

August 23, 2023

**VIA HAND & ELECTRONIC DELIVERY**

Ms. Vineeta Mathur  
Principal Planner, Land Use Bureau  
City of Stamford  
888 Washington Boulevard  
Stamford, CT 06901  
[VMathur@StamfordCT.gov](mailto:VMathur@StamfordCT.gov)

**Re: Revised Materials for Zoning Board Application #223-32 (the “Application”)**

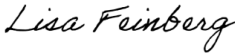
Dear Ms. Mathur:

As you know, on June 23, 2023, Nautilus Botanicals EJVI, LLC (“Nautilus”) and SIMI ENT, LLC submitted the above-captioned Application seeking Special Permit approval to operate a hybrid cannabis retailer at 1110 East Main Street (the “Property”). The Application was referred to the Transportation, Traffic, & Parking Department (“TTP”), which commented on the proposed layout of the parallel parking spaces on the Property. In response to these comments, Nautilus increased the width of the proposed parallel spaces from 8’ to 9’ and decreased their length from 21’ to 20’ to accommodate better vehicular and pedestrian circulation. Frank W. Petise, Transportation Bureau Chief, confirmed that the revised parking layout and circulation on the Property are acceptable to TTP.

In connection with these revisions, enclosed please find the following:

- One (1) full-size and twenty (20) reduced-size copies of the plan prepared by Edward J. Frattaroli, Inc., titled, “Plot Plan Prepared for Merida Capital Holdings,” dated May 22, 2023, revised to August 22, 2023; and
- E-mail from Frank W. Petise, dated August 21, 2023.

Please let me know if you have any questions or require additional materials. As always, thank you for your time and attention regarding this matter.

Very truly yours,  
  
Lisa L. Feinberg

Enclosures.

cc: R. Blessing  
Nautilus Botanicals EJVI, LLC

{S7518902;2}

C-N ZONE BUILDING SETBACK REQUIREMENTS

- Front Street Line Setback..... 15'
- Center Line Of Street Setback..... 40'
- Rear Yard Setback..... 20'
- Side Yard Setback..... 6' w/ Total of..... 12'
- Max. Building Coverage.....30% Of Lot Area

