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Matthew Quiñones

Land Use Bureau Chief
Ralph Blessing

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Associate Planner
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lcohen@stamfordct.gov

**CITY OF STAMFORD
ZONING BOARD
LAND USE BUREAU**
888 WASHINGTON BOULEVARD
STAMFORD, CT 06904 -2152

RECEIVED

November 2, 2023

Ms. Theresa Dell, Chair, Planning Board
Land Use Bureau, City of Stamford
888 Washington Blvd.
Stamford, CT 06904

NOV 2 2023

PLANNING BOARD

RE: Application 223-43 -375 Fairfield Avenue Associates, 375 Fairfield Ave, Stamford CT – Site and Architectural Plans and/or Requested Uses, Special Permit –

Applicant is proposing to construct two (2) new warehouse/flex industrial/commercial buildings on the property. Proposed Building A will be (3) stories and approximately 54,156±. Proposed Building B will be (1) story and will be approximately 39,980±. The property is located within the M-G (General Industrial) zoning district.


Dear Ms. Dell:

In accordance with Section C6-40-10 of the Charter of the City of Stamford, the above captioned Applications for a Site and Architectural Plans and/or Requested Uses and a Special Permit are hereby referred to the Planning Board of the City of Stamford for its advisory report.

A public hearing has not yet been scheduled. Referral comments should be filed with the Zoning Board Office by **December 7, 2023**.

If you have any questions, please feel free to contact me at (203) 977-4716.

Sincerely,


Vineeta Mathur
Principal Planner

October 20, 2023

VIA HAND & ELECTRONIC DELIVERY

Ms. Vineeta Mathur
Principal Planner, Land Use Bureau
City of Stamford
888 Washington Boulevard
Stamford, CT 06901
VMathur@StamfordCT.gov

**Re: Site Plan and Special Permit Application
375 Fairfield Avenue, Stamford, CT (Parcel ID 001-3193)
375 Fairfield Avenue Associates**

Dear Ms. Mathur:

Our firm represents 375 Fairfield Avenue Associates (the “Applicant”), the owner of 375 Fairfield Avenue, Stamford, CT (the “Property”). The Property is located in the General Industrial (M-G) zone and Master Plan Category 13 (Industrial – General). It is 9.38± acres and improved with eight (8) buildings with a total of 176,714± sf of floor area.

The Applicant proposes to construct two (2) new warehouse/flex industrial/commercial buildings on the Property. Proposed Building A will consist of three (3) stories and contain approximately 54,156± square feet of warehouse/flex industrial/commercial space. Approximately 1,044± sf of additional floor area will be built to accommodate a fast casual food service tenant that is complementary to the anticipated use. Proposed Building B will consist of a one (1) story, including an optional mezzanine, and contain approximately 39,980± square feet of warehouse/flex industrial/commercial space. To facilitate this proposal, the Applicants request from the Zoning Board (1) site plan approval and (2) special permit approval of a large scale development.

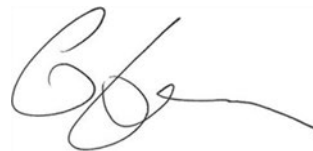
In connection with the application, enclosed please find:

- Letter of Authority from the Applicant;
- Application fees in the amount of \$3,740, representing the application filing and public hearing fees;
- Twenty-one (21) copies of the following application forms and associated schedules:
 - Application for Site Plan Approval;
 - Application for Special Permit Approval;
 - Schedule A – List of Plans;

- Schedule B – Project Narrative;
- Schedule C – Statement of Findings;
- Schedule D – Property Description;
- Schedule E – Zoning Data Chart; and
- Schedule F – Existing Zoning Map and Aerial Photo of Property;
- Eight (8) full-size and thirteen (13) reduced-size copies of the following plans:
 - Architectural Plans prepared by Jason Little Architects, PLLC, dated October 4, 2023, with the plan titles listed on Schedule A;
 - Civil Plans prepared by D’Andrea Surveying & Engineering, P.C., dated October 4, 2023, with the plan titles listed on Schedule A;
 - Zoning Location Survey prepared by D’Andrea Surveying & Engineering, P.C., dated October 4, 2023, entitled “Zoning Location Survey;”
 - Average Grade Worksheet prepared by D’Andrea Surveying & Engineering, P.C., dated October 4, 2023, with the plan titles listed on Schedule A; and
 - Landscape Plan prepared by Environmental Land Solutions, LLC, dated October 9, 2023, with the plan titles listed on Schedule A;
- Three (3) copies of the Drainage Study prepared by D’Andrea Surveying & Engineering, P.C., dated October 4, 2023, entitled “Drainage Summary Report;”
- Nine (9) copies of the Traffic Impact Study prepared by SLR International Corporation, dated October 20, 2023, entitled “Traffic Impact Study;”¹ and
- Twenty-one (21) copies of the first submission of the Stamford Sustainability Scorecard.

Please let me know if you have any questions or require additional materials. As always, thank you for your time and attention regarding this matter.

Sincerely,



William J. Hennessey, Jr.

Enclosures.

cc: R. Blessing
375 Fairfield Avenue Associates
Jason Little Architects, PLLC
D’Andrea Surveying & Engineering, P.C.
Environmental Land Solutions, LLC
SLR International Corporation

¹A Parking and Traffic Demand Management Plan prepared by SLR International Corporation will be provided under separate cover.

October 20, 2023

VIA HAND & ELECTRONIC DELIVERY

Ms. Lindsey Cohen
Associate Planner, Land Use Bureau
City of Stamford
888 Washington Boulevard
Stamford, CT 06901
LCohen@StamfordCT.gov

**Re: Request to be Heard by Planning Board
Site Plan and Special Permit Application
375 Fairfield Avenue, Stamford, CT (Parcel ID 001-3193)
375 Fairfield Avenue Associates**

Dear Ms. Cohen:

Our firm represents 375 Fairfield Avenue Associates (the “Applicant”), the owner of 375 Fairfield Avenue, Stamford, CT (the “Property”). The Property is located in the General Industrial (M-G) zone and Master Plan Category 13 (Industrial – General). It is 9.38± acres and improved with eight (8) buildings with a total of 176,714± sf of floor area.

The Applicant proposes to construct two (2) new warehouse/flex industrial/commercial buildings on the Property. Proposed Building A will consist of three (3) stories and contain approximately 54,156± square feet of warehouse/flex industrial/commercial space. Approximately 1,044± sf of additional floor area will be built to accommodate a fast casual food service tenant that is complementary to the anticipated use. Proposed Building B will consist of a one (1) story, including an optional mezzanine, and contain approximately 39,980± square feet of warehouse/flex industrial/commercial space. To facilitate this proposal, the Applicants request from the Zoning Board (1) site plan approval and (2) special permit approval of a large scale development.

Enclosed please find additional copies of the following application materials to provide to the Planning Board:

- Eight (8) copies of the following application forms and associated schedules:
 - Application for Site Plan Approval;
 - Application for Special Permit Approval;
 - Schedule A – List of Plans;
 - Schedule B – Project Narrative;
 - Schedule C – Statement of Findings;
 - Schedule D – Property Description;
 - Schedule E – Zoning Data Chart; and

- Schedule F – Existing Zoning Map and Aerial Photo of Property;
- Eight (8) reduced-size copies of the following plans:
 - Architectural Plans prepared by Jason Little Architects, PLLC, dated October 4, 2023, with the plan titles listed on Schedule A;
 - Civil Plans prepared by D’Andrea Surveying & Engineering, P.C., dated October 4, 2023, with the plan titles listed on Schedule A;
 - Zoning Location Survey prepared by D’Andrea Surveying & Engineering, P.C., dated October 4, 2023, entitled “Zoning Location Survey;”
 - Average Grade Worksheet prepared by D’Andrea Surveying & Engineering, P.C., dated October 4, 2023, with the plan titles listed on Schedule A; and
 - Landscape Plan prepared by Environmental Land Solutions, LLC, dated October 9, 2023, with the plan titles listed on Schedule A.

I have also submitted electronic copies of the following materials:

- Drainage Study prepared by D’Andrea Surveying & Engineering, P.C., dated October 4, 2023, entitled “Drainage Summary Report;”
- Traffic Impact Study prepared by SLR International Corporation, dated October 20, 2023, entitled “Traffic Impact Study;”¹ and
- The first submission of the Stamford Sustainability Scorecard.

We look forward to advice as to when the Planning Board will consider this proposal. At that time, I kindly ask that members of our development team and I be given an opportunity to briefly describe the proposal. Please contact me should you have any questions. As always, thank you for your time and attention regarding this matter.

Sincerely,



William J. Hennessey, Jr.

Enclosures.

cc: R. Blessing
375 Fairfield Avenue Associates
Jason Little Architects, PLLC
D’Andrea Surveying & Engineering, P.C.
Environmental Land Solutions, LLC
SLR International Corporation

¹A Parking and Traffic Demand Management Plan prepared by SLR International Corporation will be provided under separate cover.



APPLICATION FOR APPROVAL OF SITE & ARCHITECTURAL PLANS AND / OR REQUESTED USES

Complete, notarize, and forward **thirteen (13) hard copies and one (1) electronic copy in PDF format** to Clerk of the Zoning Board with a **\$1,000.00 Public Hearing Fee** and the required application filing fee (see **Fee Schedule below**), payable to the City of Stamford.

NOTE: Cost of required Public Hearing advertisements are payable by the Applicant and performance of required mailing to surrounding property owners is the sole responsibility of the applicant. **LAND RECORDS RECORDING FEE:** \$60.00 for First page - \$5.00 for each additional page)

Fee Schedule –WITHOUT GDP

Site Plans 20,000 sq. ft. or less of building area application fee –without GDP	\$460.00
Site Plans more than 20,000 sq. ft. of building area-application Fee –without GDP	\$460.00 + \$30 per 1,000 sq. ft. or portion thereof in excess of 20,000 sq. ft.

Fee Schedule –WITH GDP

Site Plans 20,000 sq. ft. or less of building area application fee –with GDP.	\$260.00
Site Plans more than 20,000 sq. ft. of building area-application Fee –with GDP.	\$260.00 + \$10 per 1,000 sq. ft. or portion thereof in excess of 20,000 sq. ft.

APPLICANT NAME (S): 375 Fairfield Avenue Associates
 c/o Agent: William J. Hennessey, Carmody Torrance Sandak & Hennessey LLP, 1055 Washington Blvd., 4th Fl., Stamford, CT 06901

APPLICANT ADDRESS: _____

APPLICANT PHONE #: c/o Agent: William J. Hennessey, Carmody Torrance Sandak & Hennessey LLP, (203) 425-4200

IS APPLICANT AN OWNER OF PROPERTY IN THE CITY OF STAMFORD? Yes

LOCATION OF PROPERTY IN STAMFORD OWNED BY APPLICANT (S): 375 Fairfield Avenue

ADDRESS OF SUBJECT PROPERTY: 375 Fairfield Avenue

PRESENT ZONING DISTRICT: M-G

TITLE OF SITE PLANS & ARCHITECTURAL PLANS: See Schedule A

REQUESTED USE: Warehouse/Industrial and Restaurant, Carry-Out, consistent with the uses allowed in the M-G Zone

LOCATION: (Give boundaries of land affected, distance from nearest intersecting streets, lot depths and Town Clerk's Block Number)

See Schedule D

NAME AND ADDRESS OF OWNERS OF ALL PROPERTY INVOLVED IN REQUEST:

<u>NAME & ADDRESS</u>	<u>LOCATION</u>
375 Fairfield Avenue Associates PO BOX 110422 STAMFORD, CT 06911-0422	375 Fairfield Avenue

DOES ANY PORTION OF THE PREMISES AFFECTED BY THIS APPLICATION LIE WITHIN 500 FEET OF THE BORDER LINE WITH GREENWICH, DARIEN OR NEW CANAAN? No (If yes, notification must be sent to Town Clerk of neighboring community by registered mail within 7 days of receipt of application – PA 87-307).

DOES THE PROJECT RESULT IN THE CREATION OF 10 OR MORE UNITS OR 10,000 SF OR MORE IN FLOOR AREA OR DISTURBANCE OF 20,000 SF OR MORE IN LAND AREA, THROUGH NEW DEVELOPMENT, RECONSTRUCTION, ENLARGEMENT OR SUBSTANTIAL ALTERATIONS? Yes (If yes, then complete the Stamford Sustainability Scorecard per Section 15.F).



DATED AT STAMFORD, CONNECTICUT, THIS 20th DAY OF October 2023

SIGNED: [Signature]
William J. Hennessey, Jr

NOTE: The application cannot be scheduled for public hearing until 35 days have elapsed from the date of referral to the Stamford Planning Board. If applicant wishes to withdraw the application, this must be done in writing, and be received by the Zoning Board at least three (3) working days prior to public hearing in order to provide sufficient time to publicize the withdrawal. Applications withdrawn less than three (3) days prior to a schedule hearing date will not be rescheduled within 90 days.

STATE OF CONNECTICUT ss STAMFORD October 20 2023

COUNTY OF FAIRFIELD
 Personally appeared William J. Hennessey, Jr., signer of the foregoing application, who made oath to the truth of the contents thereof, before me.

[Signature]
Daniel Chapple Notary Public - Commissioner of the Superior Court

FOR OFFICE USE ONLY

APPL. #: 223-43 Received in the office of the Zoning Board: Date: _____

By: _____

Revised 9/02/20



APPLICATION FOR SPECIAL PERMIT

Complete, notarize, and forward **thirteen (13) hard copies and (1) electronic copy in PDF format** to Clerk of the Zoning Board with a **\$1,000.00 Public Hearing Fee** and the required application filling fee (**see Fee Schedule below**), payable to the City of Stamford.

NOTE: Cost of required advertisements are payable by the Applicant and performance of required mailing to surrounding property owners is the sole responsibility of the applicant. **LAND RECORDS RECORDING FEE:** \$60.00 for First page - \$5.00 for each additional page)

Fee Schedule

Special Permit 20,000 sq. ft. or less	\$460.00
Special Permit more than 20,000 sq. ft.	\$460.00 + \$30 per 1,000 sq. ft. or portion thereof in excess of 20,000 sq. ft.

APPLICANT NAME (S): 375 Fairfield Avenue Associates
 c/o Agent: William J. Hennessey, Carmody Torrance Sandak & Hennessey LLP, 1055 Washington Blvd., 4th Fl., Stamford, CT 06901

APPLICANT ADDRESS: _____
 c/o Agent: William J. Hennessey, Carmody Torrance Sandak & Hennessey LLP, (203) 425-4200

APPLICANT PHONE #: _____

IS APPLICANT AN OWNER OF PROPERTY IN THE CITY OF STAMFORD? Yes

LOCATION OF PROPERTY IN STAMFORD OWNED BY APPLICANT (S): 375 Fairfield Avenue

ADDRESS OF SUBJECT PROPERTY: 375 Fairfield Avenue

PRESENT ZONING DISTRICT: M-G

TITLE OF SITE PLANS & ARCHITECTURAL PLANS: See Schedule A

REQUESTED SPECIAL PERMIT: (Attach written statement describing request)
Approval of a Large Scale Development - See Schedules B and C

LOCATION: (Give boundaries of land affected, distance from nearest intersecting streets, lot depths and Town Clerk's Block Number)
See Schedule D

NAME AND ADDRESS OF OWNERS OF ALL PROPERTY INVOLVED IN REQUEST:

<u>NAME & ADDRESS</u>	<u>LOCATION</u>
375 Fairfield Avenue Associates PO BOX 110422 STAMFORD, CT 06911-0422	375 Fairfield Avenue

DOES ANY PORTION OF THE PREMISES AFFECTED BY THIS APPLICATION LIE WITHIN 500 FEET OF THE BORDER LINE WITH GREENWICH, DARIEN OR NEW CANAAN? No (If yes, notification must be sent to Town Clerk of neighboring community by registered mail within 7 days of receipt of application – PA 87-307).

DOES THE PROJECT RESULT IN THE CREATION OF 10 OR MORE UNITS OR 10,000 SF OR MORE IN FLOOR AREA OR DISTURBANCE OF 20,000 SF OR MORE IN LAND AREA, THROUGH NEW DEVELOPMENT, RECONSTRUCTION, ENLARGEMENT OR SUBSTANTIAL ALTERATIONS? Yes (If yes, then complete the Stamford Sustainability Scorecard per Section 15.F).



DATED AT STAMFORD, CONNECTICUT, THIS 20 DAY OF October 2023

SIGNED: [Signature]
William J. Hennessey, Jr.

NOTE: Application cannot be scheduled for Public Hearing until 35 days have elapsed from the date of referral to the Stamford Planning Board. If applicant wishes to withdraw application, please notify the Zoning Board at least three (3) days prior to Public Hearing so that the Board may have sufficient time to publicize the withdrawal.

STATE OF CONNECTICUT
 ss STAMFORD October 20 2023

COUNTY OF FAIRFIELD
 Personally appeared William J. Hennessey, Jr. signer of the foregoing application, who made oath to the truth of the contents thereof, before me.

[Signature]
Daniel Chapple Notary Public - Commissioner of the Superior Court

FOR OFFICE USE ONLY

APPL. #: 223-43 Received in the office of the Zoning Board: Date: _____

By: _____

Revised 09/02/2020

Schedule A
List of Plans

- Architectural Plans prepared by Jason Little Architects, PLLC, dated October 4, 2023, entitled:
 - “A-1: Cover Sheet;”
 - “A-2: Sketch Renderings – Building A;”
 - “A-3: Sketch Renderings – Building B;”
 - “A-4: Material Selections;”
 - “A-5: Bldg. A – Exterior Elevations;”
 - “A-6: Bldg. B – Exterior Elevations;”
 - “A-7: Building Sections;”
 - “A-8: Bldg. A – Cellar Plan;”
 - “A-9: Bldg. A – 1st Floor Plan;”
 - “A-10: Bldg. A – 2nd Floor Plan;”
 - “A-11: Bldg. A – 3rd Floor Plan;”
 - “A-12: Bldg. A – Roof Plan;”
 - “A-13: Bldg. B – 1st Floor & Mezzanine Plan;” and
 - “A-14: Bldg. B – Roof Plan;”
- Civil Plans prepared by D’Andrea Surveying & Engineering, P.C., dated October 4, 2023, entitled:
 - “Topographic Survey – ‘Existing Conditions’;”
 - “C-1.1: Building ‘A’ Site Grading Plan;”
 - “C-1.2: Building ‘B’ Site Grading Plan;”
 - “C-2.1: Building ‘A’ Drainage and Utility Plan;”
 - “C-2.2: Building ‘B’ Drainage and Utility Plan;”
 - “C-3.1: Building ‘A’ Sedimentation and Erosion Control Plan;”
 - “C-3.2: Building ‘B’ Sedimentation and Erosion Control Plan;”
 - “C-4.1: Notes and Details;”
 - “C-4.2: Details;” and
 - “C-5.0: Low-Impact Development Plan;”
- Zoning Location Survey prepared by D’Andrea Surveying & Engineering, P.C., dated October 4, 2023, entitled “Zoning Location Survey;”
- Average Grade Worksheet prepared by D’Andrea Surveying & Engineering, P.C., dated October 4, 2023, entitled:
 - “Building ‘A’ Proposed Average Grade Worksheet;” and
 - “Building ‘B’ Proposed Average Grade Worksheet;”
- Landscape Plan prepared by Environmental Land Solutions, LLC, dated October 9, 2023, entitled:
 - “LP.1 – Landscape Plan;” and
 - “LP.2 – Landscape Plan;”
- Drainage Study prepared by D’Andrea Surveying & Engineering, P.C., dated October 4, 2023, entitled “Drainage Summary Report;” and
- Traffic Impact Study prepared by SLR International Corporation, dated October 20, 2023, entitled “Traffic Impact Study;” and
- First submission of the Stamford Sustainability Scorecard.

Schedule B **Project Narrative**

375 Fairfield Avenue Associates (the “Applicant”) requests Site Plan and Special Permit approvals to facilitate the development of two (2) new buildings at 375 Fairfield Avenue (the “Property”).

I. The Applicant

The Applicant has owned the Property since 1985 and is affiliated with Waterside Property Group, a Stamford-based, family-owned real estate investment, development, and management firm. Waterside Property Group has served the Stamford community for more than 50 years and owns and manages more than 850,000 sf of property in southern Connecticut. As detailed below, for the past 38 years, the Applicant has maintained the existing structures on the Property and attracted a unique mix of industrial and mercantile tenants.

II. The Property & Existing Uses

The Property is 9.38± acres and located in the General Industrial (M-G) zone and Master Plan Category 13 (Industrial – General). It is generally bounded by the Metro-North Railroad to the west and north, Fairfield Avenue to the east, and other industrial properties to the south. The Property is improved with eight (8) buildings with a total of 176,714± sf of Floor Area. The buildings were constructed in the 1930s and have been used as warehouse/flex industrial/commercial space for a variety of tenants. Currently, the Property is home to companies in the fields of printing, truck rentals, roofing, flooring, HVAC supply, medical equipment storage, delivery, restaurant storage, and home improvement. Located in the Stamford Waterside Design District, the Property is also home to a variety of design tenants including kitchen cabinet suppliers as well as wholesale companies that sell items including carpet, fabrics, wall coverings, and furniture to builders, architects, and designers. Notably, these items are sold predominantly to-the-trade.

