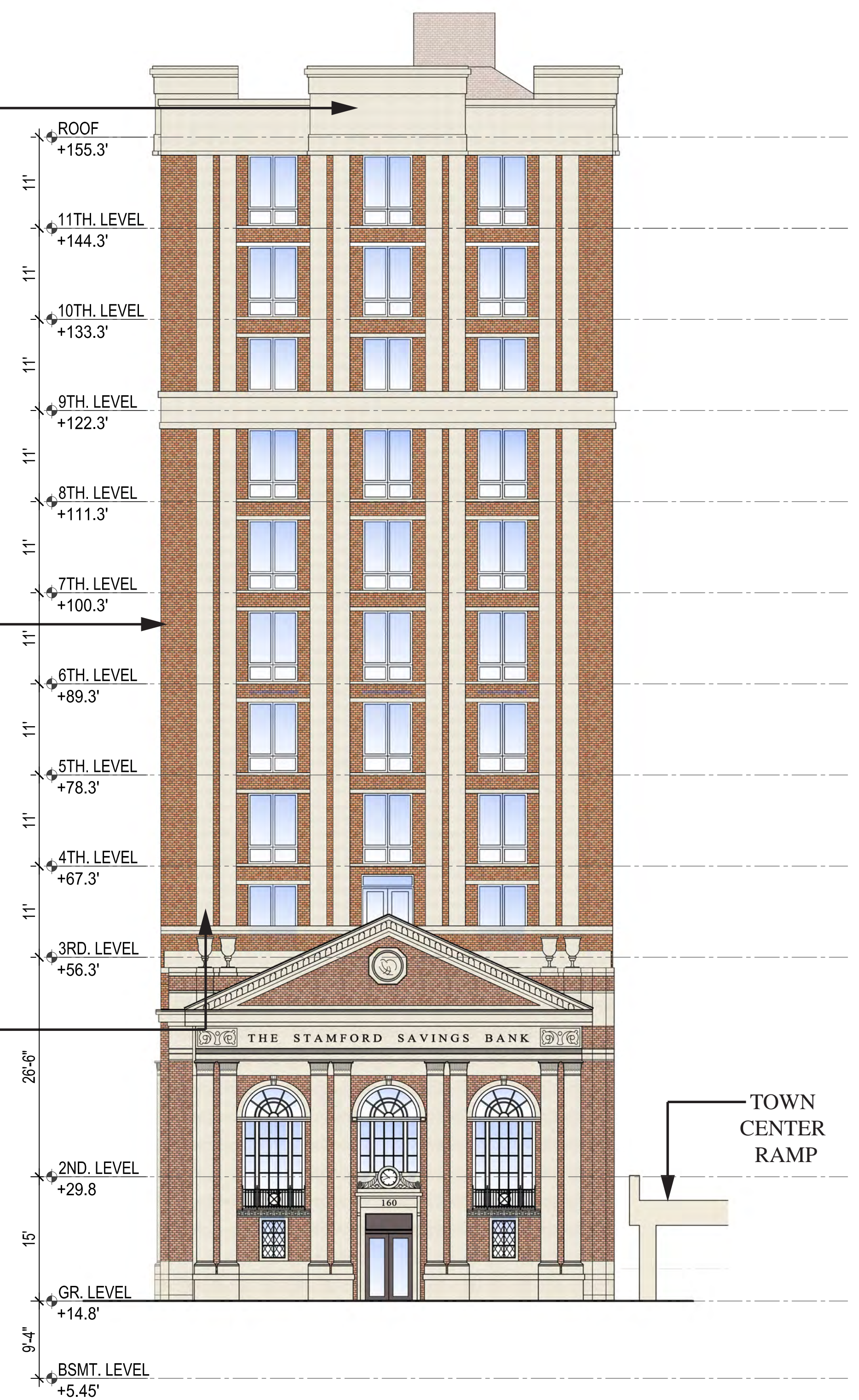
COLOR MATCHED
CAST STONE



COLOR MATCHED
FULL WIDTH BRICK



COLOR MATCHED
CAST STONE

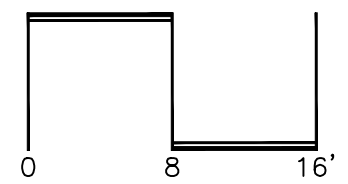


2 WEST/FRONT ELEVATION
3/32" = 1'-0"



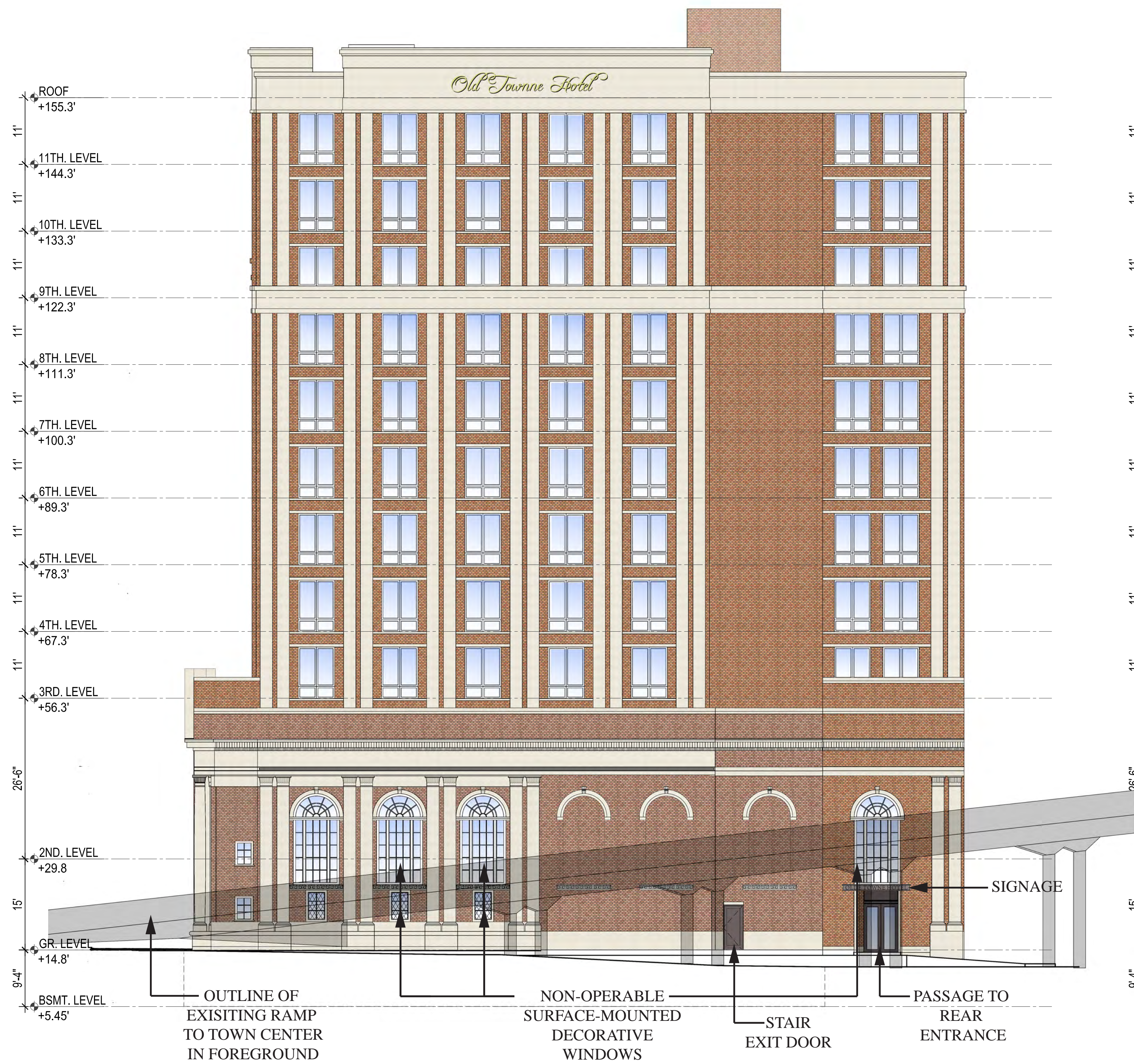
COLOR MATCHED
CAST STONE

THE OLD TOWNE HOTEL
160 ATLANTIC ST.
STAMFORD, CT

