

18 TAYLOR STREET STAMFORD CT BUILDING A

REVISED 9/21/23

JIA HUA
ARCHITECT

REVISION TABLE		REVISION BY	DESCRIPTION
NUMBER	DATE		

TAYLOR STREET
BUILDING A
RESTORATION &
RENOVATION

Project Overview

DRAWINGS PROVIDED BY:

DATE:

9/22/2023

SCALE:

SHEET:

A000



EXISTING HOUSE TO BE REPAINTED
AND REPAIRED. SEE PROPOSED
ELEVATIONS AND RENDERINGS FOR
DETAILS.

EXISTING FENCE TO BE
REPLACED WITH WHITE PVC
FENCE MATCHING EXISTING
STYLE AND SIZE

EXISTING STREET FACADE



LEFT ELEVATION

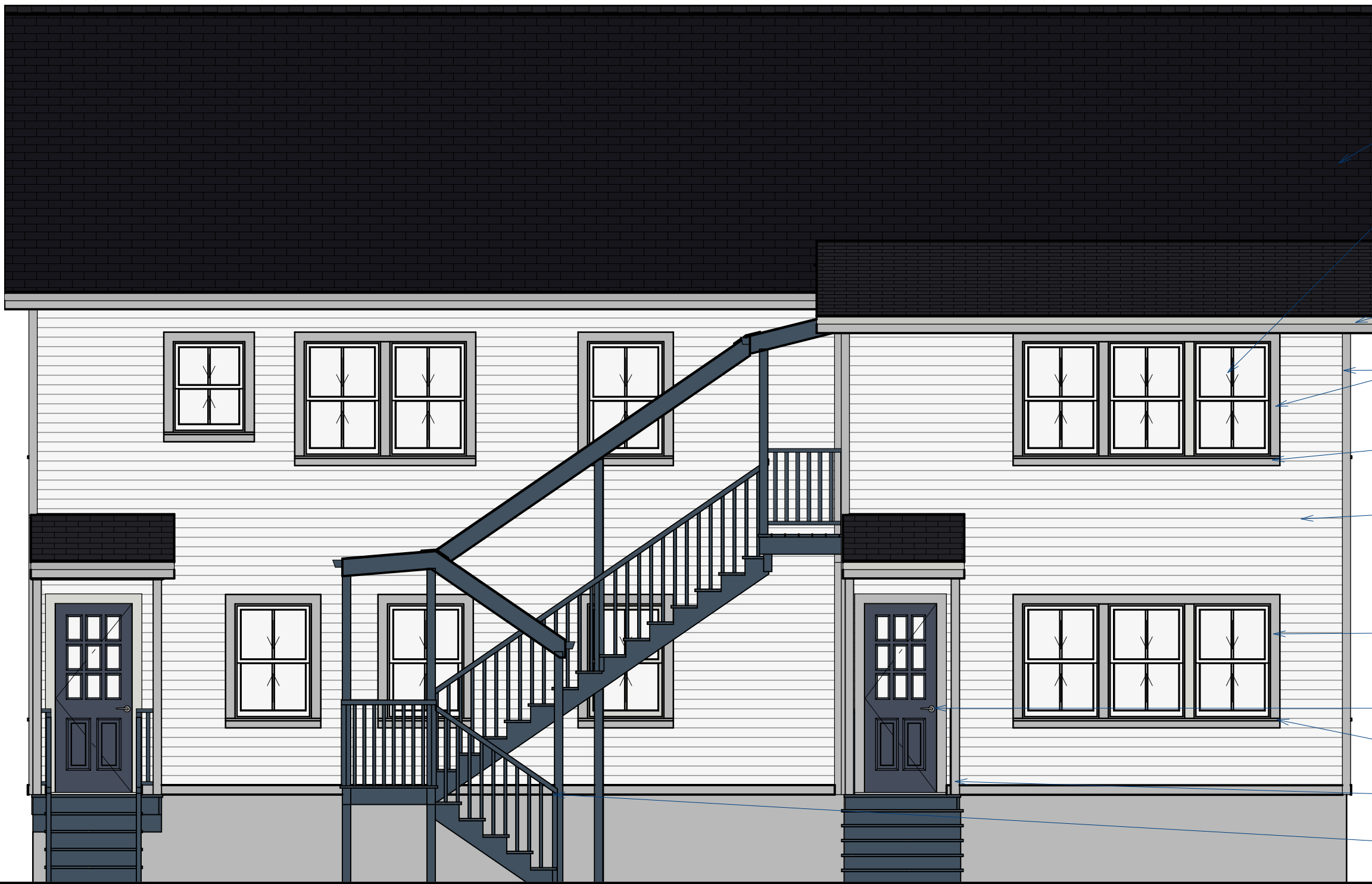


FRONT ELEVATION

- REPLACE EXISTING ASPHALT ROOF WITH SLATE GREY ASPHALT AS NEEDED
- EXISTING WINDOWS TO BE REPLACED WITH LIKE KIND 2 OVER 2 WINDOWS AS NEEDED.
- EXISTING METAL GUTTER TO BE PAINTED BENJAMIN MOORE HCC-111, NANTUCKET GREY OR EQUIVALENT COLOR. WOOD FASCIA TO BE REPLACED WITH AZEK AND PAINTED NANTUCKET GREY OR EQUIVALENT.
- EXISTING PAINTED FRIEZE TO BE PAINTED NANTUCKET GREY OR EQUIVALENT
- EXISTING PAINTED 4" WOOD TRIMS TO BE REPLACED WITH AZEK AND PAINTED NANTUCKET GREY OR EQUIVALENT.
- EXISTING PAINTED WOOD SILL TO BE REPLACED AS NEEDED AND PAINTED NANTUCKET GREY OR EQUIVALENT.
- EXISTING PAINTED WOOD SIDING TO BE REPLACED WITH CEDAR SIDING OF SIMILAR SIZE AND TEXTURE AS NEEDED AND PAINTED WHITE.
- EXISTING ASPHALT ROOF TO BE REPLACED AS NEEDED
- EXISTING METAL GUTTER TO BE PAINTED NANTUCKET GREY OR EQUIVALENT. WOOD FASCIA TO BE REPLACED WITH AZEK AND PAINTED NANTUCKET GREY OR EQUIVALENT.
- EXISTING 4" PAINTED WOOD TRIMS TO BE REPLACED WITH AZEK AND PAINTED NANTUCKET GREY OR EQUIVALENT.
- EXISTING WOOD DOOR TO BE PAINTED WITH BENJAMIN MOORE HC-155 NEWBURYPORT BLUE OR EQUIVALENT COLOR
- EXISTING PAINTED WOOD SILL TO BE REPLACED AS NEEDED AND PAINTED NANTUCKET GREY OR EQUIVALENT.
- EXISTING PAINTED WOOD POSTS TO BE PAINTED WHITE
- EXISTING WOOD PORCH FLOORING TO BE REPLACED WITH TREX EXTERIOR FLOORING PLANKS



RIGHT ELEVATION



BACK ELEVATION

- REPLACE EXISTING ROOF WITH SLATE GREY ASPHALT
- EXISTING WINDOWS TO BE REPLACED WITH LIKE KIND 2 OVER 2 WINDOWS AS NEEDED.
- EXISTING PAINTED METAL GUTTER TO BE PAINTED NANTUCKET GREY OR EQUIVALENT COLOR. FASCIA TO BE REPLACED WITH AZEK AND PAINTED NANTUCKET GREY OR EQUIVALENT.
- EXISTING 4" PAINTED WOOD TRIMS TO BE REPLACED WITH AZEK AND PAINTED NANTUCKET GREY OR EQUIVALENT
- EXISTING PAINTED WOOD SILL TO BE REPLACED AS NEEDED AND PAINTED NANTUCKET GREY OR EQUIVALENT
- EXISTING WOOD SIDING TO BE REPLACED WITH CEDAR SIDING OF MATCHING SIZES AND TEXTURE AS NEEDED. PAINTED WHITE.
- EXISTING 4" PAINTED WOOD TRIMS TO BE REPLACED WITH AZEK AND PAINTED NANTUCKET GREY OR EQUIVALENT
- EXISTING WOOD DOOR TO BE PAINTED WITH BENJAMIN MOORE HC-155 NEWBURYPORT BLUE OR EQUIVALENT COLOR
- EXISTING PAINTED WOOD SILL TO BE REPLACED AS NEEDED AND PAINTED NANTUCKET GREY OR EQUIVALENT
- EXISTING PAINTED WOOD POSTS TO BE PAINTED WHITE
- EXISTING WOOD STAIRS TO BE REPAIRED AS NEEDED. PAINT WITH BENJAMIN MOORE HC-155 NEWBURYPORT BLUE OR EQUIVALENT COLOR

JIA HUA
ARCHITECT

NUMBER	DATE	REVISION BY	DESCRIPTION

TAYLOR STREET
BUILDING A
RESTORATION &
RENOVATION

PROPOSED ELEVATIONS

DRAWINGS PROVIDED BY:

DATE:

9/22/2023

SCALE:

1/4"=1'-0"

SHEET:

A200



PROPOSED BACK RENDERING

JIA HUA
ARCHITECT

REVISION TABLE		REVISION BY	DESCRIPTION
NUMBER	DATE		

TAYLOR STREET
BUILDING A
RESTORATION &
RENOVATION

PROPOSED RENDERING

DRAWINGS PROVIDED BY:

DATE:

9/22/2023

SCALE:

NTS

SHEET:

A300



PROPOSED STREET FACADE RENDERING

JIA HUA
ARCHITECT

REVISION TABLE		DESCRIPTION
NUMBER	DATE	REVISOR

TAYLOR STREET
BUILDING A
RESTORATION &
RENOVATION

PROPOSED RENDERING

DRAWINGS PROVIDED BY:

DATE:
9/22/2023

SCALE:
NTS

SHEET:

A301

18 TAYLOR STREET
STAMFORD CT
BUILDING C & E
NEW CONSTRUCTION

JIA HUA
ARCHITECT

REVISION TABLE		REVISION	DATE	BY	DESCRIPTION

TAYLOR STREET
BUILDING C & E
NEW
CONSTRUCTION

Project Overview

DRAWINGS PROVIDED BY:

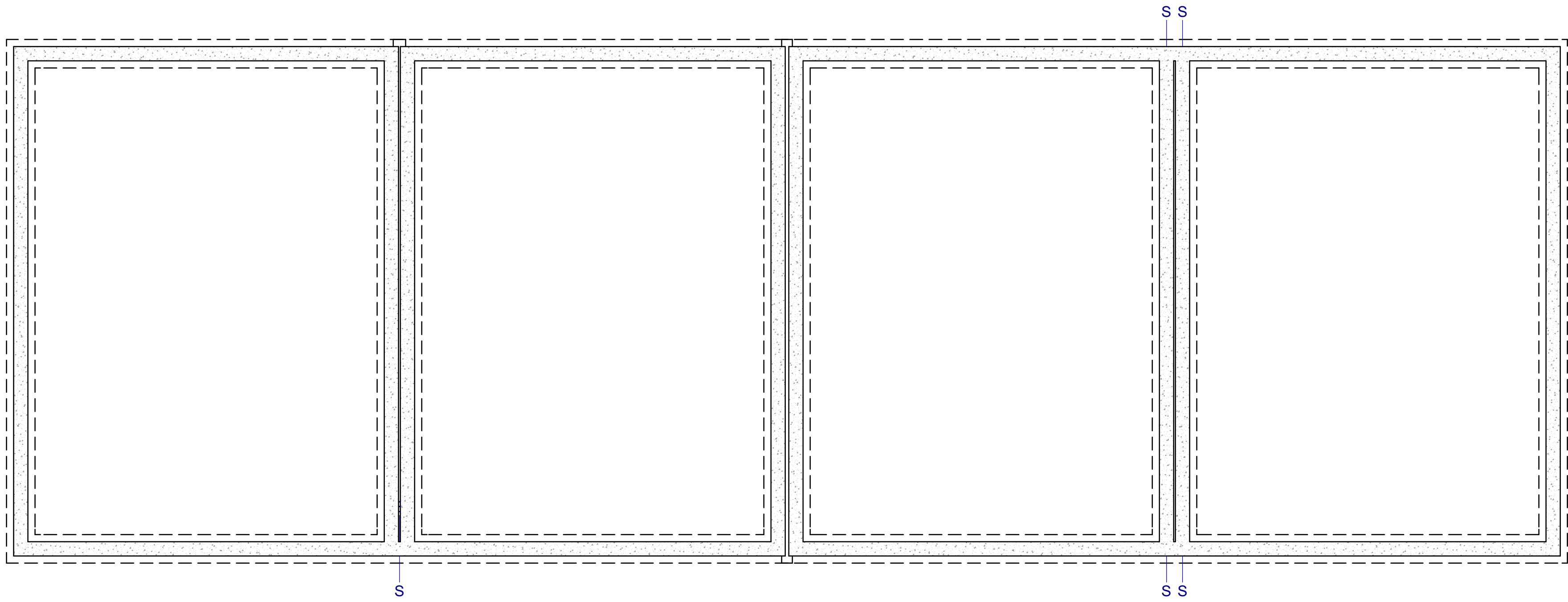
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9/22/2023

SCALE:

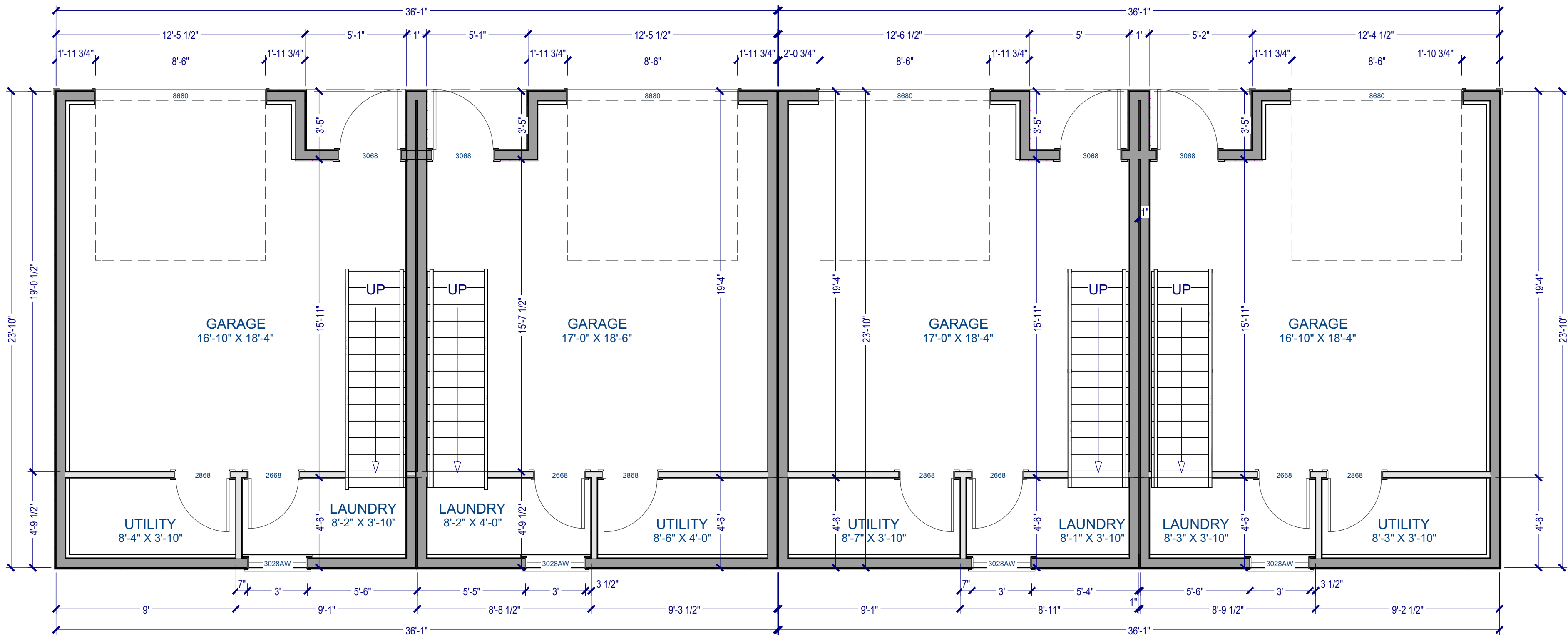
SHEET:

A000



FOUNDATION PLAN

1
A200



GARAGE FLOOR PLAN

2
A200
BACK ELEVATION

RIGHT ELEVATION
1
A201

LEFT ELEVATION
2
A201

JIA HUA
ARCHITECT

NUMBER	DATE	REVISION TABLE	
		REVISED BY	DESCRIPTION

TAYLOR STREET
BUILDING C & E
NEW
CONSTRUCTION

FLOOR PLANS

DRAWINGS PROVIDED BY:

DATE:

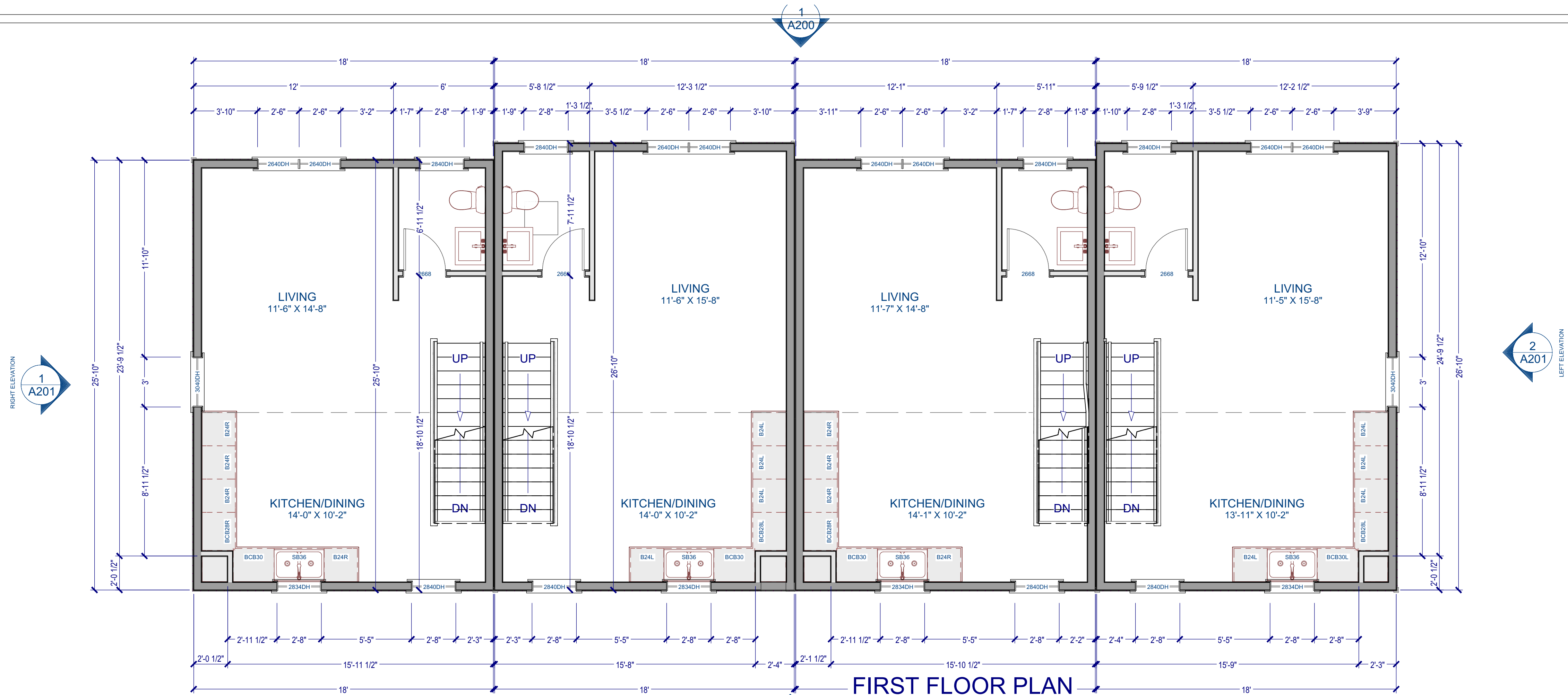
9/22/2023

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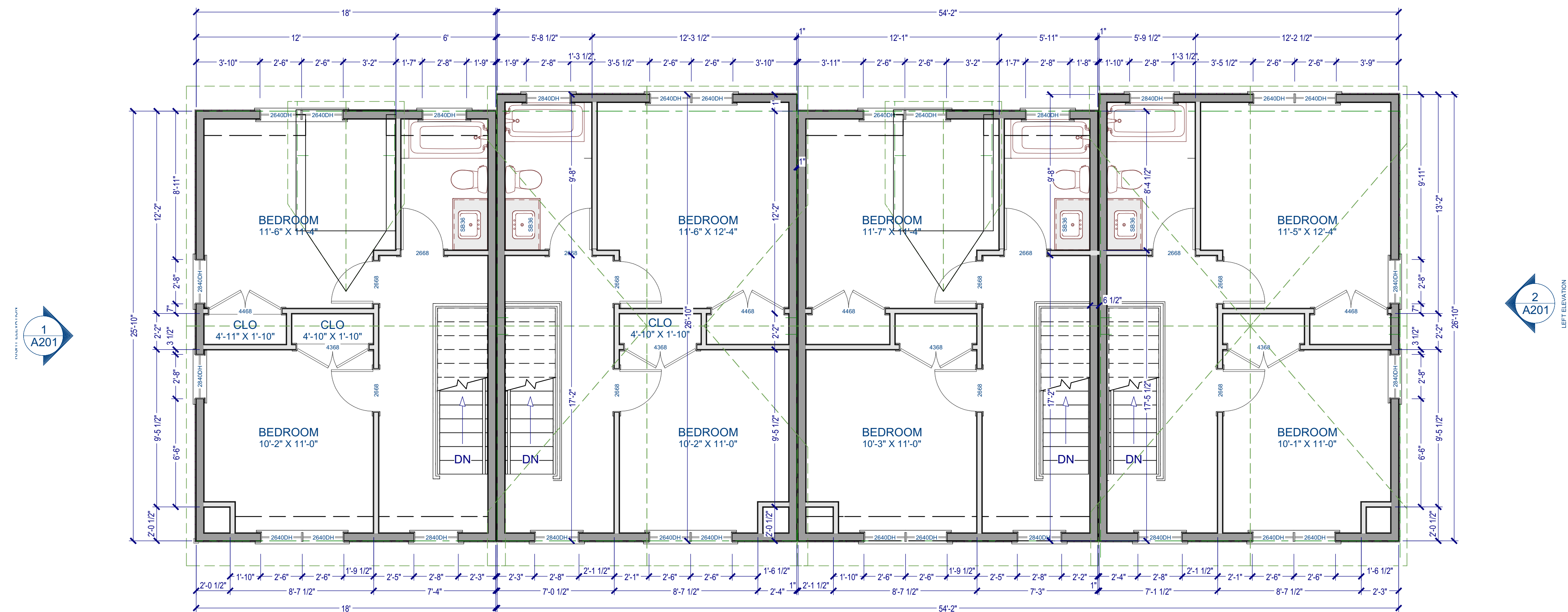
1/4"=1'-0"

SHEET:

A100



FIRST FLOOR PLAN



SECOND FLOOR PLAN

JIA HUA
ARCHITECT

REVISION TABLE		DESCRIPTION
NUMBER	DATE	REVISOR

TAYLOR STREET
BUILDING C & E
NEW
CONSTRUCTION

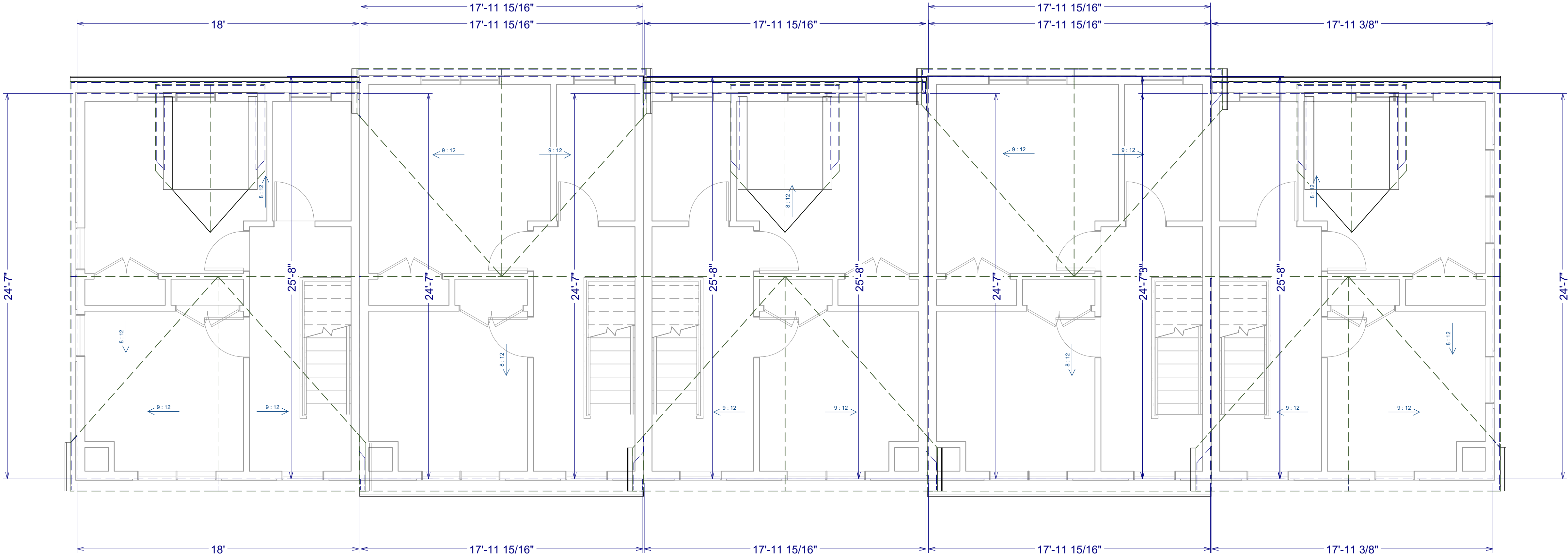
FLOOR PLANS

DRAWINGS PROVIDED BY:

DATE:
9/22/2023

SCALE:
1/4"=1'-0"

SHEET:
A101



ATTIC PLAN

JIA HUA
ARCHITECT

REVISION TABLE		REVISION	DATE	BY	DESCRIPTION
1					
2					
3					
4					
5					
6					
7					
8					
9					
10					

TAYLOR STREET
BUILDING C & E
NEW
CONSTRUCTION

FLOOR PLANS

DRAWINGS PROVIDED BY:

DATE:

9/22/2023

SCALE:

1/4"=1'-0"

SHEET:

A102



**WU JIA HUA
ARCHITECT**

REVISION TABLE			
NUMBER	DATE	REVISED BY	DESCRIPTION

TAYLOR STREET
BUILDING C & E
NEW
CONSTRUCTION

ELEVATIONS

DRAWINGS PROVIDED BY:

DATE:

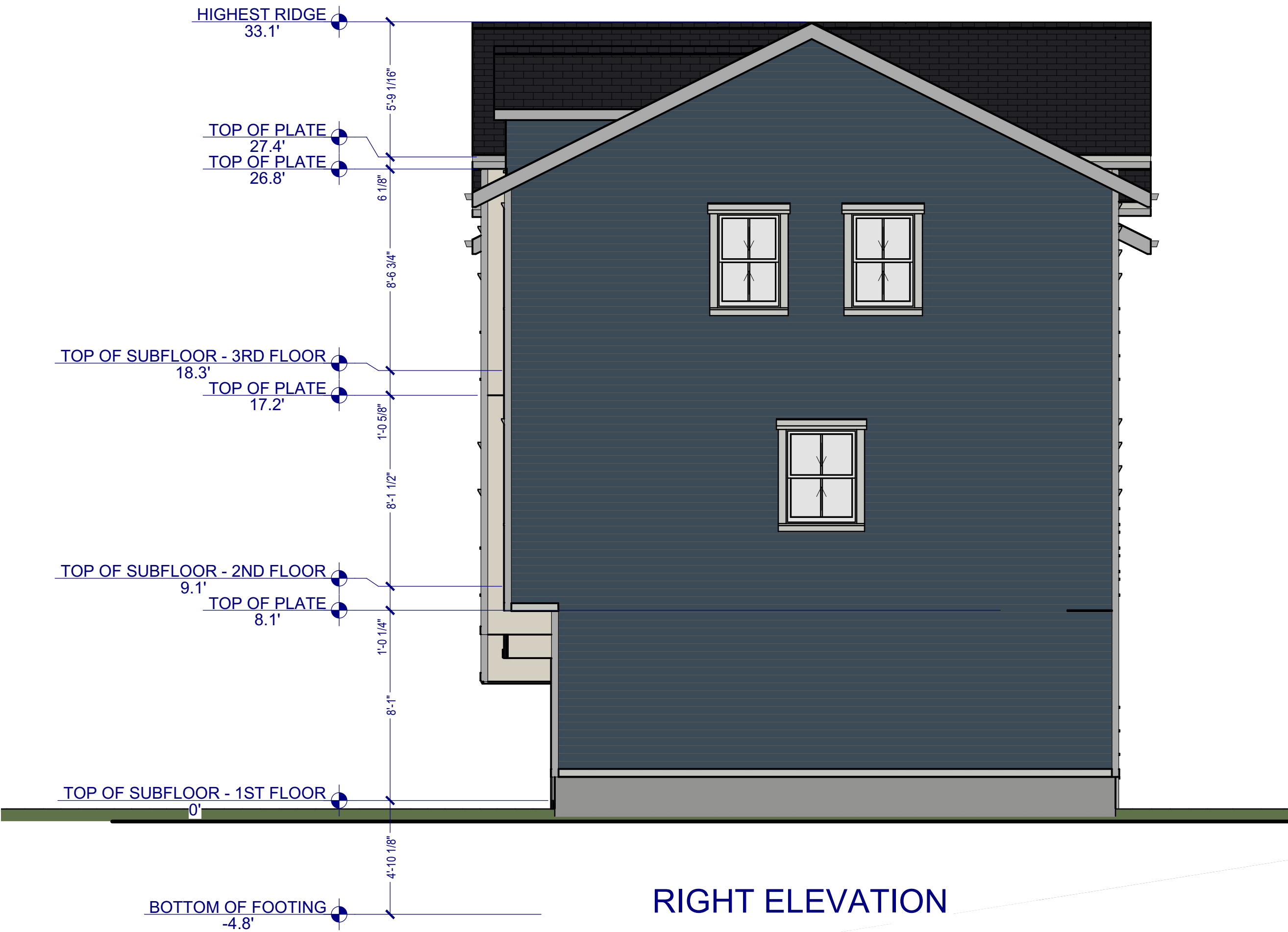
9/22/2023

SCALE:

1/4"=1'-0"

SHEET:

A200



JIA HUA
ARCHITECT

REVISION TABLE		DESCRIPTION
NUMBER	DATE	REVISD BY

TAYLOR STREET
BUILDING C & E
NEW
CONSTRUCTION

ELEVATIONS

DRAWINGS PROVIDED BY:

DATE:

9/22/2023

SCALE:

1/4"=1'-0"

SHEET:

A201



JIA HUA
ARCHITECT

REVISION TABLE		REVISION	DESCRIPTION
NUMBER	DATE	REVISOR	DESCRIPTION

TAYLOR STREET
BUILDING C & E
NEW
CONSTRUCTION

RENDERING

DRAWINGS PROVIDED BY:

DATE:
9/22/2023

SCALE:
1/4"=1'-0"

SHEET:
A300



JIA HUA
ARCHITECT

REVISION TABLE		NUMBER	DATE	REVISED BY	DESCRIPTION

TAYLOR STREET
BUILDING C & E
NEW
CONSTRUCTION

RENDERING

DRAWINGS PROVIDED BY:

DATE:

9/22/2023

SCALE:

1/4"=1'-0"

SHEET:

A301

18 TAYLOR STREET
STAMFORD CT
BUILDING D
NEW CONSTRUCTION

JIA HUA
ARCHITECT

REVISION TABLE		REVISION	DATE	BY	DESCRIPTION

TAYLOR STREET
BUILDING D
NEW
CONSTRUCTION

Project Overview

DRAWINGS PROVIDED BY:

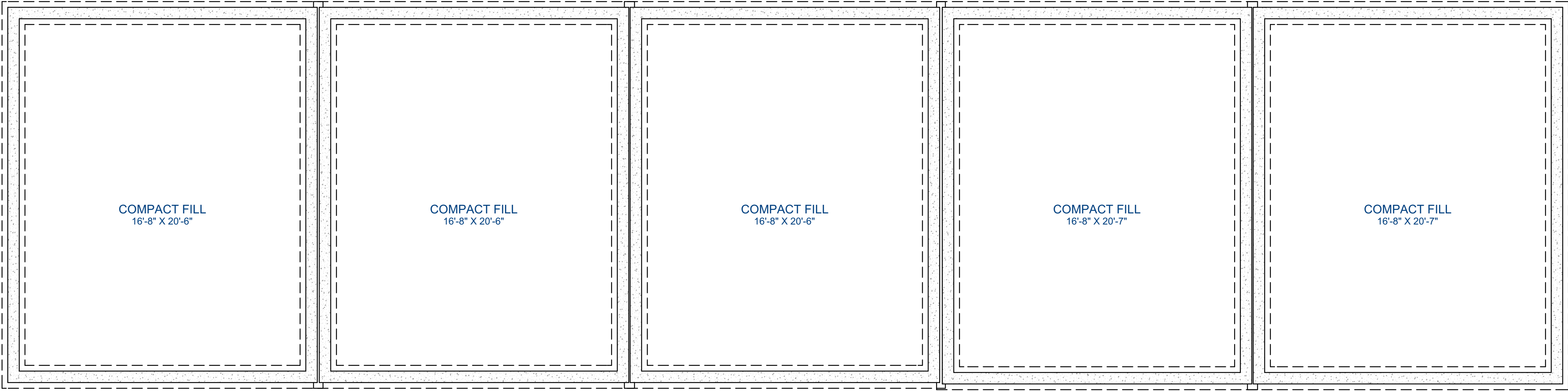
DATE:

9/22/2023

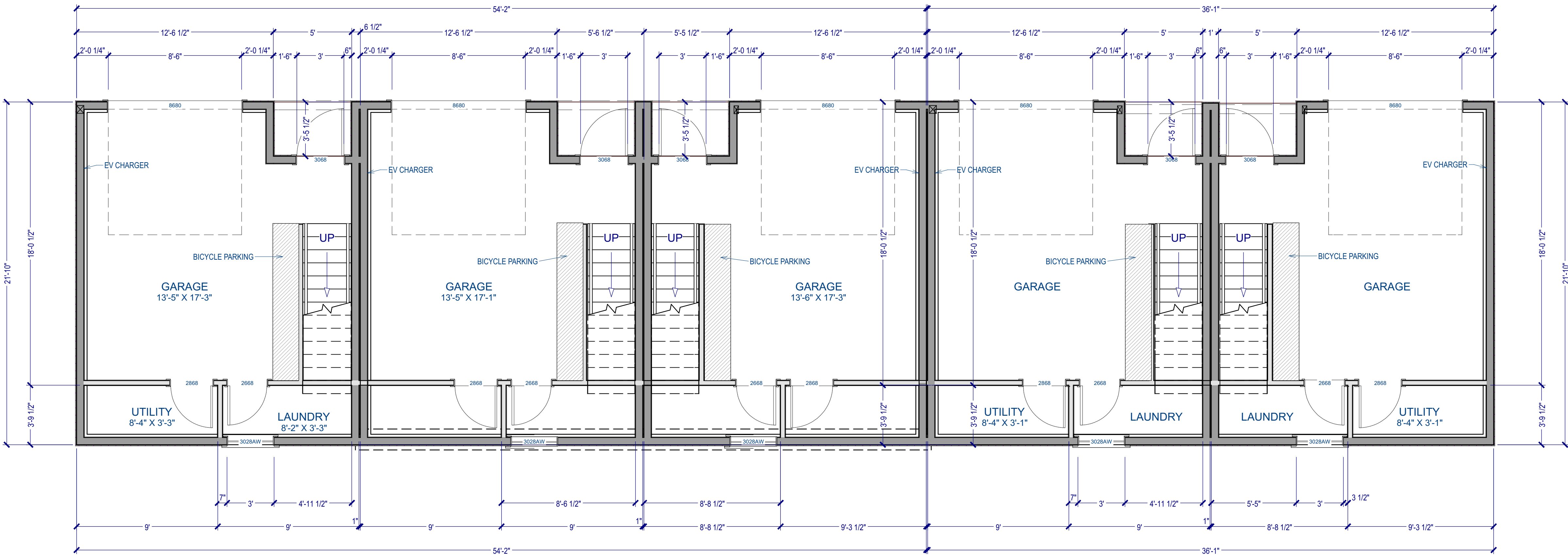
SCALE:

SHEET:

A000



FOUNDATION PLAN



GARAGE FLOOR PLAN

JIA HUA
ARCHITECT

NUMBER	DATE	REVISION TABLE	
		REVISED BY	DESCRIPTION

TAYLOR STREET
BUILDING D
NEW
CONSTRUCTION

FLOOR PLANS

DRAWINGS PROVIDED BY:

DATE:
9/22/2023

SCALE:
1/4"=1'-0"

SHEET:
A100

REVISION TABLE		DESCRIPTION
NUMBER	DATE	REVISION BY

TAYLOR STREET
BUILDING D
NEW
CONSTRUCTION

FLOOR PLANS

DRAWINGS PROVIDED BY:

DATE:

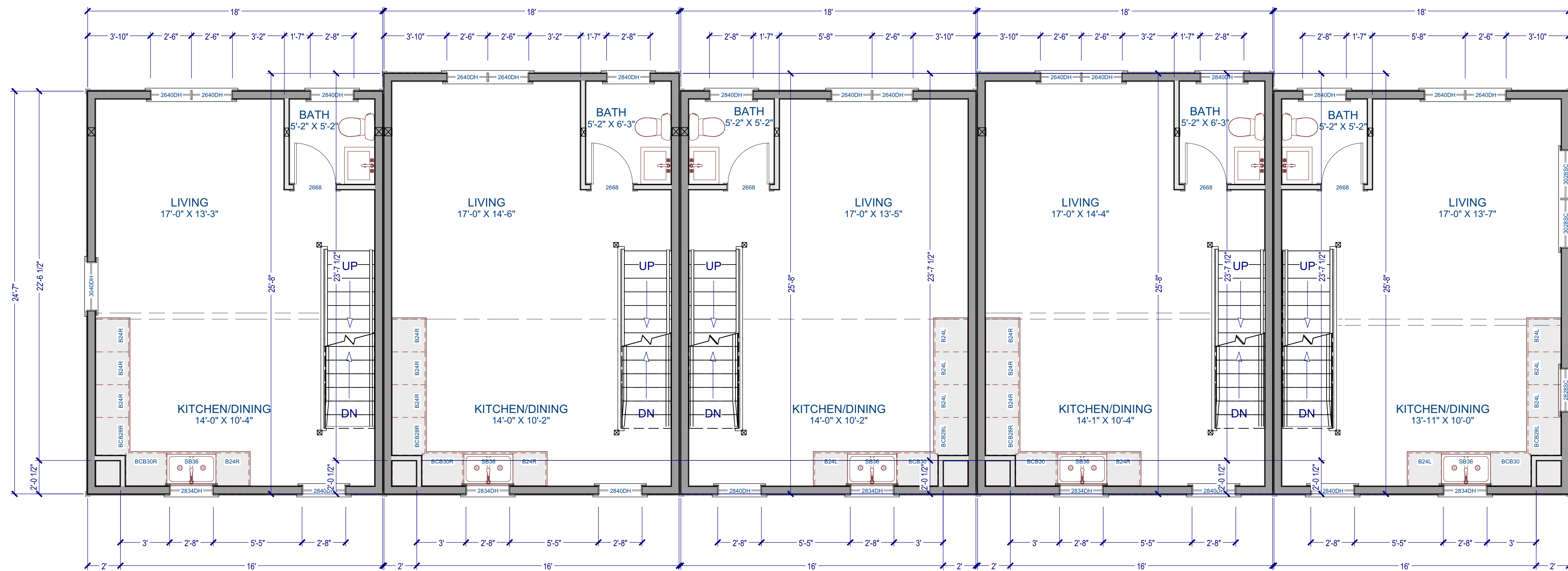
9/22/2023

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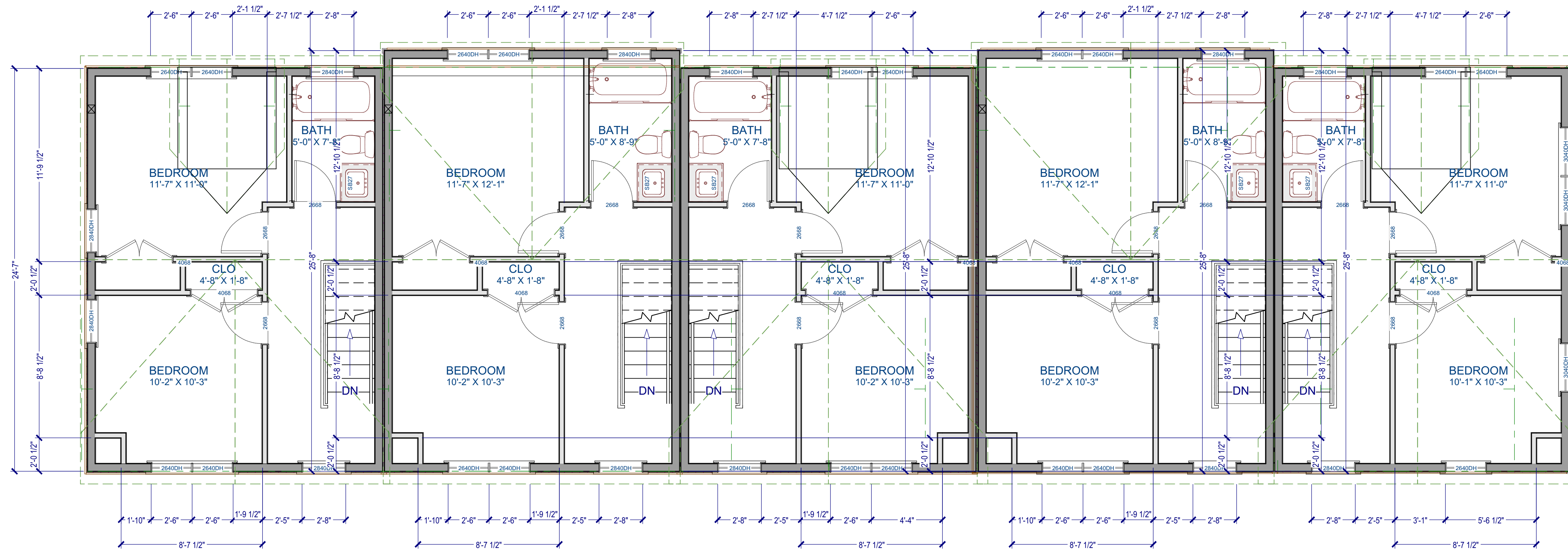
1/4"=1'-0"

SHEET:

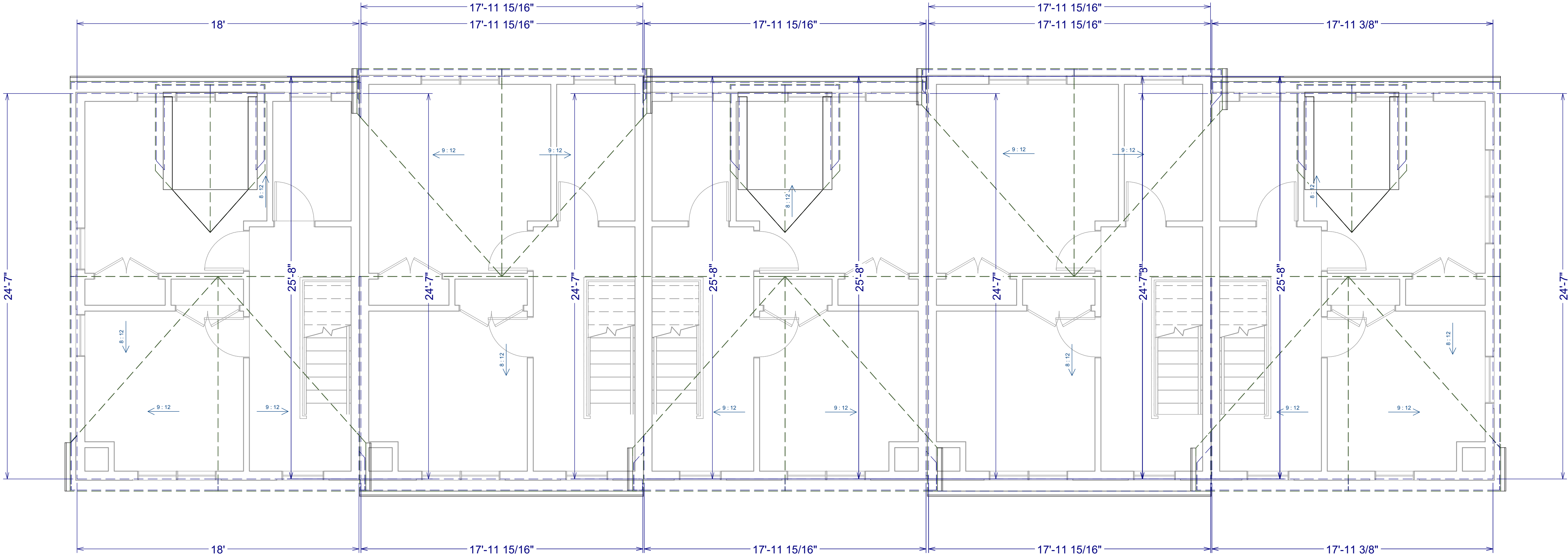
A101



FIRST FLOOR PLAN



SECOND FLOOR PLAN



ATTIC PLAN

JIA HUA
ARCHITECT

REVISION TABLE		REVISION	DATE	DESCRIPTION
1				
2				
3				
4				
5				
6				
7				
8				
9				
10				

TAYLOR STREET
BUILDING D
NEW
CONSTRUCTION

FLOOR PLANS

DRAWINGS PROVIDED BY:

DATE:

9/22/2023

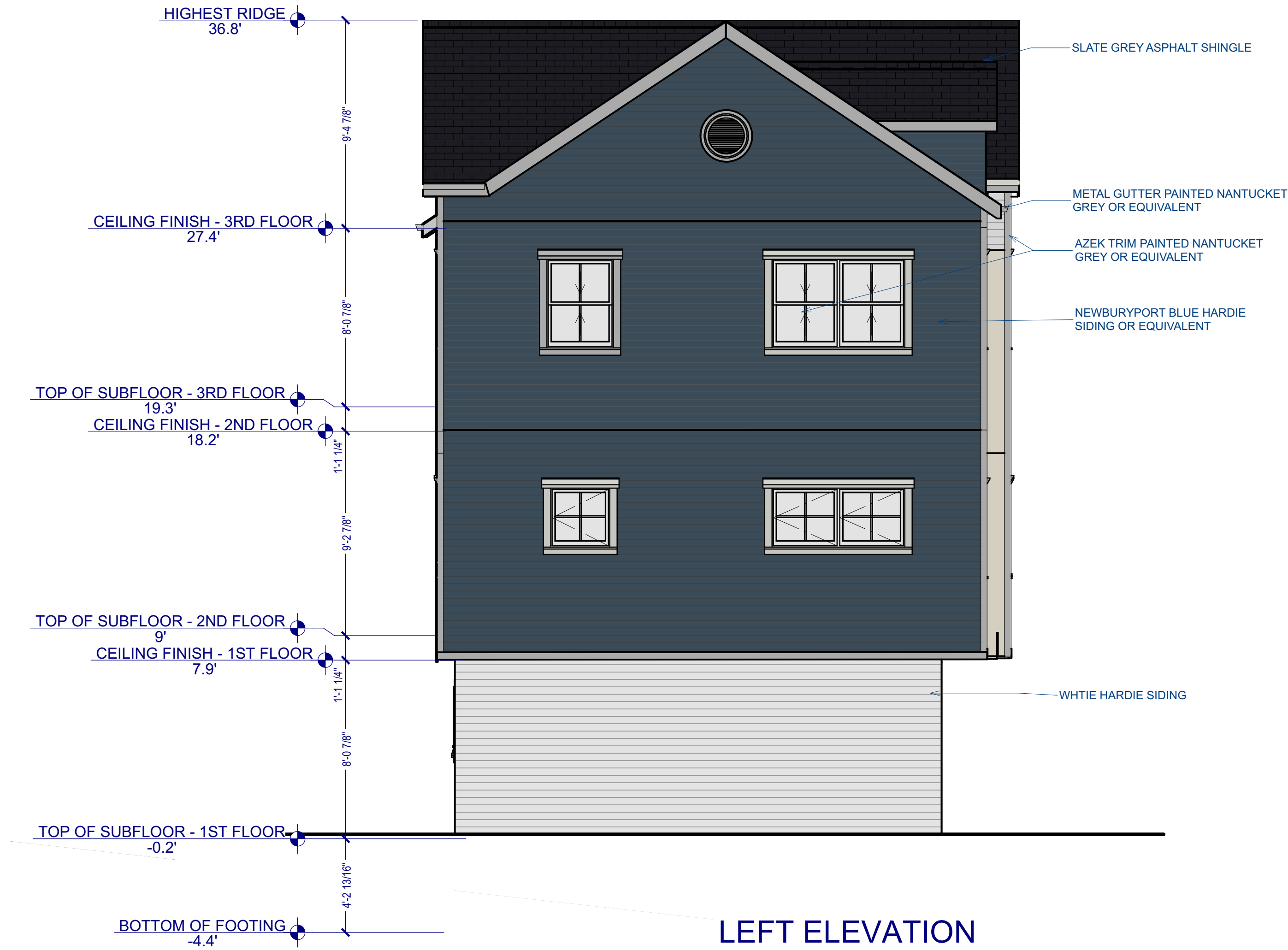
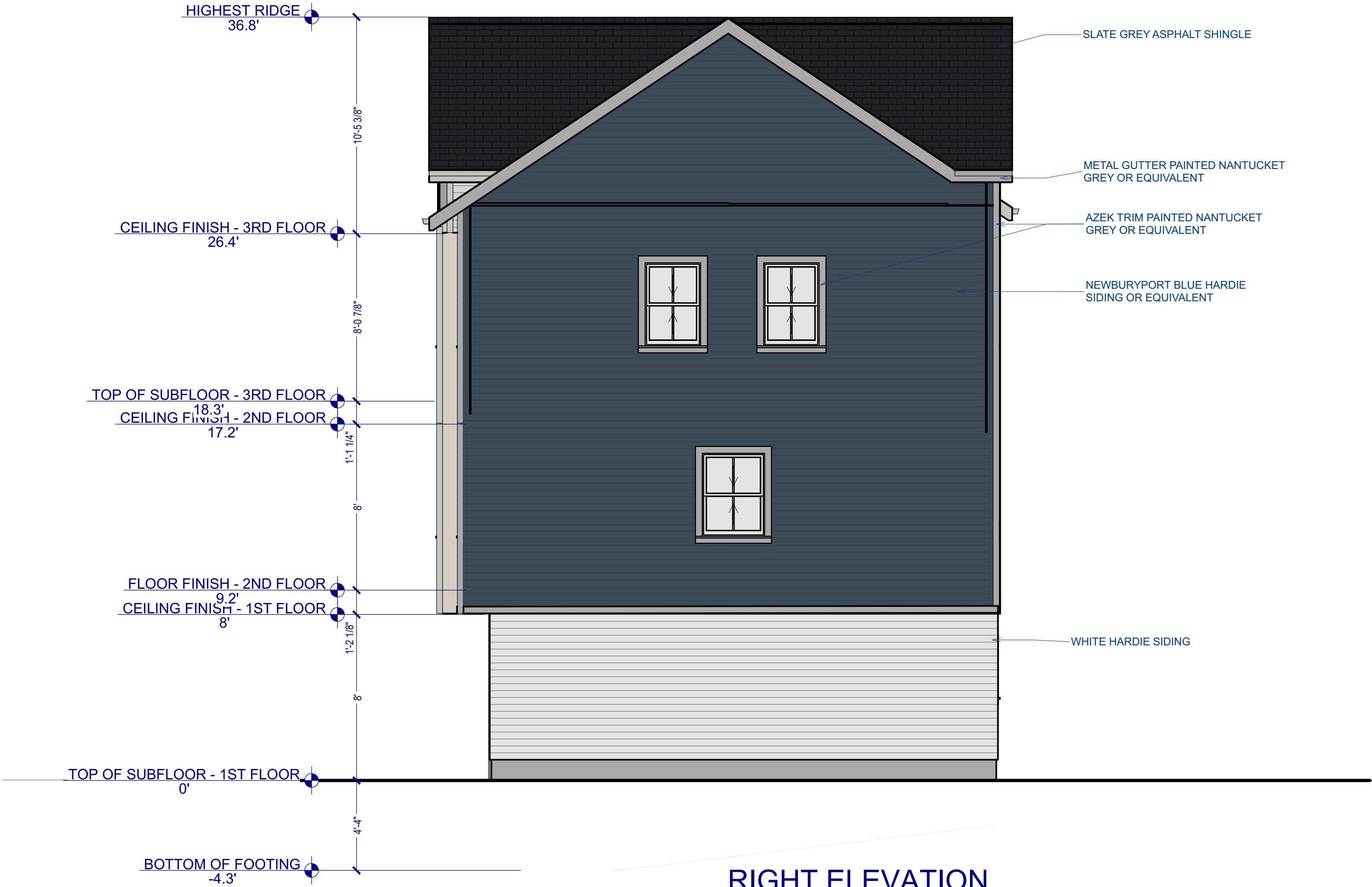
SCALE:

1/4"=1'-0"

SHEET:

A102

[illegible]



JIA HUA
ARCHITECT

REVISION TABLE		REVISION BY	DESCRIPTION
NUMBER	DATE		

TAYLOR STREET
BUILDING D
NEW
CONSTRUCTION

ELEVATIONS

DRAWINGS PROVIDED BY:

DATE:

9/22/2023

SCALE:

1/4"=1'-0"

SHEET:

A201



JIA HUA
ARCHITECT

REVISION TABLE		REVISION BY	DESCRIPTION
NUMBER	DATE		

TAYLOR STREET
BUILDING D
NEW
CONSTRUCTION

RENDERING

DRAWINGS PROVIDED BY:

DATE:

9/22/2023

SCALE:

1/4"=1'-0"

SHEET:

A300



JIA HUA
ARCHITECT

REVISION TABLE		REVISION	DATE	BY	DESCRIPTION

TAYLOR STREET
BUILDING D
NEW
CONSTRUCTION

RENDERING

DRAWINGS PROVIDED BY:

DATE:

9/22/2023

SCALE:

1/4"=1'-0"

SHEET:

A301

SITE PLAN REVIEW SET

" RESIDENTIAL DEVELOPMENT "

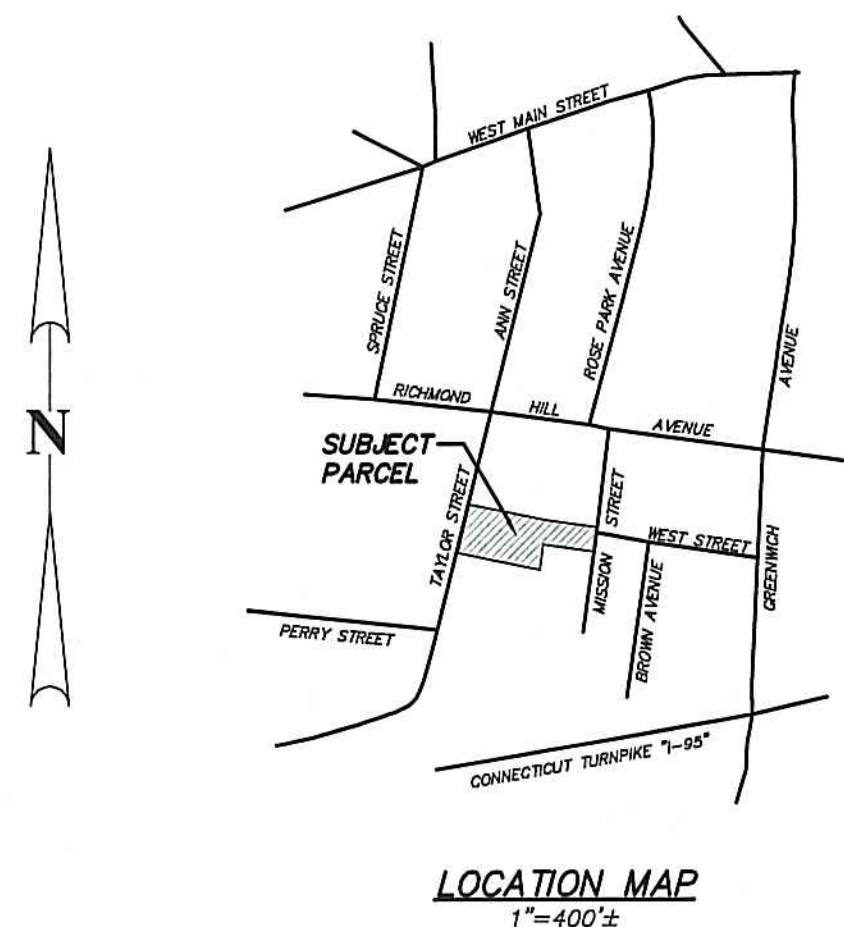
LOCATION

12 & 18 TAYLOR STREET
STAMFORD, CONNECTICUT

PREPARED FOR

G&T TAYLOR STREET LLC

0.5619 ACRES OR 24,778 S.F.
REFER TO MAPS No. 179 AND 12385 S.L.R.
"R-MF" ZONE



SHEET INDEX

SHEET	TITLE	REVISION	DATE
—	TOPOGRAPHIC SURVEY	1	9-21-23
1 OF 1	EXISTING CONDITIONS PLAN	1	9-21-23
1 OF 5	DEVELOPMENT PLAN	2	9-21-23
2 OF 5	UTILITY PLAN	2	9-21-23
3 OF 5	SEDIMENTATION & EROSION CONTROL PLAN	2	9-21-23
4 OF 5	NOTES & DETAILS	2	9-21-23
5 OF 5	DETAILS	2	9-21-23

PARCEL ID
001-9860

PARCEL ID
004-1371

D'ANDREA SURVEYING & ENGINEERING, P.C.

