

MAYOR  
**Caroline Simmons**



**CITY OF STAMFORD  
PLANNING BOARD  
LAND USE BUREAU**  
888 WASHINGTON BOULEVARD  
STAMFORD, CT 06904 - 2152

DIRECTOR OF OPERATIONS  
**Matthew Quiñones**

Land Use Bureau Chief  
**Ralph Blessing**

Principal Planner  
**Vineeta Mathur**  
(203) 977-4716  
[vmathur@stamfordct.gov](mailto:vmathur@stamfordct.gov)

Associate Planner  
**Lindsey Cohen**  
(203) 977-4388  
[lcohen@stamfordct.gov](mailto:lcohen@stamfordct.gov)

RECEIVED

SEP 20 2023

ZONING BOARD

September 20, 2023

Mr. David Stein, Chair  
City of Stamford  
Zoning Board  
888 Washington Boulevard  
Stamford, CT 06902

**RE: ZB APPLICATION #223-32 - NAUTILUS BOTAINCALS EJVI & SIMI ENT, LLC - 1110 EAST MAIN STREET - Special Permit**

Dear Mr. Stein & Members of the Zoning Board:

During its regularly scheduled meeting held on Tuesday, September 12, 2023, the Planning Board reviewed the above captioned application referred in accordance with the requirements of the Stamford Charter.

Applicant is seeking approval to operate a hybrid cannabis retail facility servicing both medical patients and adult-use consumers. Property is located within the C-N Zone.

Lisa Feinberg, Carmody Torrance Sandak Hennessey, LLP, representing the applicant, made a presentation and answered questions from the Board.

After a brief discussion, the Planning Board unanimously voted to recommended **approval** of **ZB Application #223-32** with the recommendation the majority of the sales upon opening be through online ordering and that this request is compatible with the neighborhood and consistent with Master Plan Category #7 (Commercial - Arterial) and supports Master Plan Strategy 3B.4: Encourage the reconfiguration of...retail space to accommodate market trends and potential new users.

Sincerely,

**STAMFORD PLANNING BOARD**

Theresa Dell, Chair

TD/lac

# CITY OF STAMFORD

MAYOR  
*CAROLINE SIMMONS*

DIRECTOR OF OPERATIONS  
*MATT QUINONES*  
Email: MQuinones@StamfordCT.gov



CITY ENGINEER  
*LOUIS CASOLO, JR., P.E.*  
Email: LCasolo@StamfordCT.gov

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## INTEROFFICE MEMORANDUM

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July 3, 2023

To: Vineeta Mathur Principal Planner

From: Susan Kisken P.E. - Coordinator of Site Plan Reviews and Inspections

**Subject:**

**1110 East Main Street - Nautilus Botanicals EJVI and SIMI ENT, LLC  
Zoning Application No. 223-32**

The Engineering Department has reviewed an application for Special Permit to allow a change in use to operate a hybrid cannabis retail facility at the location shown on the Plot Plan Prepared For Merida Capital Holdings 1110 East Main Street Stamford, Connecticut, revised 6/21/2023, by Edward J. Frattaroli, Inc.

The Engineering Department does not object to the change of use. However, in accordance with the City of Stamford Stormwater Drainage Manual, water quality improvements shall be provided in the existing parking areas.

Where a new or improved parking lot serves six (6) or more parking spaces, regardless of the amount of new impervious cover created, stormwater treatment practices shall be designed to remove 80% of the average annual post-construction load of Total Suspended Solids (TSS) and floatable debris for all anticipated flow rates calculated for the 25-year, 24-hour storm.

Where an applicant is seeking an approval or permit from the City of Stamford on a site where an existing parking lot contains six (6) or more parking spaces, regardless of the amount of new impervious cover created, stormwater treatment practices shall be designed to remove 80% of the average annual post-construction load of Total Suspended Solids (TSS) and floatable debris for all anticipated flow rates calculated for the 25-year, 24-hour storm to the extent feasible and at the discretion of the City of Stamford Engineering Bureau.

Prior to issuance of Building Permit, site plans shall be submitted to the Engineering Department for review and approval.