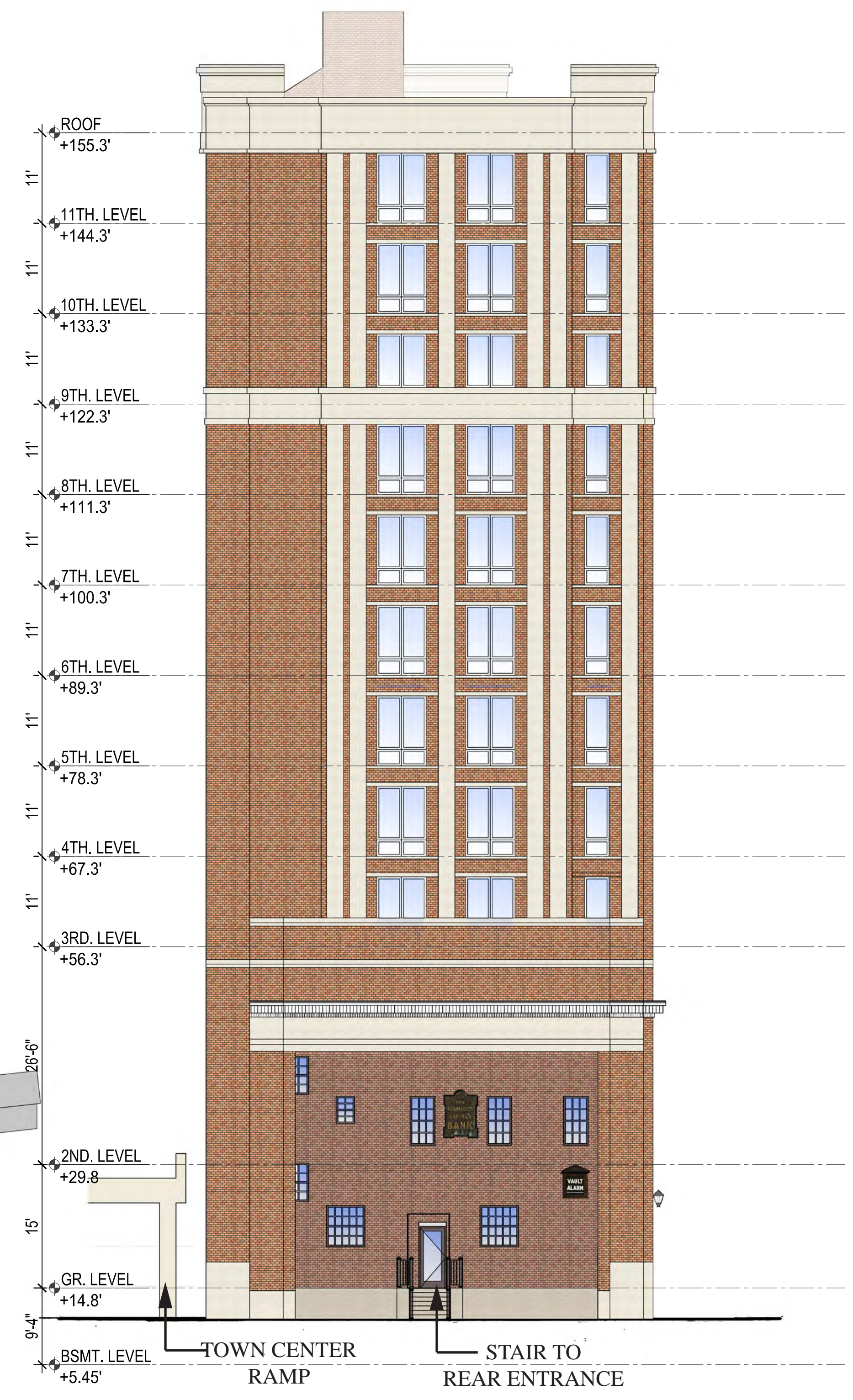


OLD TOWN SQUARE, LLC
DO H. CHUNG & PARTNERS

PROPOSED ELEVATIONS
S: 3/32" = 1'-0"
DATE: 12-7-2022

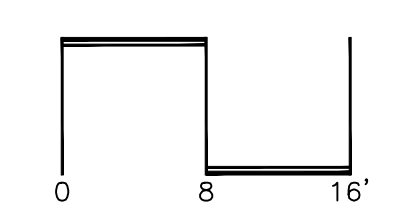


1 SOUTH ELEVATION
3/32"=1'-0"



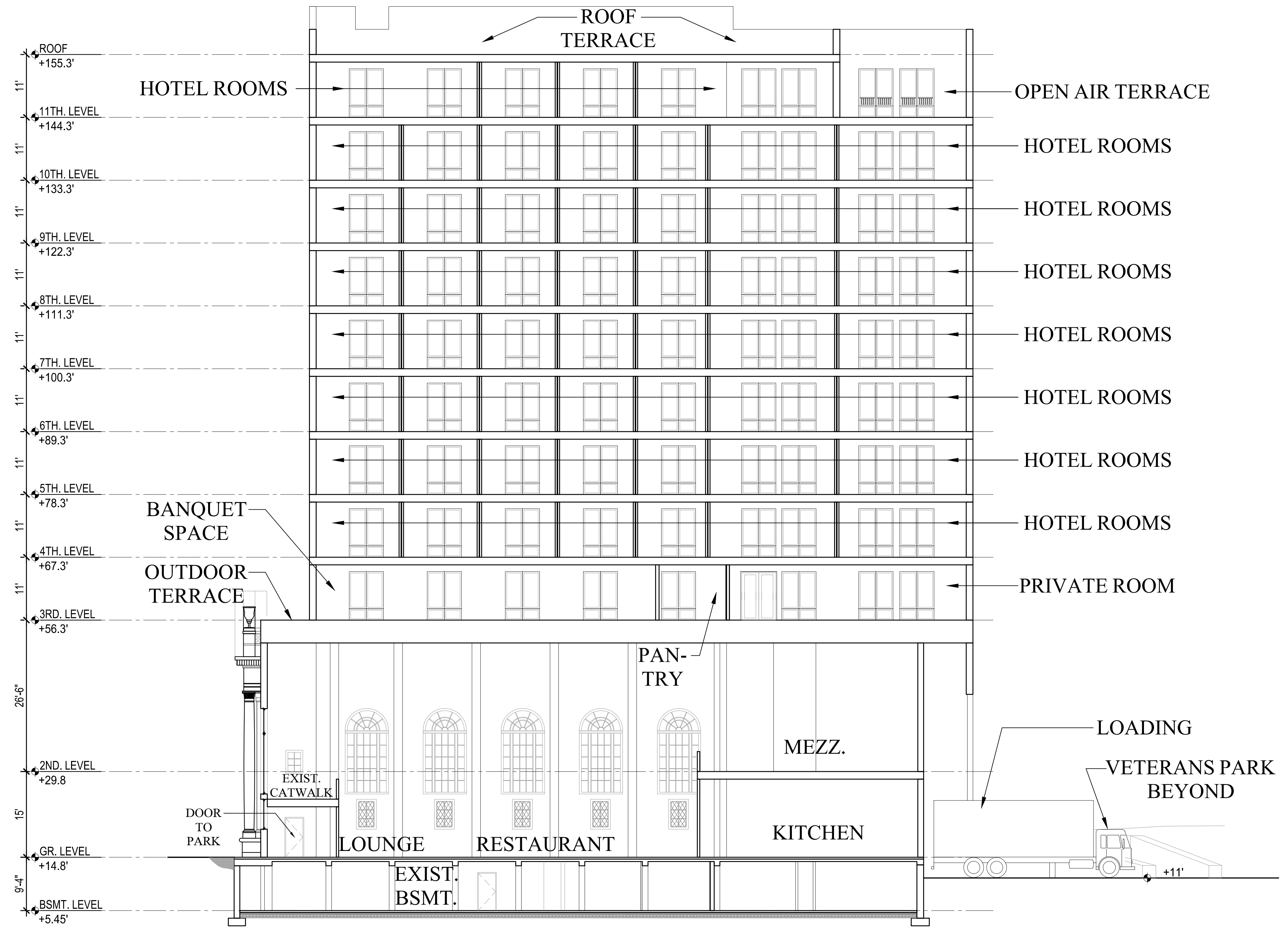
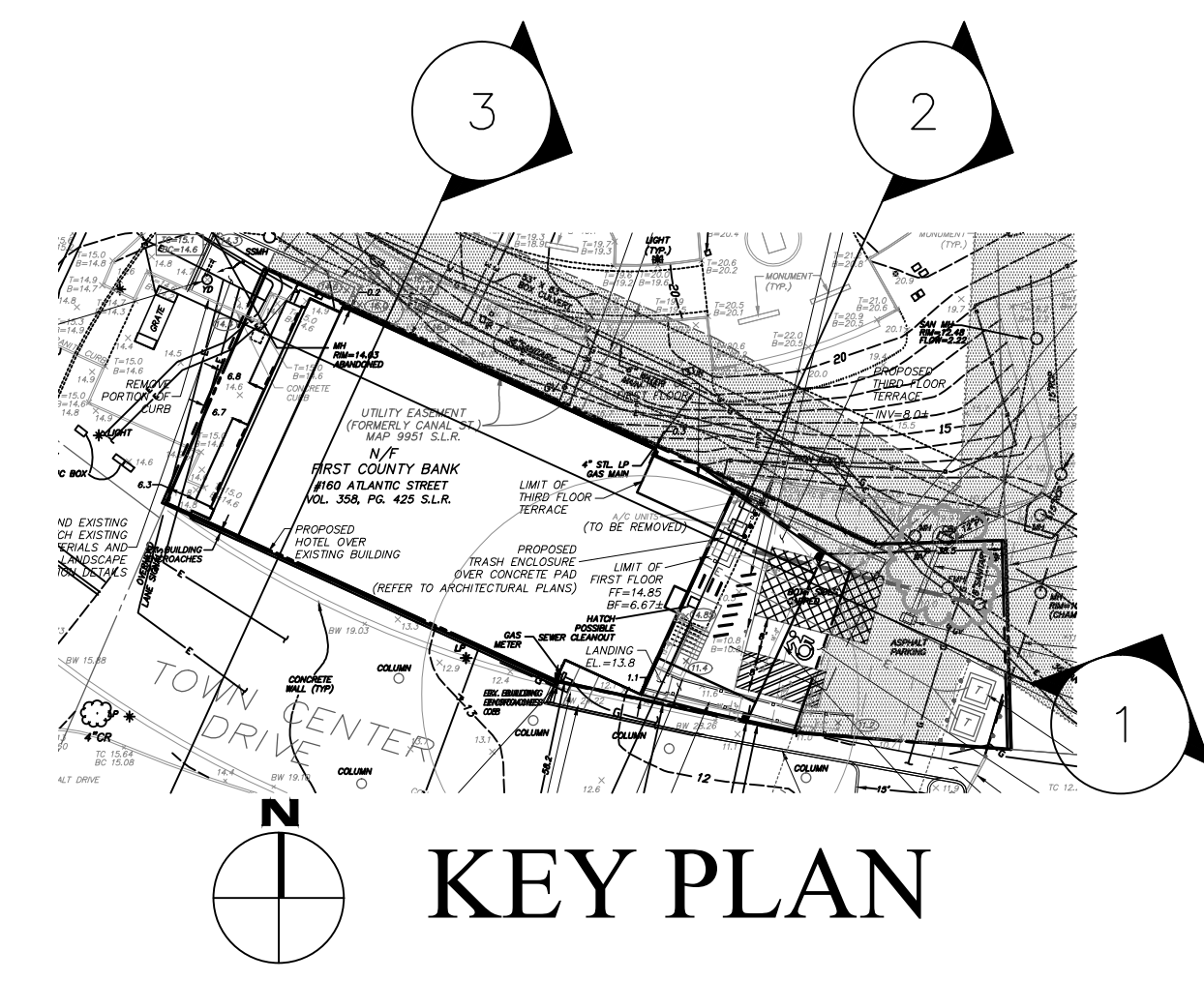
2 EAST/REAR ELEVATION
3/32"=1'-0"