The eastern portion of the Property consists of a mixture of compacted gravel and paved parking areas, which is rented out to automobile dealerships to park surplus car inventory and seasonally for winter boat storage. A portion of land in the center of the Property consists of a large concrete slab surrounded by paved driveway and parking areas. A 70,000± square foot industrial warehouse once sat on this slab, which housed companies such as Union Industries, Abbot Coin, and various smaller industrial users. In the early 1990s, the building became functionally obsolete beyond repair and had to be demolished. Since then, the slab has been leased to landscapers, car dealerships, and container rental companies, and used for tractor trailer storage.

III. Description of Proposed Development

The Applicant proposes to build two (2) new warehouse/flex industrial/commercial buildings on the Property, which will be marketed toward similar industrial and design tenants. Proposed Building A will consist of three (3) stories and contain approximately 54,156± square feet of warehouse/flex industrial/commercial space. Approximately 1,044± sf of additional Floor

Area will be built to accommodate a fast casual food service tenant that is complementary to the other proposed uses. The roof will contain approximately 4,338± square feet of outdoor space that can support a terrace for use by tenants. If the roof terrace is constructed, it would be accompanied by a demountable fence to separate this space from the remainder of the roof. Proposed Building B will consist of a one (1) story, including a potential mezzanine,¹ and contain approximately 39,980± square feet of warehouse/flex industrial/commercial space.

Associated landscaping and site improvements are also proposed. An additional 52 parking spaces will be added to the Property to serve Building A and an additional 48 parking spaces will be added to serve Building B.² The area around the new buildings and parking areas will be landscaped with a variety of plants and shade trees. Sidewalk improvements are proposed along the Property's Fairfield Avenue frontage. None of the existing buildings will be demolished in connection with the proposed development.

There is a strong demand for warehouse and flex industrial space in Stamford, as well as to-the-trade wholesale spaces for builders, architects, and designers. Waterside Property Group has received numerous calls from prospective tenants looking for modern industrial space ranging from 3,000-20,000 sf. Unfortunately, the Applicant cannot accommodate these requests, as the existing buildings on the Property are almost fully occupied or not suitable for a variety of reasons. Those who frequent the businesses on the Property have noted that they need to travel out of town to purchase certain products for their clients and would like to see a bigger mix of these products here in Stamford.

IV. Requested Approvals

To facilitate this proposal, the Applicant requests the following approvals:

- (1) Final Site Plan Approval pursuant to §§ 4.B.8.b. and 19.D. of the Zoning Regulations to develop the two (2) proposed buildings, parking lot, and associated site improvements on the Property.
- (2) Special Permit Approval of a Large Scale Development pursuant to § 19.E. of the Zoning Regulations to permit the construction of a non-residential structure having a Gross Floor Area of 20,000 sf or more.

¹If constructed, the mezzanine will be approximately 2,960± square feet and contain administrative offices for the space below. The square footage of the potential mezzanine is included in all FAR and parking calculations.

²Section 12.B.4. of the regulations provides in relevant part: "*Parking Lots* in existence at the time of the adoption of these standards shall not be required to be in compliance with the standards of Sections 12.B.2. and 12.B.3. unless they are comprehensively redesigned. 'Comprehensively redesigned' for the purposes of this Section shall mean structural changes that affect at least 50% of the *Parking Lot* area, as determined by Land Use Bureau staff[.]" The total area of land disturbance for the proposed development will be approximately 41.5 percent. Although the Applicant is not required to make improvements to the existing Parking Lots on the Property, it has designed the parking areas around proposed Building A and Building B to comply with the standards of Section 12.B.3.

V. Conformity of Site Plan with Stamford Master Plan and M-G Zone

The proposed development is consistent with the goals and policies of the Master Plan and the purpose and intent of the M-G regulations. The Property is in Master Plan Category 13 (Industrial – General), which is intended to “provide for and protect existing industrial development and preserve opportunities for new industrial uses[.]”³ The proposed development would further this goal by adding more industrial space on a site containing buildings that have been used for industrial purposes for almost a century. The proposed uses are fully permitted in the M-G zone, which accommodates a wide variety of commercial, industrial, and institutional uses. Moreover, the scale and design of the buildings are in compliance with the zoning regulations and in harmony with the surrounding neighborhood, which contains other industrial properties.

VI. Conclusion

The proposed development will add warehouse, flex industrial, commercial, and fast casual restaurant space to an existing industrial site in an area that is well-suited for such uses. The proposed buildings will be constructed with a mix of high-quality materials and accompanied by attractive landscaping and parking improvements. If approved, the proposed development will serve as a gateway to Stamford’s Waterside Design District and attract a variety of new design tenants to the area.

³STAMFORD MASTER PLAN at 196 (Dec. 16, 2014).

Schedule C
Statement of Findings

The Applicant submits the proposal is consistent with the Site Plan standards (§ 19.D.4.) and Special Permit standards (§ 19.C.2.) of the Zoning Regulations as follows:

a. Site Plan Standards

In reviewing site plans the Zoning Board shall take into consideration the purpose of these Regulations, including the purpose of the applicable zoning district and the goals and policies of the Stamford Master Plan, the public health, safety and general welfare and convenience of the general public and the maintenance of property values. In its review the Board may modify a site plan or condition an approval to the extent necessary to conform the site plan to the following standards and objectives:

(1) Safe, adequate and convenient vehicular traffic circulation, operation, parking and loading, and pedestrian circulation, both within and without the site.

(a) The number, locations and dimensions of all vehicular and pedestrian access drives and walkways, parking spaces, drop-off and loading areas, and provisions for handicapped access shall conform to the standards of Section 12 of these Regulations, to the adopted design criteria and engineering practices of the Dept. of Traffic and Parking, and all other applicable standards. Such areas shall be constructed of suitable hard surface materials and maintained in good condition.

The number, locations, and dimensions of all vehicular and pedestrian access drives and walkways, parking spaces, drop-off and loading areas, and handicapped access conform to the standards of the M-G Zone and applicable provisions of Section 12 of the Zoning Regulations. The enclosed Zoning Location Survey and architectural plans provide parking details for the development. Additionally, as detailed on the enclosed plans and the zoning data chart, the Applicant will comply with the bicycle parking requirements in § 12.J. of the Zoning Regulations and electric vehicle parking requirements in § 12.L.

(b) The number of vehicle access drives shall be minimized and shall be located and designed to provide safe and convenient turning movements and safe sightline as determined in accordance with the Geometric Highway Design Standards of the Conn. Dept. of Transportation.

Vehicles will enter and exit the Property through driveways along Fairfield Avenue. There is one (1) existing driveway, which will be modified to improve access and vehicle circulation. Two (2) additional driveways are proposed. At all points where two-way flow of traffic is anticipated, the driveways are at least the required width of 24 feet. All access drives have been designed to provide safe and convenient access to the Property.

- (c) *Area streets and traffic controls shall be determined to have adequate capacity to service the site without causing undue congestion or hazardous conditions.*

The surrounding streets can adequately accommodate the traffic associated with the proposed use. For a more complete discussion of the traffic impact, please see the enclosed Traffic Impact Study prepared by SLR.

- (2) *The protection of environmental quality, landscaping of open space and harmony with existing development. The Board shall take into consideration the following features and standards:*

- (a) *The location, height, design and materials of walls, fences, hedges and plantings shall be appropriate to the vicinity and shall suitably screen parking, loading, garbage collection facilities, outside storage areas, accessway drives, utility installations and other such features; such landscaping shall be appropriate to the general character of the vicinity and consider the proximity and nature of abutting uses and the level of use of adjoining public streets and walkways.*

The proposed location, height, design and materials of walls, fences, hedges, and plantings are appropriate for the Property and the surrounding area. They also sufficiently screen parking, loading spaces, garbage collection facilities, accessway drives, and utility installations. The enclosed Landscape Plan prepared by Environmental Land Solutions, LLC depicts the proposed landscaping on the Property.

- (b) *All open space areas, exclusive of undisturbed natural areas, shall be suitably landscaped to the satisfaction of the Board. Site landscaping shall be performed at a minimum dollar value equivalent to one shade tree of 2.5 inch caliper for every two hundred (200) square feet of landscaped area. In multi-family developments, open space shall be designed to provide functional outdoor living and play areas meeting the needs of intended residents.*

Currently, there is no discernable landscaping on the Property. The Applicant proposes installing and maintaining appropriate onsite landscaping, as detailed on the enclosed Landscape Plan prepared by Environmental Law Solutions, LLC.

- (c) *Soil erosion, sediment and the release of excessive dust shall be controlled through implementation of suitable short term and long term controls in accordance with the standards and procedures of Section 15-B.*

Enclosed is a comprehensive Sedimentation and Erosion Control Plan, prepared by D'Andrea Surveying & Engineering, P.C., which ensures the standards and procedures of § 15.B. of the Zoning Regulations are satisfied.

- (d) *Site development shall seek to preserve existing specimen trees, historic structures and other significant natural features of the site. Accordingly, the premature demolition*

and site clearance of prospective development sites is specifically discouraged and may be taken into consideration in subsequent site plan reviews.

Due to its industrial use, the Property currently contains minimal landscaping and natural features. Instead, the majority of the Property that does not contain buildings consists of either paved or compacted gravel driveway with little vegetated area and few trees. The area designated for the development of proposed Building “A” currently consists of a mixture of compacted gravel and paved parking areas. The area designated for the development of proposed Building “B” currently consists of a large concrete slab surrounded by paved driveway and parking areas. As depicted on the enclosed Landscape Plan, no existing trees will be removed in connection with the proposed development, and a variety of plants and shade trees will be added to the Property. Additionally, street trees are proposed on the street frontage in front of Proposed building “A.”

As stated above, the eight (8) existing buildings on the Property date back to the 1930s. These buildings will remain undisturbed. As depicted on the enclosed architectural plans, the new buildings have been designed to complement the existing buildings.

- (e) Artificial lighting, and site generated noise, odors, particles and other disturbances shall be controlled to avoid interference with the use and enjoyment of neighboring properties. The location, height, design and arrangement of outside lighting shall be consistent with safety such as to avoid glare on any other lot and to avoid hazards to traffic on any street.*

The site is not proximate to any residential uses. All artificial lighting and site generated noise and other disturbances shall be controlled and will not interfere with the use and enjoyment of the neighboring properties. The location, height, design, and arrangement of outside lighting shall be consistent with safety so as to avoid glare on any other lot and to avoid traffic hazards on Fairfield Avenue.

- (f) Available public utilities shall be adequate in capacity to safely service the requirements of the site. Surface water drainage facilities shall be adequate to safely drain the site while minimizing the risk of downstream flooding and erosion. Where infrastructure capacity is judged not to be adequate the Board may accept a binding agreement to perform suitable improvements.*

The enclosed Drainage Summary Report prepared by D’Andrea Surveying & Engineering, P.C. indicates that the proposed improvements to the property will provide water quality treatment measures that will both mitigate stormwater runoff from the site and reduce runoff volumes and peak flow rates as compared to existing conditions. Further, the improvements will not adversely impact adjacent or downstream properties or City-owned drainage facilities.

- (g) *Adequate provision shall be made for emergency vehicle access, fire lanes, and safe fire flows, upon the recommendation of the Fire Marshall and the public water utility.*

Emergency and first responders will be able to access the Property safely and conveniently.

- (h) *The arrangement, location, apparent bulk, architectural features, materials, texture and color of proposed buildings and structures shall establish an architectural character and overall site design compatible with the scale and general character of the vicinity.*

The proposed structures will be among the nicest in the general area and will enhance the architectural character of the surrounding area.

- (i) *Building setbacks and the configuration of open space shall be appropriate to the existing structures on adjoining properties and established patterns of use of side and rear yard areas, and to the existing physical conditions of the site.*

The proposed development and site landscaping comply with the standards of the M-G Zone. As noted on the enclosed Zoning Data Chart, there is an existing legal nonconformity with regard to Building 2, which was constructed in 1930 and is located within the 10-foot front yard setback. The two (2) new proposed structures will comply with the 10-foot front yard setback requirement for the M-G Zone.

- (j) *No use shall be permitted that will cause or result in:*
-dissemination of dust, smoke, observable gas or fumes, odor, noise or vibration beyond the immediate site of the building in which such use is conducted, or
-unusual hazard of fire or explosion or other physical hazard to any adjacent buildings,
or
-harmful discharge of liquid materials, or
-unusual traffic hazard or congestion due to the type of vehicles required in the use or due to the manner in which traffic enters or leaves the site of the use.

No nuisance or hazardous conditions are anticipated.

- (k) *All buildings and grounds and other structures shall be maintained in good repair and in safe, clean and sanitary condition. All landscaping required pursuant to an approved site plan shall be installed to the satisfaction of the Director of Parks and Recreation and shall thereafter be maintained in accordance with an agreement to be made part of the application of record, which agreement shall be enforced by the Zoning Enforcement Officer, upon advice of the Director.*

The Applicants are amenable to a condition of approval requiring the execution of a Landscape Maintenance Agreement and a Drainage Maintenance Agreement prior to the issuance of a Certificate of Occupancy.

b. Special Permit Standards

Special Permits shall be granted by the reviewing board only upon a finding that the proposed use or Structure or the proposed extension or alteration of an existing use or Structure is in accord with the public convenience and welfare after taking into account, where appropriate:

- (1) the location and nature of the proposed site including its size and configuration, the proposed size, scale and arrangement of Structures, drives and Parking Areas and the proximity of existing dwellings and other Structures.*

The proposed development is appropriate for the Property. The proposed size, scale, and arrangement of the buildings are consistent with the existing buildings on the Property and with the surrounding area.

- (2) the nature and intensity of the proposed use in relation to its site and the surrounding area. Operations in connection with Special Permit uses shall not be injurious to the neighborhood, shall be in harmony with the general purpose and intent of these Regulations, and shall not be more objectionable to nearby properties by reason of noise, fumes, vibration, artificial lighting or other potential disturbances to the health, safety or peaceful enjoyment of property than the public necessity demands.*

The proposed use of the property will not be injurious to the surrounding neighborhood. The proposed uses as warehouse, flex industrial, commercial, and restaurant space are less intense than other uses permitted in the M-G zone. The activities on the Property will not cause disturbances to nearby properties in a manner that is objectionable. The purpose of the M-G is to separate the most intense industrial uses from susceptible uses to minimize potential negative impact, so the proposed use will be adequately shielded from less intense uses.

- (3) the resulting traffic patterns, the adequacy of existing Streets to accommodate the traffic associated with the proposed use, the adequacy of proposed off-street parking and loading, and the extent to which proposed driveways may cause a safety hazard, or traffic nuisance.*

As detailed in the attached Traffic Impact Study from SLR, the proposal will not result in adverse traffic conditions and no traffic mitigation is necessary. The increase in traffic caused by the proposed development can be accommodated by the surrounding roadway system. There will be an adequate amount of off-street parking and loading. The proposed driveways will not cause a safety hazard or traffic nuisance.

- (4) the nature of the surrounding area and the extent to which the proposed use or feature might impair its present and future Development.*

The proposed development will not impair the present and future development of the surrounding area, which has many other industrial sites.

(5) the Master Plan of the City of Stamford and all statements of the purpose and intent of these regulations.

The proposed development is consistent with the goals and policies of the Master Plan and the purpose and intent of these regulations. The Property is in Master Plan Category 13 (Industrial – General). This category is intended to “provide for and protect existing industrial development and preserve opportunities for new industrial uses, including the manufacture and assembly of products, wholesale storage and distribution, research and development and such other uses that are ancillary or subordinate to industrial activities.”⁴ The Applicant proposes to construct industrial buildings and a small restaurant space, for which there is market demand and need within the City of Stamford. Moreover, the Property contains buildings that have been used for industrial purposes for almost a century. Thus, the addition of new industrial space to the Property would further the goals of the Master Plan.

The M-G zone is designed to separate industrial and institutional uses from residential and other incompatible uses to minimize potential negative impacts.⁵ Thus, by virtue of the Property’s location in this zone, the proposed development will be shielded from less intense uses in accordance with the intent of the zoning regulations. Furthermore, the proposed uses are fully permitted in the M-G zone and the scale and design of the building is in compliance with the zoning regulations and is in harmony with the surrounding neighborhood, which contains other industrial and institutional properties.

⁴STAMFORD MASTER PLAN at 196 (Dec. 16, 2014).

⁵See ZONING REGULATIONS § 4.B.8.a. and MASTER PLAN at 45.

Schedule D
Property Description

ALL THAT CERTAIN plot, piece or parcel of land with the buildings and improvements erected thereon situated in the City of Stamford, County of Fairfield and State of Connecticut and shown on a map entitled, "Map Showing Property Surveyed for Norman F. Levy and Marvin L. Goidell Stamford, Conn.," dated March 3, 1977, by Parsons, Bromfield and Redniss, Engineers – Surveyors, Stamford, Connecticut; which map was filed as Map #9924 in the Stamford Land Records, and bounded and described as follows:

BEGINNING at a point formed by the intersections of the division line between the premises herein described and land now or formerly of Penn Central Railroad with the Westerly street line of Fairfield Avenue; running thence along the Westerly street line of Fairfield Avenue South 3° 38' 18" West 742.92 feet to a point at land now or formerly of the City of Stamford; thence along land now or formerly of the City of Stamford on a curve to the right with a radius of 1713.50 feet a distance of 428.67 feet to a point; thence south 45° 55' 10" West 128.83 feet to a point; thence South 50° 19' 10" West 110.00 feet to a point; thence along a curve to the right with a radius of 1728.00 feet a distance of 348.94 feet to a point at land now or formerly of Pitney Bowes Inc.; thence along land now or formerly of Pitney Bowes, Inc., North 25° 38' 30" West 93.43 feet to a point; thence North 43° 14' West 132.97 feet to a point at land now or formerly of Penn Central Railroad; thence along land now or formerly of Penn Central Railroad on a curve to the left with a radius of 3919.83 feet a distance of 1231.162 feet to a point; thence North 30° 29' East 311.04 feet to the point and place of BEGINNING.

TOGETHER WITH all right, title and interest, if any, of the Grantor in and to any strips or gores of land adjoining the above described premises;

TOGETHER WITH the appurtenances thereto.

TOGETHER WITH all right, title, and interest, if any, of Denis A. Healy and Esther K. Mason, as fully described in deed dated July 27, 1965 and recorded September 24, 1965 in Volume 1059, Page 229 at Page 231 of the Stamford Land Records. (the Lease Agreements referenced in said deed have not been recorded in said Land Records)

TOGETHER WITH the Easement from Murray Goldblum (a/k/a Murray A. Goldblum), Alex Goldblum (a/k/a Alex L. Goldblum and Alexander Goldblum), and Irving S. Goldblum to 375 Fairfield Avenue Associates, dated September 15, 1997 and recorded October 6, 1997 in Volume 4844, Page 346, and as shown on Map No. 10107, all of the Stamford Land Records.

TOGETHER WITH the Lease Agreement between State of Connecticut Department of Transportation and 375 Fairfield Avenue Associates, dated June 11, 2001 and recorded July 3, 2001 in Volume 5840, Page 149 of the Stamford Land Records.

TOGETHER WITH the benefits of the Settlement Agreement concerning property located at 23 & 50 Barry Place, dated July 17, 2012 and recorded September 6, 2012 in Volume 10525, Page 156 of the Stamford Land Records.