• LAND PLANNERS

• ENGINEERS

• SURVEYORS

P.O. BOX 549
RIVERSIDE, CT 06878

6 NEIL LANE
TEL. 637-1779

PROJECT
RESIDENTIAL DEVELOPMENT

PREPARED FOR
G&T TAYLOR STREET LLC

LOCATION
12 & 18 TAYLOR STREET

STAMFORD, CONNECTICUT

PLAN SET PREPARED BY:

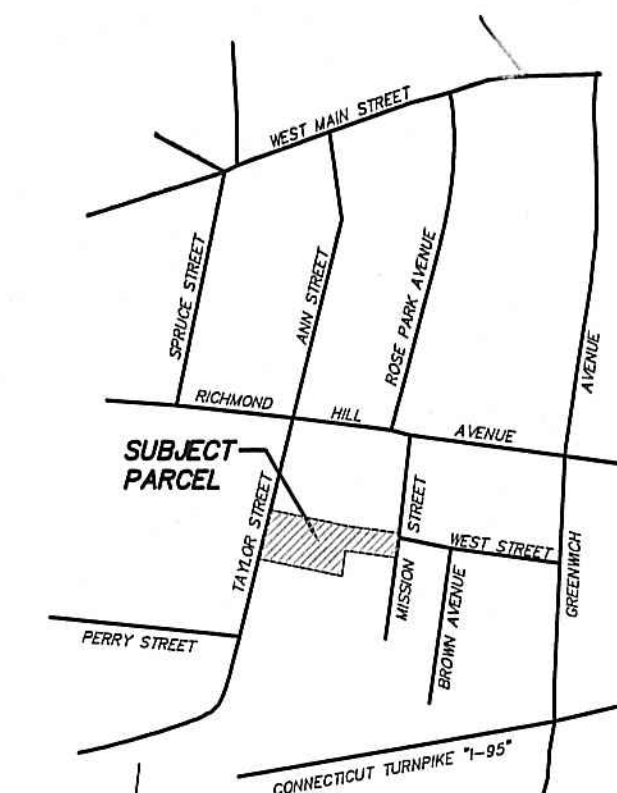
Leonard C. D'Andrea
D'ANDREA SURVEYING & ENGINEERING, P.C.
LEONARD C. D'ANDREA CT. PE No. 14869

9-21-23
DATE

ONLY COPIES OF THIS SET, BEARING AN ORIGINAL
IMPRINT OF THE ENGINEER'S EMBOSSED SEAL
SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

REV.	DATE	DESCRIPTION
2	9-21-23	RESPOND TO ENG COMMENTS
1	7-24-23	MINOR REVISIONS
0	5-2-23	INITIAL SUBMISSION

LAND LIES IN "R-MF" ZONING DISTRICT
AREA = 24,492 S.F.



LOCATION MAP
1"=400'

BENCHMARK
"U" CUT CURB
ELEV= 35.9
DATUM: NAVD 88



CONTOURS AND ELEVATIONS DEPICTED HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

THIS MAP IS A TOPOGRAPHIC SURVEY. TOPOGRAPHIC DATA IS IN ACCORDANCE WITH CLASS "T-2" TOPOGRAPHIC ACCURACY. BOUNDARY INFORMATION IS BASED ON A RESURVEY CONDUCTED IN ACCORDANCE WITH HORIZONTAL ACCURACY CLASS "A-2" AS DEFINED IN THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH SEC. 20-300b-20.

NEW MONUMENTATION HAS NOT BEEN SET IN THE COURSE OF MAKING THIS SURVEY.

ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

AREA = 24,492 S.F.

REFER TO VOLUME 12434 PAGE 170 S.L.R. & MAP No. 12365 S.L.R.

LAND LIES IN "R-MF" ZONING DISTRICT

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

D'ANDREA SURVEYING & ENGINEERING, P.C.

ANTHONY L. D'ANDREA, CT PE & LS No. 9873
RIVERSIDE, CONNECTICUT

SURVEYOR
MAY 2, 2023 SEPTEMBER 21, 2023

SYMBOL LEGEND

- SDMH ○ STORM DRAIN MANHOLE
- SSMH ○ SANITARY SEWER MANHOLE
- UTILITY POLE
- WG ○ WATER GATE
- ELEVATION CONTOURS
- 24.4 X SPOT ELEVATION
- DECIDUOUS TREE
- CONIFEROUS TREE
- HEDGE
- APPROXIMATE LOCATION OF UNDERGROUND UTILITIES: W-WATER AND G-GAS

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION, INCLUDING PHYSICAL EVIDENCE, AND UTILITY COMPANY SKETCHES. DEPICTED UTILITIES ARE APPROXIMATE, AND ARE INCOMPLETE. SURVEY DECLARATION OF ACCURACY DOES NOT EXTEND TO THE PLOTTING OF UNDERGROUND UTILITIES. UNDERGROUND UTILITY LOCATIONS SHALL BE FIELD VERIFIED AND MARKED PRIOR TO COMMENCING ANY EXCAVATION ACTIVITIES, "CALL BEFORE YOU DIG", 1-800-922-4455.

BUILDING COVERAGE
LOT AREA = 24,492 S.F.
DWELLING = 2,838 S.F.
GARAGE = 418 S.F.
TOTAL = 3,256 S.F.
PERCENT COVERAGE = 13.3%

TREE LEGEND
B - BIRCH
CR - CHERRY
M - MAPLE
MU - MULTI

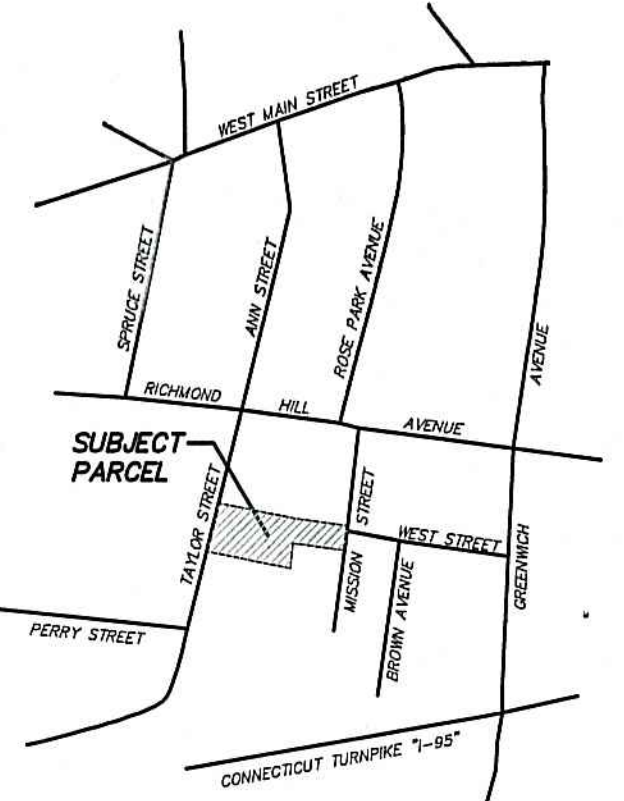
1 INCH = 10 FEET
SCALE
10 0 10
IN FEET

TOPOGRAPHIC SURVEY
OF PROPERTY AT
12 & 18 TAYLOR STREET
IN
STAMFORD, CONNECTICUT
PREPARED FOR

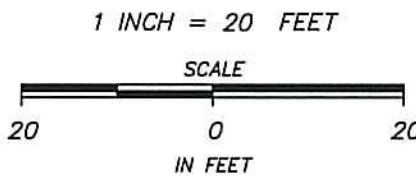
G&T TAYLOR STREET LLC

GENERAL NOTES:

1. Refer to a map entitled "Existing Conditions Plan, Owner: Taylor Mission LLC, Site: 18 Taylor Street, Stamford, Connecticut, prepared by Edward J. Frattaroli, Inc. and revised to October 16, 2008.
2. The limits of wetlands are taken from a map entitled "Existing Conditions Plan, Owner: Taylor Mission LLC, Site: 18 Taylor Street, Stamford, Connecticut, prepared by Edward J. Frattaroli, Inc. and revised to October 16, 2008.
3. Contours and elevations depicted hereon are referenced to the North American Vertical Datum of 1988 (NAVD88).
4. In accordance with Connecticut Public Act 87-71 and Connecticut General Statutes (CGS) Sections 16-345 through 16-359, the contractor shall verify the depth and location of all utilities prior to commencing construction, and shall contact "Call Before You Dig, Inc." at 1.800.922.4455, 48 hours prior to commencing construction.
5. The locations of subsurface structures and utilities as depicted hereon indicate only that the structures exist, and no responsibility is assumed by the engineer or surveyor for the accuracy of the locations shown.
6. The contractor shall dig test pits to verify the depth and location of existing utilities, sewers, and storm drains prior to installation. Any potential conflicts shall be brought to the attention of the project engineer.



LOCATION MAP
1"=400'



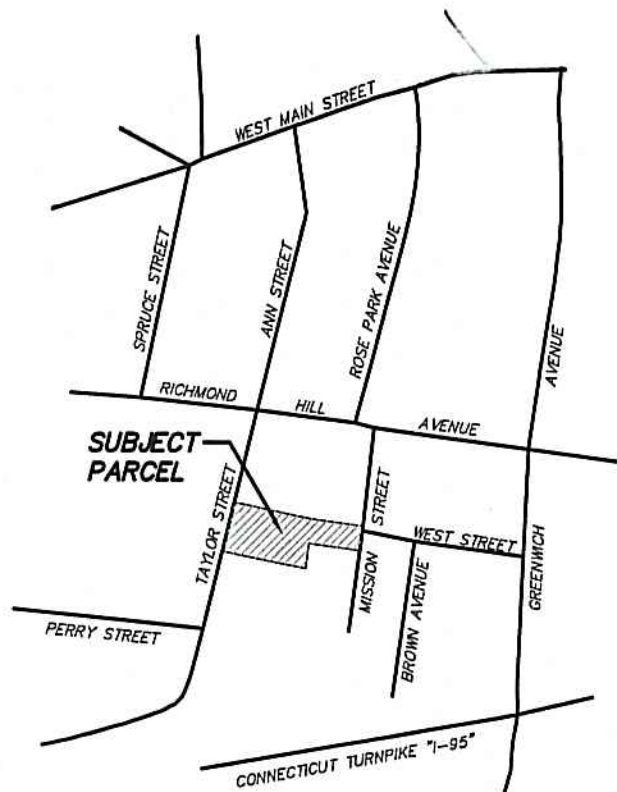
D'ANDREA SURVEYING & ENGINEERING, PC
• LAND PLANNERS
• ENGINEERS
• SURVEYORS
P.O. BOX 549
RIVERSIDE, CT 06878
6 NEIL LANE
TEL. 637-1779

PROJECT	RESIDENTIAL DEVELOPMENT
PREPARED FOR	G&T TAYLOR STREET LLC
LOCATION	18 TAYLOR STREET, STAMFORD, CONNECTICUT
1 OF 1	EXISTING CONDITIONS PLAN

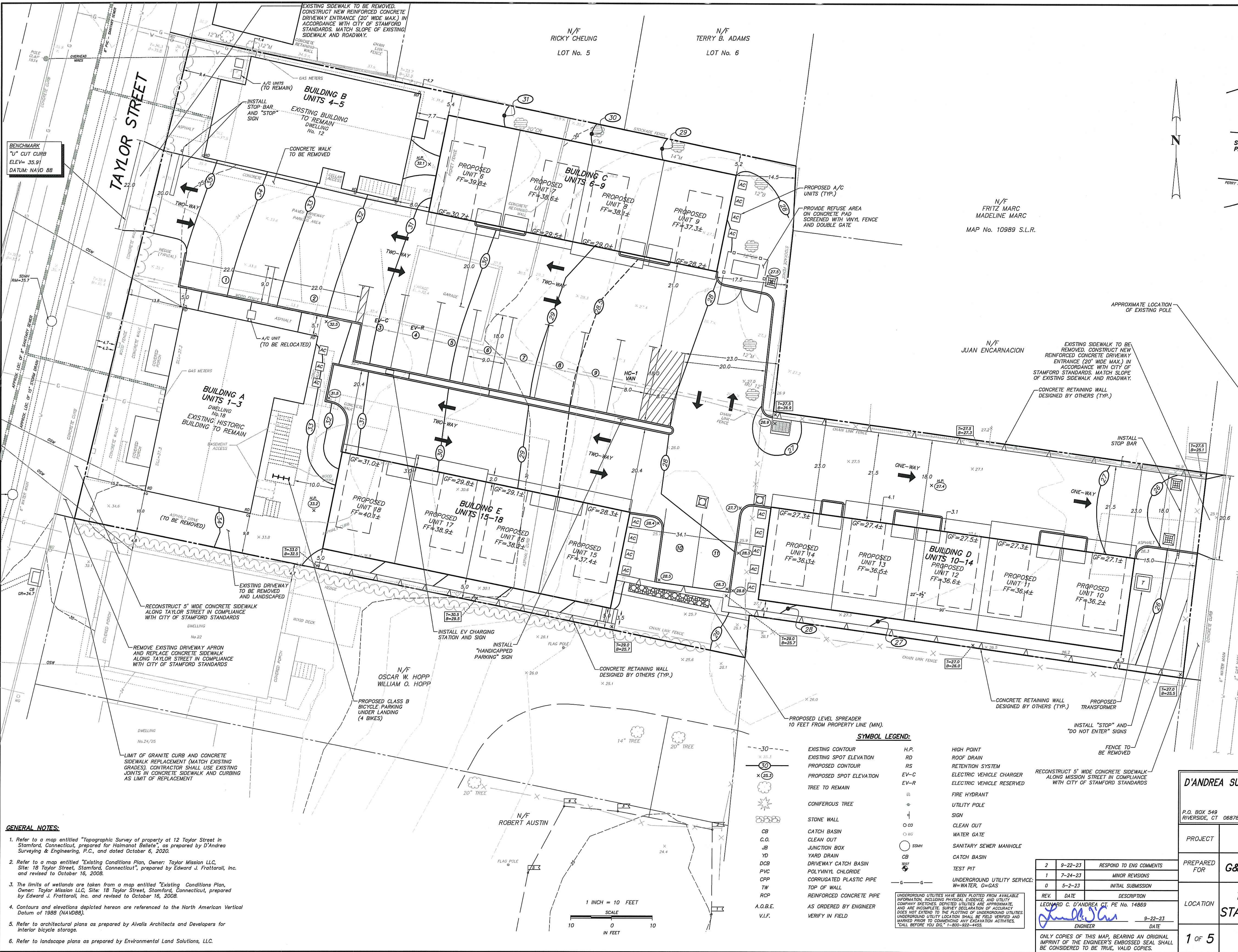
REV.	DATE	DESCRIPTION
1	9-20-23	RESPOND TO ENG COMMENTS
0	5-2-23	INITIAL SUBMISSION
LEONARD C. D'ANDREA CT. PE No. 14869	9-20-23	DATE
ENGINEER	DATE	

ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

LAND LIES IN "R-MF" ZONING DISTRICT
AREA = 24,478 S.F.



LOCATION MAP
1"=400'



GENERAL NOTES:

1. Refer to a map entitled "Topographic Survey of property at 12 Taylor Street in Stamford, Connecticut, prepared for Haiman Bellin", as prepared by D'Andrea Surveying & Engineering, P.C., and dated October 6, 2020.
2. Refer to a map entitled "Existing Conditions Plan, Owner: Taylor Mission LLC, Site: 18 Taylor Street, Stamford, Connecticut", prepared by Edward J. Frattaroli, Inc. and revised to October 16, 2008.
3. The limits of wetlands are taken from a map entitled "Existing Conditions Plan, Owner: Taylor Mission LLC, Site: 18 Taylor Street, Stamford, Connecticut, prepared by Edward J. Frattaroli, Inc. and revised to October 16, 2008.
4. Contours and elevations depicted hereon are referenced to the North American Vertical Datum of 1988 (NAVD88).
5. Refer to architectural plans as prepared by Aivalis Architects and Developers for interior bicycle storage.
6. Refer to landscape plans as prepared by Environmental Land Solutions, LLC.

SYMBOL LEGEND:

EXISTING CONTOUR	H.P.	HIGH POINT
EXISTING SPOT ELEVATION	RD	ROOF DRAIN
PROPOSED CONTOUR	RS	RETENTION SYSTEM
PROPOSED SPOT ELEVATION	EV-C	ELECTRIC VEHICLE CHARGER
TREE TO REMAIN	EV-R	ELECTRIC VEHICLE RESERVED
CONIFEROUS TREE	FI	FIRE HYDRANT
STONE WALL	UP	UTILITY POLE
CATCH BASIN	SG	SIGN
CLEAN OUT	CO	CLEAN OUT
JUNCTION BOX	WG	WATER GATE
YARD DRAIN	SMH	SANITARY SEWER MANHOLE
DRIVEWAY CATCH BASIN	CB	CATCH BASIN
POLYVINYL CHLORIDE	TP	TEST PIT
CORRUGATED PLASTIC PIPE	UUS	UNDERGROUND UTILITY SERVICE: W=WATER, G=GAS
TOP OF WALL		
REINFORCED CONCRETE PIPE		
AS ORDERED BY ENGINEER		
VERIFY IN FIELD		

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION, INCLUDING PHYSICAL EVIDENCE AND UTILITY COMPANY SKETCHES. DEPICTED UTILITIES ARE APPROXIMATE AND ARE INCOMPLETE. SURVEY DECLARATION OF ACCURACY DOES NOT EXTEND TO THE PLOTTING OF UNDERGROUND UTILITIES. UNDERGROUND UTILITY LOCATION SHALL BE FIELD VERIFIED AND MARKED PRIOR TO COMMENCING ANY EXCAVATION ACTIVITIES. "CALL BEFORE YOU DIG" 1-800-922-4455.

D'ANDREA SURVEYING & ENGINEERING, PC
• LAND PLANNERS
• ENGINEERS
• SURVEYORS
P.O. BOX 549
RIVERSIDE, CT 06878
6 NEIL LANE
TEL. 637-1779

PROJECT	RESIDENTIAL DEVELOPMENT
PREPARED FOR	G&T TAYLOR STREET LLC
LOCATION	12 & 18 TAYLOR STREET, STAMFORD, CONNECTICUT
1 OF 5	GRADING PLAN

REV.	DATE	DESCRIPTION
2	9-22-23	RESPOND TO ENG COMMENTS
1	7-24-23	MINOR REVISIONS
0	5-2-23	INITIAL SUBMISSION
REV.	DATE	DESCRIPTION
LEONARD C. D'ANDREA	9-22-23	ENGINEER
ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.		