Should you have any questions, please call me at 977-6165.

Reg. No. 181

**From:** Seely, Walter <[WSeely@StamfordCT.gov](mailto:WSeely@StamfordCT.gov)>  
**Sent:** Wednesday, July 5, 2023 10:28 AM  
**To:** Mathur, Vineeta <[VMathur@StamfordCT.gov](mailto:VMathur@StamfordCT.gov)>  
**Cc:** Armstrong, Chad <[CArmstrong1@StamfordCT.gov](mailto:CArmstrong1@StamfordCT.gov)>  
**Subject:** Application 223-32 1110 East Main Street

Good Morning Vineeta

The FM office has no objections to the Application 223-32 for 1110 E Main Street.  
Sorry for the typo in the first email

Have a good day

*Walter (Bud) Seely*  
**Fire Marshal**  
**Stamford Fire Department**  
**Office of the Fire Marshal**  
**888 Washington Blvd. 7<sup>th</sup> Floor**  
**Stamford, CT. 06902**  
**203-977-4651**

Memo To: Vineeta Mathur, Principal Planner  
Zoning Board, Stamford

From: Pamela B. Fausty, Environmental Analyst  
Environmental Protection Board

Subject: Application 223-32 - 1110 East Main Street, Special Permit  
Nautilus Botanicals EJVI and SIMI ENT, LLC

Date: August 9, 2023

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Environmental Protection Board Staff has reviewed the aforementioned application and has no objection to the proposed activities given that they are limited to the interior of the existing building. The property does not contain flood hazard or other regulated areas and/or natural resources,

Should any site work and or drainage modification be required, submittal of a Site Development Plan including erosion controls will be required. Approval by the Stamford Engineering Bureau for compliance with Stamford's Drainage Manual will be required prior to EPB endorsement.

Thank you for the opportunity to comment.

CITY OF  
STAMFORD

MAYOR  
CAROLINE SIMMONS

TRANSPORTATION BUREAU CHIEF  
FRANK W. PETISE, P.E.  
Email: [fpetise@stamfordct.gov](mailto:fpetise@stamfordct.gov)

DIRECTOR OF OPERATIONS  
MATT QUINONES  
Email: [mquinones@stamfordct.gov](mailto:mquinones@stamfordct.gov)



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OFFICE OF OPERATIONS  
TRANSPORTATION, TRAFFIC & PARKING

Tel: (203) 977-5466/Fax: (203) 977-4004  
Government Center, 888 Washington Blvd., 7<sup>TH</sup> Floor, Stamford, CT 06901

**INTEROFFICE MEMORANDIUM**

TO: Zoning Board Office

FROM: Frank W. Petise, P.E.  
Transportation Bureau Chief

  
Luke Battenwieser  
Transportation Planner

DATE: October 16, 2023

RE: Zoning Board Application 223-32

Application #223-32

1110 East Main Street  
Nautilus Botanicals

The Transportation, Traffic & Parking Department (TTP) has reviewed the following documents:

- Zoning Board application received June 30, 2023;
- Project narrative;
- Traffic Study prepared by SLR dated June 22, 2023; and,
- Parking Lot Layout Plan prepared by SLR dated August 17, 2023.

The Department has reviewed this application and it does not appear to have an adverse impact on traffic and parking.



**APPLICANT** Nautilus Botanicals EJVI, LLC  
**ARCHITECT** ANNINO INCORPORATED  
 125 North Washington Street  
 North Attleboro, Massachusetts  
**CONSULTANT** INNOVATIVE  
 GROW TECHNOLOGIES  
 17 Wyassup Lake Road  
 North Stonington, Connecticut