THE OLD TOWNE HOTEL
160 ATLANTIC ST.
STAMFORD, CT



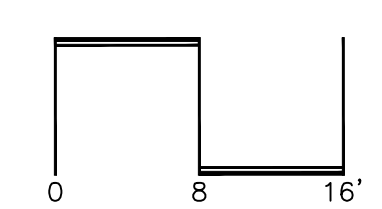
OLD TOWN SQUARE, LLC
DO H. CHUNG & PARTNERS

PROPOSED ELEVATIONS
S: 3/32" = 1'-0"
DATE: 6-12-2023



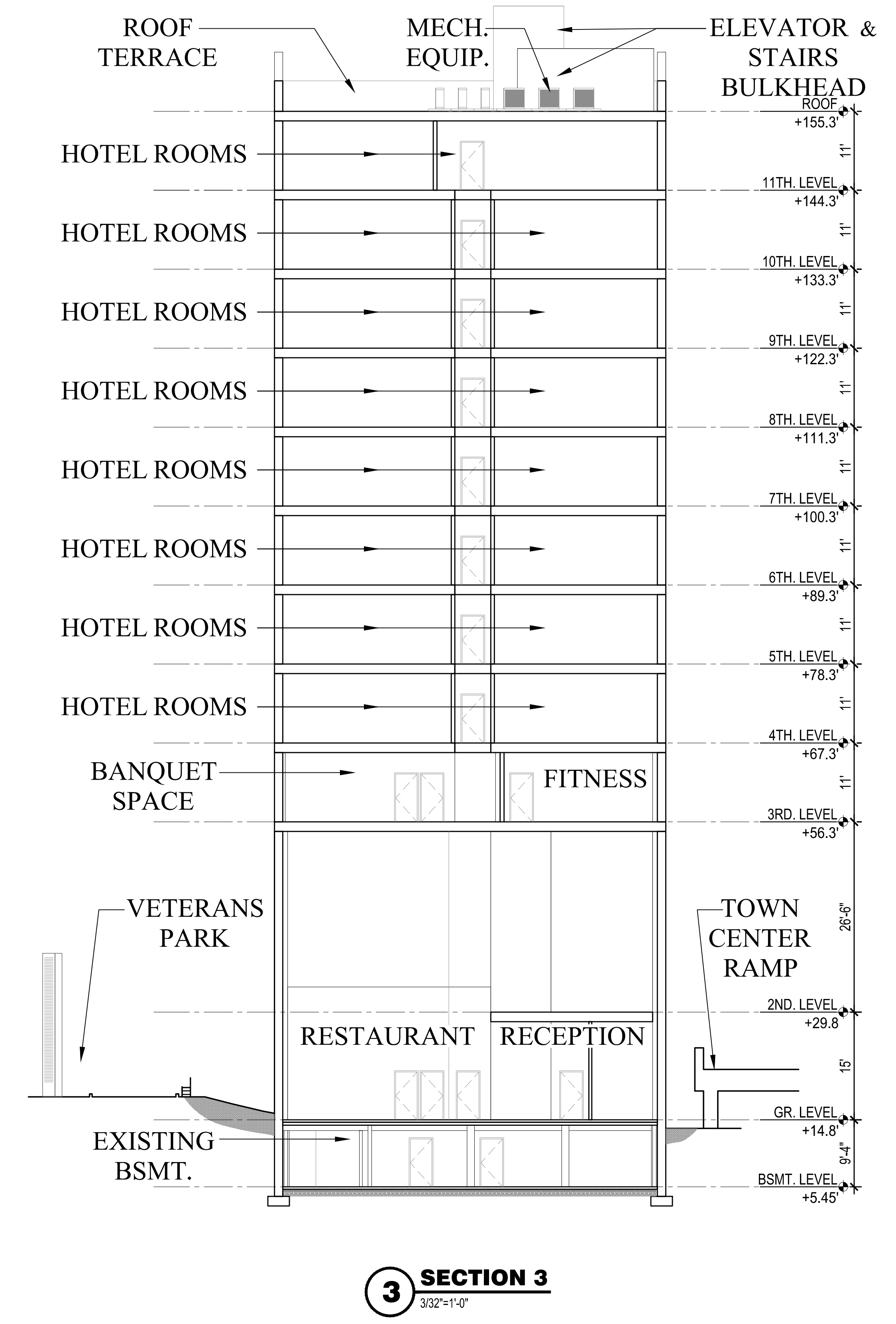
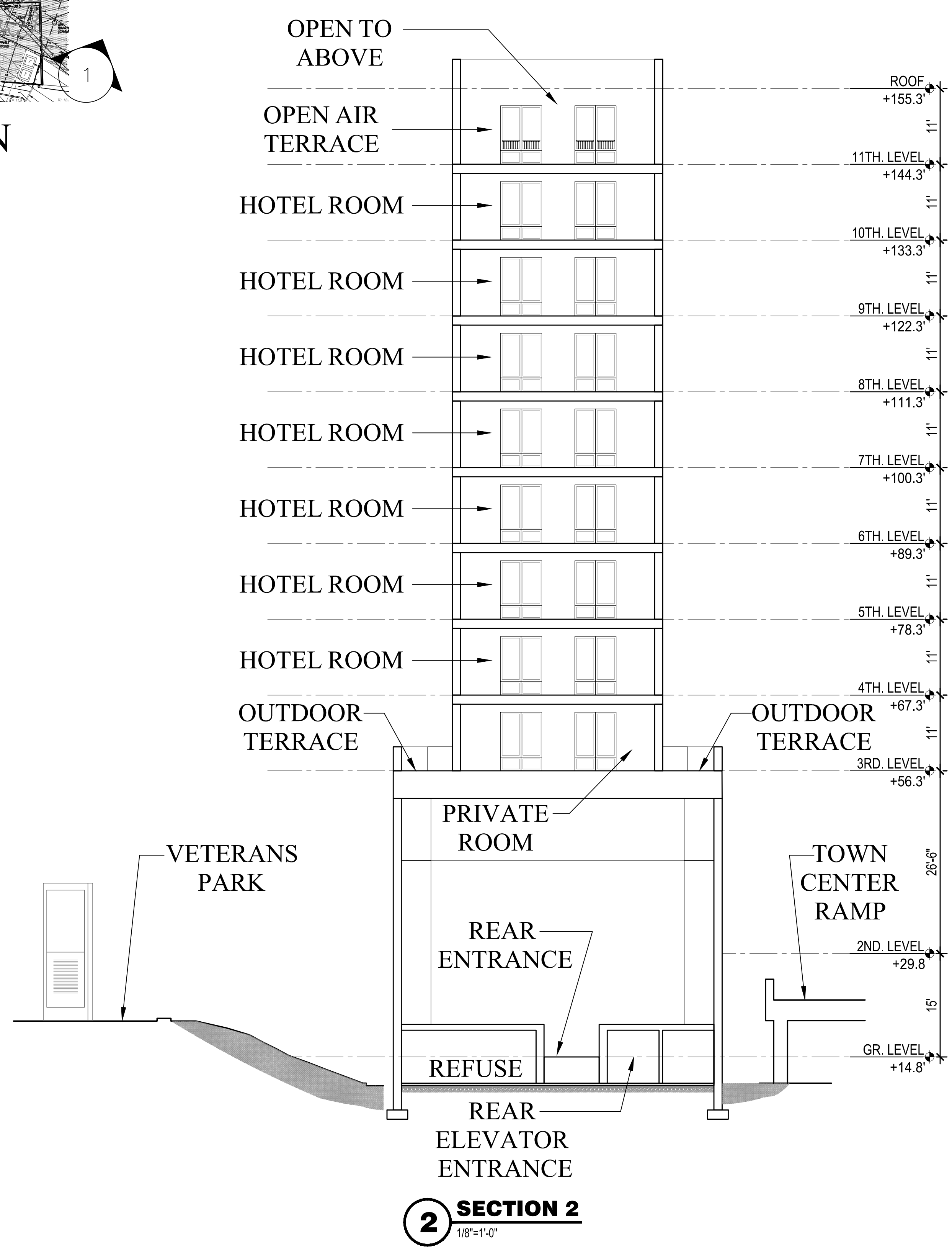
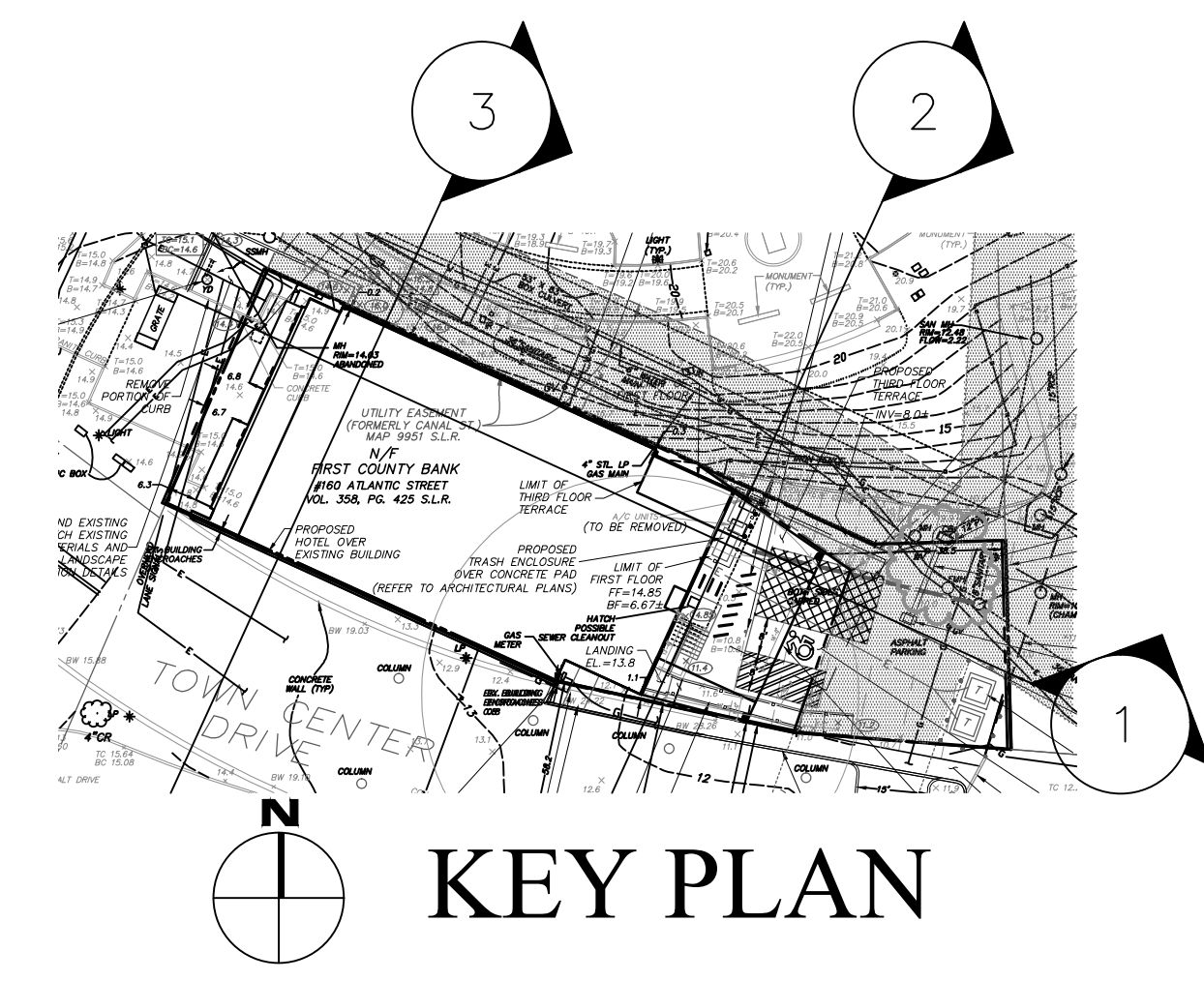
1 SECTION 1
3/32" = 1'-0"