BENCHMARK
"U" CUT CURB
ELEV= 35.91
DATUM= NAVD 88

PROJECT MILESTONES	
1	E & S Controls at start of construction
2	Protection and/or installation of each non-structural LID BMP
3	Soils verification for each detention/retention/structural LID BMP
4	Amended soils verification for each BMP
5	Each detention/retention/structural LID BMP during construction
6	Each detention/retention/structural LID BMP prior to backfilling/completion
7	Each detention/retention/structural LID BMP at completion
8	Final site inspection throughout site

STAMFORD DRAINAGE MAINTENANCE REQUIREMENTS AND SCHEDULE:

NOTE: THE FOLLOWING IS A BEST PRACTICE MAINTENANCE SCHEDULE FOR THE STORMWATER MANAGEMENT STRUCTURES DESIGNED HEREIN ON THIS PLAN SET FOR THE OWNERS OF THE SUBJECT PARCEL TO FOLLOW. IT IS NOT INTENDED TO DESCRIBE OR SUPERSEDE THE MAINTENANCE AGREEMENT COVENANT OF THE SUBJECT PARCEL, AS REQUIRED BY THE CITY OF STAMFORD UPON COMPLETION OF WORK AND PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. REFER TO THE CITY OF STAMFORD DRAINAGE MAINTENANCE AGREEMENT COVENANT REGARDING LONG-TERM MAINTENANCE REQUIREMENTS, CITY APPROVAL, CITY RIGHTS TO INSPECTION, AND PENALTY AND LEGAL ACTION FOR FAILURE OF COMPLIANCE TO SAID AGREEMENT COVENANT.

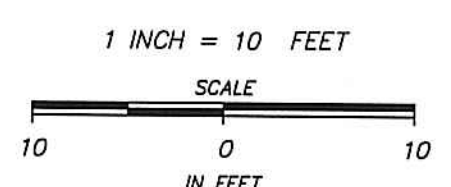
1. OWNER shall clean the drainage facilities or cause such facilities to be cleaned by periodic removal of accumulated sediment and debris in a good and workman-like manner, at least two (2) times during every twelve (12) month period, which times shall be in the period between April and June and between October and December and more often as the City may determine to be necessary.

2. OWNER shall sweep, or cause to be swept, garage facilities, driveways and roadway surfaces located on the Property at least once per calendar quarter.

3. OWNER shall utilize only sand or calcium chloride in connection with the de-icing of areas within the Property meaning and intending that road salt (Sodium Chloride) shall not be used for said purpose.

4. OWNER shall repair or replace any defects or defective drainage facilities so as to maintain the drainage facilities, at all times, in a fully functional capacity.

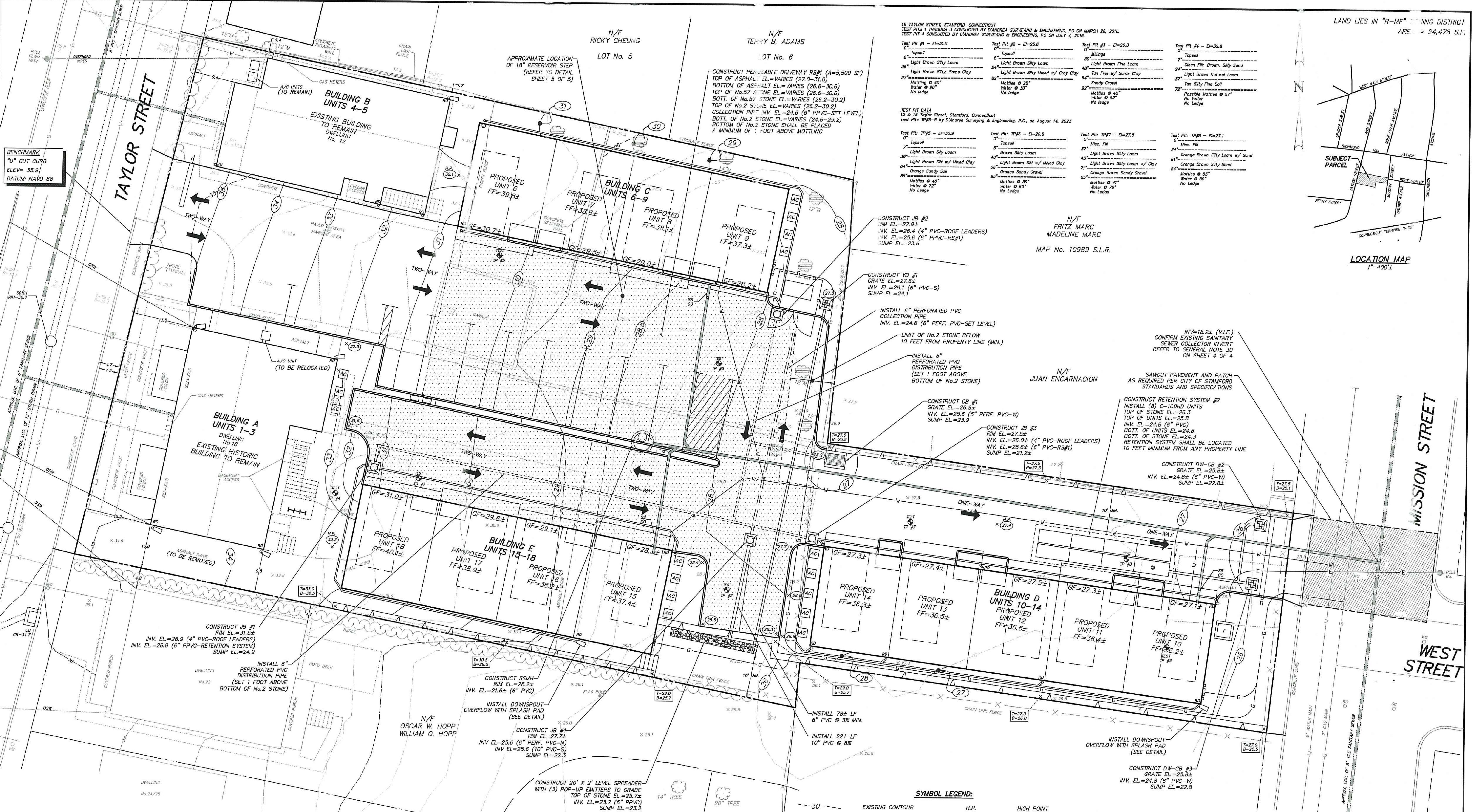
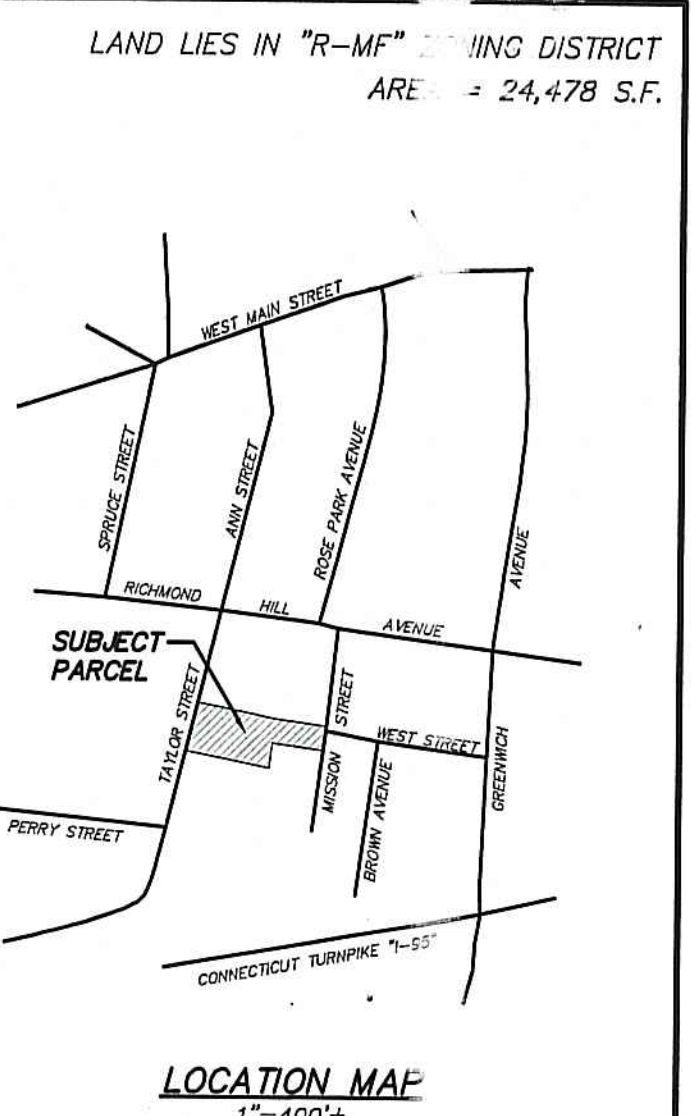
5. OWNER shall file as-built drainage plans with the EPB immediately upon the completion of work. Sold plans shall be prepared by a professional engineer/surveyor registered in the State of Connecticut.



SYMBOL LEGEND:	
EXISTING CONTOUR	H.P.
EXISTING SPOT ELEVATION	RD
PROPOSED CONTOUR	RS
PROPOSED SPOT ELEVATION	EV-C
TREE TO REMAIN	EV-R
CONIFEROUS TREE	FI
STONE WALL	SI
CATCH BASIN	CB
CLEAN OUT	C.O.
JUNCTION BOX	JB
YARD DRAIN	YD
DRIVEWAY CATCH BASIN	DCB
POLYVINYL CHLORIDE	PVC
CORRUGATED PLASTIC PIPE	CPP
TOP OF WALL	TW
REINFORCED CONCRETE PIPE	RCP
AS ORDERED BY ENGINEER	A.O.B.E.
VERIFY IN FIELD	V.I.F.
HIGH POINT	H.P.
ROOF DRAIN	RD
RETENTION SYSTEM	RS
ELECTRIC VEHICLE CHARGER	EV-C
ELECTRIC VEHICLE RESERVED	EV-R
FIRE HYDRANT	FI
UTILITY POLE	SI
CLEAN OUT	C.O.
WATER GATE	W.G.
SANITARY SEWER MANHOLE	SMH
CATCH BASIN	CB
TEST PIT	TEST
UNDERGROUND UTILITY SERVICE:	W= WATER, G= GAS

ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

D'ANDREA SURVEYING & ENGINEERING, PC	
P.O. BOX 549 RIVERSIDE, CT 06878	
LAND PLANNERS ENGINEERS SURVEYORS	
6 NEIL LANE TEL. 637-1779	
PROJECT	RESIDENTIAL DEVELOPMENT
PREPARED FOR	G&T TAYLOR STREET LLC
LOCATION	12 & 18 TAYLOR STREET, STAMFORD, CONNECTICUT
2 OF 5	UTILITY PLAN



TEST PIT DATA	
12 & 18 Taylor Street, Stamford, Connecticut	Test Pits TP#5-8 by D'Andrea Surveying & Engineering, P.C. on August 14, 2023
Test Pit #1 - El=31.5	Test Pit #2 - El=25.6
0" Topsoil	0" Topsoil
6" Light Brown Silty Loam	6" Light Brown Silty Loam
36" Light Brown Silty Sand	24" Light Brown Silty Sand w/ Grey Clay
97" Mottling @ 90"	62" Mottling @ 25"
Water @ 90"	Water @ 30"
No ledge	No ledge

TEST PIT DATA	
Test Pit #3 - El=26.3	Test Pit #4 - El=32.8
0" Topsoil	0" Topsoil
30" Millings	7" Clean Fill, Brown Silty Sand
49" Light Brown Fine Loam	24" Light Brown Natural Loam
64" Tan Fine w/ Some Clay	37" Tan Silty Fine Sand
84" Sandy Gravel	72" Possible Mottling @ 57"
92" Mottling @ 40"	No Water
Water @ 32"	No ledge

TEST PIT DATA	
Test Pit #5 - El=30.9	Test Pit #6 - El=26.8
0" Topsoil	0" Topsoil
7" Light Brown Silty Loam	5" Brown Silty Loam
39" Light Brown Silty Sand w/ Mixed Clay	40" Light Brown Silty Sand w/ Mixed Clay
64" Orange Sandy Soil	65" Orange Sandy Gravel
88" Mottling @ 45"	85" Mottling @ 33"
Water @ 72"	Water @ 60"
No ledge	No ledge

TEST PIT DATA	
Test Pit #7 - El=27.5	Test Pit #8 - El=27.1
0" Misc. Fill	0" Misc. Fill
37" Light Brown Silty Loam	24" Orange Brown Silty Loam w/ Sand
43" Light Brown Silty Sand w/ Clay	61" Orange Brown Silty Sand
71" Orange Sandy Gravel	84" Mottling @ 55"
85" Mottling @ 41"	Water @ 80"
No ledge	No ledge

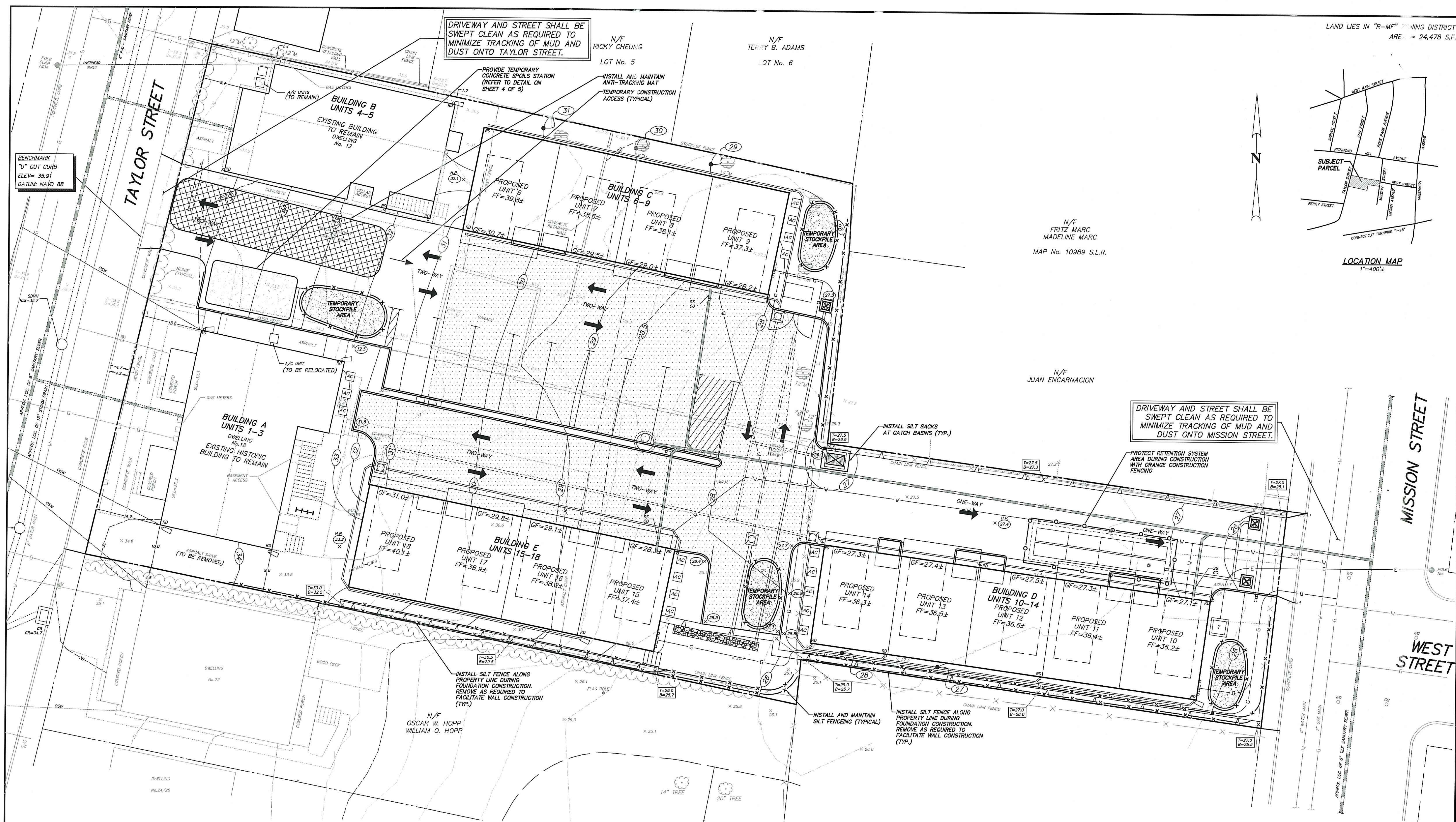
TEST PIT DATA	
Test Pit #9 - El=27.5	Test Pit #10 - El=25.1
0" Misc. Fill	0" Misc. Fill
37" Light Brown Silty Loam	24" Orange Brown Silty Loam w/ Sand
43" Light Brown Silty Sand w/ Clay	61" Orange Brown Silty Sand
71" Orange Sandy Gravel	84" Mottling @ 55"
85" Mottling @ 41"	Water @ 80"
No ledge	No ledge

TEST PIT DATA	
Test Pit #11 - El=27.5	Test Pit #12 - El=25.1
0" Misc. Fill	0" Misc. Fill
37" Light Brown Silty Loam	24" Orange Brown Silty Loam w/ Sand
43" Light Brown Silty Sand w/ Clay	61" Orange Brown Silty Sand
71" Orange Sandy Gravel	84" Mottling @ 55"
85" Mottling @ 41"	Water @ 80"
No ledge	No ledge

TEST PIT DATA	
Test Pit #13 - El=27.5	Test Pit #14 - El=25.1
0" Misc. Fill	0" Misc. Fill
37" Light Brown Silty Loam	24" Orange Brown Silty Loam w/ Sand
43" Light Brown Silty Sand w/ Clay	61" Orange Brown Silty Sand
71" Orange Sandy Gravel	84" Mottling @ 55"
85" Mottling @ 41"	Water @ 80"
No ledge	No ledge

TEST PIT DATA	
Test Pit #15 - El=27.5	Test Pit #16 - El=25.1
0" Misc. Fill	0" Misc. Fill
37" Light Brown Silty Loam	24" Orange Brown Silty Loam w/ Sand
43" Light Brown Silty Sand w/ Clay	61" Orange Brown Silty Sand
71" Orange Sandy Gravel	84" Mottling @ 55"
85" Mottling @ 41"	Water @ 80"
No ledge	No ledge

TEST PIT DATA	
Test Pit #17 - El=27.5	Test Pit #18 - El=25.1
0" Misc. Fill	0" Misc. Fill
37" Light Brown Silty Loam	24" Orange Brown Silty Loam w/ Sand
43" Light Brown Silty Sand w/ Clay	61" Orange Brown Silty Sand
71" Orange Sandy Gravel	84" Mottling @ 55"
85" Mottling @ 41"	Water @ 80"
No ledge	No ledge

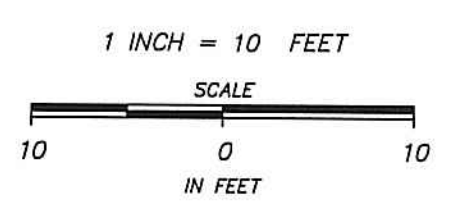


SEDIMENTATION AND EROSION CONTROL NOTES

1. Temporary soil and erosion control measures, inclusive of filter barriers, water breaks, check dams, and anti-tracking areas, shall remain in place for as long as necessary to permanently stabilize developed areas.
2. Erosion and sediment control devices shall be installed in their proper sequence. No clearing or grading may be done in any area until the erosion control devices for that area, as shown on the plan, are in place and functional.
3. Natural vegetation shall be maintained and protected where practical.
4. All sediment and erosion control devices and provisions shall be maintained in operational condition by the contractor until final acceptance of the project.
5. No changes of this soil erosion and sediment control plan may be made without prior approval of the supervising engineer.
6. Land disturbance is to be kept to a minimum. Reestablishment and/or stabilization of disturbed areas shall be scheduled as soon as practical.
7. Erosion controls shall be monitored periodically to verify that they are maintained in effective working order. If, during construction, additional control measures are necessary, they shall be installed by that contractor.
8. Sediment or debris shall be removed from the drainage pipes and structures as it accumulates during construction. It shall be disposed of in a manner which is consistent with the intent of this plan.
9. The contractor may provide alternate means of sediment control, but he may not eliminate placement of protection in the areas indicated herein.
10. Sediment fencing shall be installed where required prior to commencing construction, and shall remain in place for the duration of the project. Fencing shall be Proper Silt Stop (TM) as manufactured by Amoco, or engineer approved equivalent.
11. The contractor shall re-grade, topsoil, and seed all disturbed areas immediately after construction has been completed.
12. Refer to Connecticut Guidelines for Soil Erosion and Sediment Control (2002) for additional details and specifications.
13. Additional protection measures shall be implemented should site conditions warrant them.
14. All designated trees shall be protected during the construction period, except those designated to be removed. Tree protection shall be in accordance with generally accepted standards. Refer to the Connecticut Guidelines for Soil Erosion and Sediment Control (2002) for details and specifications.