# PROPOSED DISPENSARY

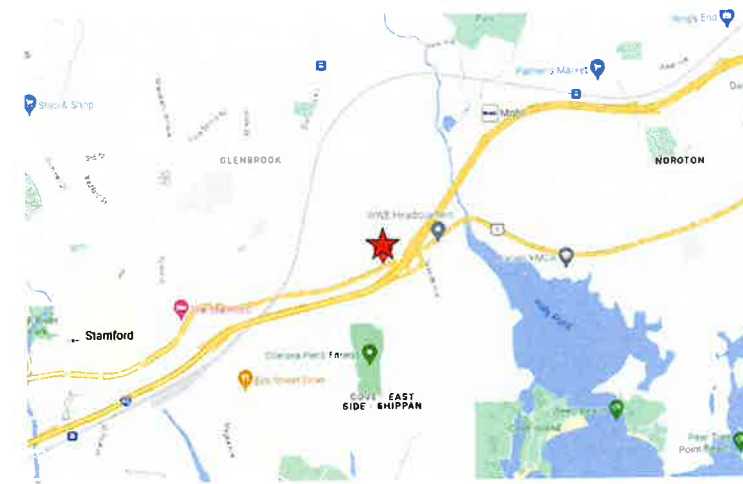
1110 East Main Street  
 Stamford, Connecticut

June 22, 2023

## INDEX OF DRAWINGS

- ARCHITECTURAL**  
 A1.1 PROPOSED FIRST FLOOR PLAN  
 A1.2 PROPOSED SECOND FLOOR PLAN  
 A1.1C PROPOSED COLOR CODED FIRST FLOOR PLAN  
 A1.2C PROPOSED COLOR CODED SECOND FLOOR PLAN  
 A2.1 PROPOSED FRONT EXTERIOR ELEVATION