END OF PROPERTY DESCRIPTION

Schedule E
M-G Zoning Data Chart
375 Fairfield Avenue, Stamford, CT

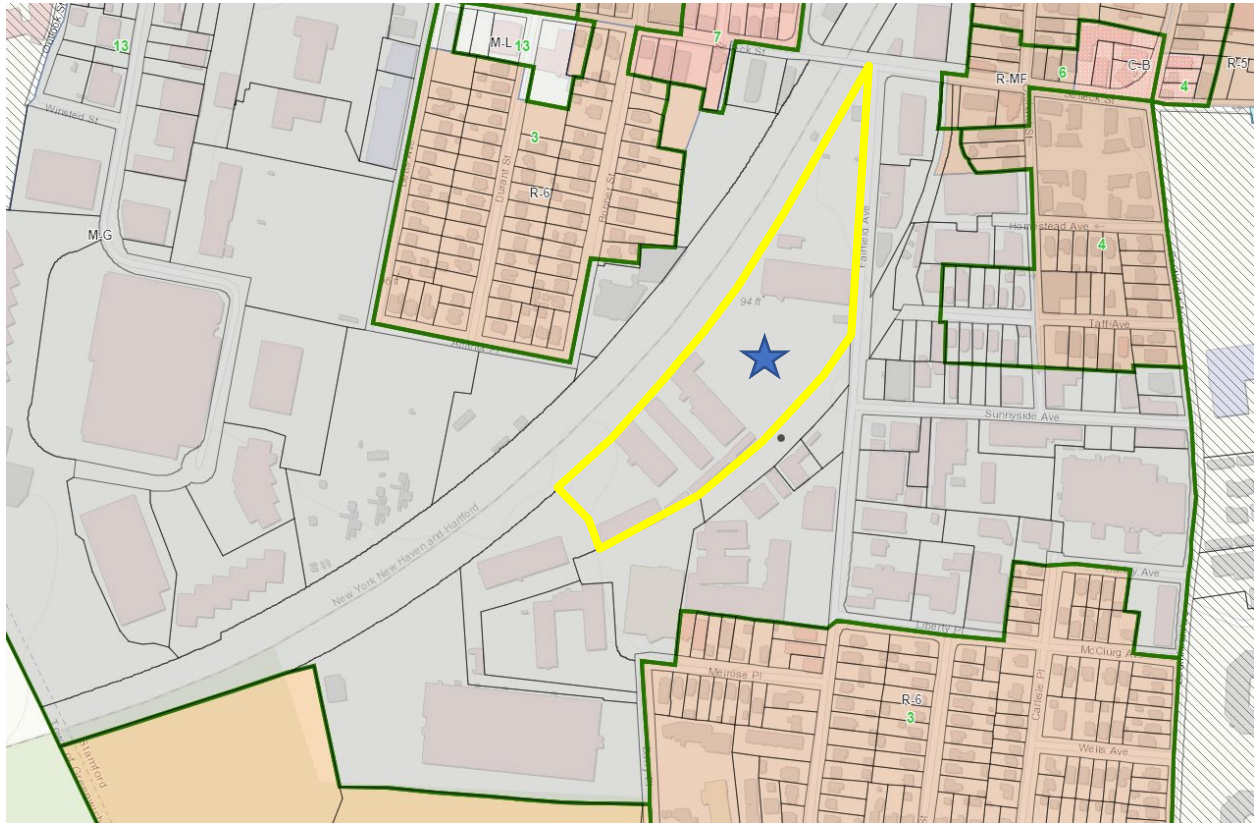
	Standard/Required	Existing	Proposed	Notes
Min. Lot Area	4,000 sf	408,665 sf	408,665 sf	Complies
Min. Lot Frontage	40'	742.92'	742.92'	Complies
FAR	1.0	0.43	0.67	Complies
Building Height	4 stories / 50'	2 stories / <50'	3 stories / 48'-3.25"	Complies
Building Coverage (Interior Lot)	80%	24.7%	38.3%	Complies
Min. Front Yard (to Street Line)	10'	6.3' (Building 2)	6.3' (Building 2)	Existing nonconformity, proposed buildings comply with 10' setback requirement
Min. Side Yard	None required, but if provided, must be at least 4'	0' (Building 3)	0' (Building 3)	Complies
Min. Rear Yard	15'	15.2'	15.2'	Complies
Vehicle Parking ⁶	<i>Total Required:</i> 69 additional spaces <i>(Warehouse: 1 / 2,000 sf GFA, Restaurant: 1 / 50 sf GFA)⁷</i>	Complies	100 additional spaces	Complies
EV Charging Spaces	10 spaces ⁸ (one of which must be ADA)	N/A	10 spaces (one of which is ADA)	Complies
Bicycle Parking	<i>Class A: 19</i> <i>Class B: 38</i>	N/A	<i>Class A: 20</i> <i>Class B: 46</i>	Complies
Loading Spaces	3 additional spaces <i>(Wholesale, Manufacturing and Storage: 2 for 40,000-80,000 sf GFA plus 1 for each additional 80,000 sf GFA)</i>	N/A	3 additional spaces	Complies

⁶The parking figures relate only to the proposed Building A and Building B.

⁷For conservative purposes, the Applicant has categorized the 1,044± sf of space that it is constructing to accommodate a fast casual restaurant as "restaurant" space.

⁸This total was calculated based on the total number of parking spaces provided (100), as opposed to the number of parking spaces required (69).

Schedule F
Existing Zoning Map and Aerial Photo of Property





September 28, 2023

Vineeta Mathur
Principal Planner, Land Use Bureau
City of Stamford
888 Washington Blvd.
Stamford, CT 06901

**Re: 375 Fairfield Avenue Associates
Land Use Applications
375 Fairfield Avenue (the "Property")**

Dear Ms. Mathur:

375 Fairfield Avenue Associates is the owner of the above-captioned Property. Please consider this letter as written confirmation that the undersigned has authorized the attorneys of Carmody Torrance Sandak & Hennessey, LLP, with offices located at 1055 Washington Boulevard, Stamford, Connecticut 06901, to file the enclosed land use applications with the City of Stamford on its behalf in connection with the Property. Thank you for your acknowledgement of said authority.

Sincerely,

375 Fairfield Avenue Associates

Jeff Goldblum, managing member



By:
Duly Authorized

Office use only

Date received	
Application Nr (e.g., ZB, ZBA,	

Location

*Address of Development Number & Street	375 Fairfield Avenue
*Stamford, CT ZIP Code	06902

Applicant Information

*Applicant full name	375 Fairfield Associates
Applicant Company	
*Applicant Street Address	P.O. Box 110422
*Applicant City, State, ZIP	Stamford, CT 06911-0422
*Applicant Email	c/o Agent: WHennessey@carmodylaw.com
*Applicant Phone	c/o Agent: (203) 425-4200

Property Owner Information

*Is the property owner the same as the applicant?	<input checked="" type="checkbox"/> YES / NO
--	--

If NO please answer the following

*Owner full name	
Owner Company	
*Owner Street Address	
*Owner City, State, ZIP	
*Owner Email	
*Owner Phone	

Is this ... (check one)

the 1 st Submission (Zoning Board, ZBA or Building Permit application)	<input checked="" type="checkbox"/>
the 2 nd Submission (CO sign-off)	<input type="checkbox"/>

SCORECARD RATING

Category	Max Points	Points achieved
Building Health	8	0
Energy Use	25	2
Landscaping and Open Space	11	2
Land Use	17	1
Mobility	29	3
Resiliency	11	7
Resource Management	9	0
Urban Design	10	8
Water Use	7	1
TOTAL	127	24

95 or more Points	A+	LEED Platinum
80-94 Points	A	LEED Gold
65-79 Points	B	LEED Silver
50-64 Points	C	LEED Certified
0-49 Points	NR	

BUILDING HEALTH

ELEMENTS	ID	CRITERIA	PURPOSE	MAX. POINTS	POINTS ACHIEVED
Indoor air quality	BH1	After construction ends and before occupancy, conduct indoor air quality testing	Promotes a healthier living/work space	1	0
Low emitting materials	BH2	Reduce concentrations of chemical contaminants from building interior paints and coatings, interior adhesives and sealants, flooring and insulation	Limits exposure to volatile organic compounds (VOCs), which are linked to many short- and long-term health problems	1	0
Moisture management	BH3	Provide heating, ventilating and air conditioning systems and controls designed to limit relative humidity to 60% or less during all load conditions, both occupied and not occupied	Limits exposure to mold	1	0
Daylighting	BH4	Provide adequate daylight through windows, skylights, and other means	Promotes a space and saves energy healthier living/working	1	0
Window shading	BH5	Provide protection from excessive light exposure	Promotes a space and saves energy healthier living/working	1	0
Operable windows	BH6	Each regularly occupied space has operable windows	Increases indoor air quality, access to natural light, and user comfort	1	0
Active design	BH7	Integration of pathways and stairs within the built environment in projects with 2 to 4 floors	Promotes exercise and health	1	0
Fitness equipment	BH8	Convenient and free access to fitness equipment	Promotes exercise and health	1	0
TOTALS				8	0

Alternative Path to Compliance

IWBI Well Platinum Rating - 10 Points

IWBI Well Gold Rating - 8 Points

IWBI Well Silver Rating - 6 Points

IWBI Well Bronze Rating - 4 Points

ENERGY USE

ELEMENTS	ID	CRITERIA	PURPOSE	MAX. POINTS	POINTS ACHIEVED
Building efficiency	EU1	Energy Star rating of 50+ (3 points), 75+ (6 points) or 85+ (9 points)	Buildings committed to high-performance goals use	9	0
Efficient appliances	EU2	All appliances are Energy Star	Reduce energy use	1	0
Submetering	EU3	Residential: submetering by unit Commercial/mixed-use: submetering of space to maximum extent—at least one meter per floor, per 10,000 sf. or	Submeters encourage conservation by monitoring and allocating costs to end users	2	1
Cool surfaces	EU4	Achieve threshold percentages of reflectance and/or shade (see “Overview” for details), or green roof	Reflective and shaded exterior surfaces reduce contribution to urban heat island warming	2	0
Exterior lighting	EU5	Exterior lighting is full-cutoff or dark-sky compliant, and automatically turns off when natural light is sufficient	Reduces energy use and light pollution	1	1
Interior lighting	EU6	Interior lighting turns off automatically when not in use (for residential buildings: in common or amenity areas only)	Reduces energy use	1	0
Renewable energy production production OR combined heat and power	EU7	Building incorporates solar photovoltaic, solar thermal, micro-wind, or other renewable sources to meet at least 10% of the design energy load (3 points), 25% (5 points), or 40% plus (7 points); OR Project will use that captures waste heat for use power	Off-sets demand for electricity from carbon-producing energy sources (coal, oil, etc.) or reduces energy use	7	0
Passive heating	EU9	Development employs strategies to maximize solar gain in winter and prevent solar gain in summer	Reduces energy use	2	0
TOTALS				25	2

LANDSCAPING & OPEN SPACE

ELEMENTS	ID	CRITERIA	PURPOSE	MAX. POINTS	POINTS ACHIEVED
Green roof	LA1	Vegetated roof that covers 50% or more of the roof area (also qualifies for EU4 - cool roof)	Reduces the “heat island” effect and reduces stormwater runoff	2	0
Tree preservation	LA2	Preservation of 80% or more of mature trees	Environmental benefits, reduces energy use, enhances property values	1	1
Tree canopy	LA3	At maturity, tree canopy will cover 50% or more of undeveloped surface (at least	Environmental benefits, reduces the “heat island” effect	1	0
Additional landscaping	LA4	Landscaping that exceeds required Zoning Regulations by 25% or more	Reduces the “heat island” effect, reduces stormwater runoff	1	0
Native plants	LA5	Landscaping that is 80% or more native and drought-resistant by area of plantings	Supports native habitats	2	1
Join Stamford Pollinator Pathway	LA6	Add the parcel to the Stamford Pollinator Pathway	Supports native habitats	1	0
Organic land care	LA7	Signed pledge to manage property according to NOFA Standards for organic land care	Environmental and health benefits	1	0
New publicly accessible open space	LA8	Create publically available open space of 5,000 or more square feet; or exceed PAAS requirement by at least 25%	Increases public open space	2	0
TOTALS				11	2

LAND USE

ELEMENTS	ID	CRITERIA	PURPOSE	MAX. POINTS	POINTS ACHIEVED
Brownfields	LU1	Redevelopment of brownfield site	Makes use of existing infrastructure, reduces development pressure on undeveloped lands and removes or safely encapsulates contamination	3	0
Redevelopment	LU2	Redevelopment of previously developed sites	Makes use of existing infrastructure and reduces development pressure on undeveloped	1	1
Adaptive reuse	LU3	Adaptive reuse of existing building	Saves resources	2	0
Historic preservation	LU4	Historic preservation	Saves resources	2	0
Mixed-use	LU5	60% or more of ground floor area on retail streets contain active uses at the street level (2 Points) Primary entrances with 1/4 mile of at least three neighborhood services (2 Points)	Mixes housing, work and services to reduce transportation needs and promotes constant activity at street level Services within walking distance reduce transportation needs	4	0
Transit-supportive density	LU6	Residential: 50 or more dwelling units per acre Commercial/mixed use: FAR of 3.0 or greater Within 1/2 mile of Stamford Transportation Center: 60 or more dwelling units per acre or FAR of 0.8 or greater	Higher density neighborhoods will result in more riders; this enables more frequent transit service	5	0
TOTALS				17	1

MOBILITY

ELEMENTS	ID	CRITERIA	PURPOSE	MAX. POINTS	POINTS ACHIEVED
Reduce single occupancy vehicle travel	M1	Submit Parking and Transportation Demand Management plan (PTDM) that reduces vehicle trips 20% from	Reduces carbon emissions and pollutants by reducing travel to and from a	2	0
Transit Score	M2	Transit Score 50-69 1 Point Transit Score 70-89 2 Points Transit Score 90+ 3 Points	Reduces carbon emissions	3	0
Incentivize transit use	M3	Participate in TransitChek or similar program	Reduces car dependency	2	0
Walk Score	M4	Walk Score 50-69 1 Point Walk Score 70-89 2 Points Walk Score 90+ 3 Points	Reduces car dependency	3	2
Bike Score	M5	Transit Score 50-69 1 Point Transit Score 70-89 2 Points Transit Score 90+ 3 Points	Reduces car dependency	3	1
Car share	M6	On-site car-sharing program (such as ZipCar) at rate of at least 2 cars per 100 dwelling units (residential) or 2 car per 100 parking spaces (commercial) (2 points). Exclusive use of low or zero emission vehicles for car share (2 points)	Provides flexibility to transit users and zero-car households, minimizing business fleets	4	0
Shared Parking	M7	At least 10% reduction in total parking needs due	Maximizes use of parking facilities	3	0
Parking availability	M8	Provided parking is no more than 105% of minimum required parking (1 point) OR approved parking reduction per Zoning (2		2	0
Unbundled parking fees	M9	Residential: parking spaces sold or rented separately from dwelling units Commercial: daily or monthly end-user parking	Encourages households to reduce vehicle ownership	2	0
Electric vehicles	M10	Exceed zoning requirement for EV parking and charging by at least 50%	Encourages use of zero-emission electric vehicles	2	0
Contributions to transportation infrastructure	M11	Development provides \$50,000 to City transportation infrastructure improvements 1 point \$100,000 - 2 points \$200,000 - 3 points		3	0
TOTALS				29	3

RESILIENCY

ELEMENTS	ID	CRITERIA	PURPOSE	MAX. POINTS	POINTS ACHIEVED
Floodplain	R1	Development is outside of the 100-year floodplain (1 point) Development is outside of the 500-year floodplain (3 points)	Makes buildings more resilient to flooding	3	3
Flood resiliency	R2	Structure(s) is elevated 2 feet above base flood elevation, and mechanical systems are on top floor and/or 2 feet above base	Makes buildings more resilient to flooding	2	2
Building resiliency	R3	Structure(s) is equipped with back-up generators or renewable systems, such as solar panels, for core building functions (light, heat, ventilation/cooling)	Promotes safety and preserves building functions	3	0
Sea level rise	R4	Development is outside of the projected 2085 sea level rise areas	Reduces future flood risk	2	2
Emergency plan	R5	Emergency preparation and continuation of operations plan	Promotes safety and preserves building functions	1	0
TOTALS				11	7

RESOURCE MANAGEMENT

ELEMENTS	ID	CRITERIA	PURPOSE	MAX. POINTS	POINTS ACHIEVED
Construction and demolition debris	RM1	50% of demolition waste by weight was recycled (2 points) 50% of construction waste	Preserves natural resources, saves energy, reduces greenhouse gas production, saves money,	3	0
Recycling	RM2	Compliant recycling system that includes collection of electronics and textiles	Preserves natural resources, saves energy, reduces greenhouse gas production, saves money,	1	0
Organic waste	RM3	Organic waste is collected separately, and composted either on- or off-site On-site food waste dehydrator or on-site aerobic digester	Reduces the waste stream and creates compost	1	0
Reusable materials	RM4	Dishwashing facility and collection station for used utensils sized to accommodate the building's population capacity	Reduces solid waste	1	0
Sustainable Building Materials	RM5			3	0
TOTALS				9	0

URBAN DESIGN

ELEMENTS	ID	CRITERIA	PURPOSE	MAX. POINTS	POINTS ACHIEVED
Block size	UD1	Public street or public pedestrian walkway at no less than 400-foot intervals	Small blocks enable shorter walking distances between destinations and promote walking	1	0
Minimal visual impact of parking	UD2	Garage wrapped by other uses at the pedestrian level for at least 80% of garage frontage Surface spaces are blocked from view by structures along frontage of main entrance	Visible parking lots deaden street life and discourage walking	1	0
Building orientation	UD3	Principle functional entrance opens to sidewalk adjacent to public street	Main entrance at street promotes frequent pedestrian trips to nearby destinations and transit use	1	1
Building façade	UD4	Building entrances are no more than 100 feet apart, and mass of building is broken up vertically and/or	Creates increased activity at the street and visual interest	3	3
Building materials	UD5	No use of EIFS, vinyl, or aluminum in façade	High quality building materials improve the pedestrian environment	3	3
Building proximity	UD6	Front façade built to minimum allowed setback line	Creates increased activity at the street and visual integrity	1	1
TOTAL				10	8

WATER USE

ELEMENTS	ID	CRITERIA	PURPOSE	MAX. POINTS	POINTS ACHIEVED
Indoor water management	W1	All fixtures are EPA WaterSense rated (1 point) Development uses greywater for irrigation and/or cooling towers (2 points)	Reduces use of treated potable water	3	1
Outdoor water management	W2	Landscape irrigation systems are EPA WaterSense rated	Reduces use of treated potable water	1	0
Stormwater management	W3	Exceed requirements of Stamford Drainage Manual for stormwater retention by at least 20%	Reduces amount of stormwater and associated pollutants draining into the municipal system	3	0
			TOTALS	7	1

375 Fairfield Avenue

Stamford (/CT/Stamford), Connecticut, 06901

Commute to **Downtown Stamford (/compare#edit-commutes)**

5 min 22 min 9 min 31 min

Favorite

Map

Nearby Stamford Apartments on Redfin (<https://www.redfin.com/city/18605/CT/Stamford/apartments-for-rent>)

Looking for a home for sale in Stamford? (<https://www.redfin.com/city/18605/CT/Stamford>)



Very Walkable

Most errands can be accomplished on foot.



Some Transit

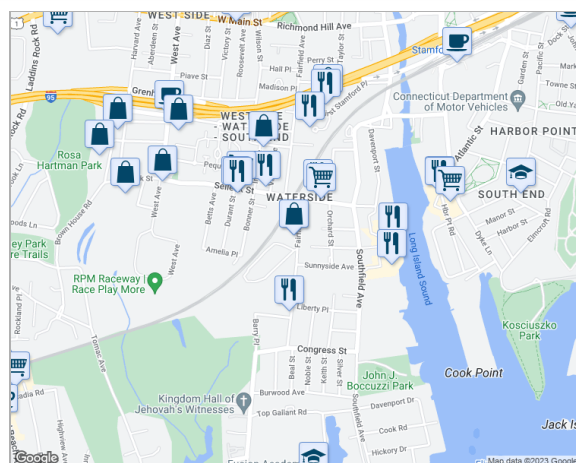
A few nearby public transportation options.



Bikeable

Some bike infrastructure.