THE OLD TOWNE HOTEL
160 ATLANTIC ST.
STAMFORD, CT



OLD TOWN SQUARE, LLC
DO H. CHUNG & PARTNERS

TYP. BLDG. THRU SECTION
S: 3/32" = 1'-0"
DATE: 2-7-2023



THE OLD TOWNE HOTEL
160 ATLANTIC ST.
STAMFORD, CT

OLD TOWN SQUARE, LLC
DO H. CHUNG & PARTNERS

TYP. BLDG. CROSS SECTIONS
S: 3/32" = 1'-0"
DATE: 2-7-2023



PROPOSED PERSPECTIVE VIEW
FROM VETERANS MEMORIAL PARK

OLD TOWNNE SQUARE
160 ATLANTIC ST.
STAMFORD, CT

OLD TOWN SQUARE, LLC
DO H. CHUNG & PARTNERS

PROPOSED PERSPECTIVE VIEW
S: N.T.S.
DATE: 7-11-2022



PROPOSED STREET LEVEL VIEW
FROM ATLANTIC STREET

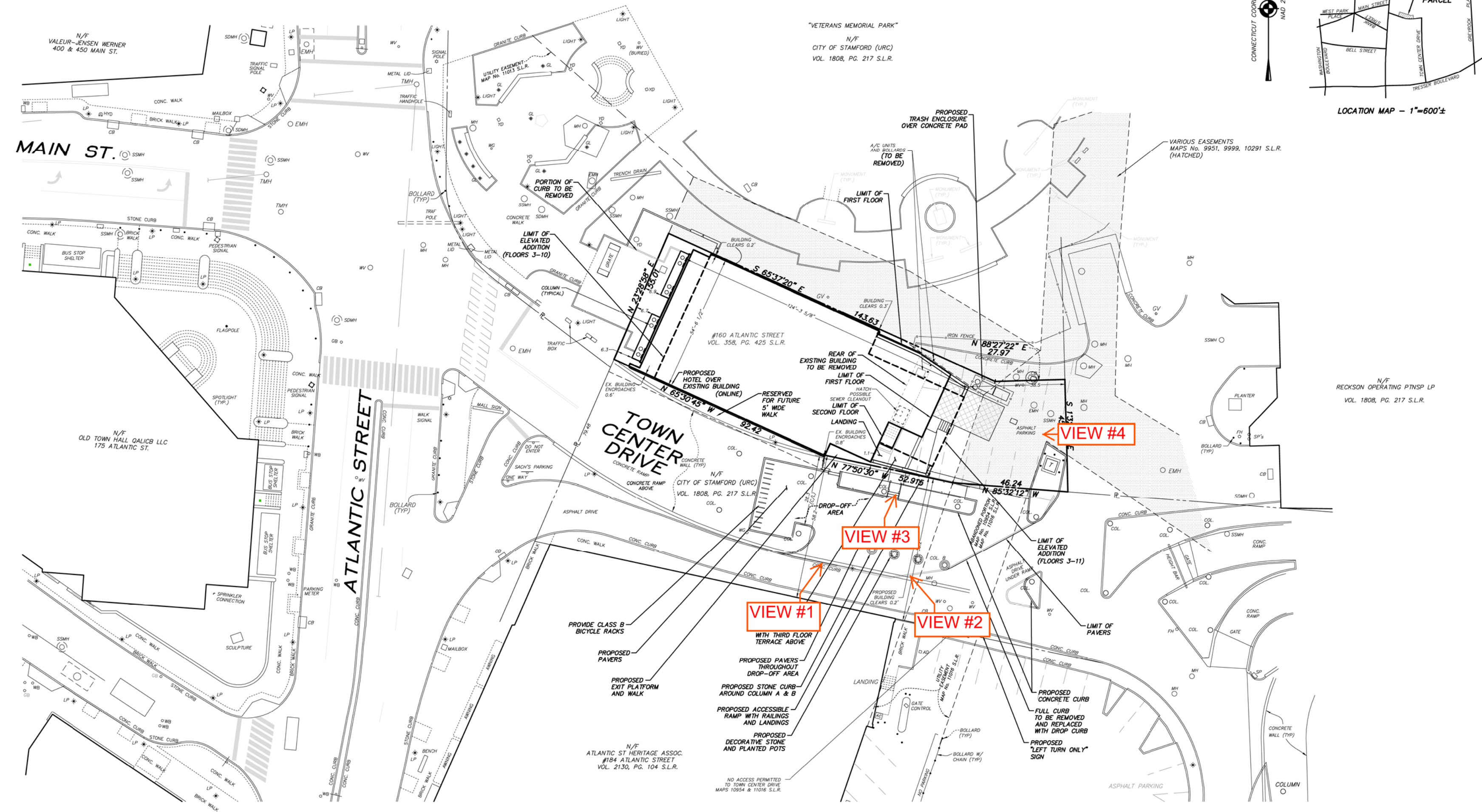
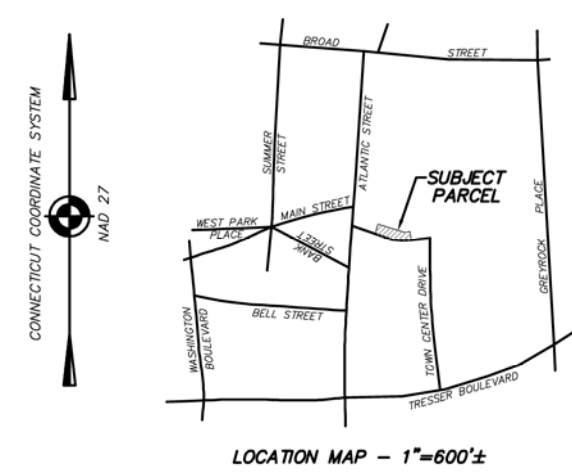
OLD TOWNNE SQUARE
160 ATLANTIC ST.
STAMFORD, CT

OLD TOWN SQUARE, LLC
DO H. CHUNG & PARTNERS

PROPOSED STREET LEVEL VIEW
S: N.T.S.
DATE: 7-11-2022

GENERAL SURVEYING NOTES

1. REFER TO A SURVEY ENTITLED "HOTEL DEVELOPMENT PREPARED FOR OLD TOWN SQUARE, LLC LOCATION 160 ATLANTIC STREET STAMFORD, CONNECTICUT, EXISTING CONDITIONS" PREPARED BY D'ANDREA SURVEYING & ENGINEERING, P.C. FOR EXISTING CONDITIONS.
2. PROPOSED BUILDING IMPROVEMENTS ARE BASED ON ARCHITECTURAL PLANS PREPARED BY DO H. CHUNG & PARTNERS.
3. REFER TO "LANDSCAPE PLAN" PREPARED BY ENVIRONMENTAL LAND SOLUTIONS, LLC.
4. CERTAIN IMPROVEMENTS ARE PROPOSED OUTSIDE OF THE PROPERTY BOUNDARY LINES THAT REQUIRE USE AGREEMENTS WITH THE RESPECTIVE PROPERTY OWNERS.



SITE COVERAGE
 LOT AREA = 9,246 S.F.
 PROPOSED BUILDING = 6,562 S.F.
 DRIVEWAY/PARKING = 1,932 S.F.
 PROPOSED EXIT PLATFORM AND WALK = 43 S.F.
 PROPOSED STEPS & RAMP = 98 S.F.
 PROPOSED EXPANDED PATIO = 376 S.F.
 TOTAL = 9,011 S.F.
 PERCENT COVERAGE = 97.5%

BUILDING COVERAGE
 LOT AREA = 9,246 S.F.
 PROPOSED BUILDING = 6,562 S.F.
 PERCENT COVERAGE = 71.0%

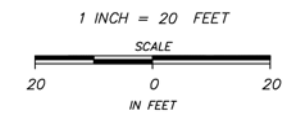
THIS MAP IS A ZONING LOCATION SURVEY. BOUNDARY INFORMATION IS BASED ON A RESURVEY CONDUCTED IN ACCORDANCE WITH HORIZONTAL ACCURACY CLASS "A-2" AS DEFINED IN THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20. NEW MONUMENTATION HAS NOT BEEN SET AS A RESULT OF THIS SURVEY.

ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

AREA = 9,246 S.F.
 REFER TO BOOK 12151 PAGE 81 AND MAP No. 10247 S.L.R.
 LAND LIES IN "CC" ZONING DISTRICT
 TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

D'ANDREA SURVEYING & ENGINEERING, P.C.
 SURVEYOR
 ANTHONY L. D'ANDREA, CT. PE & LS No. 9673
 RIVERSIDE, CONNECTICUT

APRIL 11, 2023 APRIL 19, 2023
 JUNE 16, 2021 AUGUST 23, 2021 SEPTEMBER 13, 2021 OCTOBER 18, 2021 APRIL 14, 2022 FEBRUARY 7, 2023 MARCH 3, 2023



ZONING LOCATION SURVEY
 OF PROPERTY AT
 160 ATLANTIC STREET
 IN
 STAMFORD, CONNECTICUT
 PREPARED FOR
 OLD TOWN SQUARE, LLC