CONSTRUCTION STAGING:

1. Install sedimentation and erosion controls.
2. Rough in proposed driveway and construction access.
3. Strip topsoil and stockpile it with appropriate sedimentation and erosion control measures.
4. Excavate for proposed dwelling foundations.
5. Construct proposed dwelling foundations and retaining walls.
6. Install storm drainage system, sanitary sewer system, and underground utilities.
7. Backfill and rough grade around dwelling foundations, stabilize all slopes.
8. Construct proposed dwellings.
9. Construct driveway and curbing.
10. Construct steps and walkways.
11. Fine grade and stabilize all slopes.
12. Landscape as required.
13. Remove sedimentation and erosion controls.



D'ANDREA SURVEYING & ENGINEERING, PC
• LAND PLANNERS
• ENGINEERS
• SURVEYORS
P.O. BOX 549
RIVERSIDE, CT 06878
6 NEIL LANE
TEL. 637-1778

PROJECT	RESIDENTIAL DEVELOPMENT
PREPARED FOR	G&T TAYLOR STREET LLC
LOCATION	12 & 18 TAYLOR STREET, STAMFORD, CONNECTICUT
3 OF 5	SEDIMENTATION AND EROSION CONTROL PLAN

2	9-21-23	RESPOND TO ENG COMMENTS
1	7-24-23	MINOR REVISIONS
0	5-2-23	INITIAL SUBMISSION
REV.	DATE	DESCRIPTION
LEONARD C. D'ANDREA	9-21-23	DATE
ENGINEER		

ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

GENERAL NOTES:

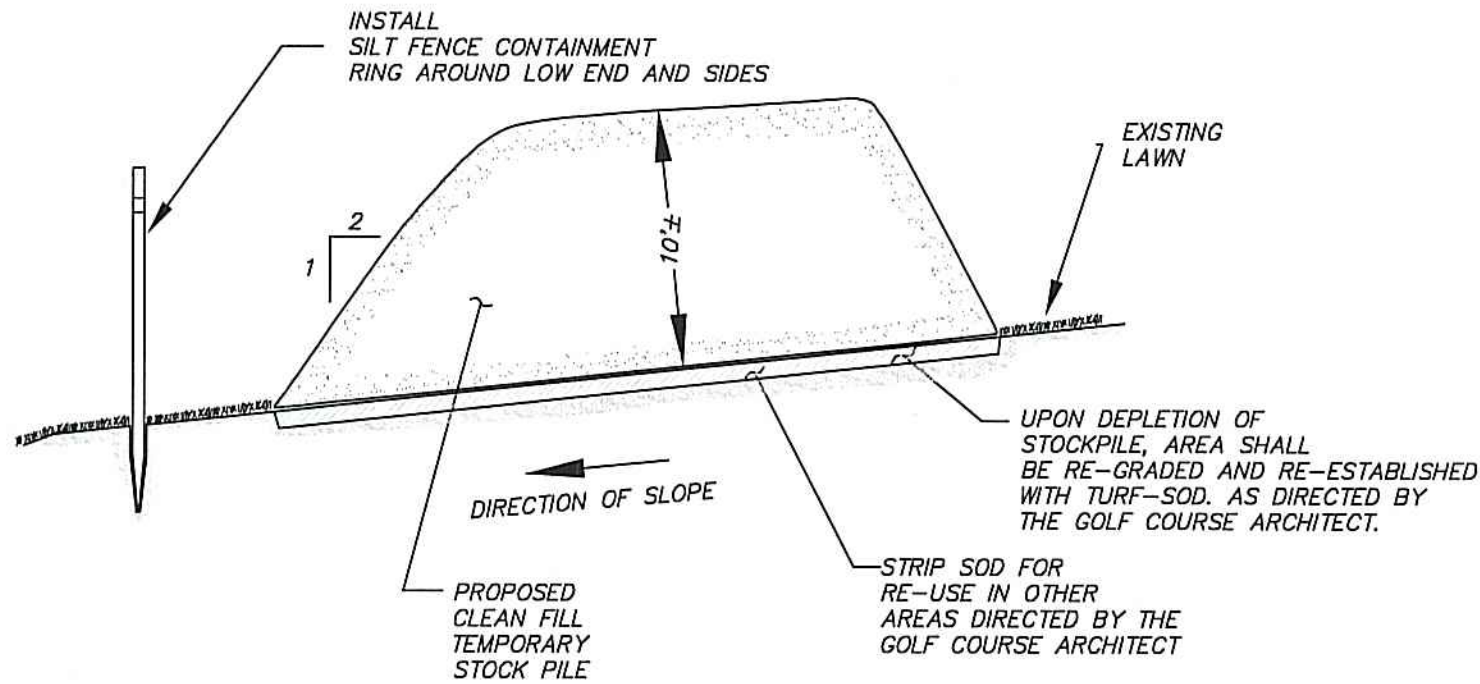
1. Refer to a map entitled "Existing Conditions" of property at 18 Taylor Street in Stamford, Connecticut, as prepared by D'Andrea Surveying & Engineering, P.C. and dated May 2, 2023.
2. The limits of wetlands are taken from a map entitled "Existing Conditions Plan, Owner: Taylor Mission LLC, Site: 18 Taylor Street, Stamford, Connecticut, prepared by Edward J. Frattolillo, Inc. and revised to October 16, 2008.
3. Contours and elevations depicted hereon are referenced to the North American Vertical Datum of 1988 (NAVD 88).
4. In accordance with Connecticut Public Act 87-71 and Connecticut General Statutes (CGS) Sections 16-345 through 16-359, the contractor shall verify the depth and location of all utilities prior to commencing construction, and shall contact "Call Before You Dig, Inc." at 1.800.922.4455, 48 hours prior to commencing construction.
5. The locations of subsurface structures and utilities as depicted hereon indicate only that the structures exist, and no responsibility is assumed by the engineer or surveyor for the accuracy of the locations shown.
6. A Street Opening Permit is required for all work within the City of Stamford Right-of-Way.
7. The contractor shall be responsible for securing all required permits from the City of Stamford for completion of the project.
8. The locations and elevations of the proposed storm drainage system depicted hereon may be modified with the approval of the project engineer to meet field conditions.
9. All construction shall comply with applicable sections of the State of Connecticut, Local, and International Building codes, and those criteria shall take precedent over these plans.
10. Certification will be required by a Professional Engineer licensed in the State of Connecticut that work has been completed in compliance with the approved drawings. A Final Location Plan, prepared by a licensed Land Surveyor in the State of Connecticut, will be required for submission.
11. All work within the City of Stamford Right-of-Way shall be constructed to City of Stamford requirements, the State of Connecticut Basic Building Code, and the Connecticut Guidelines for Soil Erosion and Sedimentation Control.
12. THE ENGINEERING BUREAU OF THE CITY OF STAMFORD SHALL BE NOTIFIED THREE DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AFFECTING THE CITY RIGHT-OF-WAY.
13. The project engineer shall be notified a minimum of three working days prior to the commencement of construction.
14. Appropriate measure shall be taken to control any sedimentation and erosion which may result during construction. Sedimentation and erosion controls shall be maintained and repaired as necessary throughout construction until the site is stabilized.
15. All material excavated during construction must be disposed of legally off site.
16. Significantly sized trees shall be preserved to the greatest extent feasible.
17. Pavement replacement shall be bituminous concrete, placed in accordance with the City of Stamford standards and/or Connecticut State Highway specifications.
18. Shoulders and disturbed areas shall receive four inches of topsoil; fine graded and seeded as soon as practical to prevent erosion.
19. Existing inverts on sanitary sewer lateral and utility services shall be field verified where appropriate, before commencing construction. The contractor shall excavate test pits wherever design conflicts may occur. The contractor shall notify the project engineer of the test pit schedule. Design conflicts if any, shall be brought to the immediate attention of the project engineer. Plate or backfill and patch test pits as directed by the project engineer.
20. Trees within the City of Stamford Right-of-Way, designated to be removed, shall be posted in accordance with the Tree Ordinance.
21. All retaining walls greater than three (3) feet are required to be designed and inspected during construction by a Professional Engineer licensed in the State of Connecticut. Certification of the retaining wall shall be required prior to the issuance of a Certificate of Occupancy and/or bond release.
22. Certification will be required by a professional engineer licensed in the State of Connecticut that work has been completed in compliance with the approved drawings.
23. A Final Location Plan will be required by a professional land surveyor licensed in the State of Connecticut.
24. Granite block or other decorative stone or brick, depressed curb, driveway apron, and curbing within the City of Stamford Right-of-Way shall require a waiver from the City of Stamford Engineering Bureau.
25. All PVC pipe shall conform to ASTM D-3034 "standard specification for type PSM-Poly Vinyl Chloride (PVC) sewer pipe and fitting", or engineer approved equivalent (SDR-35).
26. Bedding and backfill material shall conform to ASTM D2321 specification "standard recommended practice for underground installations of flexible thermoplastic sewer pipe (PVC)".
27. The contractor shall provide all the equipment, tools, labor and materials necessary to satisfactorily clean and remove all visible obstructions, dirt, sand, sludge, roots, gravel, stones, etc., from the designated drains and manholes.
28. Processed aggregate shall be in accordance with the City of Stamford standards and/or Connecticut State Highway specifications.
29. A 6" layer of crushed stone shall be placed under any exterior decks and/or open stairways.
30. Contractor shall coordinate with Project Engineer and Stamford WPCA to confirm invert of existing sewer collector prior to installation of private sewer line and adjust pipe slope as required. Confirm with Project Engineer and WPCA.
31. Refer to architectural plans as prepared by Aivals Architects & Developers.

CITY OF STAMFORD NOTES:

- 1) A Street Opening Permit is required for all work within the City of Stamford Right-of-Way.
- 2) All work within the City of Stamford Right-of-Way shall be constructed to City of Stamford requirements, the State of Connecticut Basic Building Code, and the Connecticut Guidelines for Soil Erosion and Sedimentation Control.
- 3) The City of Stamford Engineering Bureau shall be notified three days prior to the commencement of any construction within the City of Stamford Right-of-Way.
- 4) Trees within the City of Stamford Right-of-Way, designated to be removed, shall be posted in accordance with the Tree Ordinance.
- 5) Prior to any excavation the Contractor and/or Applicant/Owner, in accordance with Public Act 77-350, shall be required to contact "Call Before You Dig" at 1-800-922-4455 for mark out of underground utilities.
- 6) All retaining walls three (3) feet or higher measured from finished grade at the bottom of the wall to finished grade at the top of the wall and retaining walls supporting a surcharge or impounding Class II, III or IV liquids are required to have a Building Permit. Retaining walls shall be designed and inspected during construction by a Professional Engineer licensed in the State of Connecticut. Prior to the issuance of a Certificate of Occupancy, retaining walls shall be certified by a Professional Engineer licensed in the State of Connecticut.
- 7) Certification will be required by a professional engineer licensed in the State of Connecticut that work has been completed in compliance with the approved drawings.
- 8) A Final Survey Map depicting "As-built" site conditions shall be prepared by a professional land surveyor licensed in the State of Connecticut and submitted to the Engineering Bureau.
- 9) Connection to a city-owned storm sewer shall require the Waiver Covering Storm Sewer Connection to be filed with the City of Stamford Engineering Bureau.
- 10) Granite block or other decorative stone or brick, depressed curb, driveway apron, and curbing within the City of Stamford Right-of-Way shall require the Waiver Covering Granite Block Depressed Curb and Driveway Aprons to be filed with the City of Stamford Engineering Bureau.
- 11) Sedimentation and erosion controls shall be maintained and repaired as necessary throughout construction until the site is stabilized.
- 12) To obtain a Certificate of Occupancy, submittal must include all items outlined in the Checklist for Certificate of Occupancy (Appendix D of the City of Stamford Drainage Manual).

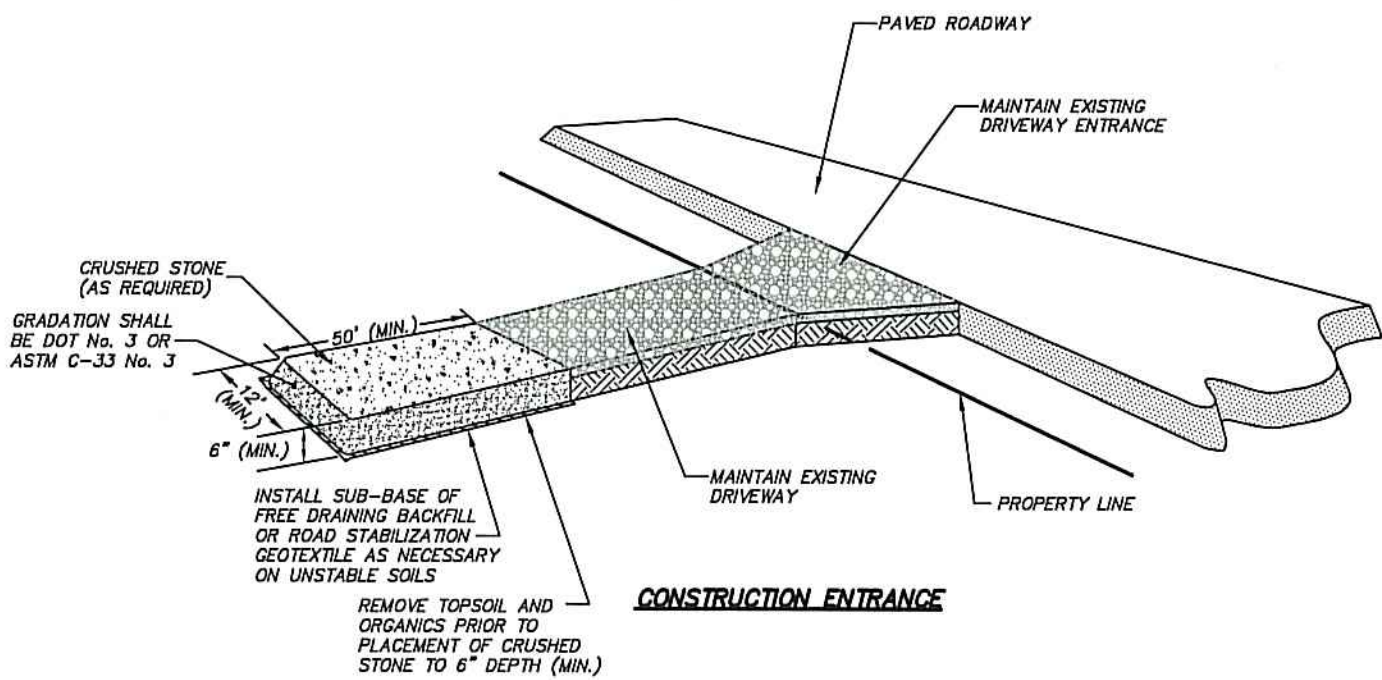
WATER POLLUTION CONTROL AUTHORITY NOTES:

- a. Proposed sanitary tie-in connection must be an approved saddle connection to the public sewer line if a direct connection to the sewer collector in the street is required. A chimney connection may be required to ensure the private lateral slope does not exceed 2%, and it must meet either the City standard specification and/or the approved modular style chimney design requirements. Both saddle and/or chimney connections must be encased in concrete.
- b. Applicant and/or Contractor needs to schedule the tie-in activity with Stamford WPCAs Collection Systems Supervisor at least 3-days in advance for scheduling WPCA personnel to witness and photograph the sewer tie-in connection. Anytime between 7:30 a.m. and 2 p.m. (Mon. thru Fri.).
- c. The contractor is not to break into the public sewer line without WPCA being present.
- d. The sewer tie-in distance information from at least 2-permanent stations, i.e., telephone pole and number, distance from nearest manhole cover, corner of building with address number, etc., and depth of tie-in, along with a sketched drawing depicting these monuments and distances must be submitted for final approval.
- e. A connection charge may be assessed by the SWPCA in accordance with Section 200-41. Please be aware that the connection charge based on the new development and prior use of the site can be substantial. The connection charge becomes due at the time the CO is issued.
- f. Upon receipt of WPCAs approval, the owner/permit applicant must coordinate and schedule the reconnection activity of the new lateral to the existing stub lateral with the City Plumbing Inspector.
- g. Before connecting to the stub lateral, the owner/permit applicant must videotape this stub lateral to the public sanitary sewer line to ensure there are no obstructions and the lateral is in good operational condition. A copy of this video must be provided to WPCA for review and approval.



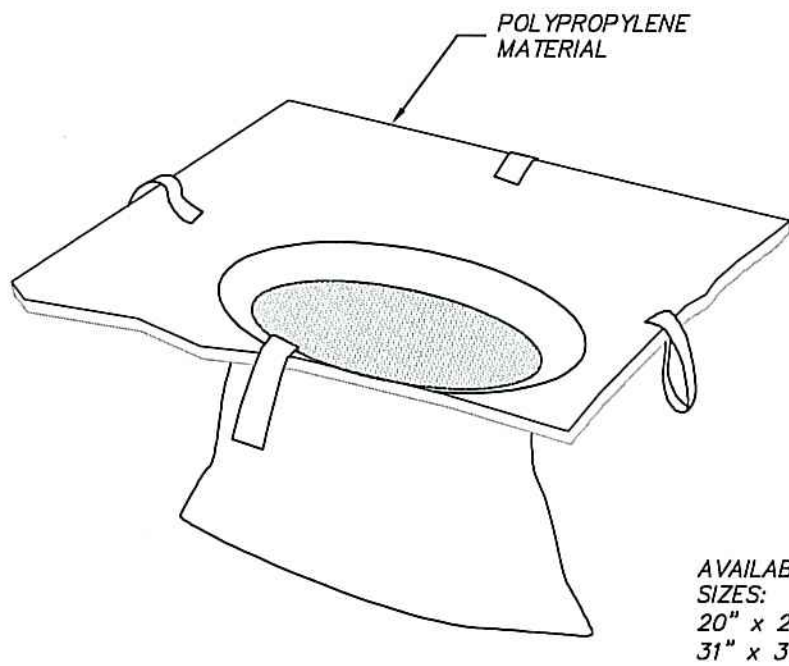
TEMPORARY STOCKPILE DETAIL

NOTE: STOCKPILES SHALL NOT BE PLACED OVER ANY INFILTRATION SYSTEM.