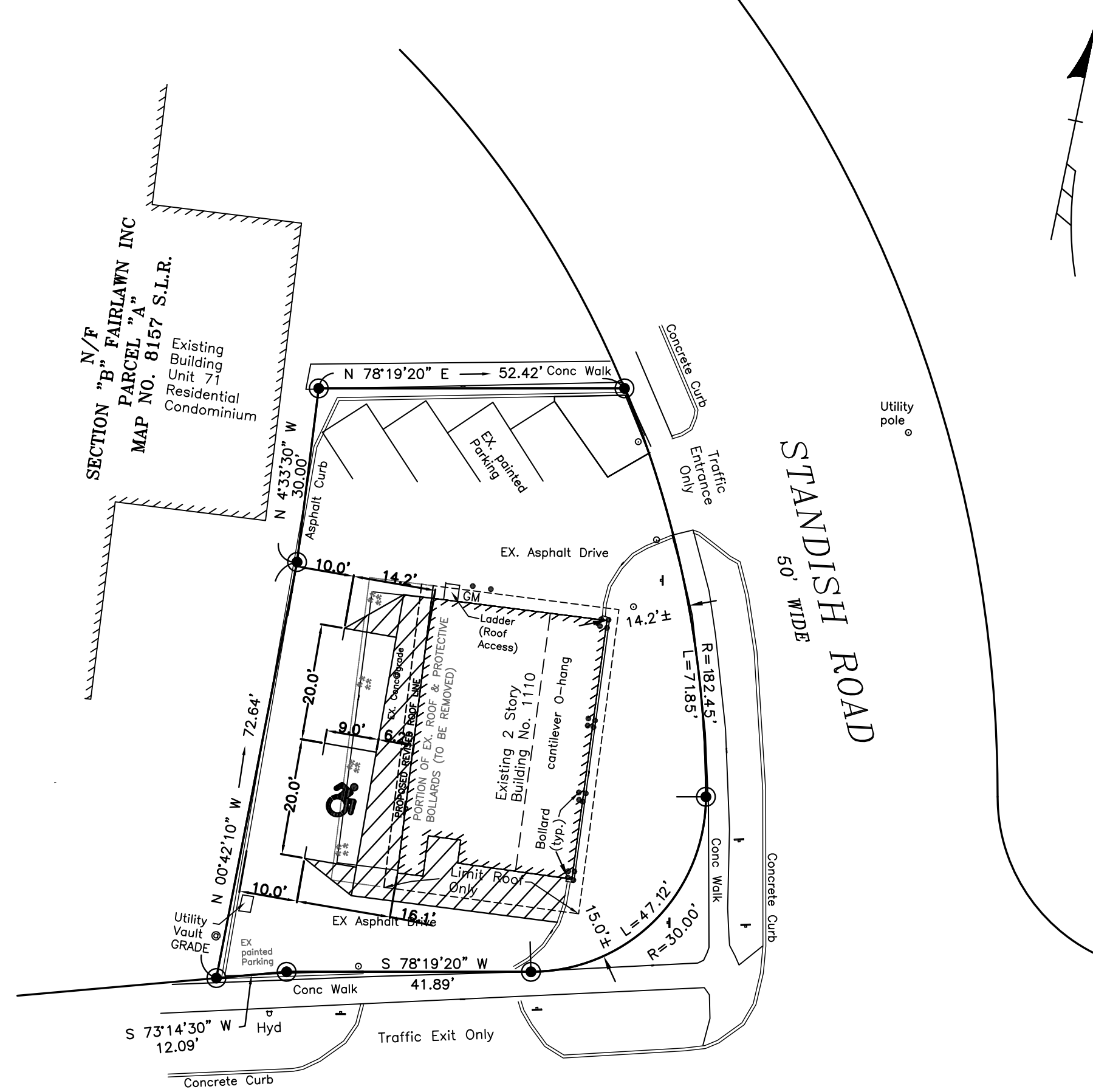
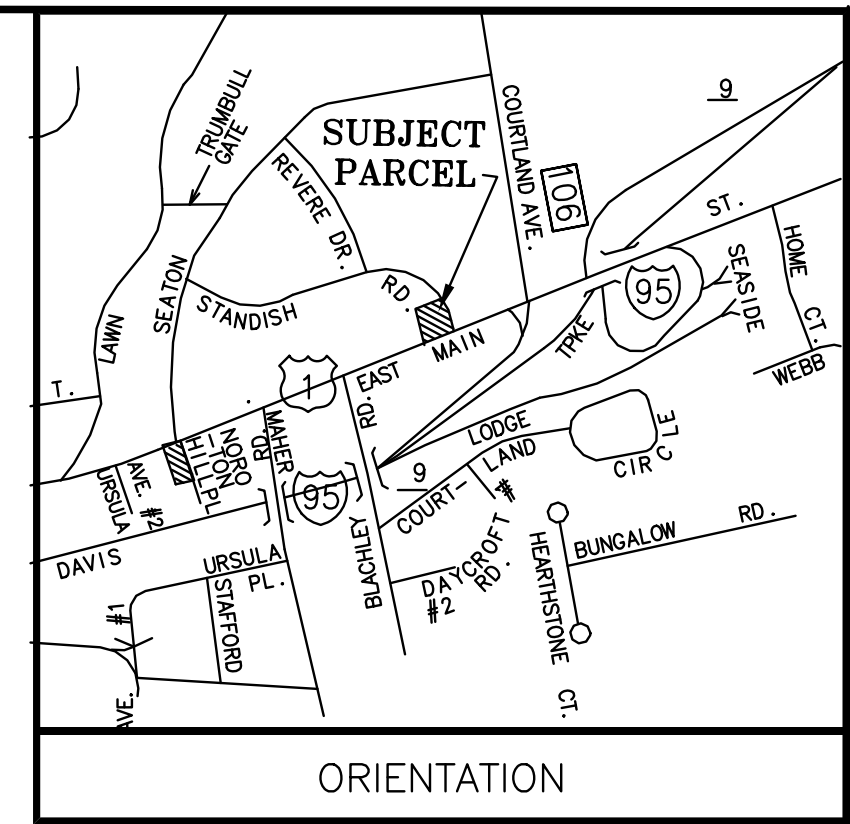
Zoning Information Is Subject To The Review And Approval By The Appropriate Governing Authority. Property Depicted is Corner lot, In any Business, Commercial or Industrial District, a building erected on a corner lot shall be required to comply with the front setback standard on all streets and shall comply with the rear yard setback standard for the lot line generally opposite the narrower street frontage. All other yards shall comply with the side yard setback standard. In the case of equal frontages the owner may designate which street line shall be the front lot line for the purpose of determining the rear lot line. (91-025)