VIEW #1



VIEW #2



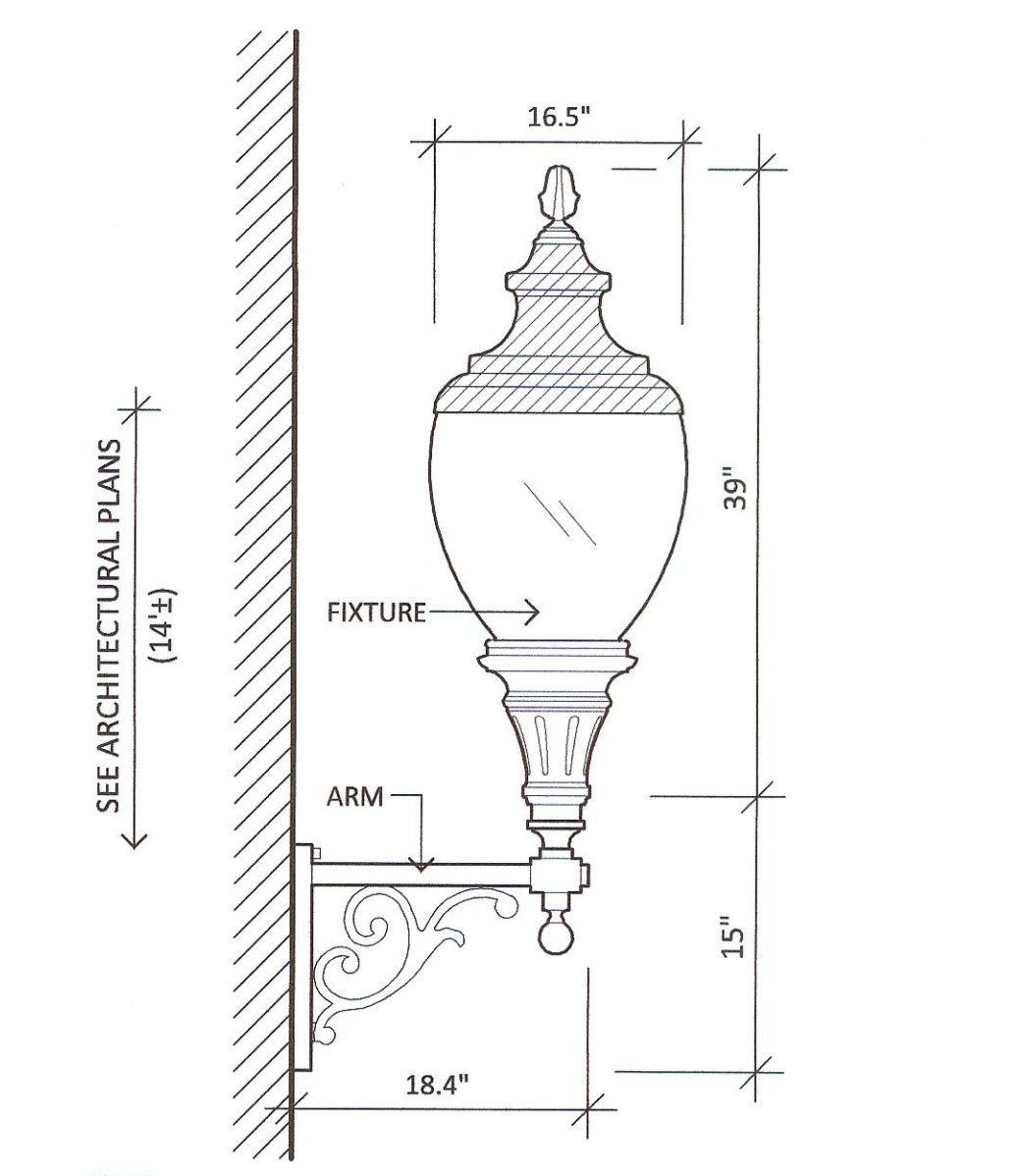
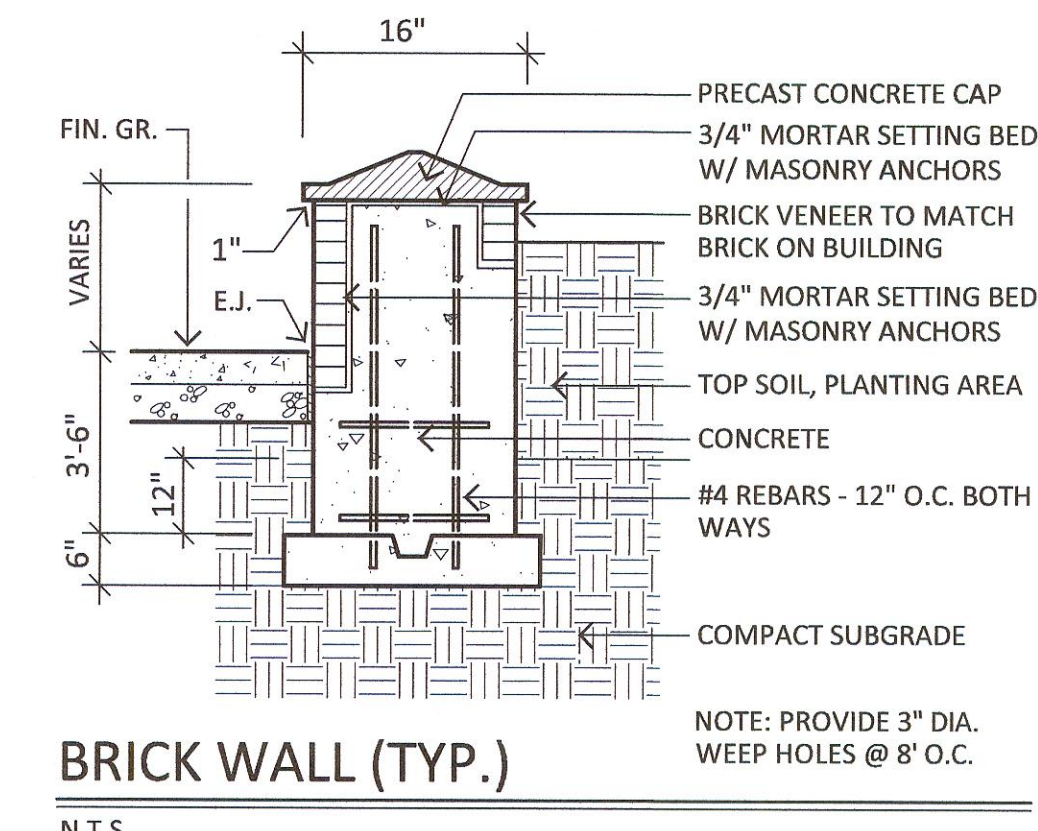
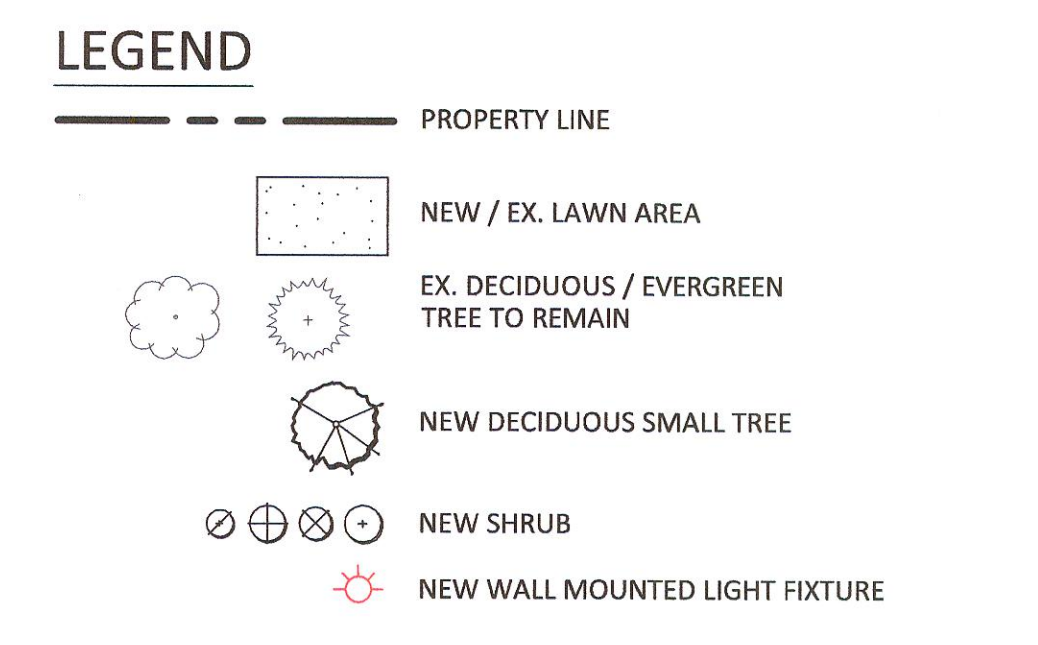
VIEW #3

VIEW #4





PLAN
SCALE: 1" = 10'

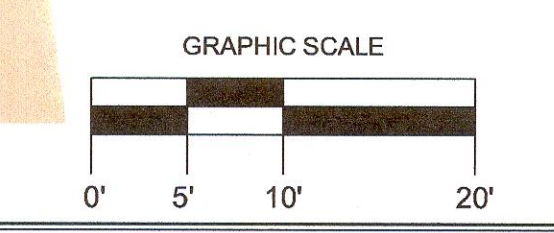


- NOTES:**
- EXISTING AND PROPOSED SITE INFORMATION TAKEN FROM A DIGITAL AUTOCADD SITE PLAN SUPPLIED BY D'ANDREA SURVEYING & ENGINEERING, PC.
 - CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 TO HAVE UNDERGROUND UTILITY LINES MARKED BY THEM PRIOR TO START OF ANY EXCAVATION WORK.
 - EXACT LOCATION OF PROPOSED PLANTINGS AND SPECIES TYPES MAY VARY FROM THIS PLAN BASED ON SITE PLAN REVISIONS AND/OR ACTUAL FIELD CONDITIONS.
 - PLANT SPECIES SUBSTITUTIONS MAY BE MADE WITH THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT PRIOR TO PLANTING.
 - PLANTING METHODS SHALL BE IN ACCORDANCE WITH THE "AMERICAN STANDARDS FOR NURSERY STOCK", LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
 - THE CONTRACTOR SHALL VERIFY WITH THE PROJECT ENGINEER THAT THE NEW PLANTINGS DO NOT INTERFERE WITH EXISTING AND/OR PROPOSED UTILITIES, SIGHT LINES, AND/OR STRUCTURES.