## LOCUS MAP

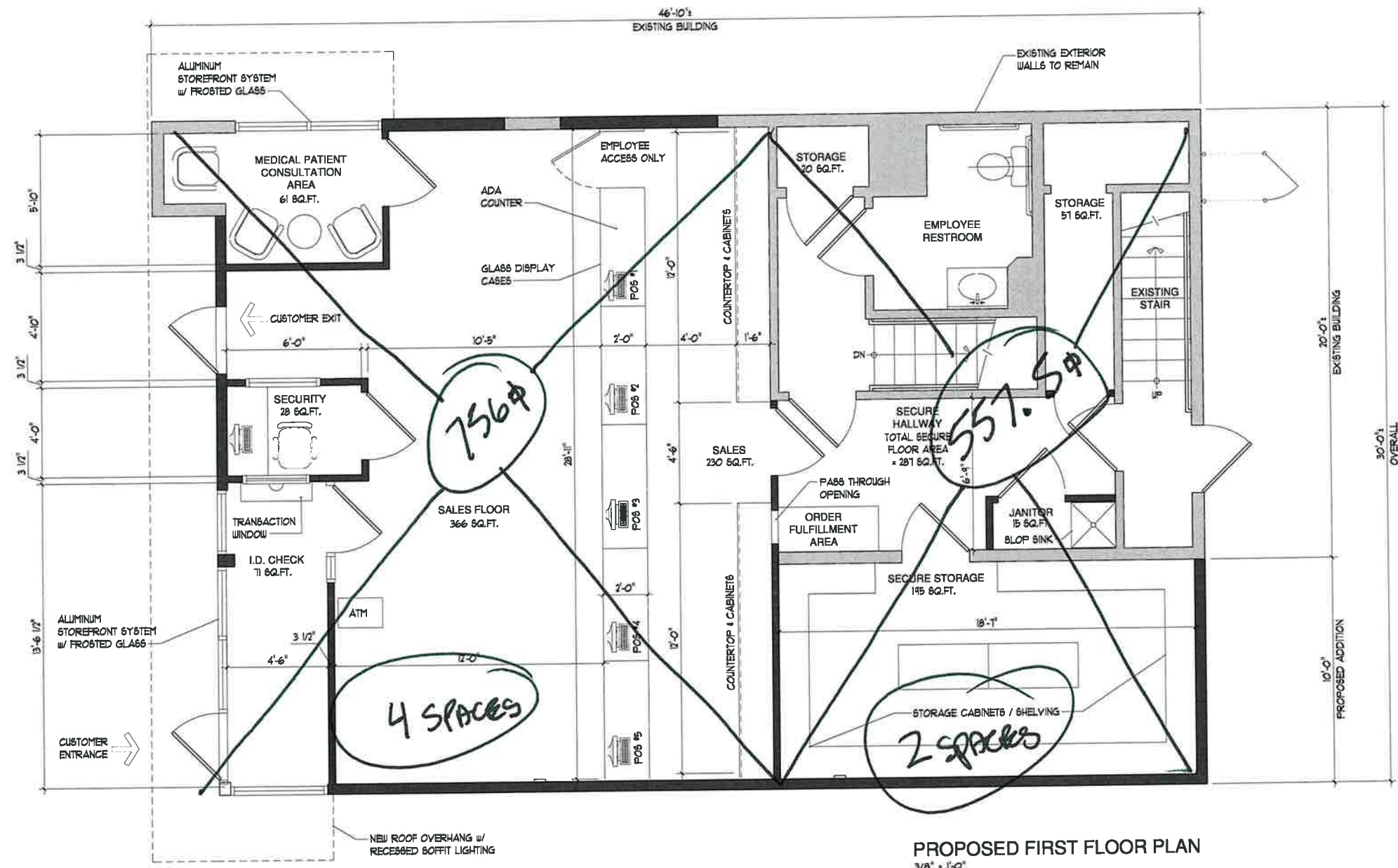


## SATELLITE MAP



Parking Req  
Retail 4 spaces  
Office 4 spaces  
-----  
Total spaces  
Required is  
8 spaces.

*[Handwritten signature]*



366  
28  
71  
61  
230  
-----  
756 · x 4 = 4  
1000

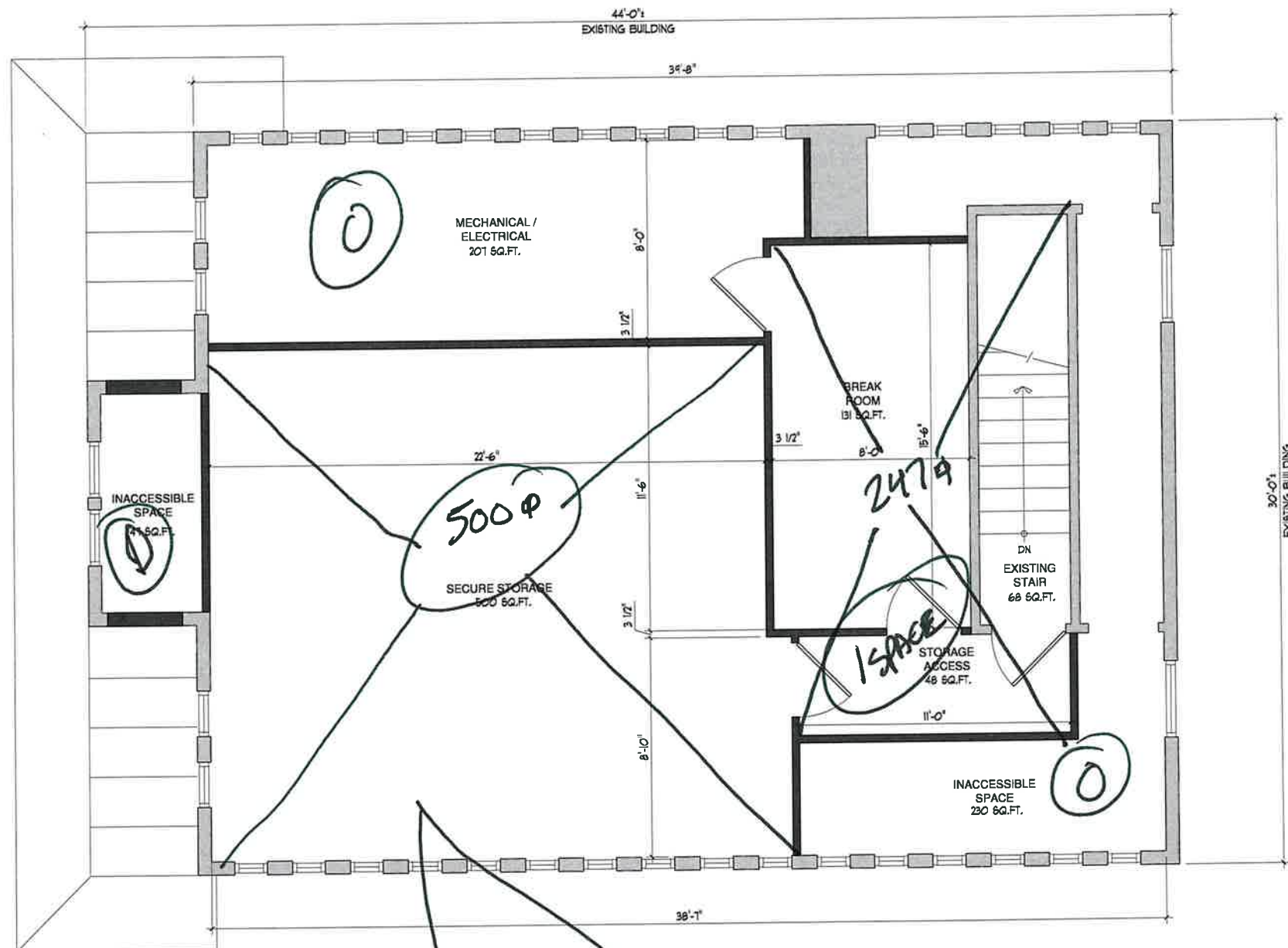
557.5  
247.0  
500.00  
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1304.5  
1000 x 3 = 3.9  
4