LEGEND

Existing	
Stone Wall	
Concrete Wall	
Fence	X X
Catch Basin (In Curb)	
Catch Basin (Flush)	
Gas Box	GB
Gas Meter	GM
Electric Meter	EM
Water Box	WB
Monitoring Well	MW
Manhole	
Yard Drain	
Light Pole	
Sign	
Clean Out	CO
Metal Cover	MC

Property Lines Not Staked By Contractual Agreement  
Soil Types Not Delineated By Contractual Agreement

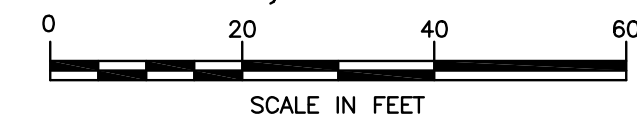
SIZE AND LOCATION OF EXISTING AND/OR PROPOSED DEVELOPMENT PROVIDED BY OTHERS. IT IS SUBJECT TO THE REVIEW AND APPROVAL BY THE APPROPRIATE GOVERNING AUTHORITIES



Notes:

- Underground utility, structure and facility locations depicted and noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or governmental agencies, from parcel testimony and from other sources. These locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to Edward J. Frattaroli, Inc. The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction.
- The contractor shall notify all public utility companies by calling Call-Before-You-Dig at 1-800-922-4455 at least 72 hours prior to crossing their lines.
- Property is Subject to Title Verification, rights, Easements, Restrictive Covenants, Agreements and Reservations. Refer to Volume 10282 Page 119 S.L.R. Reference is Hereby made to all Notes and Recorded Documents as they may pertain to the Subject Parcel Depicted on this map. No Abstract of Title Provided.
- SIZE AND LOCATION OF EXISTING AND/OR PROPOSED DEVELOPMENT PROVIDED BY SLR International Corporation. IT IS SUBJECT TO THE REVIEW AND APPROVAL BY THE APPROPRIATE GOVERNING AUTHORITIES

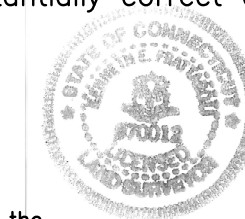
PLOT PLAN  
PREPARED FOR  
MERIDA CAPITAL HOLDINGS  
1110 EAST MAIN STREET  
STAMFORD, CONNECTICUT



This survey and map has been prepared in accordance with Section 20-300b-1 thru 20-300b-20 of the Regulation of Connecticut State Agencies—"Minimum Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a "ZONING LOCATION SURVEY" based on a "DEPENDENT RESURVEY" conforming to horizontal Accuracy Class "A-2" and intended to be used for Compliance and Noncompliance with Existing Requirements.