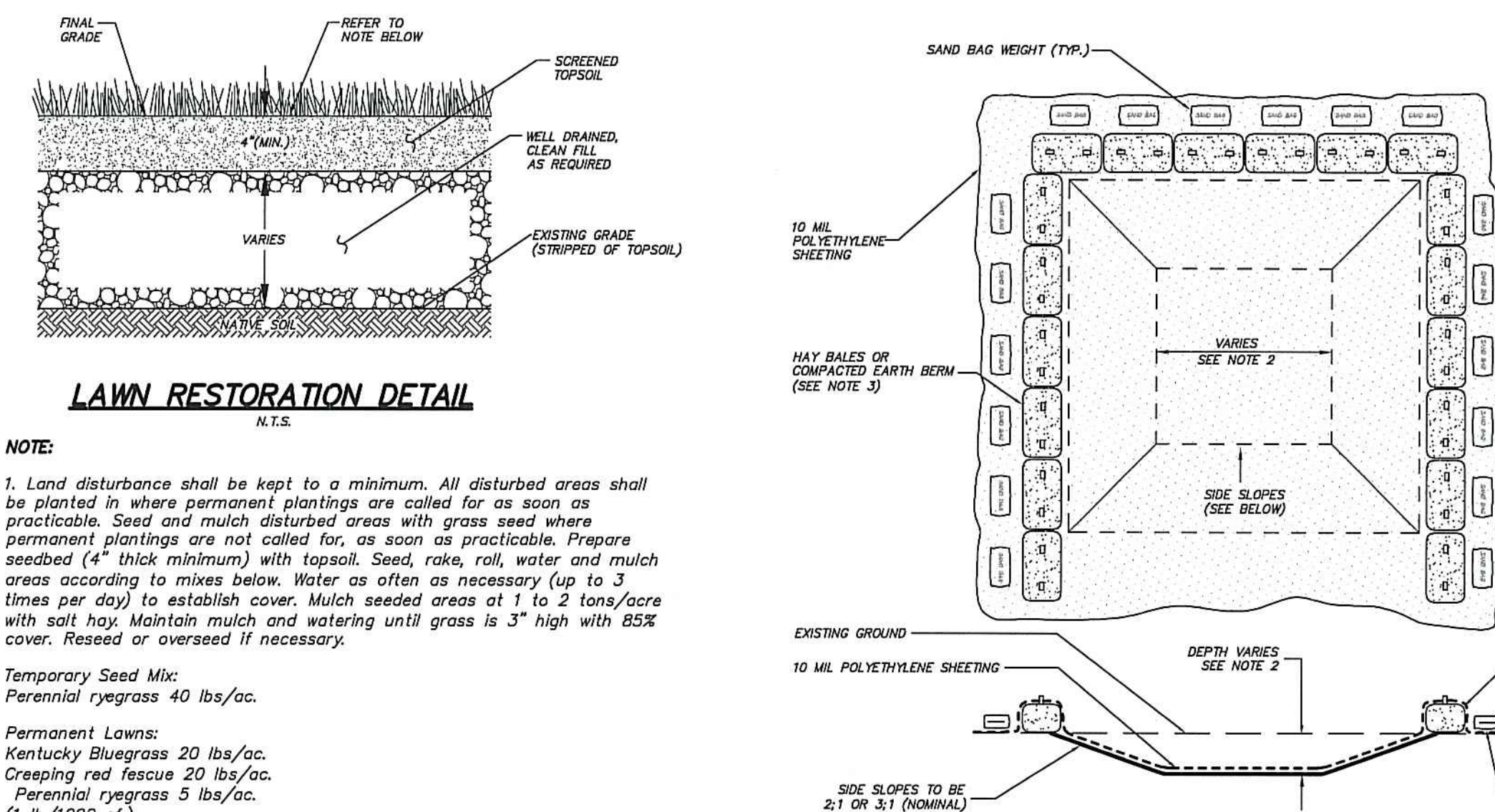
ANTI-TRACKING PAD DETAIL

N.T.S.



PIG™ - STORM DRAIN FILTER DETAIL

N.T.S.



LAWN RESTORATION DETAIL

N.T.S.

NOTE:

1. Land disturbance shall be kept to a minimum. All disturbed areas shall be planted in where permanent plantings are called for as soon as practicable. Seed and mulch disturbed areas with grass seed where permanent plantings are not called for, as soon as practicable. Prepare seedbed (4\"/>

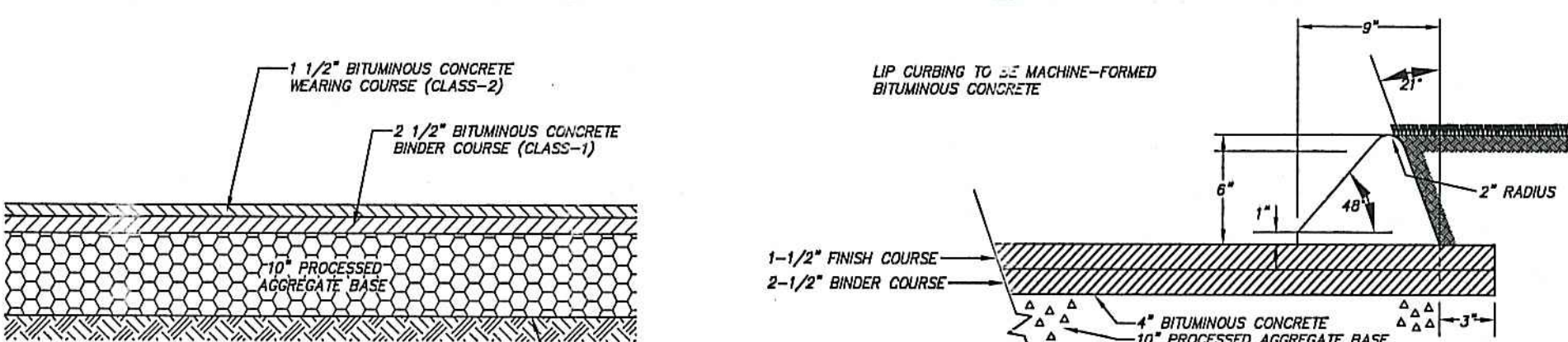
Temporary Seed Mix:
Perennial ryegrass 40 lbs./ac.

Permanent Lawns:
Kentucky Bluegrass 20 lbs./ac.
Creeping red fescue 20 lbs./ac.
Perennial ryegrass 5 lbs./ac.
(1 lb./1000 sq. ft.)

Optimum Seeding Dates:
April 15 through June 15
August 15 through October 1 45 lbs./ac.
(1 lb./1000 sq. ft.)

CONCRETE WASHOUT AREA

N.T.S.

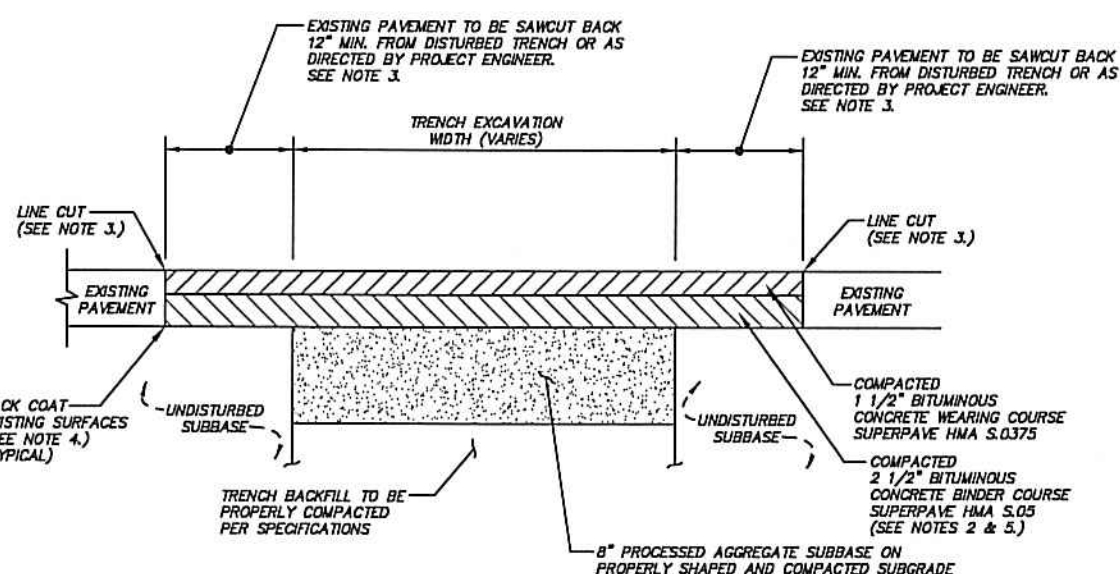


ASPHALT DRIVEWAY PATCH DETAIL

N.T.S.

ROADWAY ASPHALT CURB DETAIL

N.T.S.



DETAIL FOR TRENCH REPAIR

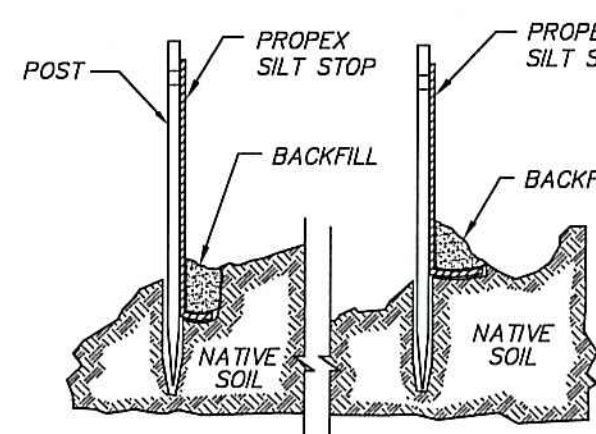
N.T.S.

NOTES:

1. ALL WORK TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONNECTICUT DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, LATEST EDITION, OR AS DIRECTED BY PROJECT ENGINEER.
2. SHOULD THE TOTAL THICKNESS OF EXISTING PAVEMENT EXCEED THICKNESS OF PROPOSED BINDER PLUS WEARING COURSE, THE THICKNESS OF BINDER COURSE SHALL BE INCREASED SUCH THAT THE TOTAL THICKNESS OF REPAIR BITUMINOUS PAVEMENT MATCHES EXISTING.
3. CUTBACKS SHALL BE MADE IMMEDIATELY PRIOR TO TRENCH REPAIR AND NOT WHEN TRENCH IS EXCAVATED. CUTBACKS SHALL BE STRAIGHT AND EVEN TO ELIMINATE IRREGULAR EDGES.
4. TACK COAT SHALL BE APPLIED TO THE FULL DEPTH OF EXISTING PAVEMENT ALONG THE PERIMETER EDGES OF THE TRENCH AND ALL CONTACT SURFACES SUCH AS CURBING AND STRUCTURES (MANHOLES AND CATCH BASINS). TACK COAT SHALL BE APPLIED BETWEEN LIFTS/COURSES THAT HAVE BEEN IN PLACE LONGER THAN THE (3) DAYS.
5. HMA S.D.S. BINDER COURSE SHALL NOT BE PLACED IN LIFTS GREATER THAN 2 1/2\"/>

NOTE:

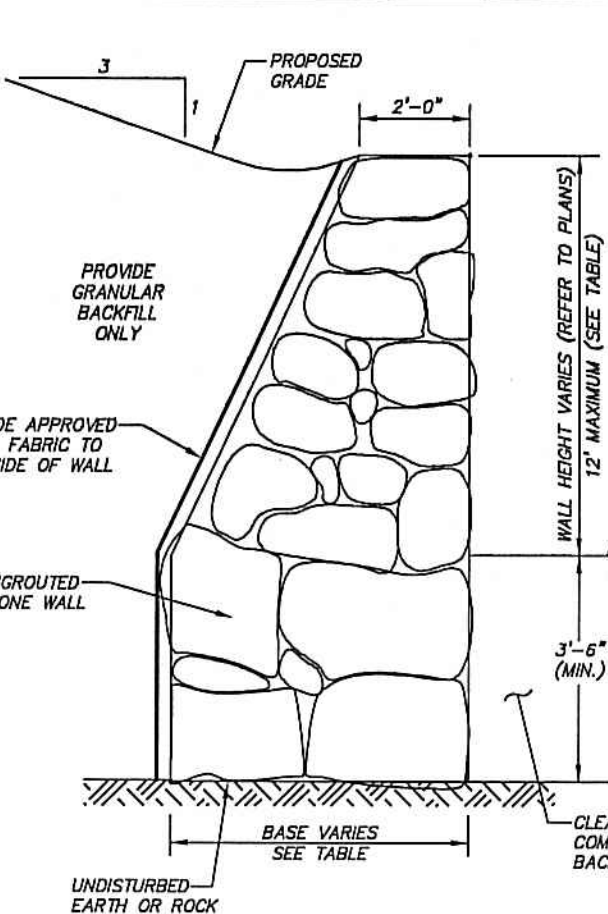
1. POSTS SHOULD NOT BE SPACED MORE THAN 10' APART



INSTALLATION DETAIL

SEDIMENT CONTROL FABRIC

N.T.S.



OPEN JOINTED STONE RETAINING WALL

N.T.S.

WALL TABLE		
WALL HEIGHT	BASE	
6'	4'-0"	
8'	5'-0"	
10'	6'-0"	
12'	7'-0"	

STONE RETAINING WALL NOTES

ALL WORK SHALL COMPLY WITH THE STATE AND LOCAL BUILDING CODES AND SPECIFICATIONS. WALL IS DESIGNED AS UNROUTED.

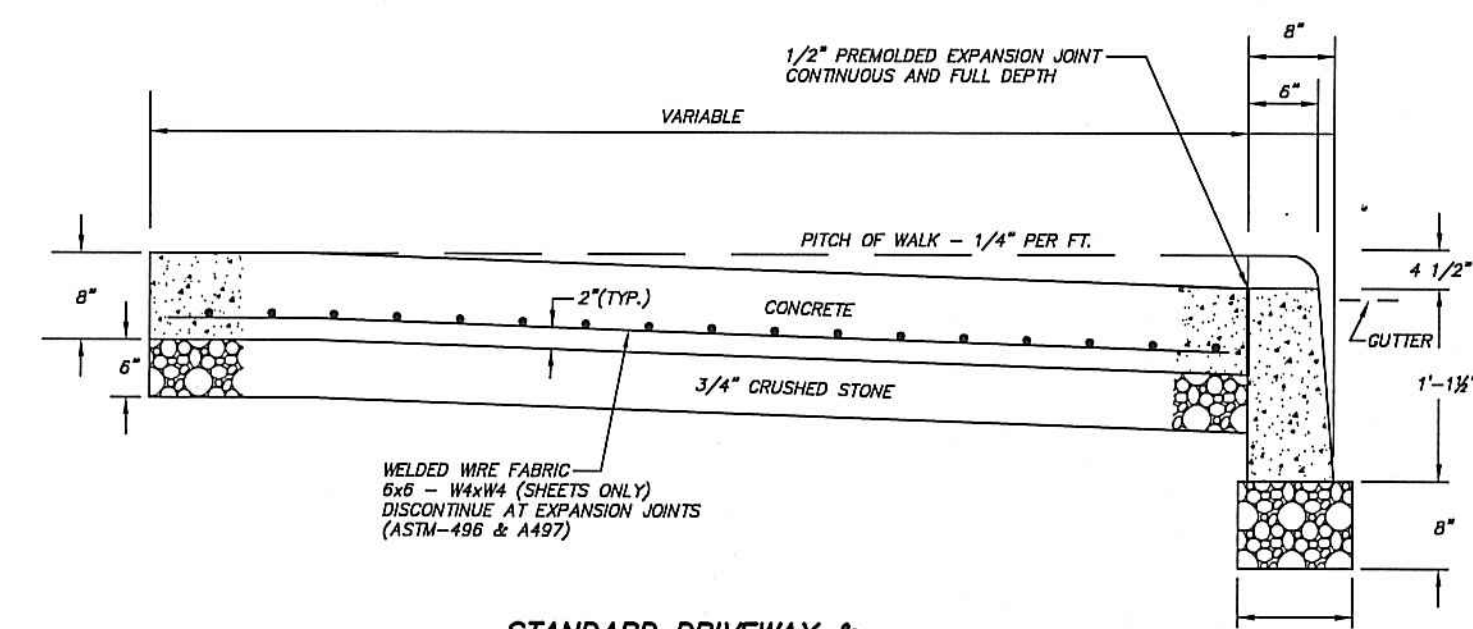
VERIFY ALL DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO ROCCO V. D'ANDREA, INC. THE CONTRACTOR SHALL VERIFY ALL DRAWINGS FOR COORDINATION BETWEEN TRADES. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ACCEPT FULL RESPONSIBILITY FOR DIMENSIONAL CORRECTNESS.

STONE WALLS SHALL BEAR ON UNDISTURBED SOIL OR ROCK HAVING A MINIMUM SAFE BEARING CAPACITY OF 2 TONS PER SQUARE FOOT. THIS VALUE SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER FOR THE SPECIFIC APPLICATION AND LOCATION.

TRUCKS, BULLDOZERS OR OTHER HEAVY EQUIPMENT SHALL BE OPERATED WITH CAUTION AND IN SUCH A MANNER AS TO CAUSE NO DAMAGE TO RETAINING WALL SYSTEMS.

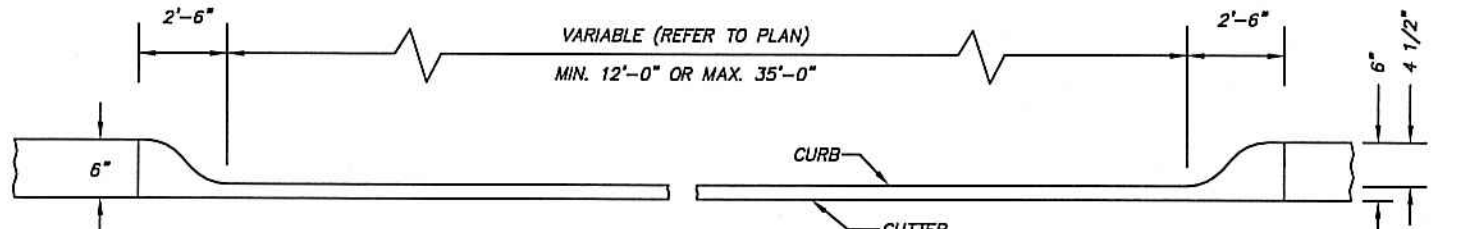
BACKFILL WITH APPROVED GRANULAR MATERIAL; BACKFILLING FRONT OF WALL SHALL BE DONE IN LAYERS, NOT TO EXCEED 10 INCHES. COMPACTION SHALL BE 85% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT. EXCAVATION MUST BE FREE OF WATER WHILE STONE WORK IS IN PROGRESS. ALL STONE SHALL HAVE A COMPRESSIVE STRENGTH OF AT LEAST 2,000 PSI.