**ZONING ENFORCEMENT APPROVAL**  
For Submission To Zoning Board Of Appeals  
Sheet 1 of 2  
*[Signature]*  
Authorized Signature Date 11/8/23

TOTAL FIRST FLOOR = 1,330 SQ.FT.  
TOTAL FIRST FLOOR RETAIL = 1,043 SQ.FT.  
TOTAL FIRST & SECOND FLOOR AREA = 2,071 SQ.FT.  
REQUIRED PARKING FOR FIRST FLOOR = 5 PARKING SPACES

**APPROVED For Parking**  
City of Stamford  
Zoning Enforcement Officer  
*[Signature]*  
James J. Lunney, III, R.A. 11/8/23





131  
68  
48  
-----  
247

**ZONING ENFORCEMENT APPROVAL**  
For Submission To Zoning Board Of Appeals  
Sheet 2 of 2  
*[Signature]*  
Authorized Signature Date 11/8/23

TOTAL SECOND FLOOR • 1232 SQ.FT.  
TOTAL FLOOR AREA • 141 SQ.FT.  
REQUIRED PARKING FOR SECOND FLOOR • 1 PARKING SPACE

**APPROVED** For Parking  
City of Stamford  
Zoning Enforcement Officer  
*[Signature]*  
James J. Lunney III, R.A. 11/8/23