About your score



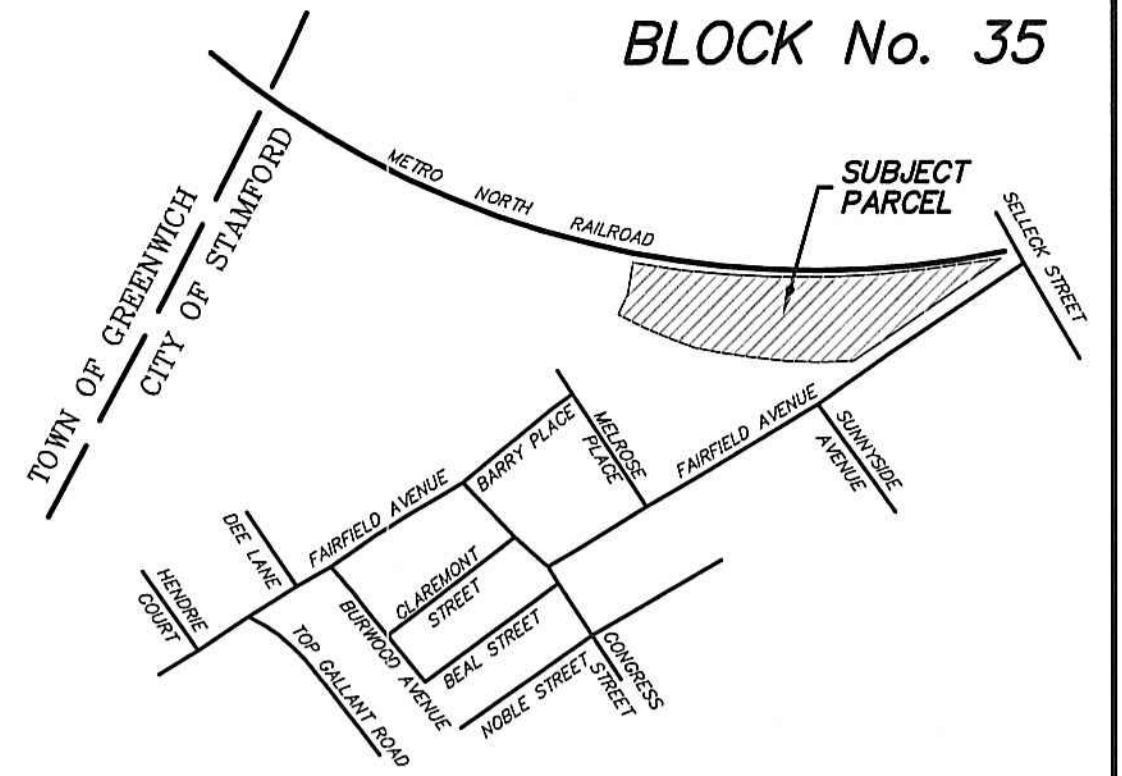
About this Location

EXISTING BUILDING COVERAGE

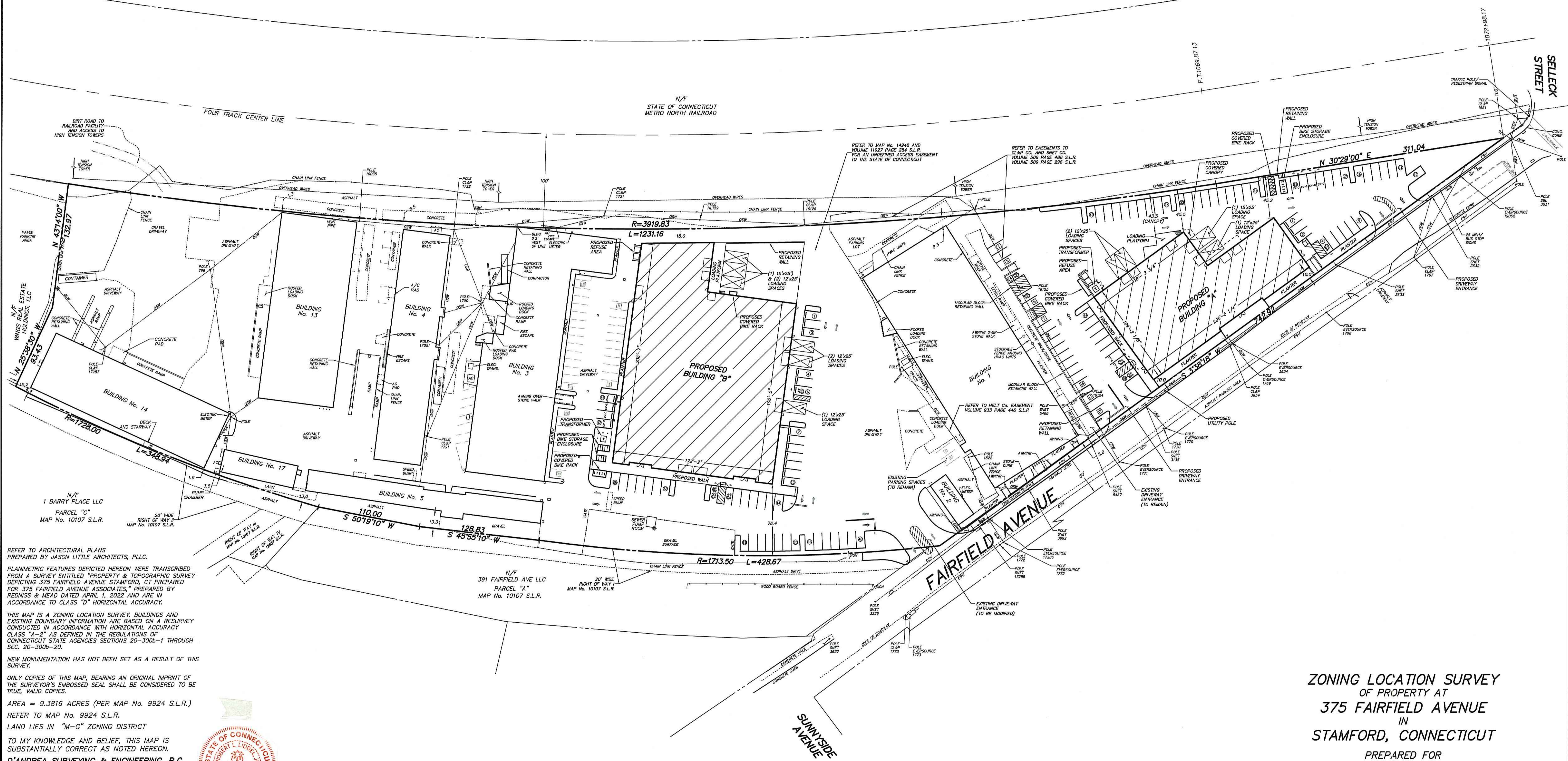
LOT AREA = 9.3825 ACRES
BUILDING No. 14 = 13,121 S.F.
BUILDING No. 17 = 1,967 S.F.
BUILDING No. 13 = 16,154 S.F.
BUILDING No. 4 = 12,594 S.F.
BUILDING No. 5 = 5,779 S.F.
BUILDING No. 3 = 22,035 S.F.
BUILDING No. 2 = 1,049 S.F.
BUILDING No. 1 = 28,203 S.F.
PUMP ROOM = 109 S.F.
TOTAL = 101,011 S.F.
PERCENT COVERAGE = 24.7%

PROPOSED BUILDING COVERAGE

LOT AREA = 9.3825 ACRES
BUILDING No. 14 = 13,121 S.F.
BUILDING No. 17 = 1,967 S.F.
BUILDING No. 13 = 16,154 S.F.
BUILDING No. 4 = 12,594 S.F.
BUILDING No. 5 = 5,779 S.F.
BUILDING No. 3 = 22,035 S.F.
BUILDING No. 2 = 1,049 S.F.
BUILDING No. 1 = 28,203 S.F.
PUMP ROOM = 109 S.F.
PR. BLDG. "A" = 18,399 S.F.
PR. BLDG. "B" = 37,114 S.F.
TOTAL = 156,524 S.F.
PERCENT COVERAGE = 38.3%



LOCATION MAP - 1" = 800'±

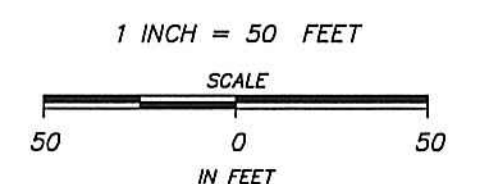


REFER TO ARCHITECTURAL PLANS PREPARED BY JASON LITTLE ARCHITECTS, PLLC.
PLANIMETRIC FEATURES DEPICTED HEREON WERE TRANSCRIBED FROM A SURVEY ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY DEPICTING 375 FAIRFIELD AVENUE STAMFORD, CT PREPARED FOR 375 FAIRFIELD AVENUE ASSOCIATES," PREPARED BY REDNICK & MEAD DATED APRIL 1, 2022 AND ARE IN ACCORDANCE TO CLASS "D" HORIZONTAL ACCURACY.
THIS MAP IS A ZONING LOCATION SURVEY. BUILDINGS AND EXISTING BOUNDARY INFORMATION ARE BASED ON A RESURVEY CONDUCTED IN ACCORDANCE WITH HORIZONTAL ACCURACY CLASS "A-2" AS DEFINED IN THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH SEC. 20-300b-20.
NEW MONUMENTATION HAS NOT BEEN SET AS A RESULT OF THIS SURVEY.

ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.
AREA = 9.3816 ACRES (PER MAP No. 9924 S.L.R.)
REFER TO MAP No. 9924 S.L.R.
LAND LIES IN "M-G" ZONING DISTRICT

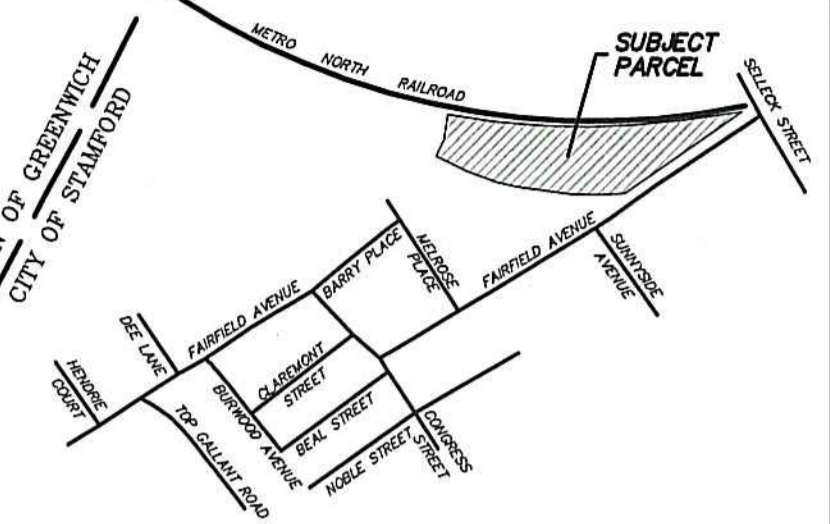
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
D'ANDREA SURVEYING & ENGINEERING, P.C.

ROBERT L. LIDDEL, JR., SURVEYOR
ROBERT L. LIDDEL, JR., CT LS No. 15775
RIVERSIDE, CONNECTICUT
OCTOBER 4, 2023



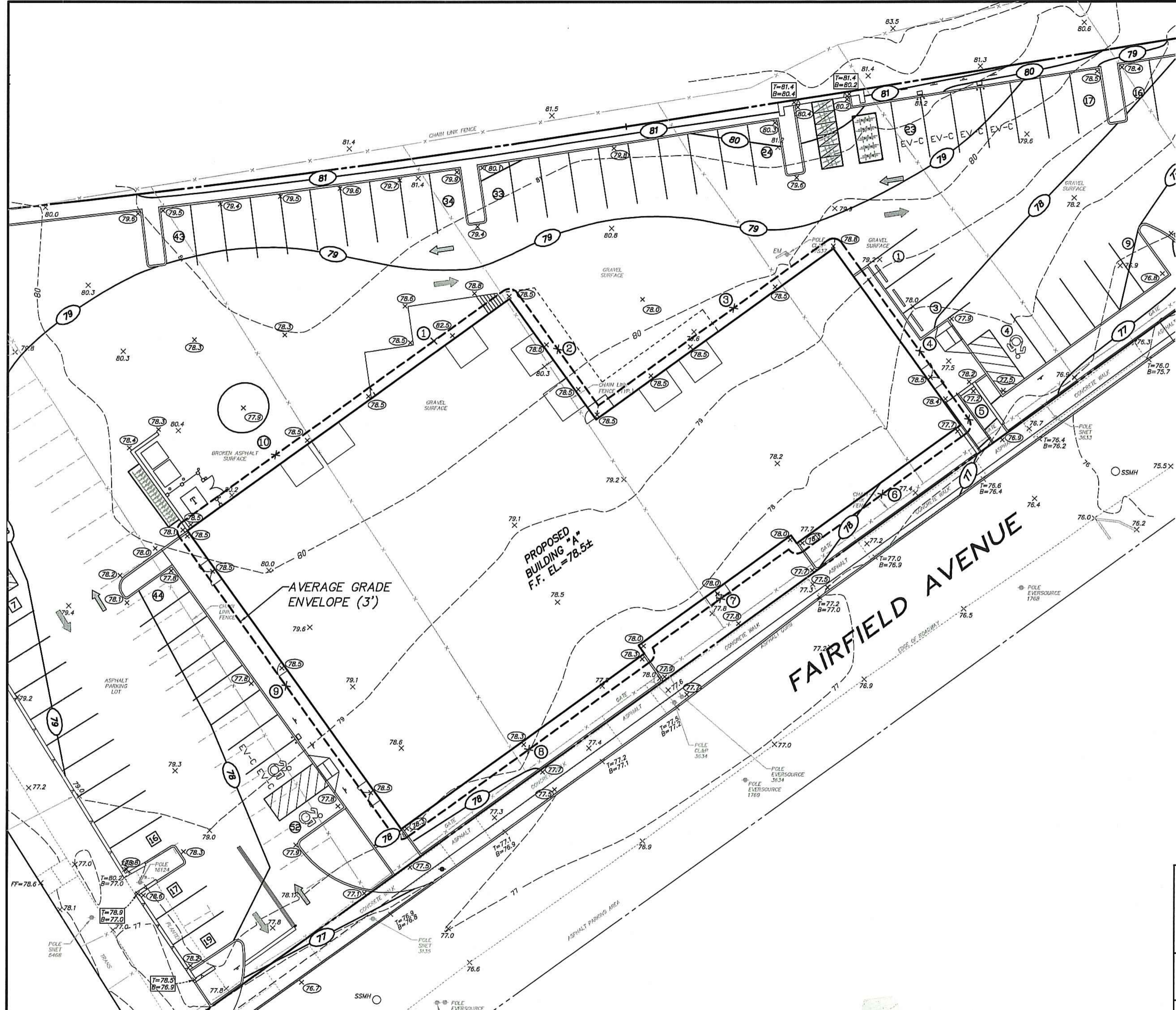
ZONING LOCATION SURVEY
OF PROPERTY AT
375 FAIRFIELD AVENUE
IN
STAMFORD, CONNECTICUT
PREPARED FOR
375 FAIRFIELD AVENUE ASSOCIATES

BLOCK No. 35
TOTAL AREA = 9.3816 ACRES
"M-G" ZONING DISTRICT



LOCATION MAP - 1" = 1000'±

MAP No. 3359 & 9924 S.L.R. MERIDIAN



GRADE PLANE ANALYSIS			
3 Ft Envelope O/S Line			
Segment	Length (ft) (L)	Average Grade (ft) (Z)	Length x Grade (L) x (Z)
1	41.5	82.5	3,423.8
2	53.5	78.4	4,194.4
3	86.6	78.4	6,789.4
4	59.3	78.4	4,649.1
5	14.6	77.7	1,134.4
6	58.4	77.9	4,549.4
7	59.5	77.9	4,635.1
8	89.2	78.2	6,975.4
9	113.9	78.4	8,929.8
10	73.9	78.4	5,793.8
Total	650.4		51,074.6
Average Grade: =====> (L*Z) / L			78.5

LEGEND

- 30 --- EXISTING CONTOUR
- x 30.0 EXISTING SPOT ELEVATION
- T=30.0 B=29.5 EXISTING TOP/BOTTOM SPOT ELEVATION
- 30 --- PROPOSED CONTOUR
- x 30.0 PROPOSED SPOT ELEVATION
- T=78.5 B=76.9 PROPOSED TOP/BOTTOM SPOT ELEVATION

D'ANDREA SURVEYING & ENGINEERING, P.C.
 • LAND PLANNERS
 • ENGINEERS
 • SURVEYORS

P.O. BOX 549 RIVERSIDE, CT 06878 6 NEIL LANE TEL. 637-1779

PROJECT	COMMERCIAL DEVELOPMENT
PREPARED FOR	375 FAIRFIELD AVENUE ASSOCIATES
LOCATION	375 FAIRFIELD AVENUE STAMFORD, CONNECTICUT
1 OF 1	BUILDING "A" PROPOSED AVERAGE GRADE WORKSHEET

REV.	DATE	DESCRIPTION
0	10-4-23	ZONING SUBMISSION
DEREK E. DAUNIS CT. PE No. 22861		
Derek E. Daunis		10-4-23
ENGINEER		DATE

ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.



CONTOUR INTERVAL = ONE FOOT
 1 INCH = 20 FEET

SCALE

20 0 20
 IN FEET

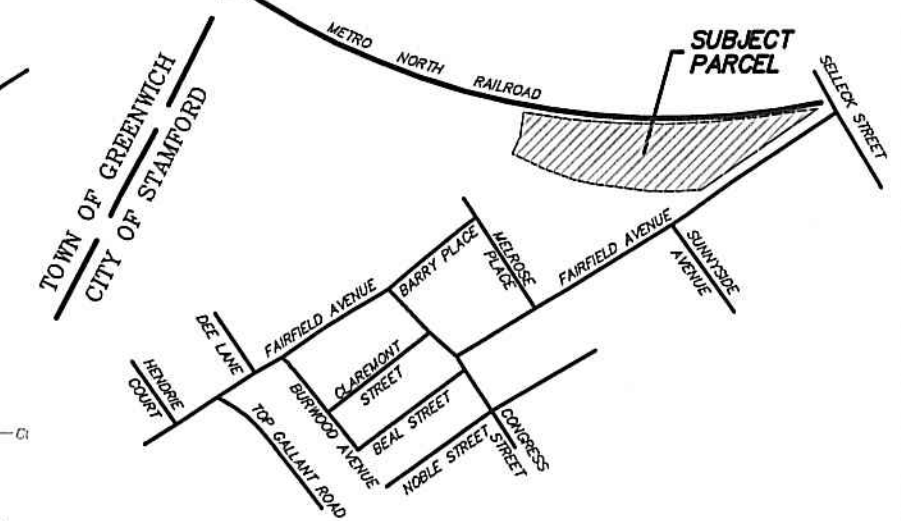
NOTES:

- The purpose of this plan is only for the calculation of the average grade for the proposed building. It shall not be used for any other aspect of construction.
- Proposed grades were taken from the Site Grading Plan, Sheet C-1.1 of the Civil plan set.
- Elevations shown are based on the North American Vertical Datum of 1988 (NAVD 88).

FAIRFIELD_2320A_PROG_CD_DRAWING (REV)

2320A

BLOCK No. 35
 TOTAL AREA = 9.3816 ACRES
 "M-G" ZONING DISTRICT



LOCATION MAP - 1" = 1000'±

MAP No. 3559 & 9924 S.L.R. MERIDIAN



GRADE PLANE ANALYSIS			
3 Ft Envelope O/S Line			
Segment	Length (ft) (L)	Average Grade (ft) (Z)	Length x Grade (L) x (Z)
1	84.1	74.3	6,248.6
2	60.4	75.0	4,530.0
3	82.9	73.0	6,051.7
4	201.5	74.9	15,092.4
5	161.1	74.9	12,066.4
6	22.6	74.7	1,688.2
7	68.2	74.0	5,046.8
8	6.0	75.0	450.0
9	101.6	74.0	7,518.4
10	20.4	73.4	1,497.4
11	44.8	74.0	3,315.2
Total	853.6		63,505.1
Average Grade: $\frac{\sum(L \cdot Z)}{\sum L}$			74.4

LEGEND

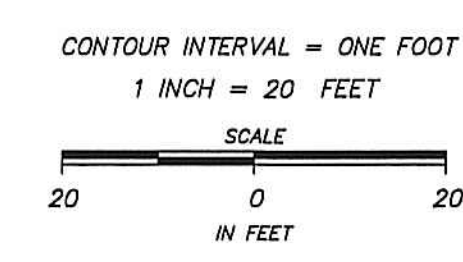
- 30 --- EXISTING CONTOUR
- x 30.0 EXISTING SPOT ELEVATION
- x T=30.0 B=29.5 EXISTING TOP/BOTTOM SPOT ELEVATION
- 30 --- PROPOSED CONTOUR
- x 30.0 PROPOSED SPOT ELEVATION
- x T=78.5 B=78.9 PROPOSED TOP/BOTTOM SPOT ELEVATION

D'ANDREA SURVEYING & ENGINEERING, P.C.
 • LAND PLANNERS
 • ENGINEERS
 • SURVEYORS
 P.O. BOX 549 RIVERSIDE, CT 06878
 6 NEIL LANE TEL. 637-1779

PROJECT	COMMERCIAL DEVELOPMENT
PREPARED FOR	375 FAIRFIELD AVENUE ASSOCIATES
LOCATION	375 FAIRFIELD AVENUE STAMFORD, CONNECTICUT
1 OF 1	BUILDING "B" PROPOSED AVERAGE GRADE WORKSHEET

0	10-4-23	ZONING SUBMISSION
REV.	DATE	DESCRIPTION
DEREK E. DAUNAS, CT. PE No. 22861		
Derek E. Daunas		10-4-23
ENGINEER		DATE

ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.



- NOTES:**
- The purpose of this plan is only for the calculation of the average grade for the proposed building. It shall not be used for any other aspect of construction.
 - Proposed grades were taken from the Site Grading Plan, Sheet C-1.2 of the Civil plan set.
 - Elevations shown are based on the North American Vertical Datum of 1988 (NAVD 88).