STONE SIZES SHALL BE GRADED FROM 25% TO 100% OF THE WALL WIDTH. SMALLER STONES MAY BE USED TO LOCK THE WALL AS REQUIRED, BUT THE AMOUNT SHALL NOT EXCEED 20% OF THE TOTAL VOLUME OF THE WALL AND THESE STONES SHALL BE EVENLY DISTRIBUTED.



STANDARD DRIVEWAY & HEAVY DUTY DRIVEWAY

N.T.S.



TYPICAL CONSTRUCTION OF CURB AT DRIVEWAY

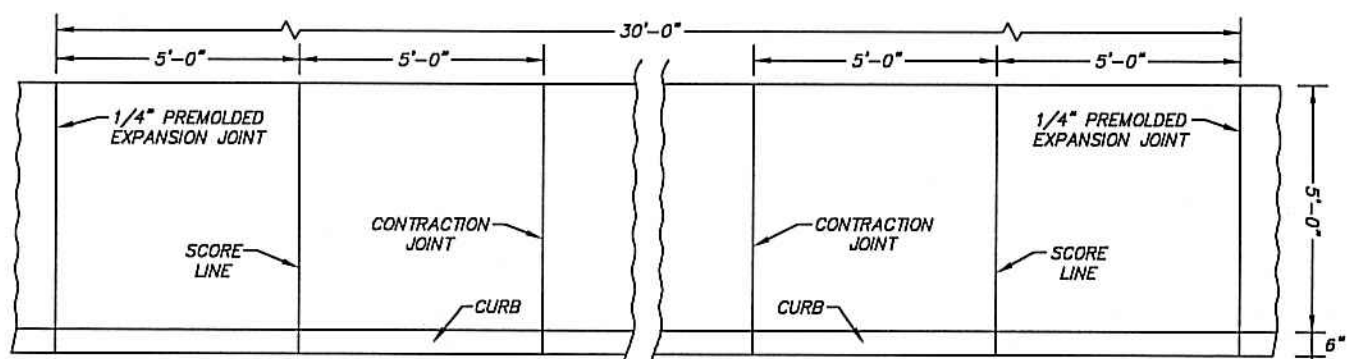
N.T.S.

NOTE:

1. ALL REINFORCING SHALL BE SUPPORTED ON CHAIRS OR OTHER POSITIVE TYPE SUPPORTS APPROXIMATELY ONE PER 25 SQ. FT.
2. CONCRETE SHALL BE CLASS "C" CEMENT TYPE II, 3000 PSI
3. AIR ENTRAINMENT SHALL BE BETWEEN 6 - 7%

REINFORCED CONCRETE DRIVEWAY ENTRANCE

N.T.S.



CONCRETE FOR THE SIDEWALK SHALL BE PLACED TO A UNIFORM DEPTH OF FIVE (5) INCHES UNIFORM SIX (6) INCH 3/4\"/>

CONCRETE SHALL BE CLASS "C" CEMENT TYPE II (3,000 PSI MIN.)

AIR ENTRAINMENT SHALL BE BETWEEN 6-7%

A 1/2\"/>

A 1/2\"/>

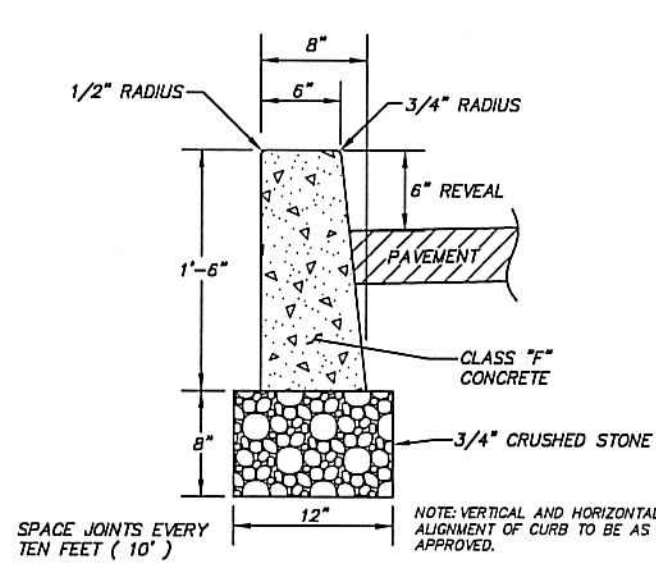
A MARKED OR SCORED CONTROL JOINT SHALL BE MADE AT FIVE FOOT INTERVALS BETWEEN BITUMINOUS JOINTS. CONTROL JOINTS SHALL BE 1 1/4\"/>

ADDITIONAL CONTROL JOINTS SHALL BE PLACED AS REQUIRED TO ELIMINATE ANY CONDITION WHICH WILL CAUSE STRESS VERTICES. (EXAMPLE AT CORNERS OF STRUCTURES)

ANY CHANGES REQUIRED BY LOCAL FIELD CONDITIONS SHALL BE MADE ONLY BY ORDER OF THE PROJECT ENGINEER OR THE CITY ENGINEER.

PLAN OF A SECTION OF CONCRETE SIDEWALK IN CITY RIGHT-OF-WAY

N.T.S.



CONCRETE CURB DETAIL

N.T.S.

NOTES:

1. ALL CURBING TO BE CAST-IN-PLACE WITHIN CITY RIGHT-OF-WAY.
2. APPROVED 1\"/>

REV.	DATE	DESCRIPTION
2	9-21-23	RESPOND TO ENG COMMENTS
1	7-24-23	MINOR REVISIONS
0	5-2-23	INITIAL SUBMISSION

ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

D'ANDREA SURVEYING & ENGINEERING, PC
• LAND PLANNERS
• ENGINEERS
• SURVEYORS
P.O. BOX 549
RIVERSIDE, CT 06878

PROJECT
RESIDENTIAL DEVELOPMENT

PREPARED FOR
G&T TAYLOR STREET LLC

LOCATION
12 & 18 TAYLOR STREET,
STAMFORD, CONNECTICUT

4 OF 5
NOTES AND DETAILS



1. REFER TO ASTM D2321 (STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS) FOR TRENCHING SPECIFICATIONS.
2. THIS SECTION IS DESIGNED TO RESIST UPLIFT FLOOD FORCES ASSOCIATED WITH THE MINIMUM ELEVATION STANDARD AS SPECIFIED IN THE ZONING REGULATIONS.



NOTES:

1. COORDINATE NUMBER AND SIZE OF CONDUIT WITH EACH RESPECTIVE UTILITY COMPANY PRIOR TO INSTALLATION.

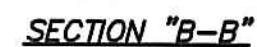


N.T.S.



NOTES:
JUNCTION BOX SHALL HAVE A MINIMUM SUMP OF 2 FEET AS MEASURED FROM THE LOWEST PIPE INVERT ELEVATION TO THE INTERIOR BOTTOM OF THE STRUCTURE.
CONTRACTOR SHALL PURCHASE AND INSTALL A SEPARATE SUMP SECTION. NO OUTLET OR INLET PIPES SHALL PENETRATE THE BOTTOM SUMP SECTION.
REFER TO DEVELOPMENT PLAN FOR SIZES, LOCATIONS, AND INVERT ELEVATION OF ALL PIPES.

CATCH BASIN FRAME AND—
BICYCLE SAFE GRATE TO BE
PATTERN No. 2517 OR
PATTERN No. 3408 FOR TYPE
AS MANUFACTURED BY CAMB
FOUNDRY, Co. OR APPROVED



SINGLE CATCH BASIN DETAIL (TYPE "C")

N.T.S.

NOTES:
CATCH BASIN SHALL HAVE A MINIMUM SUMP OF 2 FEET
AS MEASURED FROM THE LOWEST PIPE INVERT ELEVATION
TO THE INTERIOR BOTTOM OF THE STRUCTURE.

CONTRACTOR SHALL PURCHASE AND INSTALL A SEPARATE SUMP SECTION. NO OUTLET OR INLET PIPES SHALL PENETRATE THE BOTTOM SUMP SECTION.

REFER TO DEVELOPMENT PLAN FOR SIZES, LOCATIONS, AND INVERT ELEVATIONS OF ALL PIPES.



NOTES:
JUNCTION BOX SHALL HAVE A MINIMUM SUMP OF 2 FEET AS MEASURED FROM THE LOWEST PIPE INVERT ELEVATION TO THE INTERIOR BOTTOM OF THE STRUCTURE.
CONTRACTOR SHALL PURCHASE AND INSTALL A SEPARATE SUMP SECTION. NO OUTLET OR INLET PIPES SHALL PENETRATE THE BOTTOM SUMP SECTION.
REFER TO DEVELOPMENT PLAN FOR SIZES, LOCATIONS, AND INVERT ELEVATION OF ALL PIPES.



N.T.S.

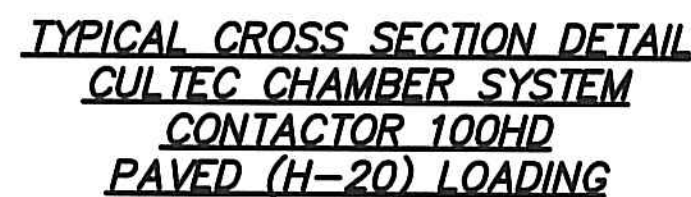


N.T.S.



NTS

1. THE UNDERLYING SOIL SHALL BE SCARIFIED OR TILLED TO IMPROVE INFILTRATION BEFORE APPLYING THE RESERVOIR COURSE.
2. INSTALL IMPERVIOUS LINER ALONG THE BOTTOM AND SIDES OF THE RESERVOIR COURSE WITHIN 10 FEET OF A BUILDING FOUNDATION.
3. IMPERVIOUS LINER SHALL BE ULTRAVIOLET-RESISTANT POLY-LINER, 30-MILS THICK (MINIMUM).
4. DO NOT CONNECT PERFORATED DISTRIBUTION PIPES TO THE UNDERDRAIN.



N.T.S.

NOTES:

1. STORMWATER CHAMBERS SHALL BE MANUFACTURED BY CULTEC, INC. (800) 428-5832 OR ENGINEER APPROVED EQUAL.
2. ALL CHAMBERS SHALL BE INSTALLED ACCORDING TO MANUFACTURER SPECIFICATIONS.
3. THE SOILS BENEATH THE INFILTRATION SYSTEM SHALL BE SCARIFIED OR TILLED TO IMPROVE INFILTRATION.



N.T.S.




N.T.S.

DRIVEWAY CATCH BASIN DETAIL

SUMP NOTE:
CATCH BASIN SHALL HAVE A MINIMUM SUMP OF 2 FEET AS MEASURED FROM THE LOWEST PIPE INVERT ELEVATION TO THE INTERIOR BOTTOM OF THE STRUCTURE.

CONTRACTOR SHALL PURCHASE AND INSTALL A SEPARATE SUMP SECTION. NO OUTLET OR INLET PIPES SHALL PENETRATE THE BOTTOM SUMP SECTION.

2	9-21-23	RESPOND TO ENG COMMENTS
1	7-24-23	MINOR REVISIONS
0	5-2-23	INITIAL SUBMISSION
REV.	DATE	DESCRIPTION
LEONARD C. D'ANDREA CT. PE No. 14869		
 ENGINEER		9-21-23 DATE

ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

D'ANDREA SURVEYING & ENGINEERING, PC • LAND PLANNERS • ENGINEERS • SURVEYORS		P.O. BOX 549 RIVERSIDE, CT 06878	6 NEIL LANE TEL. 637-1779
PROJECT	RESIDENTIAL DEVELOPMENT		
PREPARED FOR	G&T TAYLOR STREET LLC		
LOCATION	12 & 18 TAYLOR STREET, STAMFORD, CONNECTICUT		
5 OF 5	DETAILS		



PLANT LIST

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS	PLANTING HT.	MATURE HT.
4	DH	BETULA NIGRA 'DURA HEAT'	DURA HEAT BIRCH	9-10' HT.	B&B	MULTISTEM	9-10' HT.	25-30' HT.
3	YW	CLADRASTIS LUTEA	YELLOWWOOD	2-2 1/2" CAL.	B&B	MEDIUM TREE SIZE	10-12' HT.	25-30' HT.
1	BB	MAGNOLIA GRAND. 'BRACKEN'S BEAUTY'	BRACKEN'S BEAUTY MAGNOLIA	5-6' HT.	B&B	EVERGREEN	5-6' HT.	15-18' HT.
4	TL	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	2-2 1/2" CAL.	B&B	SMALL TREE SIZE	10-12' HT.	20-25' HT.
3	IO	ILEX OPACA	AMERICAN HOLLY	5-6' HT.	B&B	EVGREEN, NATIVE	5-6' HT.	25-30' HT.
20	TO	THUJA OCCIDENTALIS 'EMERALD GREEN'	EMERALD GREEN ARBORVITAE	4-5' HT.	B&B	EVERGREEN	4-5' HT.	18-20' HT.
1	CA	CLETHRA ALNIFOLIA 'RUBY SPICE'	RUBY SPICE CLETHRA	3-4' HT.	CONT.	NATIVE, FRAGRANT	3-4' HT.	5-6' HT.
22	HA	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	2-3' HT.	CONT.	WHITE FLOWERS	2-5' HT.	4' HT.
9	HY	HYDRANGEA 'THE ORIGINAL'	THE ORIGINAL HYDRANGEA	2-3' HT.	CONT.	BLUE FLOWERS	2-5' HT.	3-4' HT.
8	FP	HYDRANGEA 'FOREVER PINK'	FOREVER PINK HYDRANGEA	2-3' HT.	CONT.	PINK FLOWERS	2-5' HT.	4-5' HT.
22	IC	ILEX CRENATA 'CHESAPEAKE'	CHESAPEAKE HOLLY	3-4' HT.	B&B	EVERGREEN	3-5' HT.	6-7' HT.
9	LA	LEUCOTHOE AXILLARIS 'SARAH'S CHOICE'	SARAH'S CHOICE LEUCOTHOE	2-3' HT.	CONT.	NATIVE, EVERGREEN	2-5' HT.	4' HT.
9	RC	RHODODENDRON 'CHIONOIDES'	CHIONOIDES RHODODENDRON	36-42" HT.	B&B	EVERGREEN	3-5' HT.	4-5' HT.
1	RH	RHODODENDRON 'ENGLISH ROSEUM'	RHODODENDRON	42-48" HT.	B&B	EVERGREEN	4-5' HT.	7-8' HT.
11	SB	SPIRAEA 'SHIROBANA'	SHIROBANA SPIREA	24-30" HT.	CONT.	PINK/WHITE FLOWERS	2' HT.	3-4' HT.
1	SV	SYRINGA VULGARIS 'CONGO'	CONGO LILAC	4-5' HT.	B&B	PURPLE FLOWERS	4-5' HT.	8-10' HT.
165	LR	LIRIOPE MUSCARI 'ROYAL PURPLE'	ROYAL PURPLE LIRIOPE	1 GAL.	1 GAL.	PERENNIAL, EVERGREEN		
58	HR	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	1 GAL.	1 GAL.	PERENNIAL		
63	SG	PANICUM VIRGATUM 'HANSE HERMS'	HANSE HERMS SWITCHGRASS	1 GAL.	1 GAL.	NATIVE GRASS		

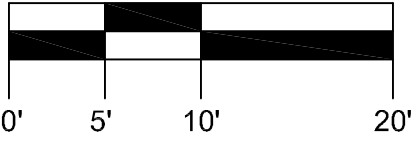
LEGEND

- PROPERTY LINE
- NEW / EX. LAWN AREA
- NEW MEDIUM SIZED TREE
- NEW SMALL SIZED TREE
- NEW EVERGREEN TREE
- NEW SHRUB
- NEW BOLLARD LIGHT



PROJECT NORTH

GRAPHIC SCALE



PLAN

SCALE: 1" = 10'

STREET TREE CHART

STREETSCAPE AREA	TOTAL STREET FRONTAGE (LF)	REQUIRED STREET TREES (FRONTAGE/25)	STREET TREES EXISTING	STREET TREES PROPOSED	NUMBER OF STREET CORNERS	TREES SUBJECT TO FEE PAYMENT (STREET TREES REQUIRED - STREET TREES EXISTING - STREET TREES PROVIDED - CORNERS)	FEE IN LIEU REQUIRED (\$2500 PER TREE SUBJECT TO FEE PAYMENT)
TAYLOR STREET	119.8'	4.8	0	5	0	0 (4.8 - 0 - 5 - 0 = -0.2)	\$0
MISSION STREET	50.0'	2.0	0	2	0	0 (2.0 - 0 - 2 - 0 = 0.0)	\$0
SUBTOTAL:							\$0



NOTES: BOLLARD LIGHT TO BE ALUMINUM SUNLITE LED AREA LIGHT (87993), 42" HT. WITH A 6" DIAMETER, AND 3000K. BRONZE COLOR.

BOLLARD LIGHT (TYP.)

SCALE: NOT TO SCALE

NOTES:

- EXISTING AND PROPOSED SITE INFORMATION TAKEN FROM A DIGITAL AUTOCADD SITE PLAN SUPPLIED BY ROCCO V. D'ANDREA, INC.
- EXACT LOCATION OF PROPOSED PLANTINGS AND SPECIES TYPES MAY VARY FROM THIS PLAN BASED ON SITE PLAN REVISIONS AND/OR ACTUAL FIELD CONDITIONS.
- PLANT SPECIES SUBSTITUTIONS MAY BE MADE WITH THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT PRIOR TO PLANTING. SUBSTITUTED PLANTS SHALL BE AT AN EQUAL OR GREATER SIZE AS NOTED USING A SIMILAR TYPE PLANT.
- THIS PLAN FOR PLANTING PURPOSES ONLY. SEE PLANS BY OTHERS FOR ADDITIONAL INFORMATION.

NOTES (CONT.):

- PLANTING METHODS SHALL BE IN ACCORDANCE WITH THE "AMERICAN STANDARDS FOR NURSERY STOCK", LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- THE CONTRACTOR SHALL VERIFY WITH THE PROJECT ENGINEER THAT THE NEW PLANTINGS DO NOT INTERFERE WITH EXISTING AND/OR PROPOSED UTILITIES, SIGHT LINES, AND/OR STRUCTURES.
- SPRAY NEW PLANTINGS IMMEDIATELY AFTER INSTALLATION WITH A WHITE-TAILED DEER REPELLENT AND CONTINUE AS NEEDED TO MAINTAIN PLANTS FREE OF SIGNIFICANT DEER BROWSING.

REVISIONS:			DRAWING TITLE:
4	9.25.23	REV. STREET TREE CHART	LANDSCAPE PLAN
3	9.21.23	REV. SITE PLAN	
2	7.28.23	REV. PARKING	
1	7.18.23	ADD ADDITIONAL STREET TREES AND STREET TREE CHART	



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info@elsllc.net www.elsllc.net

SEAL:



DATE: 6.29.23

SCALE: 1"=10'

DRAWING NO.:

LP.1