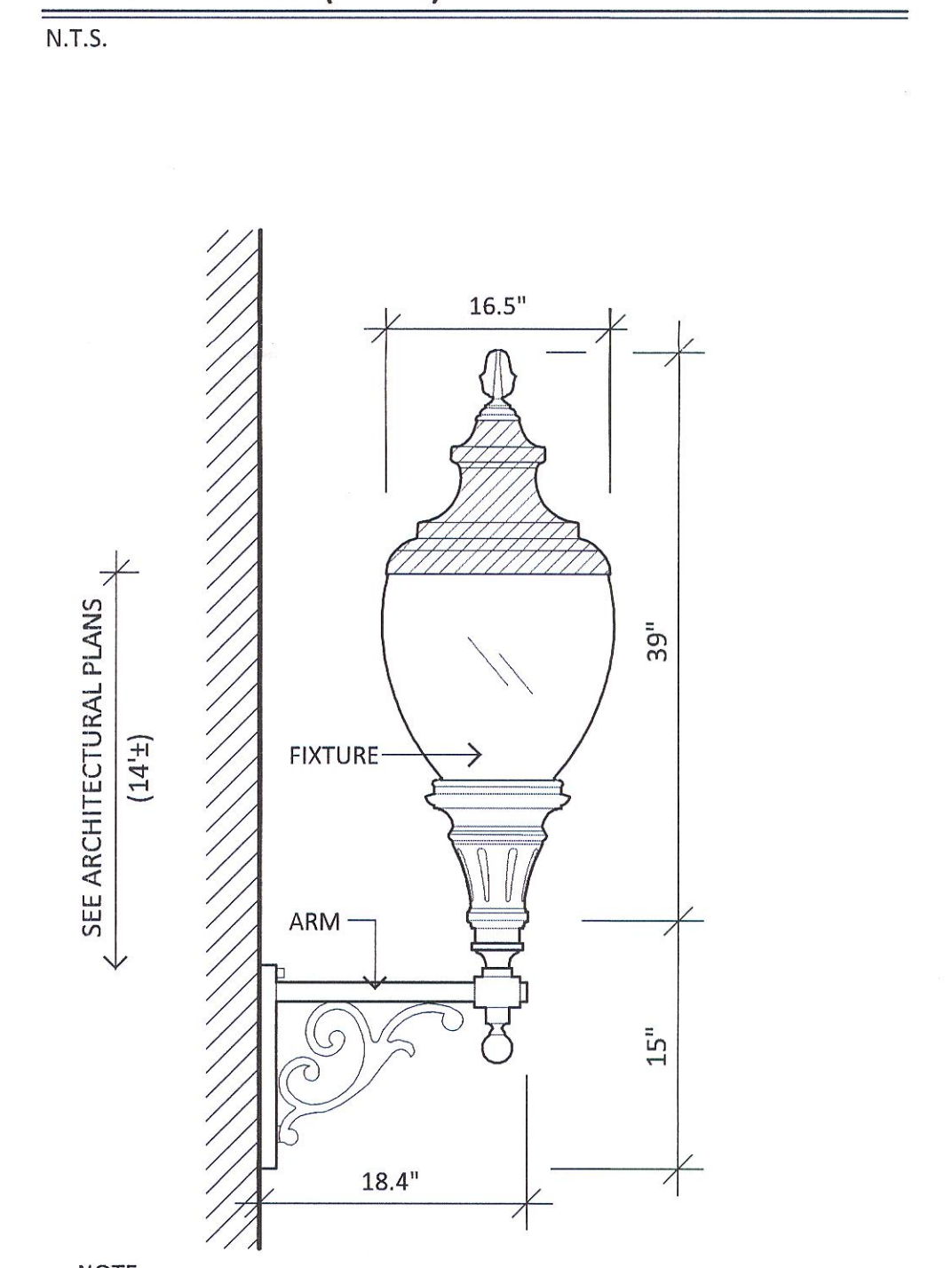
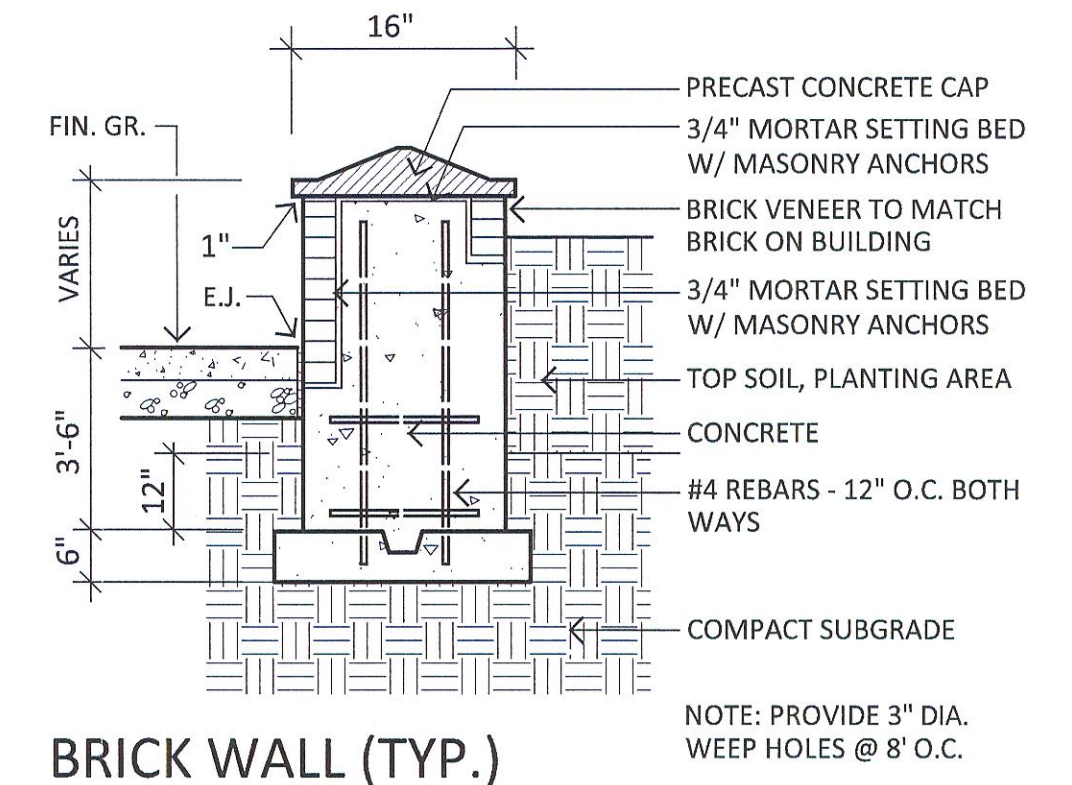
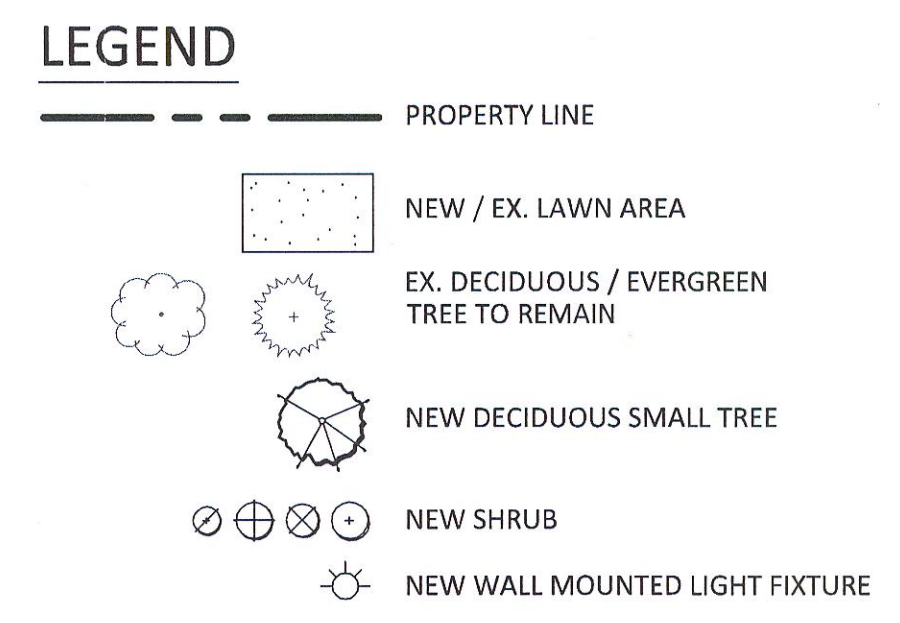
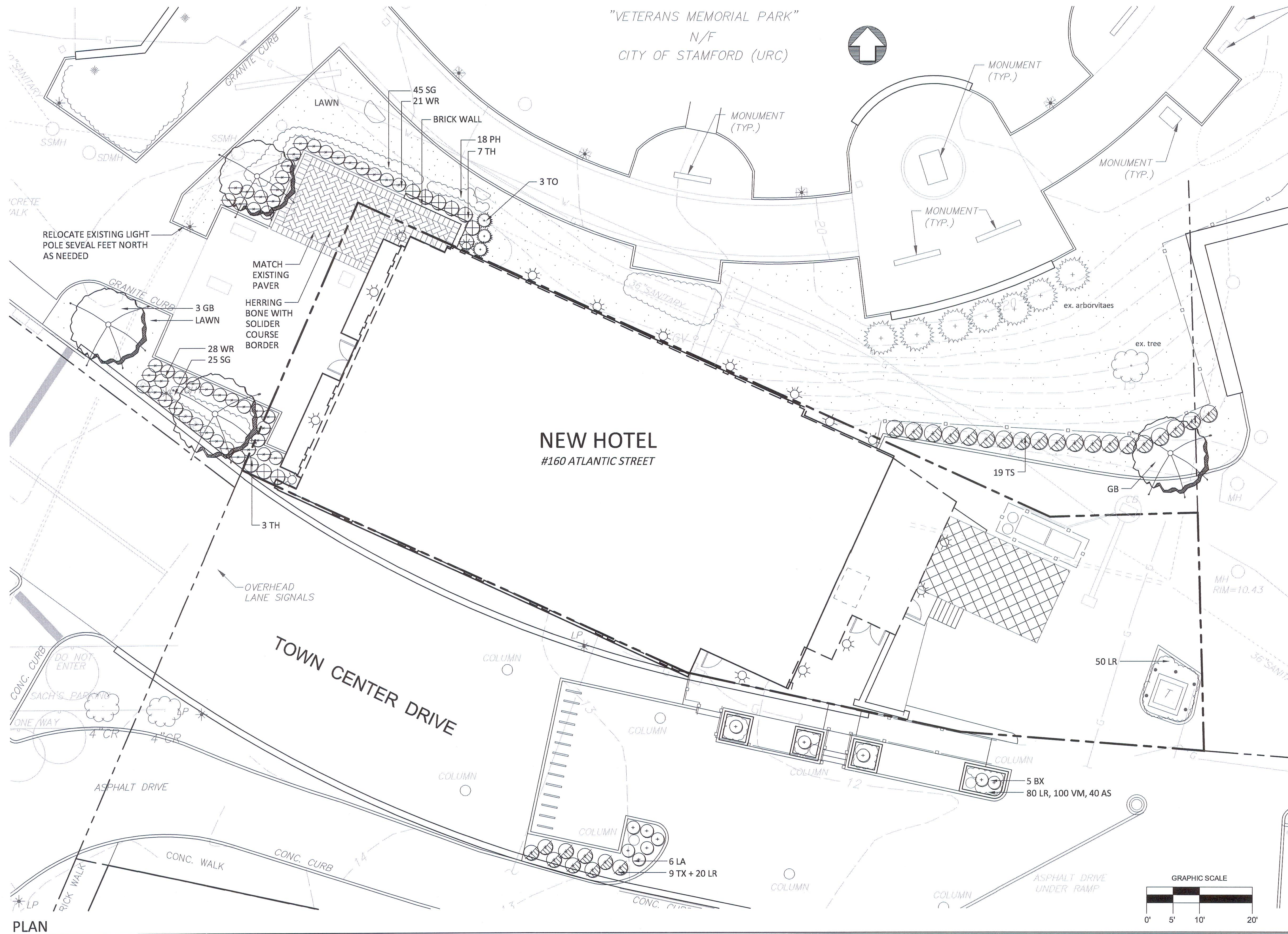
- LANDSCAPE LIGHTING NOTES:**
- SITE LIGHTING INFORMATION AND LIGHTING PLANS PREPARED BY ENVIRONMENTAL LAND SOLUTIONS, LLC ARE DESIGNED FOR GENERAL LANDSCAPE AESTHETIC PURPOSES ONLY. LIGHTING INFORMATION SHOWN ON THIS PLAN SHALL NOT BE USED FOR SECURITY OR SAFETY PURPOSES.
 - LOCATION AND TYPE OF LIGHT FIXTURES ARE TYPICAL AND MAY VARY BASED ON ACTUAL FIELD CONDITIONS, SITE AND ARCHITECTURAL PLAN REVISIONS, USE OF EXISTING LIGHTING (IF ANY), AESTHETICS, AND CONSULTATIONS WITH LIGHTING CONSULTANT AND/OR MANUFACTURER.
 - THIS PLAN ASSUMES THAT THE BUILDING WILL HAVE WALL MOUNTED FIXTURES (BY OTHERS) TO LIGHT THE FACADE AND ADJACENT LANDSCAPE AREAS (INCLUDING WALKS AND DOORS).
 - INSTALL LIGHT FIXTURES AS RECOMMENDED BY THE MANUFACTURER.