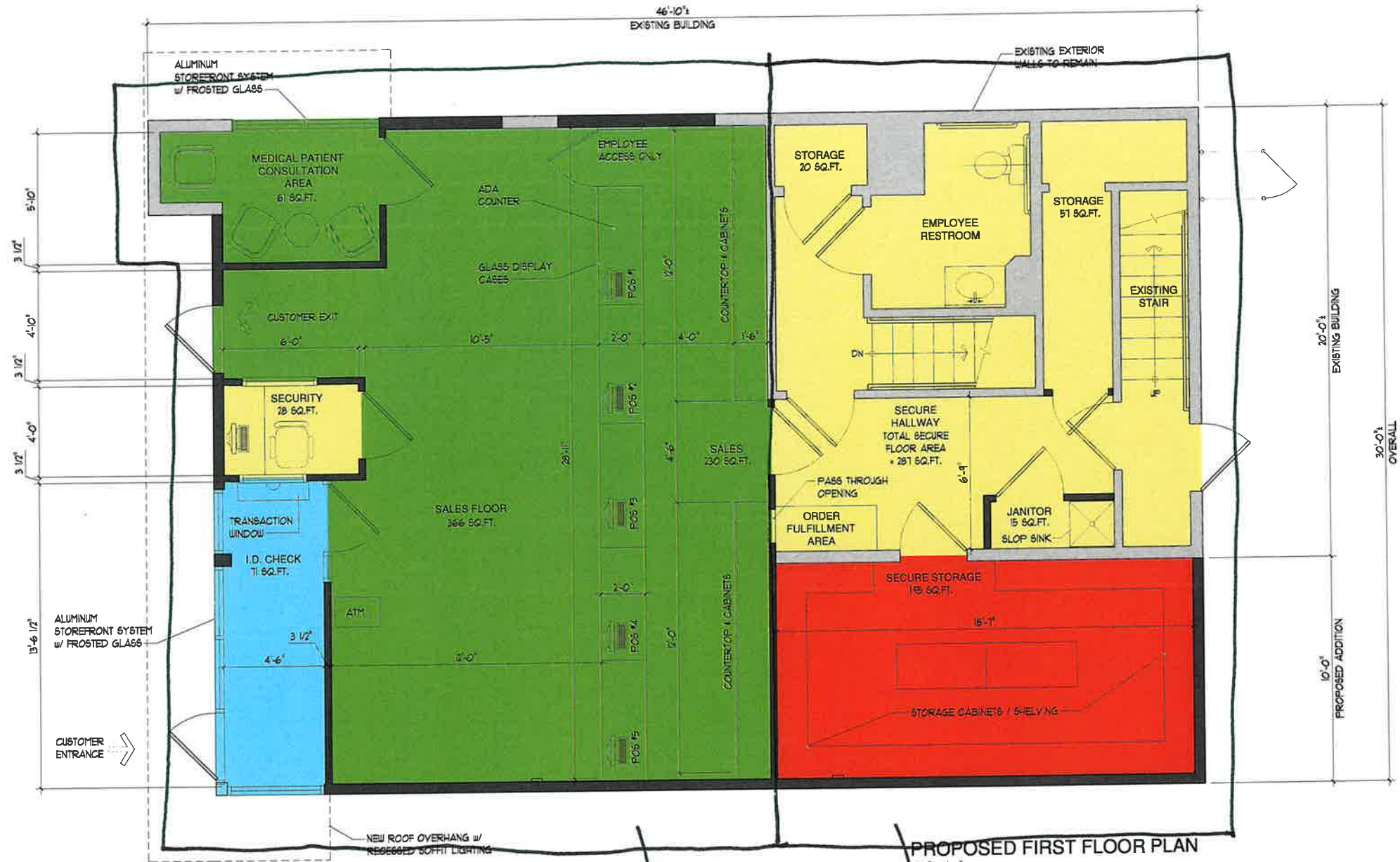
SECOND FLOOR PLAN  
3/8" = 1'-0"

① IF IT IS STORAGE AND USED ONCE OR TWICE A DAY  
① IF COMBINING FOR OFFICE SPACE NO CHANGE!