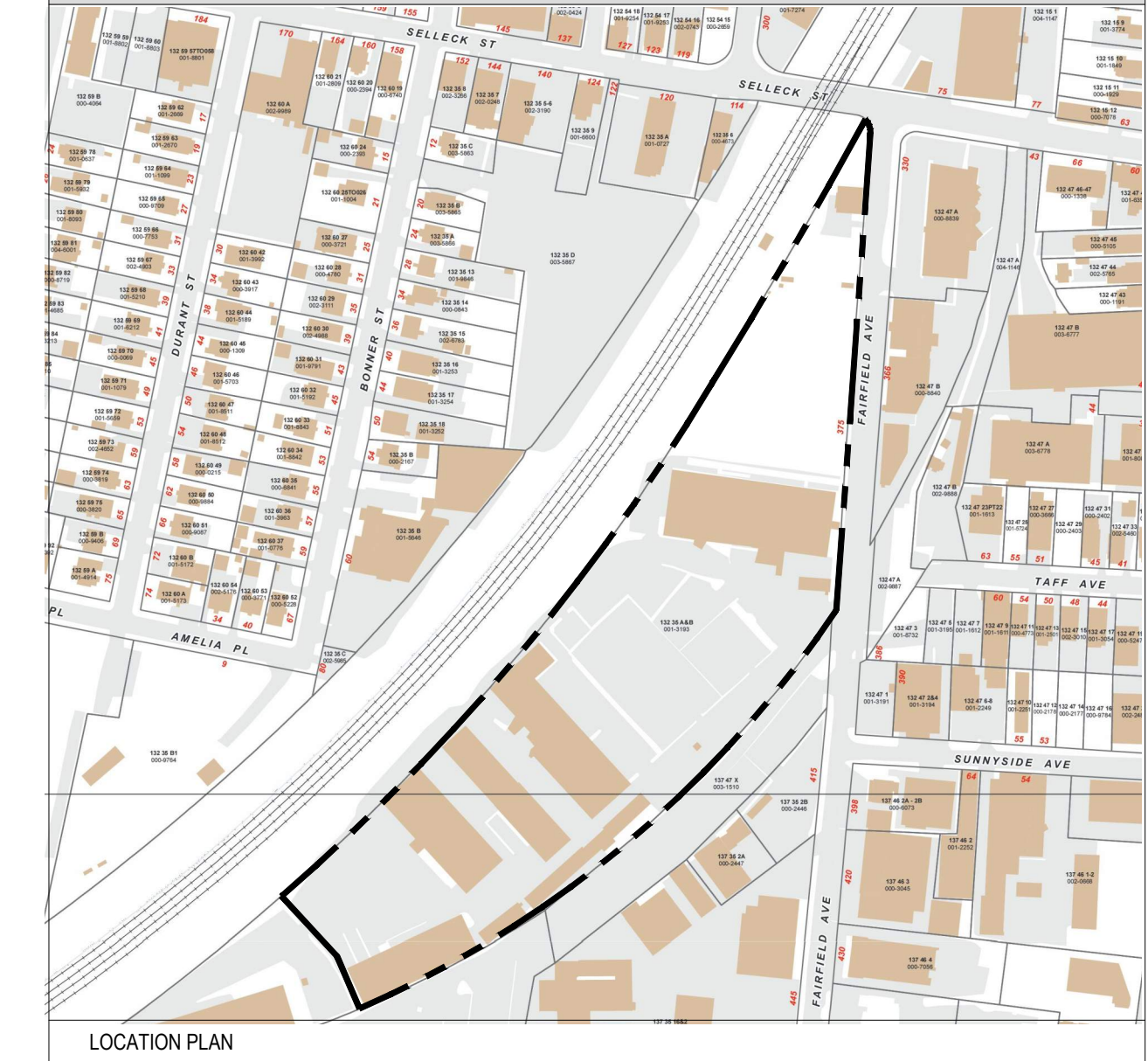
BARFIELD_23DA_PRO_GP_GDING (DED)

23DA

SITE PLAN APPLICATION

**375 FAIRFIELD AVE
STAMFORD, CT 06902**

PROJECT LOCATION



LOCATION PLAN



OWNER: 375 FAIRFIELD AVE ASSOCIATES
375 FAIRFIELD AVE
STAMFORD, CT 06902

ARCHITECT:
 JASON LITTLE ARCHITECTS, PLLC
50 WASHINGTON STREET, SUITE 918
NORWALK, CT 06854
917-902-7962
www.jlarch.com

LAND USE COUNSEL: CARMODY, TORRANCE, SANDAK & HENNESSEY LLP
1055 WASHINGTON BLVD
STAMFORD, CT 06901

CIVIL ENGINEER: ROCCO V. D'ANDREA, INC
6 NEIL LANE
P.O. BOX 549
RIVERSIDE, CT 06878

TRAFFIC ENGINEER: SLR CONSULTING
195 CHURCH ST, 7TH FL
NEW HAVEN, CT 06510

LANDSCAPE DESIGN: ENVIRONMENTAL LAND SOLUTIONS
8 KNIGHT STREET, #203
NORWALK, CT 06851



BUILDING A

SCOPE OF WORK

CONSTRUCTION OF TWO NEW WAREHOUSE BUILDINGS ON TWO UNDEVELOPED AREAS OF THE PROJECT SITE.

LIST OF DRAWINGS

NO.	DESCRIPTION	DATE	STATUS
A-1	COVER SHEET		■
A-2	BLDG A - SKETCH RENDERINGS		■
A-3	BLDG B - SKETCH RENDERINGS		■
A-4	MATERIAL SELECTIONS		■
A-5	BLDG A - EXTERIOR ELEVATIONS		■
A-6	BLDG B - EXTERIOR ELEVATIONS		■
A-7	BUILDING SECTIONS		■
A-8	BLDG A - CELLAR PLAN		■
A-9	BLDG A - 1ST FLOOR PLAN		■
A-10	BLDG A - 2ND FLOOR PLAN		■
A-11	BLDG A - 3RD FLOOR PLAN		■
A-12	BLDG A - ROOF PLAN		■
A-13	BLDG B - 1ST FLOOR & MEZZANINE PLAN		■
A-14	BLDG B - ROOF PLAN		■

FLOOR AREA ANALYSIS

OVERALL SITE - FLOOR AREA

LOT AREA	408,665 SF
MAXIMUM FLOOR AREA RATIO	1.0
ALLOWABLE FLOOR AREA	408,665 SF

BLDG NAME	BLDG AREA	STATUS
A	55,200 SF	PROPOSED
B	39,980 SF	PROPOSED
1	56,018 SF	EXISTING
2	1,049 SF	EXISTING
3	41,401 SF	EXISTING
4	25,079 SF	EXISTING
5	5,797 SF	EXISTING
13	32,308 SF	EXISTING
14	13,121 SF	EXISTING
17	1,941 SF	EXISTING

TOTAL	271,894 SF
--------------	-------------------

REMAINING FLOOR AREA	136,771 SF
-----------------------------	-------------------

BUILDING A

Use: Warehouse (54,156 SF)
Food Service (1,044 SF)

No. Stories: 3

Height: 48'-3 1/4" (to top of roof surface)

Floor Area	
1st Floor	18,400 GSF
2nd Floor	18,400 GSF
3rd Floor	18,400 GSF
TOTAL	55,200 GSF

FLOOR AREA IS CALCULATED AS DETERMINED UNDER THE DEFINITION OF 'FLOOR AREA RATIO (FAR)' CONTAINED IN SEC 3 B OF THE ZONING REGULATIONS.

BUILDING B

Use: Warehouse

No. Stories: 1

Height: 36'-0" (to top of roof surface)

Floor Area	
1st Floor	37,020 GSF
Mezzanine	2,960 GSF
TOTAL	39,980 GSF

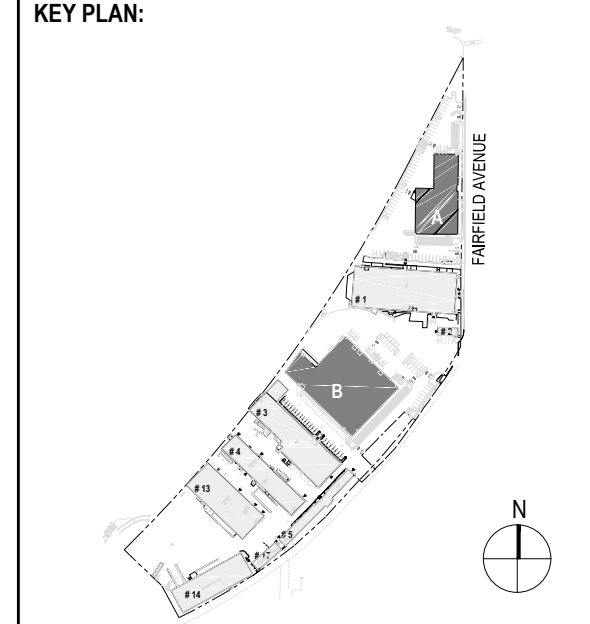


BUILDING B

**SECTION 12 - MOBILITY
ANALYSIS FOR PROPOSED BUILDINGS**

	AREA	USE	REQ'D PARKING	PROVIDED PARKING	ACCESSIBLE PARKING	EV CHARGING STATIONS	CLASS 'A' BIKE PARKING (ENCLOSED)	CLASS 'B' BIKE PARKING (COVERED)
BUILDING A	54,156 GSF	WAREHOUSE	28	52	3	6	12	28
	1,044 GSF	FOOD SERVICE	21					
BUILDING B	39,980 GSF	WAREHOUSE	20	46	2	4	8	20

MARK	DATE	DESCRIPTION
	10/04/23	SITE PLAN APPLICATION



PROJECT LOCATION:
375 FAIRFIELD AVE
MBLU: 001 / 3193 PID: 4656

DRAWING TITLE:
COVER SHEET

DWG # A-1

SEAL & SIGNATURE _____ **DATE:** 10/04/2023

PROJECT #: 2308

SCALE: _____

PAGE # - of -

PERMIT APPLICATION #: TBD
FOR BUILDING DEPARTMENT USE:

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BUILDING B - NORTHEAST AERIAL VIEW



BUILDING B - NORTHWEST AERIAL VIEW



BUILDING B - SOUTHWEST AERIAL VIEW



BUILDING B - SOUTHEAST AERIAL VIEW

OWNER: 375 FAIRFIELD AVE ASSOCIATES
 375 FAIRFIELD AVE
 STAMFORD, CT 06902

ARCHITECT:
 JASON LITTLE ARCHITECTS, PLLC
 50 WASHINGTON STREET, SUITE 918
 NORWALK, CT 06854
 917-902-7962

LAND USE COUNSEL: CARMODY, TORRANCE, SANDAK & HENNESSEY LLP
 1055 WASHINGTON BLVD
 STAMFORD, CT 06901

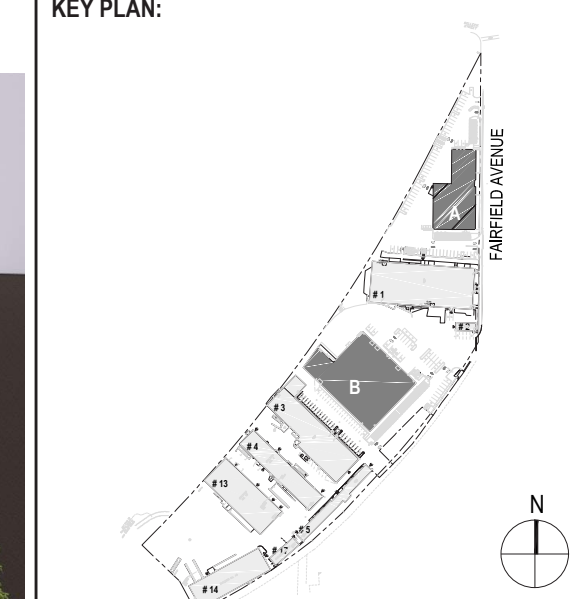
CIVIL ENGINEER: ROCCO V. D'ANDREA, INC
 6 NEIL LANE
 P.O. BOX 549
 RIVERSIDE, CT 06878

TRAFFIC ENGINEER: SLR CONSULTING
 195 CHURCH ST, 7TH FL
 NEW HAVEN, CT 06510

LANDSCAPE DESIGN: ENVIRONMENTAL LAND SOLUTIONS
 8 KNIGHT STREET, #203
 NORWALK, CT 06851

MARK	DATE	DESCRIPTION

10/04/23 SITE PLAN APPLICATION



PROJECT LOCATION:
 375 FAIRFIELD AVE
 MBLU: 001 / 3193 PID: 4656

DRAWING TITLE:
SKETCH RENDERINGS - BUILDING B

DWG # **A-3**

SEAL & SIGNATURE	DATE: 10/04/2023
	PROJECT #: 2308
SCALE:	
PAGE # - of -	

PERMIT APPLICATION #: TBD
 FOR BUILDING DEPARTMENT USE:

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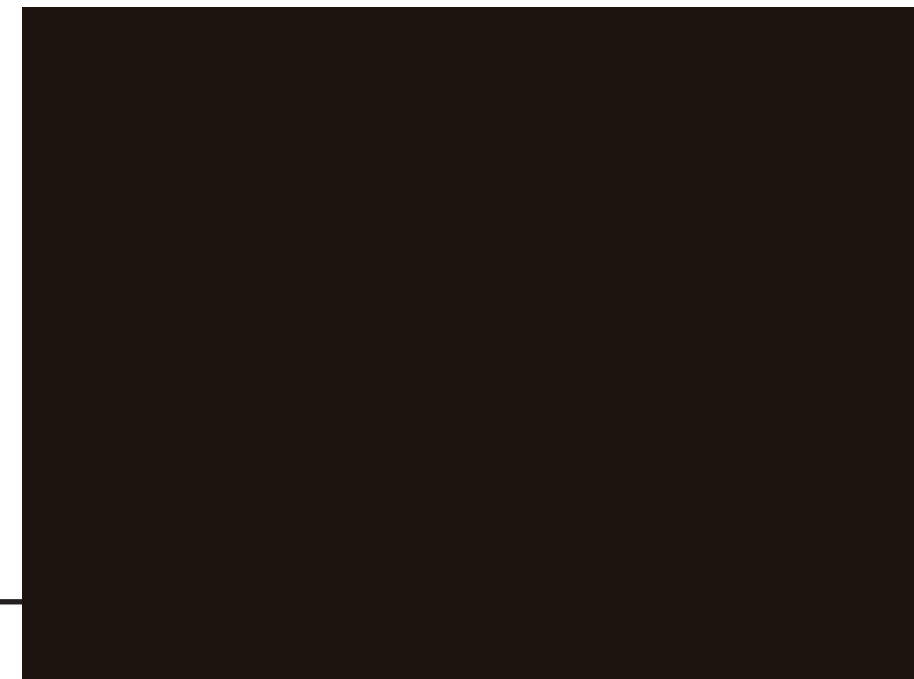


**BUILDING A
MATERIAL SELECTIONS**

PRECAST CONCRETE PANEL
COLOR 113: BUFF TAN SANDBLASTED



METAL PANEL
COLOR: DARK GREY



METAL TRIM, DOORS AND ACCENTS
BLUE



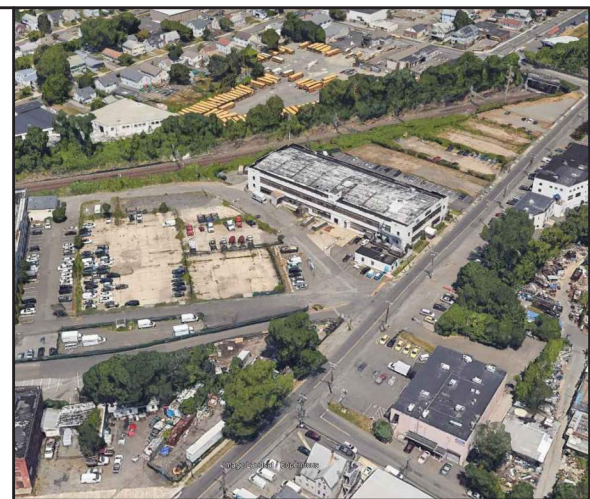
INSULATED METAL PANEL
METL-SPAN CF MESA (REGAL GRAY)



INSULATED METAL PANEL
METL-SPAN CF MESA (SLATE GRAY)



**BUILDING B
MATERIAL SELECTIONS**



OWNER: 375 FAIRFIELD AVE ASSOCIATES
375 FAIRFIELD AVE
STAMFORD, CT 06902

ARCHITECT:
JASON LITTLE ARCHITECTS, PLLC
50 WASHINGTON STREET, SUITE 918
NORWALK, CT 06854
917-902-7962
www.jlarch.com

LAND USE COUNSEL: CARMODY, TORRANCE, SANDAK & HENNESSEY LLP
1055 WASHINGTON BLVD
STAMFORD, CT 06901

CIVIL ENGINEER: ROCCO V. D'ANDREA, INC.
6 NEIL LANE
P.O. BOX 549
RIVERSIDE, CT 06878

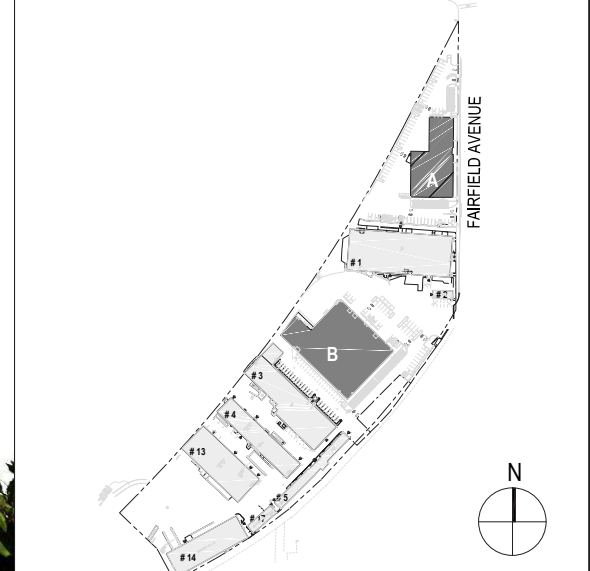
TRAFFIC ENGINEER: SLR CONSULTING
195 CHURCH ST, 7TH FL
NEW HAVEN, CT 06510

LANDSCAPE DESIGN: ENVIRONMENTAL LAND SOLUTIONS
8 KNIGHT STREET, #203
NORWALK, CT 06851

MARK	DATE	DESCRIPTION

10/04/23 SITE PLAN APPLICATION

KEY PLAN:



PROJECT LOCATION:

375 FAIRFIELD AVE
MBLU: 001 / 3193 PID: 4656

DRAWING TITLE:

MATERIAL SELECTIONS

DWG #

A-4

SEAL & SIGNATURE

DATE: 10/04/2023

PROJECT #: 2308

SCALE:

PAGE # - of -

PERMIT APPLICATION #: TBD
FOR BUILDING DEPARTMENT USE:



4 WEST ELEVATION
3/32" = 1'-0"



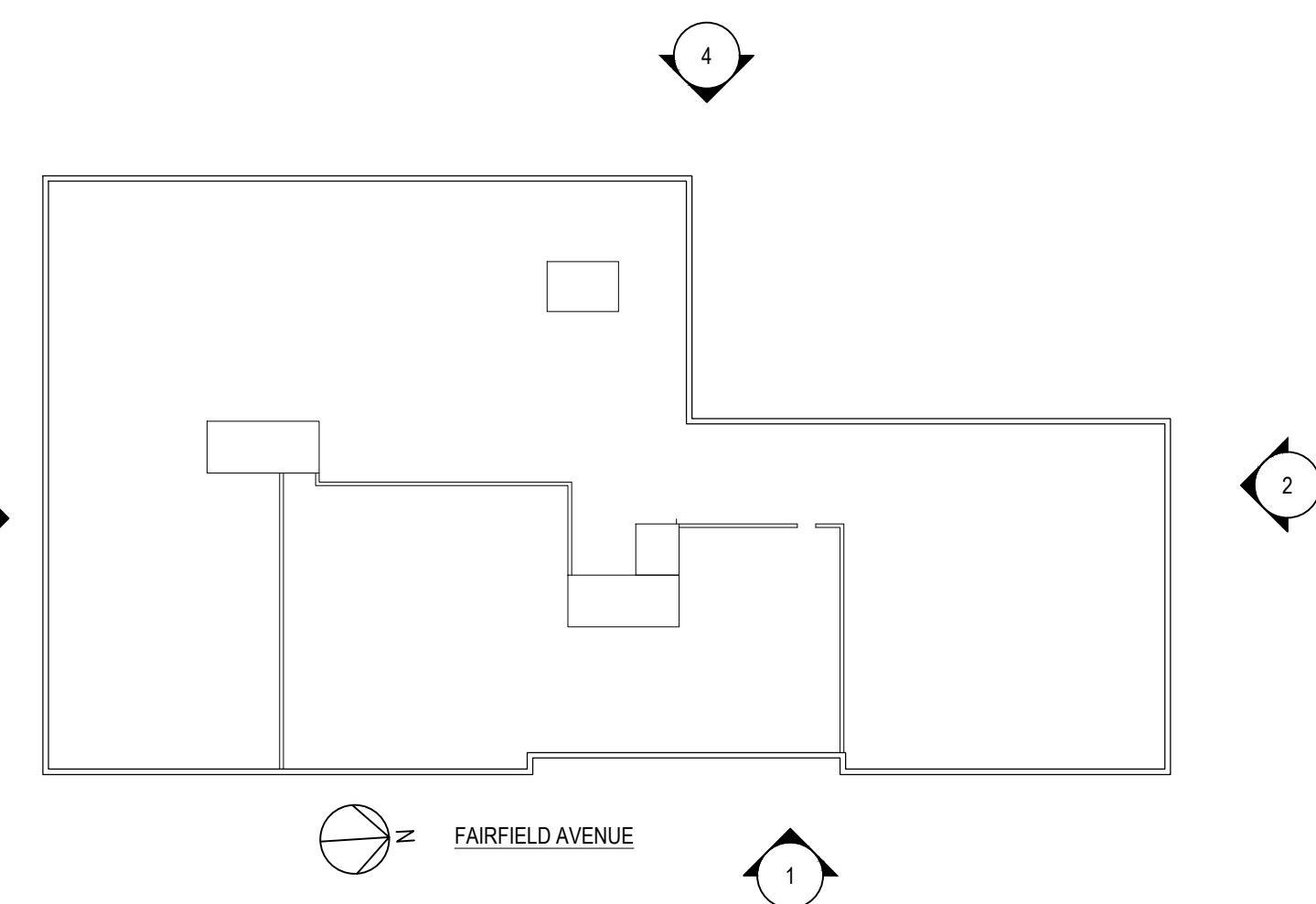
2 NORTH ELEVATION
3/32" = 1'-0"



3 SOUTH ELEVATION
3/32" = 1'-0"



1 EAST ELEVATION
3/32" = 1'-0"



BLDG A KEY PLAN
3/32" = 1'-0"