PLANT LIST

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	INSTALLED HT.	MATURE HT.
4	GB	GINKGO 'MAGYER'	MAGYAR GINKGO	2 1/2-3" CAL.	B&B	12-14" HT.	35-40" HT.
5	BX	BUXUS 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	30-36" HT.	CONT.	30-36" HT.	4-5' HT.
19	TS	HYDRANGEA 'TWIST N SHOUT'	TWIST N SHOUT HYDRANGEA	2-3' HT.	CONT.	2-3' HT.	5-6' HT.
6	LA	LEUCOTHOE AXILLARIS 'SARAH'S CHOICE'	SARAH'S CHOICE LEUCOTHOE	2-3' HT.	CONT.	2-3' HT.	4' HT.
49	WR	ROSA 'WHITE MEIDLAND'	WHITE MEIDLAND ROSE	2-3' SPR.	CONT.	2' HT.	3-4' SPR.
3	TO	THUJA OCCIDENTALIS 'EMERALD GREEN'	EMERALD GREEN ARBORVITAE	5-6' HT.	B&B	5-6' HT.	15-18' HT.
10	TH	THUJA OCCIDENTALIS 'HOLMSTRUP'	HOLMSTRUP ARBORVITAE	3-4' HT.	B&B	3-4' HT.	6-7' HT.
65	SG	PANICUM VIRGATUM 'HANSE HERMS'	HANSE HERMS SWITCHGRASS	1 GAL			3-4' HT.
18	PH	PENNISETUM ALOPECUROIDES 'HAMELN'	DWARF FOUNTAIN HAMELN GRASS	1 GAL			15-21" HT.
40	AS	ASTILBE 'VISION IN WHITE'	WHITE ASTILBE	1 QT.			12-18" HT.
150	LR	LIRIOPE MUSCARI 'MONROE WHITE'	MONROE WHITE LIRIOPE	1 GAL			8-12" HT.
100	VM	VINCA MINOR	VINCA	BR			



REVISIONS:		DRAWING TITLE:	
4	7.21.23	REV. CURBING AT REAR	LANDSCAPE PLAN
3	6.19.23	REV. PLANTING PLAN	PROJECT:
2	5.16.23	ADD SITE LIGHTING	OLD TOWN SQUARE, LLC
1	12.3.22	REV. SITE PLAN	160 ATLANTIC STREET STAMFORD, CONNECTICUT
8 KNIGHT STREET, SUITE 203 NORWALK, CONNECTICUT 06851 Tel: (203) 855-7879 Fax: (203) 855-7836 info@elsllc.net www.elsllc.net		DATE: 7.2.21 SCALE: AS SHOWN DRAWING NO.: LP.1	



PLAN
SCALE: 1" = 10'

- #### NOTES:
- EXISTING AND PROPOSED SITE INFORMATION TAKEN FROM A DIGITAL AUTOCADD SITE PLAN SUPPLIED BY D'ANDREA SURVEYING & ENGINEERING, PC.
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100	VM	VINCA MINOR	VINCA	BR	BR		

REVISIONS:			DRAWING TITLE:	
4	7.21.23	REV. CURBING AT REAR	LANDSCAPE PLAN	
3	6.19.23	ADD PLANTS AT REAR (UNDER RAMP)	PROJECT:	
2	5.16.23	ADD SITE LIGHTING	OLD TOWN SQUARE, LLC	
1	12.3.22	REV. SITE PLAN	160 ATLANTIC STREET STAMFORD, CONNECTICUT	

	ENVIRONMENTAL LAND SOLUTIONS, LLC Landscape Architecture and Environmental Planning 8 KNIGHT STREET, SUITE 203 NORWALK, CONNECTICUT 06851 Tel: (203) 855-7879 Fax: (203) 855-7836 info@elslic.net www.elslic.net	SEAL:	DATE: 7.2.21 SCALE: AS SHOWN DRAWING NO.: LP.1
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Qty	Label	Watts	Arrangement	LLF	Description
13	SL4	262	Single	0.233	Stemberg A850SRLED-x-12L2714-MDL008 / MTD @ 14FT AFG (Tuned to 30% of Normal Output)
4	SL3	262	Single	0.233	Stemberg A850SRLED-x-12L2713-MDL008 / MTD @ 14FT AFG (Tuned to 30% of Normal Output)

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Fc	0.15	1.1	0.0	N.A.	N.A.



Project:
23136 - 160 Atlantic

Contact:
Cliff Gilbert
Specifications - Southern CT
(203) 788-0814
cgilbert@illuminatene.com

Detail: Photometric Calculation
Date: 7/12/2023
Revision: B
Scale: 1" = 20'-0"
Drawn By: CK

Drawing Number:
SL-1

Sheet 1 of 1

illuminate
263 Winn Street
Burlington, MA 01803
(781) 935-8500
333 Pleasant Valley Road
South Windsor, CT 06074
(860) 282-0597