To my knowledge and belief this plan is substantially correct as noted hereon.

REVISED MAY 26, 2023 (PROPOSED DEVELOPMENT)  
REVISED JUNE 21, 2023 (PROPOSED DEVELOPMENT)  
REVISED AUGUST 22, 2023 (PROPOSED DEVELOPMENT)



BY: *Edward J. Frattaroli*

This Document and Copies Thereof are Valid only if they bear the signature and embossed seal of the designated licensed professional. Unauthorized alterations render any declaration hereon null and void.

FOR: EDWARD J. FRATTAROLI, INC.  
Land Surveyors · Engineers · Land Planners  
STAMFORD, CONNECTICUT MAY 22, 2023

Refer To:  
PARCEL B  
Map No. 8157 S.L.R.  
Lot Area = 6,926 SQ FT Fig (0.159 ACRES-MAP)  
EXISTING BUILDING INCLUSIVE OF CANT O-HANG & ROOF ONLY COVERS 32.5% OF LOT AREA  
EXISTING BUILDING INCLUSIVE OF CANT O-HANG & ROOF ONLY COVERS 25.6% OF LOT AREA  
(EXCLUSIVE OF PORTION OF ROOF TO BE REMOVED)

Scale 1"=20'

**From:** [Petise, Frank](#)  
**To:** [Lisa L. Feinberg](#)  
**Cc:** [Buttenwieser, Luke](#); [Mathur, Vineeta](#); [Daniel C. Chapple](#)  
**Subject:** [EXTERNAL] Re: Nautilus - 1110 E Main Street Appl. 223-32  
**Date:** Monday, August 21, 2023 5:18:46 PM

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Hi Lisa,

The Parking Layout Plan by SLR dated August 17, 2023 is acceptable to TTP for the parking layout and circulation.

Thanks,  
Frank

**Frank W. Petise, P.E.**

*Transportation Bureau Chief*  
City of Stamford  
Transportation, Traffic & Parking  
ph: 203-977-4124  
m: 475-359-1729  
[fpetise@stamfordct.gov](mailto:fpetise@stamfordct.gov)

See an issue? Let us know and track the progress.  
[www.stamfordct.gov/Fixit](http://www.stamfordct.gov/Fixit)

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**From:** Lisa L. Feinberg <[LFeinberg@carmodylaw.com](mailto:LFeinberg@carmodylaw.com)>  
**Sent:** Monday, August 21, 2023 5:02 PM  
**To:** Petise, Frank <[FPetise@StamfordCT.gov](mailto:FPetise@StamfordCT.gov)>  
**Cc:** Buttenwieser, Luke <[LButtenwieser@StamfordCT.gov](mailto:LButtenwieser@StamfordCT.gov)>; Mathur, Vineeta <[VMathur@StamfordCT.gov](mailto:VMathur@StamfordCT.gov)>; Daniel C. Chapple <[DChapple@carmodylaw.com](mailto:DChapple@carmodylaw.com)>  
**Subject:** Nautilus - 1110 E Main Street Appl. 223-32

Frank,

Thanks again for your time last week. As discussed, attached is a revise parking layout and circulation exhibit depicting two (2) parallel parking spaces, each 9x20. Pursuant to FN 1 of Table 12.5, we are requesting reasonable accommodations for ADA accessibility. If you agree with this parking configuration and traffic circulation, I kindly request that you confirm same by replying all to this email.

Many thanks,  
Lisa

**Lisa L. Feinberg** | [Bio](#)  
**Carmody Torrance Sandak & Hennessey LLP**  
1055 Washington Blvd., 4th Floor | Stamford, CT 06901-2218  
Direct: [203-252-2677](tel:203-252-2677) | Fax: [203-325-8608](tel:203-325-8608)

[LFeinberg@carmodylaw.com](mailto:LFeinberg@carmodylaw.com) | [www.carmodylaw.com](http://www.carmodylaw.com)

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