**COLOR KEY**

- PUBLIC
- OPERATIONS
- LIMITED ACCESS
- RESTRICTED ACCESS

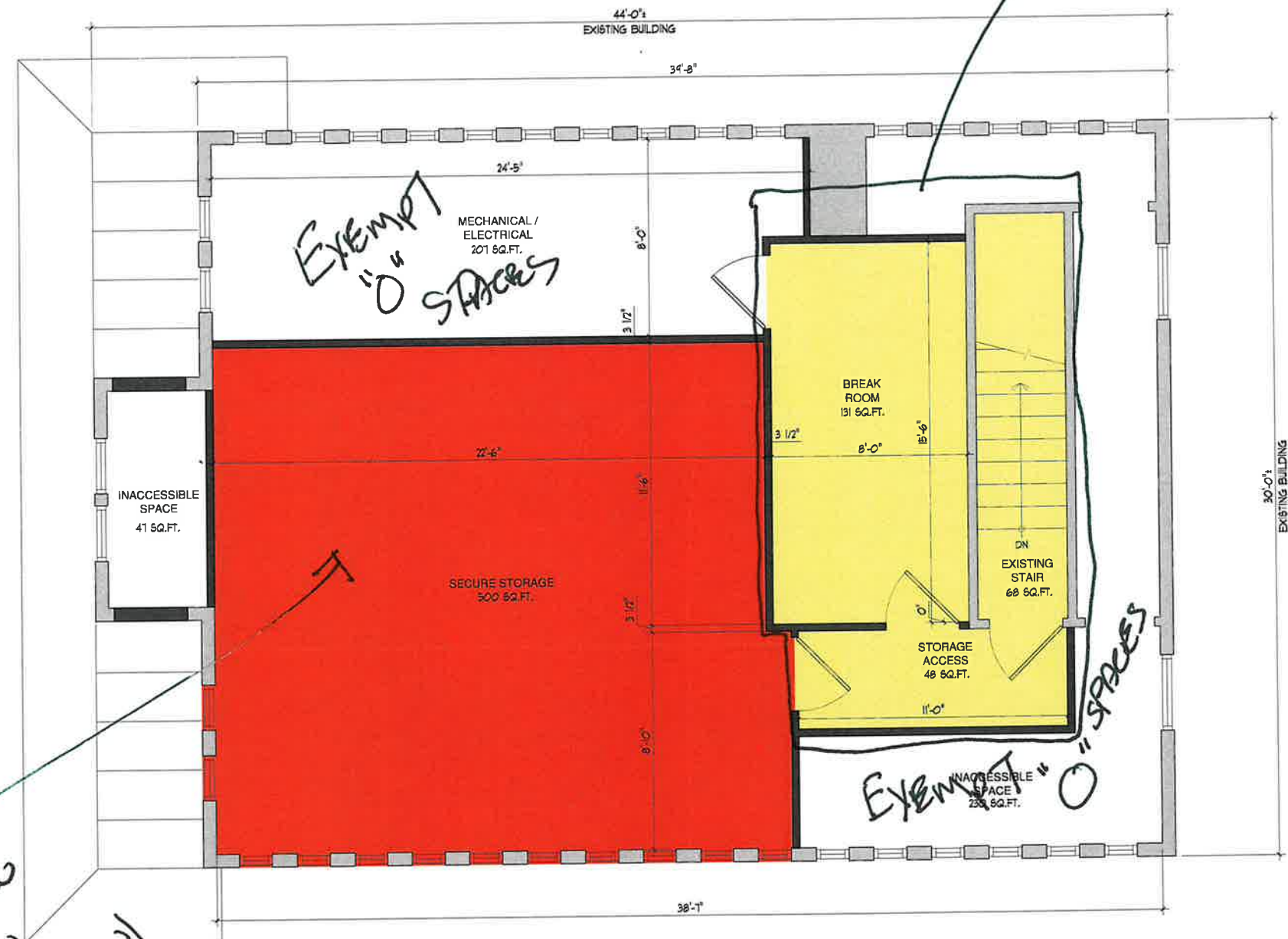


TOTAL FIRST FLOOR = 1,330 SQ.FT.  
 TOTAL FIRST FLOOR RETAIL = 1,043 SQ.FT.  
 TOTAL FIRST + SECOND FLOOR AREA = 2,071 SQ.FT.  
 REQUIRED PARKING FOR FIRST FLOOR = 5 PARKING SPACES

*Retail* | *4/1000 P*  
*Office* | *3/1000 P*

PROPOSED FIRST FLOOR PLAN  
 3/8" = 1'-0"

COLOR KEY	
<span style="display:inline-block; width:15px; height:15px; background-color:lightblue;"></span>	PUBLIC
<span style="display:inline-block; width:15px; height:15px; background-color:lightgreen;"></span>	OPERATIONS
<span style="display:inline-block; width:15px; height:15px; background-color:yellow;"></span>	LIMITED ACCESS
<span style="display:inline-block; width:15px; height:15px; background-color:red;"></span>	RESTRICTED ACCESS



Possibly  
3/1000 or  
1/2000 or  
Need more  
information  
on how  
room is  
used/when  
how often