OWNER: 375 FAIRFIELD AVE ASSOCIATES
375 FAIRFIELD AVE
STAMFORD, CT 06902

ARCHITECT:
JASON LITTLE ARCHITECTS, PLLC
50 WASHINGTON STREET, SUITE 918
NORWALK, CT 06854
917-902-7962
www.jla.com

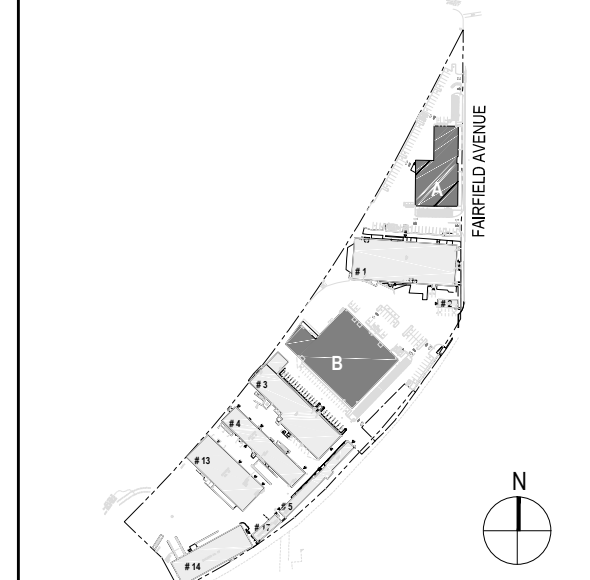
LAND USE COUNSEL: CARMODY, TORRANCE, SANDAK & HENNESSEY LLP 1055 WASHINGTON BLVD STAMFORD, CT 06901	CIVIL ENGINEER: ROCCO V. D'ANDREA, INC 6 NEIL LANE P.O. BOX 549 RIVERSIDE, CT 06878
--	---

TRAFFIC ENGINEER: SLR CONSULTING 195 CHURCH ST, 7TH FL NEW HAVEN, CT 06510	LANDSCAPE DESIGN: ENVIRONMENTAL LAND SOLUTIONS 8 KNIGHT STREET, #203 NORWALK, CT 06851
---	--

MARK	DATE	DESCRIPTION

10/04/23 SITE PLAN APPLICATION

KEY PLAN:



PROJECT LOCATION:

375 FAIRFIELD AVE
MBLU: 001 / 3193 PID: 4656

DRAWING TITLE:

BLDG A - EXTERIOR
ELEVATIONS

DWG #

A-5

SEAL & SIGNATURE

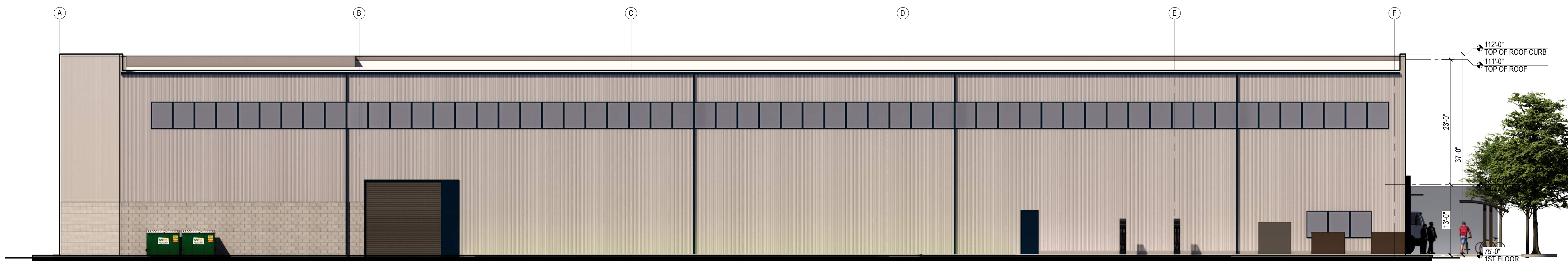
DATE: 10/04/2023

PROJECT #: 2308

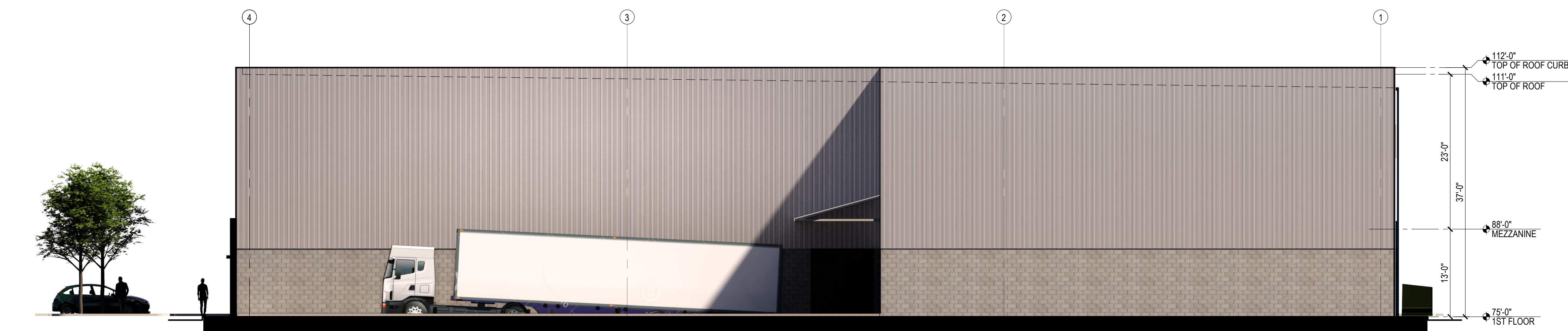
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PAGE # - of -

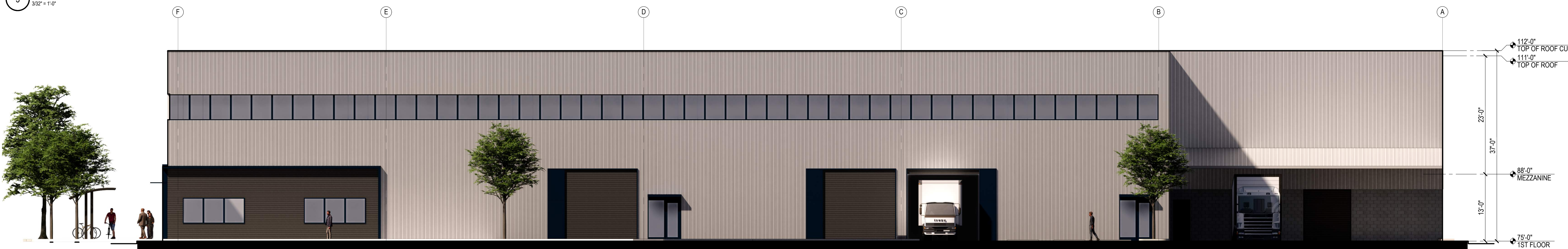
PERMIT APPLICATION #: TBD
FOR BUILDING DEPARTMENT USE:



4 SOUTH ELEVATION
3/32" = 1'-0"



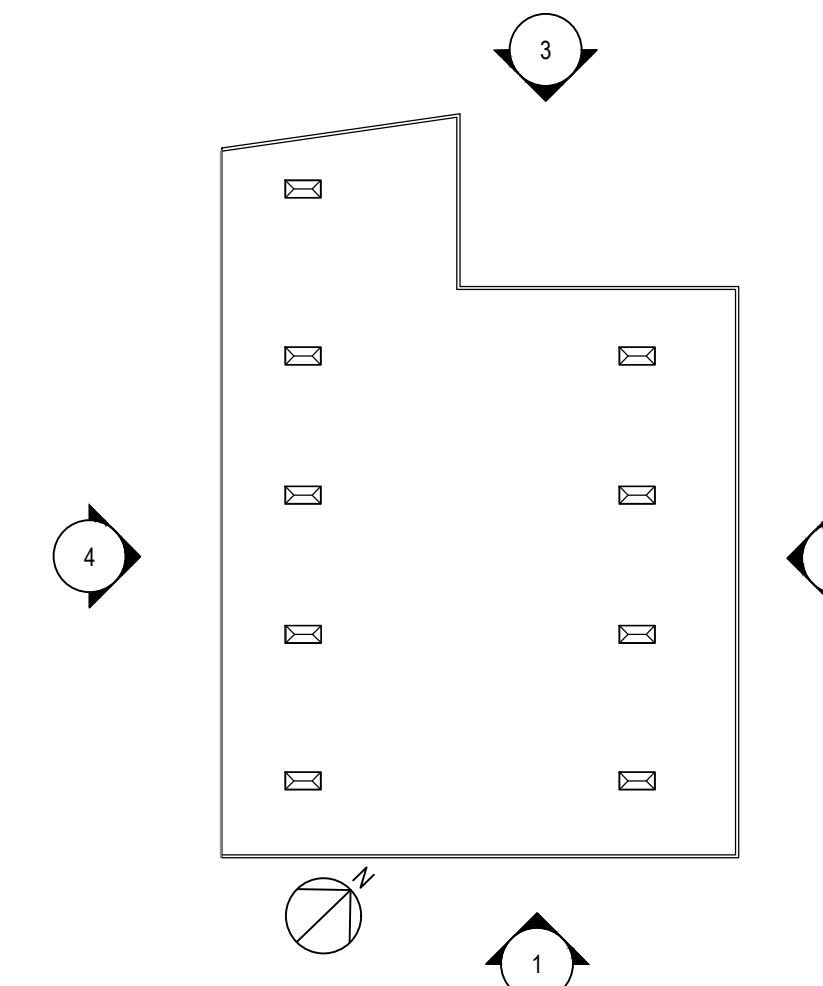
3 WEST ELEVATION
3/32" = 1'-0"



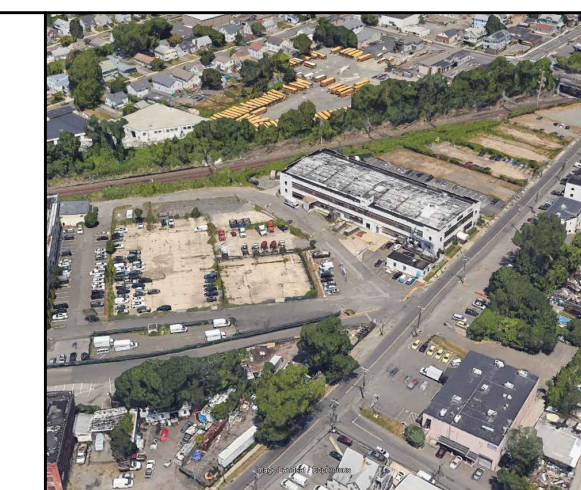
2 NORTH ELEVATION
3/32" = 1'-0"



1 EAST ELEVATION
3/32" = 1'-0"



BLDG B KEY PLAN
1/8" = 1'-0"



OWNER: 375 FAIRFIELD AVE ASSOCIATES
375 FAIRFIELD AVE
STAMFORD, CT 06902

ARCHITECT:
JL ARCHITECTS
JASON LITTLE ARCHITECTS, PLLC
50 WASHINGTON STREET, SUITE 918
NORWALK, CT 06854
917-902-7962
www.jlarch.com

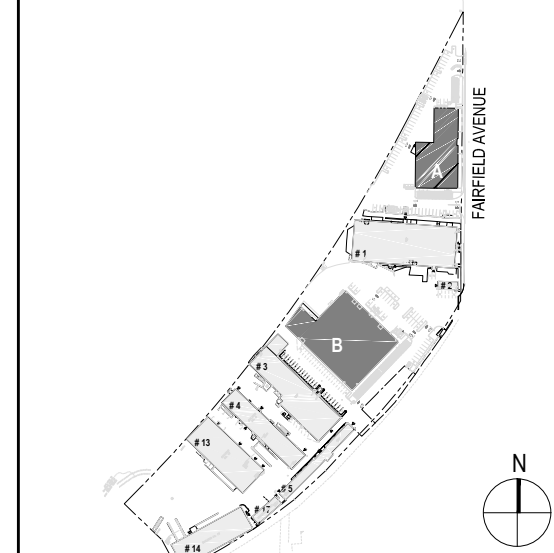
LAND USE COUNSEL: CIVIL ENGINEER:
CARMODY, TORRANCE,
SANDAK & HENNESSEY
LLP 1055 WASHINGTON BLVD
STAMFORD, CT 06901 ROCCO V. D'ANDREA, INC
6 NEIL LANE
RIVERSIDE, CT 06878

TRAFFIC ENGINEER: LANDSCAPE DESIGN:
SLR CONSULTING 195 CHURCH ST, 7TH FL
NEW HAVEN, CT 06510 ENVIRONMENTAL LAND
SOLUTIONS 8 KNIGHT STREET, #203
NORWALK, CT 06851

MARK	DATE	DESCRIPTION

10/04/23 SITE PLAN APPLICATION

KEY PLAN:



PROJECT LOCATION:
375 FAIRFIELD AVE
MBLU: 001/3193 PID: 4656

DRAWING TITLE:
BLDG B - EXTERIOR ELEVATIONS

DWG # **A-6**
SEAL & SIGNATURE _____ DATE: 10/04/2023
PROJECT #: 2308
SCALE: 3/32" = 1'-0"
PAGE # - of -

PERMIT APPLICATION #: TBD
FOR BUILDING DEPARTMENT USE:



OWNER: 375 FAIRFIELD AVE ASSOCIATES
375 FAIRFIELD AVE
STAMFORD, CT 06902

ARCHITECT: JASON LITTLE ARCHITECTS, PLLC
50 WASHINGTON STREET, SUITE 918
NORWALK, CT 06854
917-902-7962
www.jla.com

LAND USE COUNSEL: CARMODY, TORRANCE, SANDAK & HENNESSEY LLP
1055 WASHINGTON BLVD
STAMFORD, CT 06901

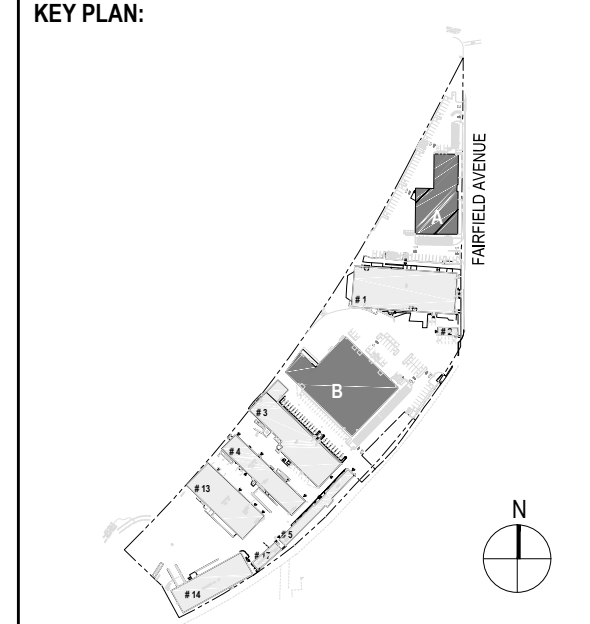
CIVIL ENGINEER: ROCCO V. D'ANDREA, INC
6 NEIL LANE
P.O. BOX 548
RIVERSIDE, CT 06878

TRAFFIC ENGINEER: SLR CONSULTING
195 CHURCH ST, 7TH FL
NEW HAVEN, CT 06510

LANDSCAPE DESIGN: ENVIRONMENTAL LAND SOLUTIONS
8 KNIGHT STREET, #203
NORWALK, CT 06851

MARK	DATE	DESCRIPTION

10/04/23 SITE PLAN APPLICATION



PROJECT LOCATION:
375 FAIRFIELD AVE
MBLU: 001 / 3193 PID: 4656

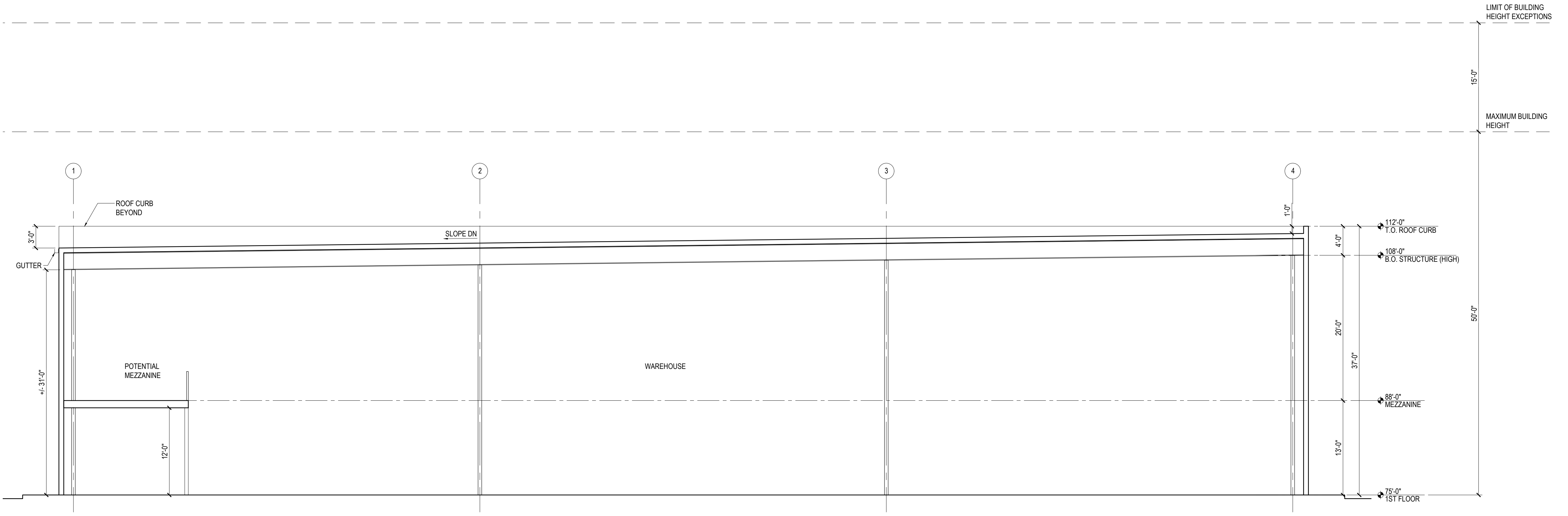
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BUILDING SECTIONS

DWG #
A-7

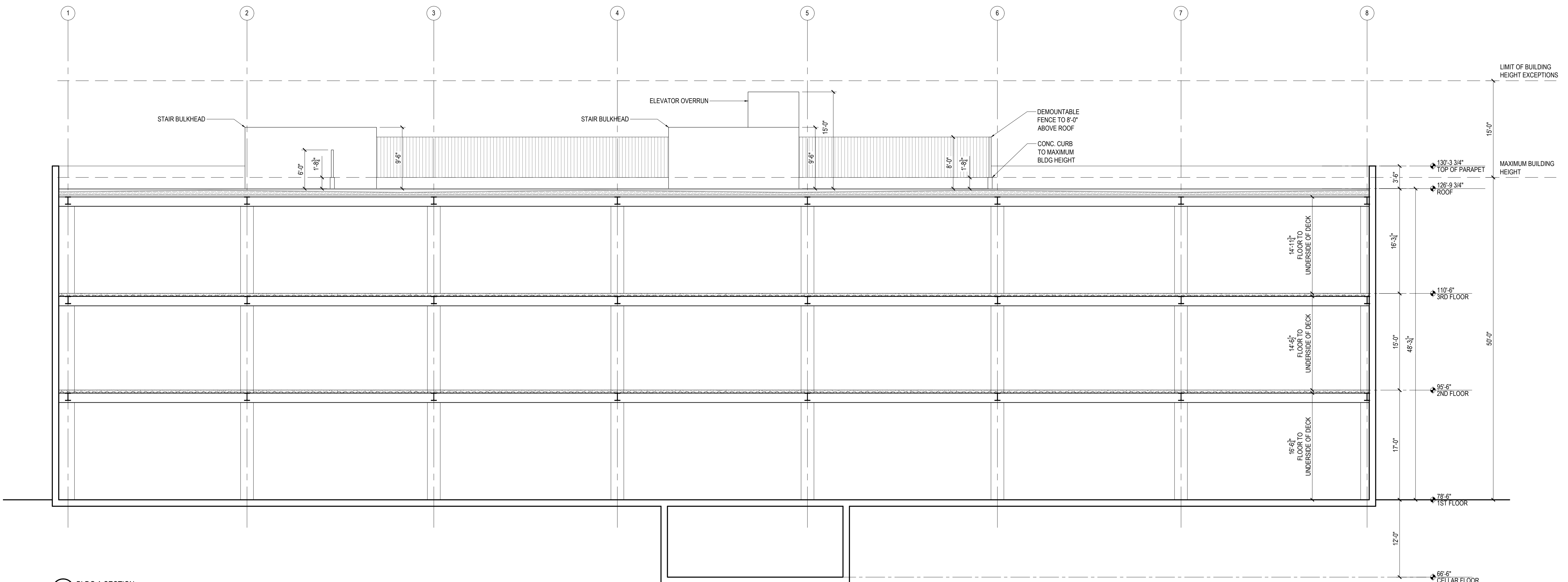
SEAL & SIGNATURE DATE: 10/04/2023
PROJECT #: 2308

SCALE: 1/2" = 1'-0"
PAGE # - of -

PERMIT APPLICATION #: TBD
FOR BUILDING DEPARTMENT USE:



2 BLDG B SECTION
1/8" = 1'-0"



1 BLDG A SECTION
1/8" = 1'-0"



OWNER: 375 FAIRFIELD AVE ASSOCIATES
375 FAIRFIELD AVE
STAMFORD, CT 06902

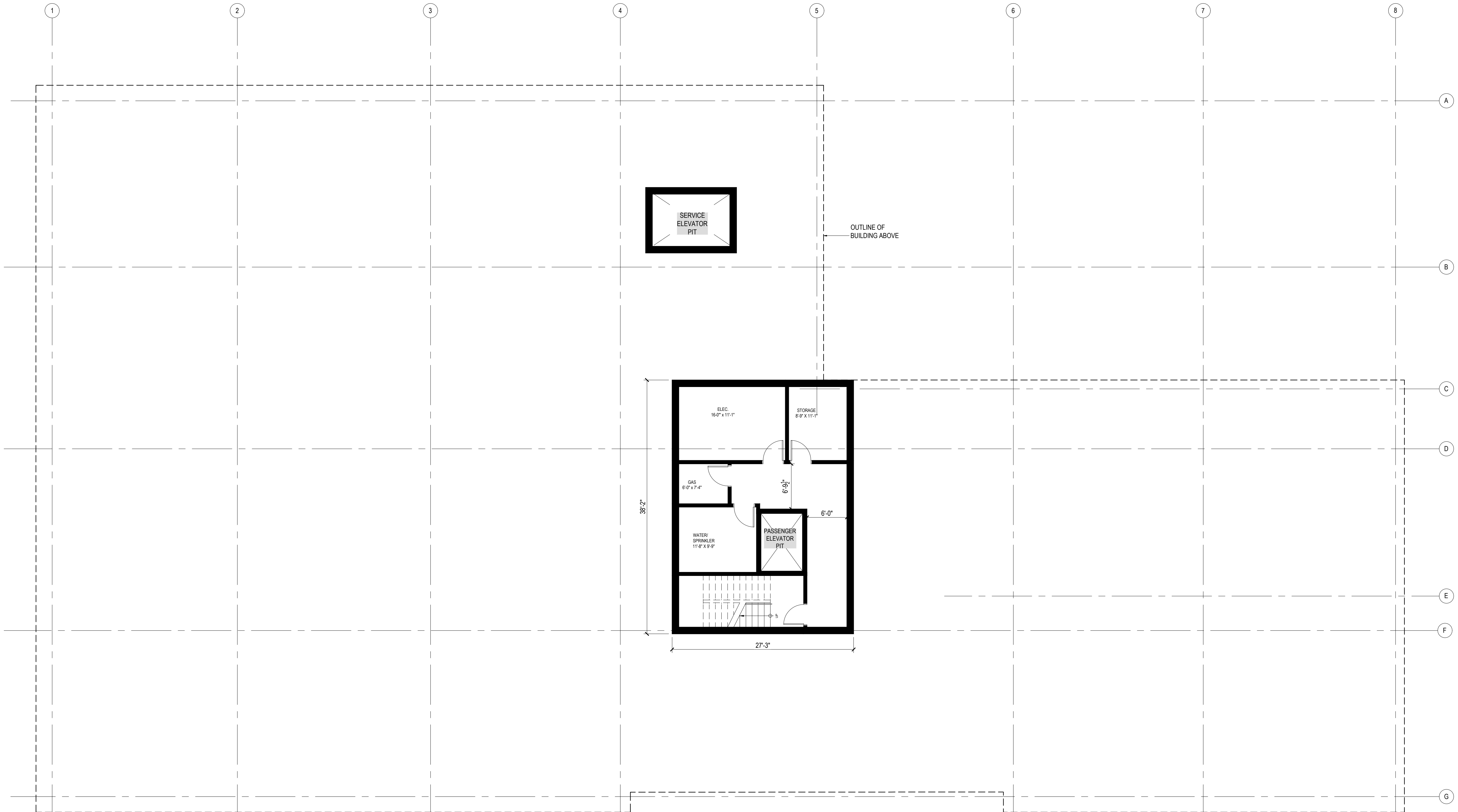
ARCHITECT: JASON LITTLE ARCHITECTS, PLLC
50 WASHINGTON STREET, SUITE 918
NORWALK, CT 06854
917-902-7962
www.jla.com

LAND USE COUNSEL: CARMODY, TORRANCE,
SANDAK & HENNESSEY
LLP
1055 WASHINGTON BLVD
STAMFORD, CT 06901

CIVIL ENGINEER: ROCCO V. D'ANDREA, INC
6 NEIL LANE
P.O. BOX 549
RIVERSIDE, CT 06878

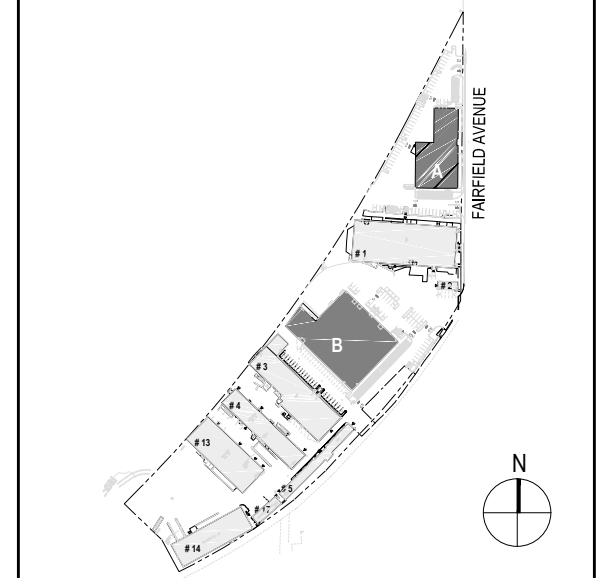
TRAFFIC ENGINEER: SLR CONSULTING
195 CHURCH ST, 7TH FL
NEW HAVEN, CT 06510

LANDSCAPE DESIGN: ENVIRONMENTAL LAND
SOLUTIONS
8 KNIGHT STREET, #203
NORWALK, CT 06851



MARK	DATE	DESCRIPTION

10/04/23 SITE PLAN APPLICATION



PROJECT LOCATION:
375 FAIRFIELD AVE
MBLU: 001 / 3193 PID: 4656

DRAWING TITLE:
BLDG A - CELLAR PLAN

DWG #
A-8

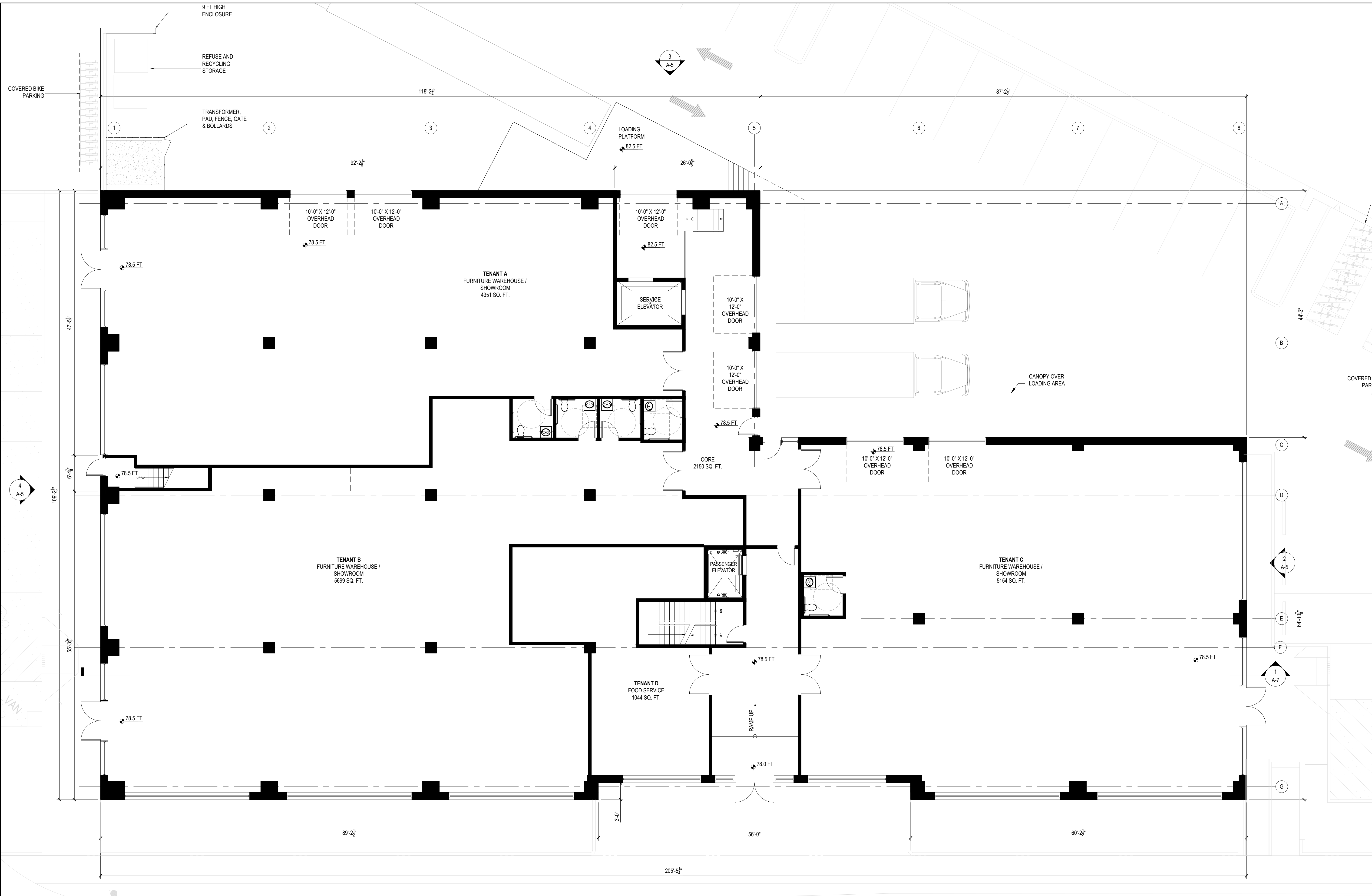
SEAL & SIGNATURE _____ DATE: 10/04/2023
PROJECT #: 2308
SCALE: AS NOTED
PAGE # - of -

PERMIT APPLICATION # : TBD
FOR BUILDING DEPARTMENT USE:

1 CELLAR PLAN
1/8" = 1'-0"

TOTAL GROSS FLOOR AREA: 1039 SQ. FT.

CORE LOCATION AND INTERIOR PARTITION WALLS ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND MAY BE ADJUSTED PRIOR TO APPLICATION FOR BUILDING PERMIT.
REFER TO CIVIL DRAWINGS FOR ALL SITE IMPROVEMENTS
REFER TO LANDSCAPE DRAWINGS FOR ALL LANDSCAPE INFORMATION



OWNER: 375 FAIRFIELD AVE ASSOCIATES
 375 FAIRFIELD AVE
 STAMFORD, CT 06902

ARCHITECT: JASON LITTLE ARCHITECTS, PLLC
 50 WASHINGTON STREET, SUITE 918
 NORWALK, CT 06854
 917-902-7962

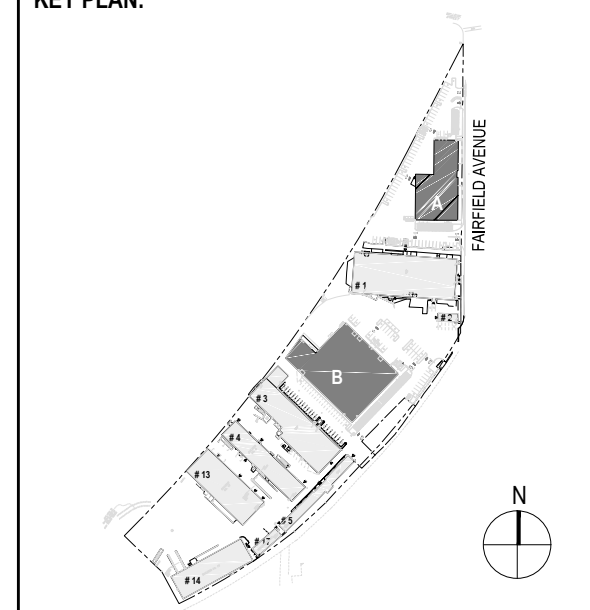
LAND USE COUNSEL: CARMODY, TORRANCE, SANDAK & HENNESSEY LLP
 1055 WASHINGTON BLVD
 STAMFORD, CT 06901

CIVIL ENGINEER: ROCCO V. D'ANDREA, INC
 6 NEIL LANE
 P.O. BOX 549
 RIVERSIDE, CT 06878

TRAFFIC ENGINEER: SLR CONSULTING
 195 CHURCH ST, 7TH FL
 NEW HAVEN, CT 06510

LANDSCAPE DESIGN: ENVIRONMENTAL LAND SOLUTIONS
 8 KNIGHT STREET, #203
 NORWALK, CT 06851

MARK	DATE	DESCRIPTION



PROJECT LOCATION:
 375 FAIRFIELD AVE
 MBLU: 001 / 3193 PID: 4656

DRAWING TITLE:
 BLDG A - 1ST FLOOR PLAN

DWG # **A-9**

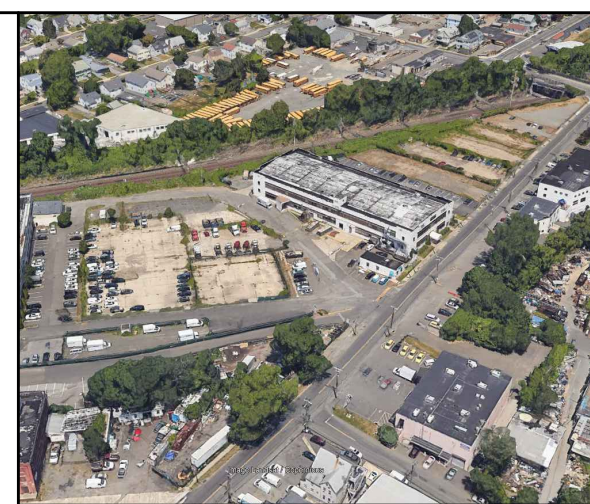
SEAL & SIGNATURE DATE: 10/04/2023
 PROJECT #: 2308
 SCALE: AS NOTED
 PAGE # - of -

PERMIT APPLICATION #: TBD
 FOR BUILDING DEPARTMENT USE:

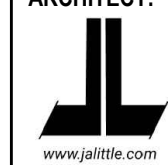
1 1ST FLOOR PLAN
 1/8" = 1'-0"

TOTAL GROSS FLOOR AREA: 18400 SQ. FT.
 WAREHOUSE: 17356 SQ. FT.
 FOOD SERVICE: 1044 SQ. FT.

CORE LOCATION AND INTERIOR PARTITION WALLS ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND MAY BE ADJUSTED PRIOR TO APPLICATION FOR BUILDING PERMIT. REFER TO CIVIL DRAWINGS FOR ALL SITE IMPROVEMENTS REFER TO LANDSCAPE DRAWINGS FOR ALL LANDSCAPE INFORMATION



OWNER: 375 FAIRFIELD AVE ASSOCIATES
375 FAIRFIELD AVE
STAMFORD, CT 06902

ARCHITECT:
 JASON LITTLE ARCHITECTS, PLLC
50 WASHINGTON STREET, SUITE 918
NORWALK, CT 06854
917-902-7962

LAND USE COUNSEL: CARMODY, TORRANCE, SANDAK & HENNESSEY LLP
1055 WASHINGTON BLVD
STAMFORD, CT 06901

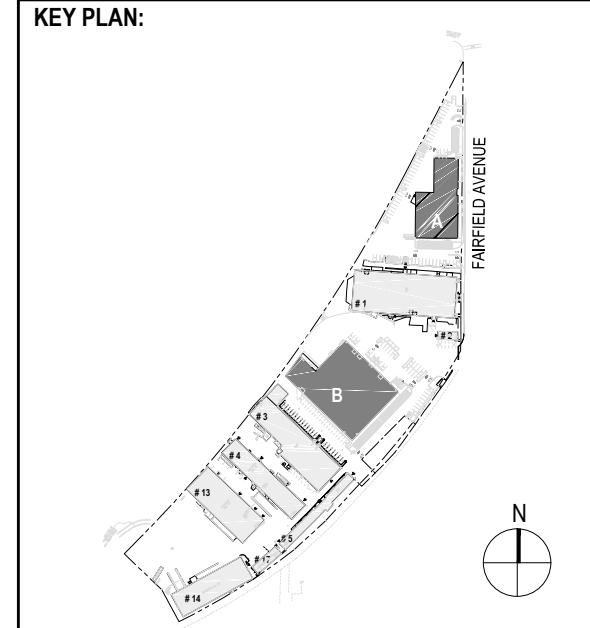
CIVIL ENGINEER:
ROCCO V. D'ANDREA, INC
6 NEIL LANE
P.O. BOX 549
RIVERSIDE, CT 06878

TRAFFIC ENGINEER: SLR CONSULTING
195 CHURCH ST, 7TH FL
NEW HAVEN, CT 06510

LANDSCAPE DESIGN:
ENVIRONMENTAL LAND SOLUTIONS
8 KNIGHT STREET, #203
NORWALK, CT 06851

MARK	DATE	DESCRIPTION

10/04/23 SITE PLAN APPLICATION



PROJECT LOCATION:

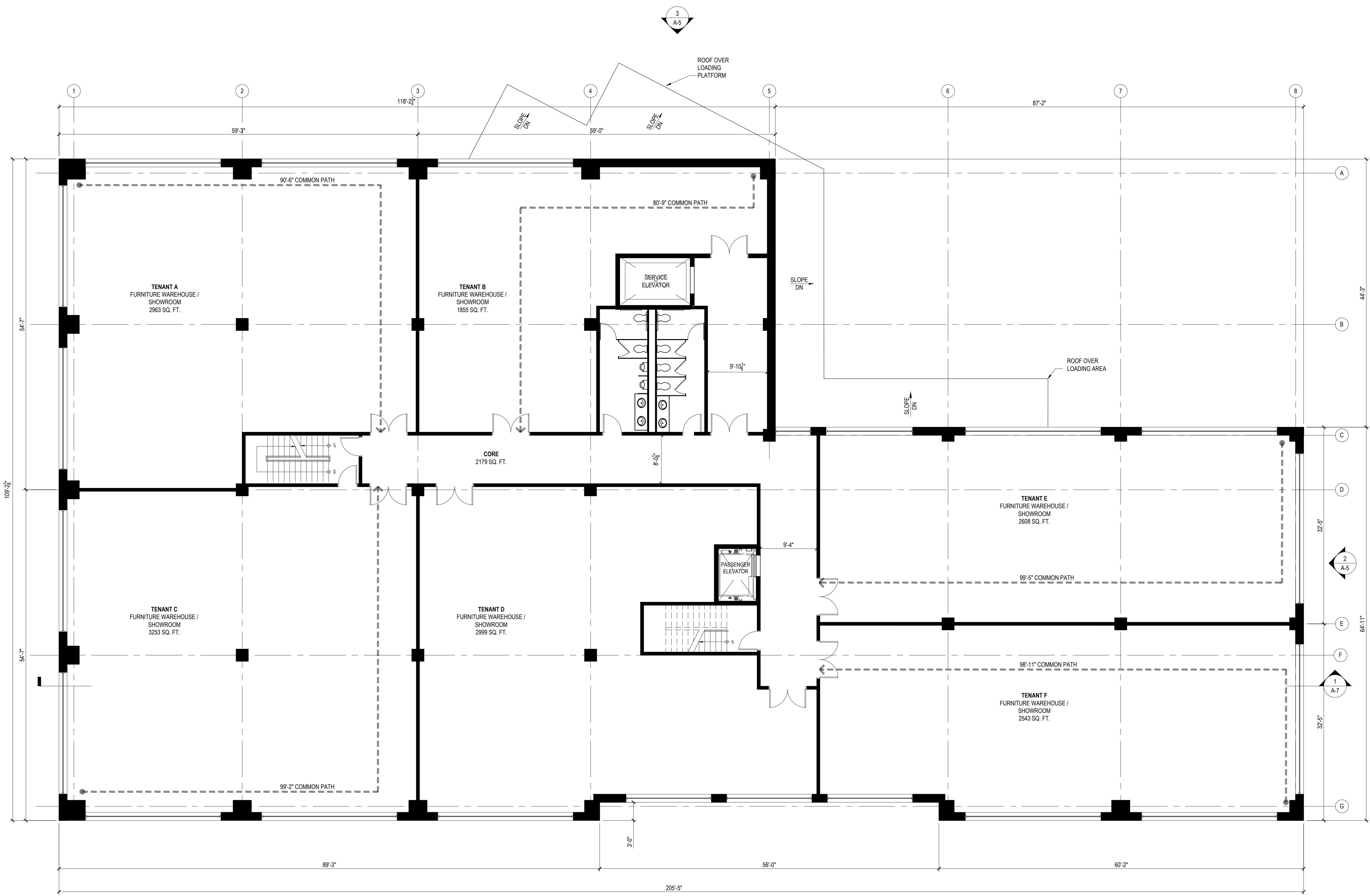
375 FAIRFIELD AVE
MBLU: 001 / 3193 PID: 4656