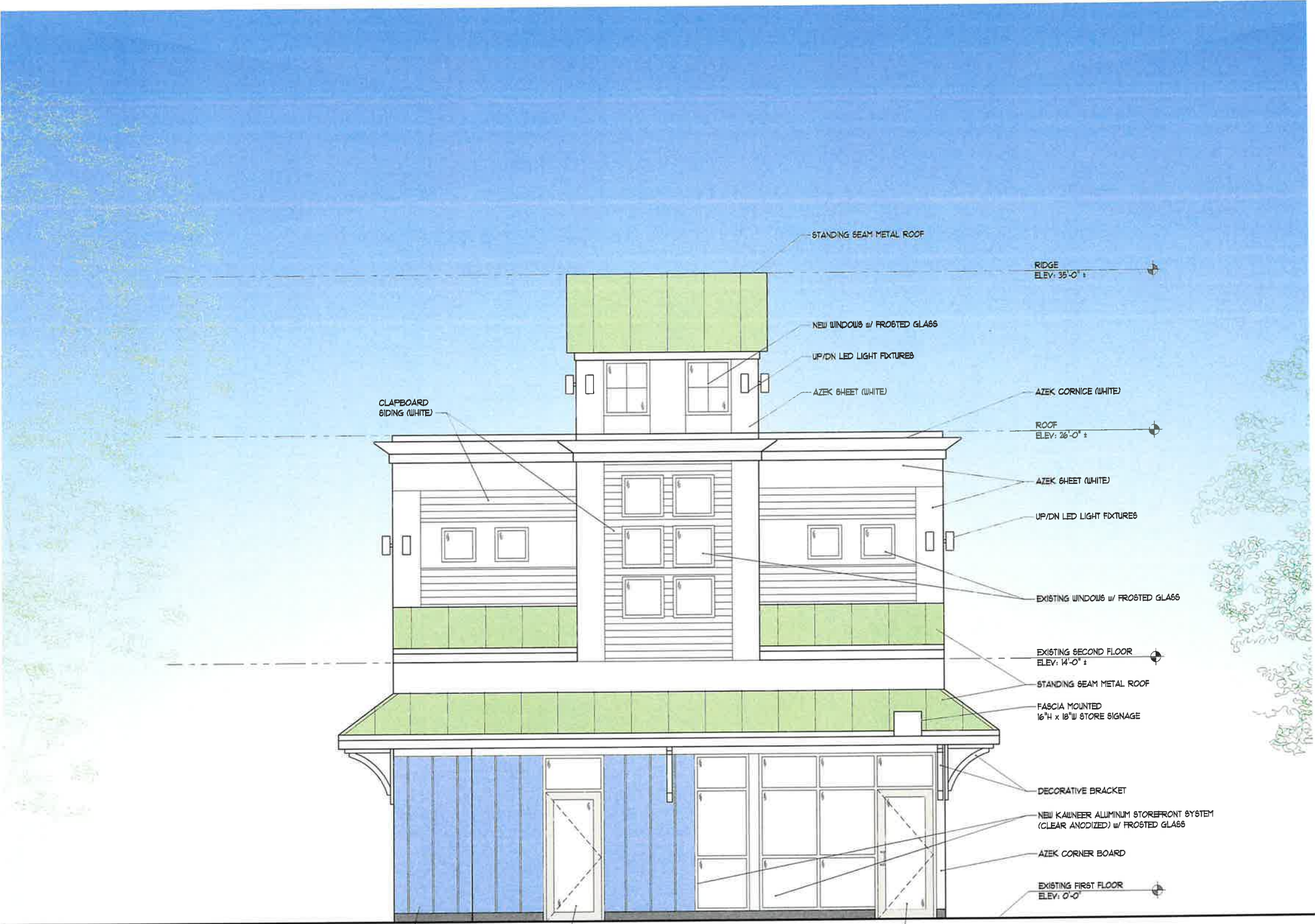
TOTAL SECOND FLOOR = 1232 SQ.FT.  
TOTAL FLOOR AREA = 141 SQ.FT.  
REQUIRED PARKING FOR SECOND FLOOR = 1 PARKING SPACE

SECOND FLOOR PLAN  
3/8" = 1'-0"

OFFICE  
3/1000 or

ISSUED:





PROPOSED FRONT ELEVATION (EAST MAIN ST. SIDE)  
3/8" = 1'-0"