DRAWING TITLE:
BLDG A - 2ND FLOOR PLAN

DWG # **A-10**

SEAL & SIGNATURE _____ DATE: 10/04/2023
PROJECT #: 2308
SCALE: AS NOTED
PAGE # - of -

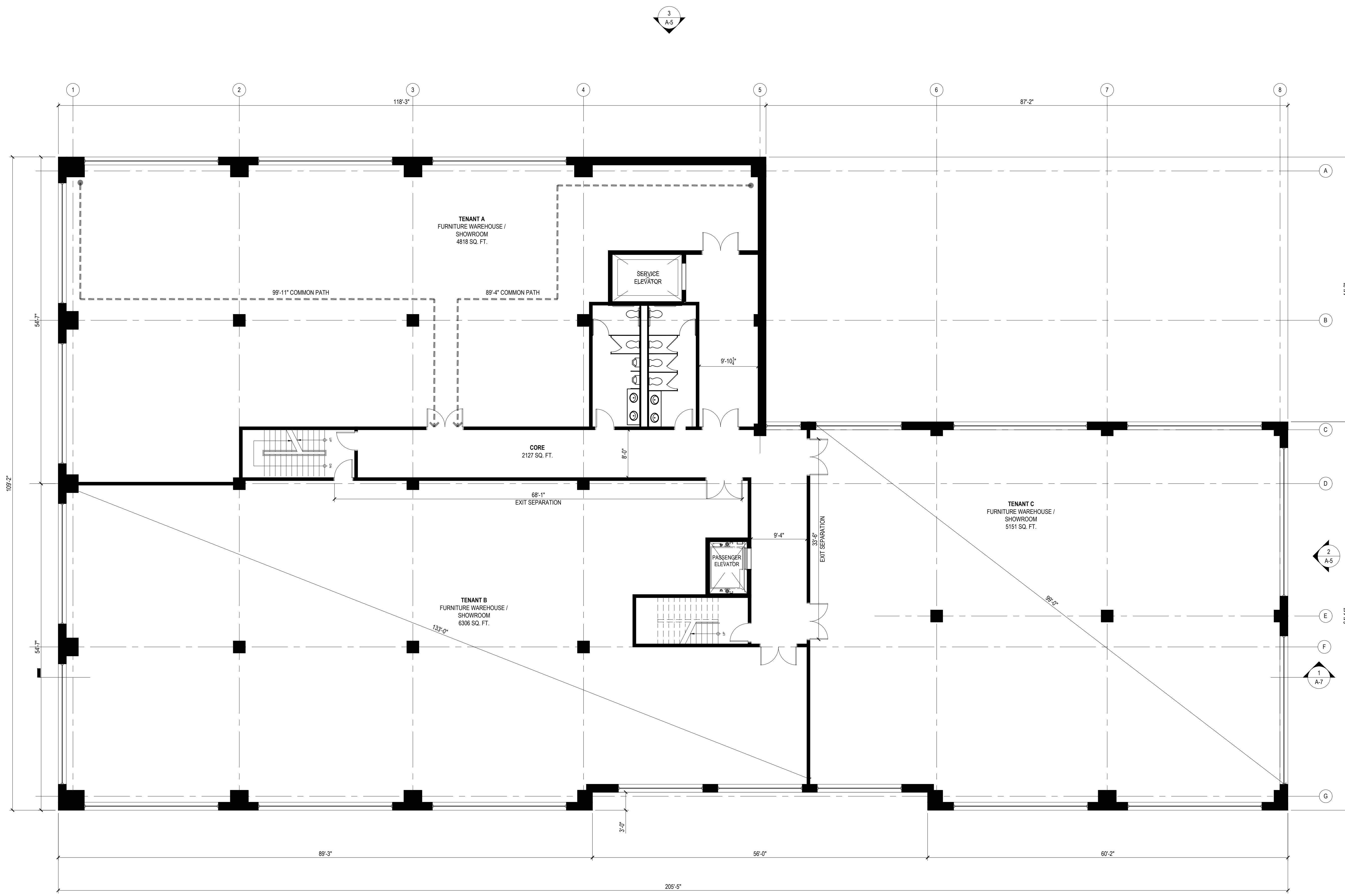
PERMIT APPLICATION #: TBD
FOR BUILDING DEPARTMENT USE:



1 2ND FLOOR PLAN
1/8" = 1'-0"

TOTAL GROSS FLOOR AREA: 18400 SQ. FT.
WAREHOUSE: 18400 SQ. FT.

CORE LOCATION AND INTERIOR PARTITION WALLS ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND MAY BE ADJUSTED PRIOR TO APPLICATION FOR BUILDING PERMIT.
REFER TO CIVIL DRAWINGS FOR ALL SITE IMPROVEMENTS
REFER TO LANDSCAPE DRAWINGS FOR ALL LANDSCAPE INFORMATION



1 3RD FLOOR PLAN
1/8\"/>

TOTAL GROSS FLOOR AREA:	18400 SQ. FT.
WAREHOUSE:	18400 SQ. FT.

CORE LOCATION AND INTERIOR PARTITION WALLS ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND MAY BE ADJUSTED PRIOR TO APPLICATION FOR BUILDING PERMIT.
REFER TO CIVIL DRAWINGS FOR ALL SITE IMPROVEMENTS
REFER TO LANDSCAPE DRAWINGS FOR ALL LANDSCAPE INFORMATION



OWNER: 375 FAIRFIELD AVE ASSOCIATES
375 FAIRFIELD AVE
STAMFORD, CT 06902

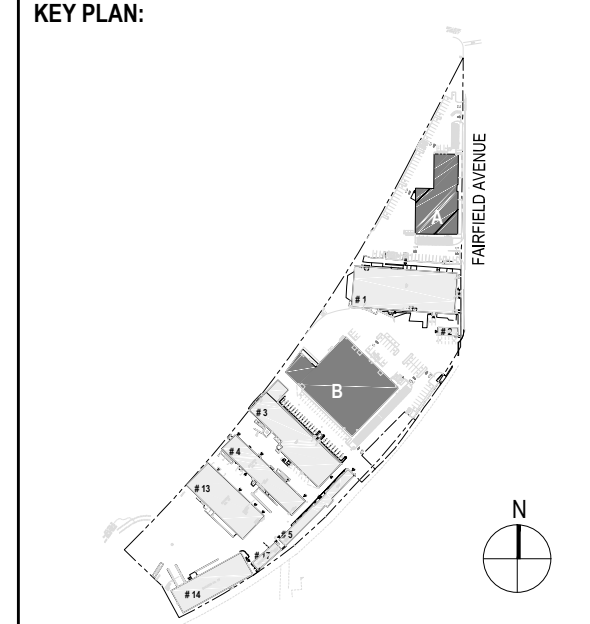
ARCHITECT: JASON LITTLE ARCHITECTS, PLLC
50 WASHINGTON STREET, SUITE 918
NORWALK, CT 06854
917-902-7962

LAND USE COUNSEL:	CIVIL ENGINEER:
CARMODY, TORRANCE, SANDAK & HENNESSEY LLP 1055 WASHINGTON BLVD STAMFORD, CT 06901	ROCCO V. D'ANDREA, INC 6 NEIL LANE P.O. BOX 549 RIVERSIDE, CT 06878

TRAFFIC ENGINEER:	LANDSCAPE DESIGN:
SLR CONSULTING 195 CHURCH ST, 7TH FL NEW HAVEN, CT 06510	ENVIRONMENTAL LAND SOLUTIONS 8 KNIGHT STREET, #203 NORWALK, CT 06851

MARK	DATE	DESCRIPTION

10/04/23 SITE PLAN APPLICATION



PROJECT LOCATION:
375 FAIRFIELD AVE
MBLU: 001 / 3193 PID: 4656

DRAWING TITLE:
BLDG A - 3RD FLOOR PLAN

DWG # **A-11**

SEAL & SIGNATURE	DATE: 10/04/2023
	PROJECT #: 2308
	SCALE: AS NOTED
	PAGE # - of -

PERMIT APPLICATION #: TBD
FOR BUILDING DEPARTMENT USE:



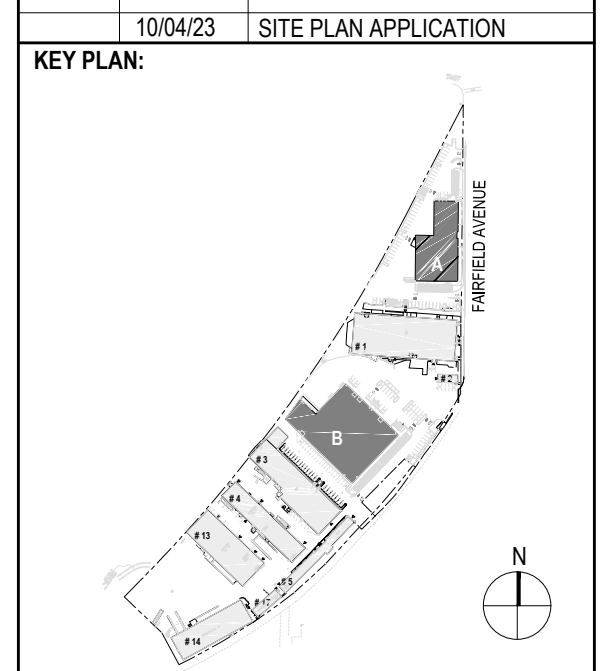
OWNER: 375 FAIRFIELD AVE ASSOCIATES
 375 FAIRFIELD AVE
 STAMFORD, CT 06902

ARCHITECT:
JL ARCHITECTS
 JASON LITTLE ARCHITECTS, PLLC
 50 WASHINGTON STREET, SUITE 918
 NORWALK, CT 06854
 917-902-7962

LAND USE COUNSEL:	CIVIL ENGINEER:
CARMODY, TORRANCE, SANDAK & HENNESSEY LLP 1055 WASHINGTON BLVD STAMFORD, CT 06901	ROCCO V. D'ANDREA, INC 6 NEIL LANE P.O. BOX 549 RIVERSIDE, CT 06878

TRAFFIC ENGINEER:	LANDSCAPE DESIGN:
SLR CONSULTING 195 CHURCH ST, 7TH FL NEW HAVEN, CT 06510	ENVIRONMENTAL LAND SOLUTIONS 8 KNIGHT STREET, #203 NORWALK, CT 06851

MARK	DATE	DESCRIPTION



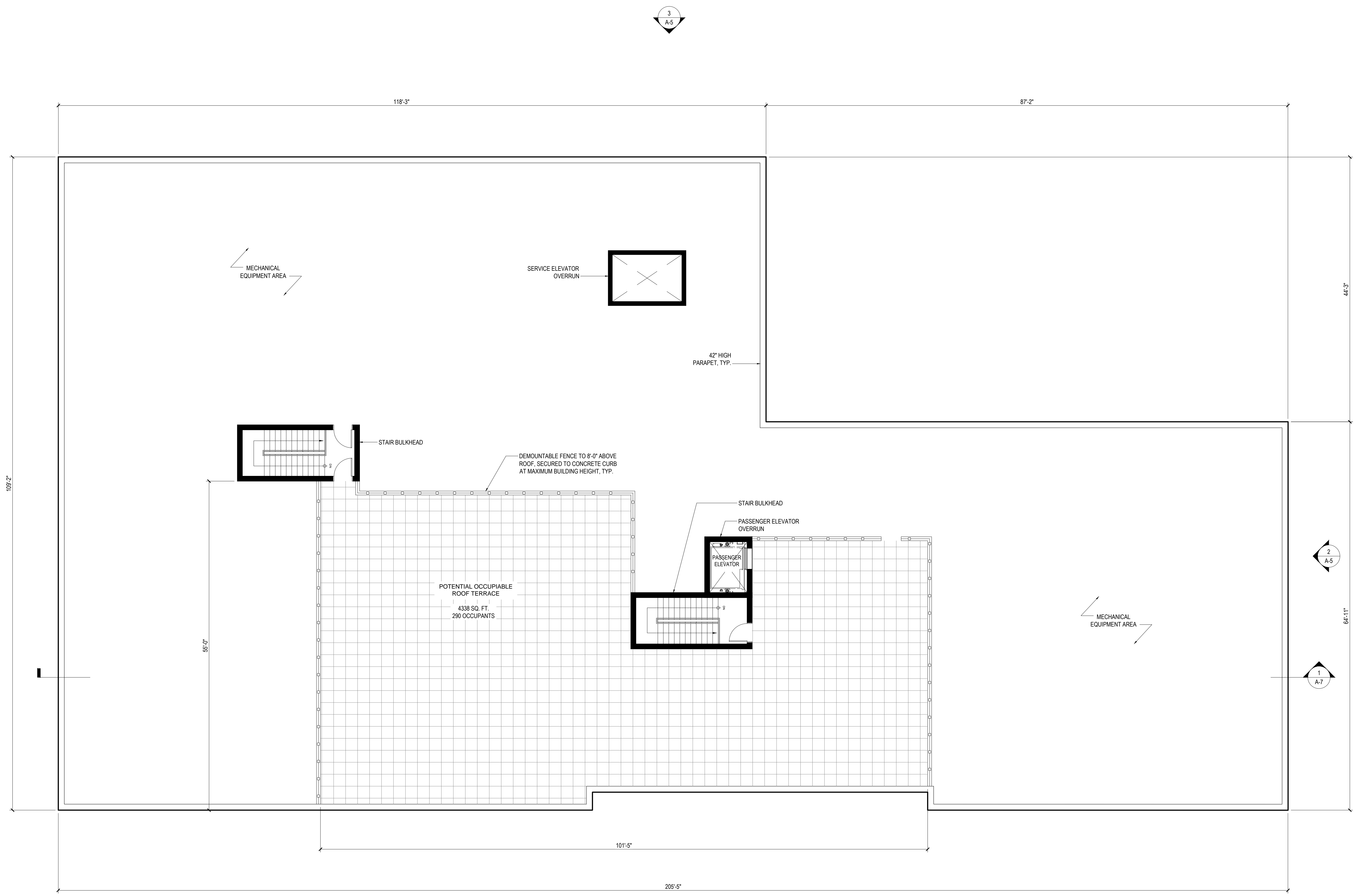
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375 FAIRFIELD AVE
 MBLU: 001/3193 PID: 4656

DRAWING TITLE:
BLDG A - ROOF PLAN

DWG #
A-12

SEAL & SIGNATURE	DATE: 10/04/2023
	PROJECT #: 2308
	SCALE: AS NOTED
PAGE # - of -	

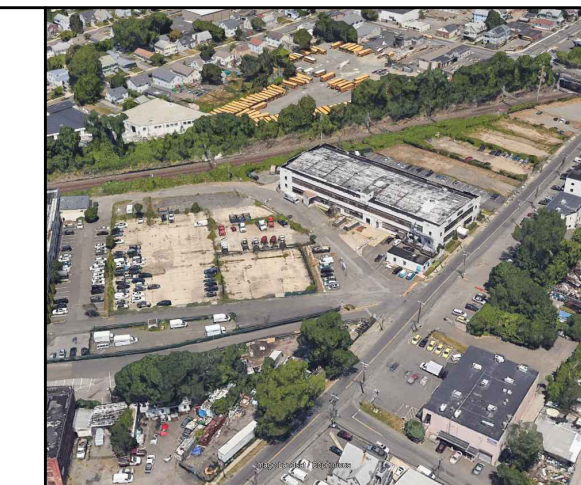
PERMIT APPLICATION #: TBD
 FOR BUILDING DEPARTMENT USE:



TOTAL GROSS FLOOR AREA: 457 SQ. FT.

1 ROOF PLAN
 1/8" = 1'-0"

CORE LOCATION AND LAYOUT OF ROOFTOP COMMON SPACE ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND MAY BE ADJUSTED PRIOR TO APPLICATION FOR BUILDING PERMIT.
 REFER TO CIVIL DRAWINGS FOR ALL SITE IMPROVEMENTS
 REFER TO LANDSCAPE DRAWINGS FOR ALL LANDSCAPE INFORMATION



OWNER: 375 FAIRFIELD AVE ASSOCIATES
 375 FAIRFIELD AVE
 STAMFORD, CT 06902

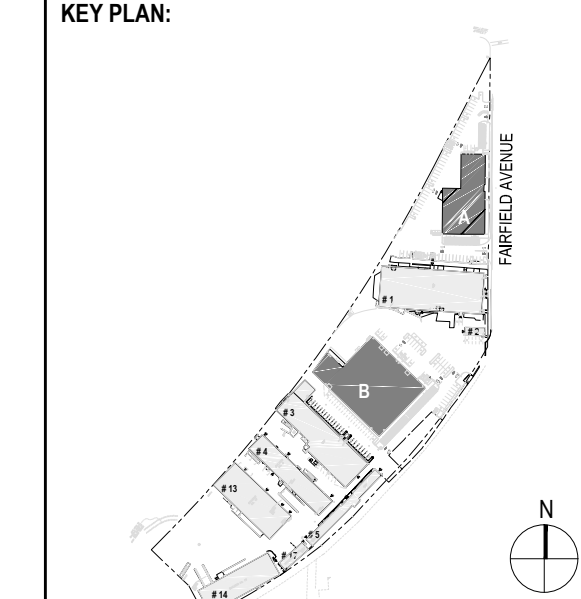
ARCHITECT: JASON LITTLE ARCHITECTS, PLLC
 50 WASHINGTON STREET, SUITE 918
 NORWALK, CT 06854
 917-902-7962

LAND USE COUNSEL: CIVIL ENGINEER:
 CARMODY, TORRANCE, SANDAK & HENNESSEY LLP 6 NEIL LANE
 1055 WASHINGTON BLVD RIVERSIDE, CT 06878
 STAMFORD, CT 06901

TRAFFIC ENGINEER: ENVIRONMENTAL LAND SOLUTIONS
 195 CHURCH ST, 7TH FL 8 KNIGHT STREET, #203
 NEW HAVEN, CT 06510 NORWALK, CT 06851

MARK	DATE	DESCRIPTION

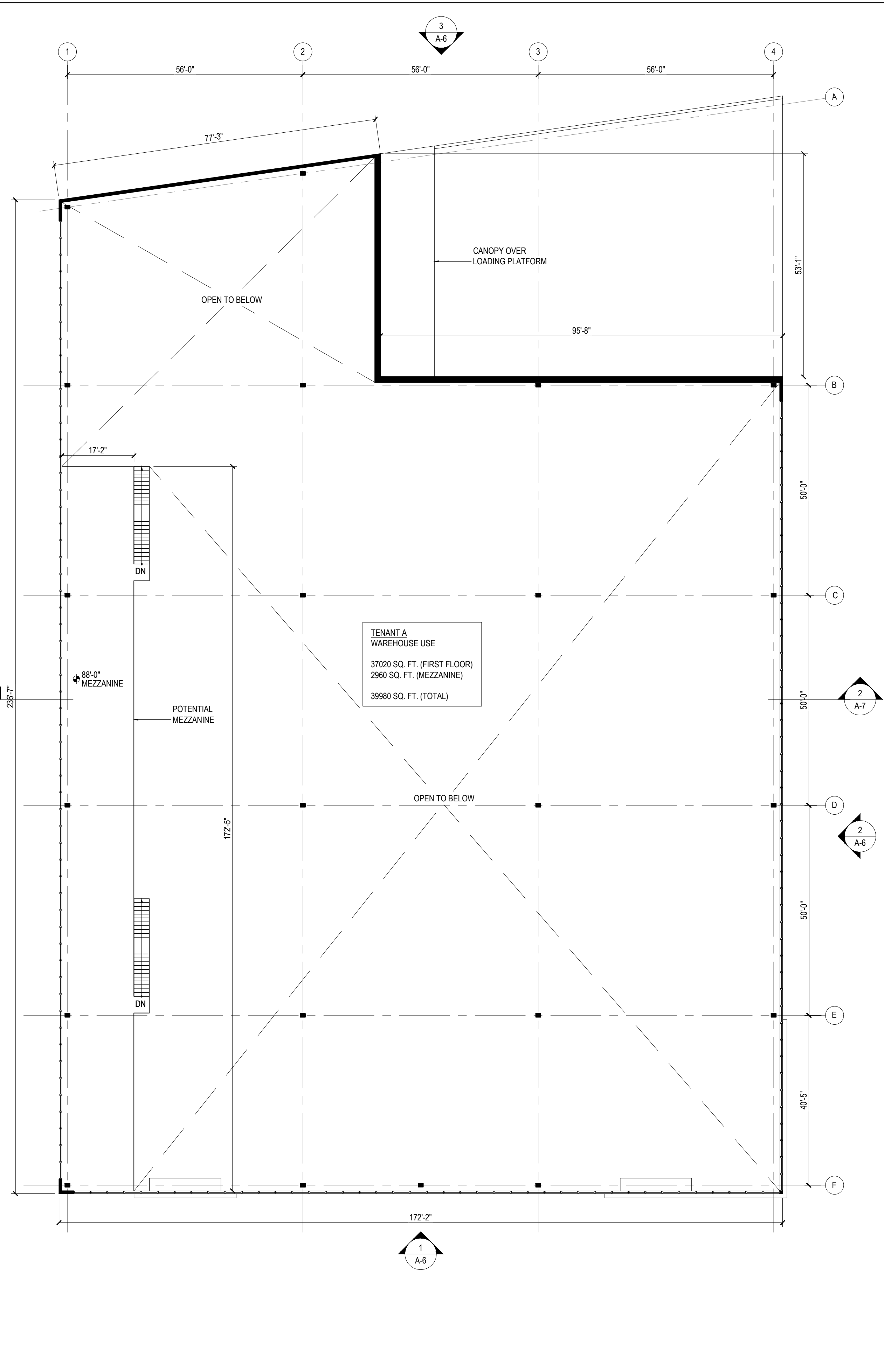
10/04/23 SITE PLAN APPLICATION



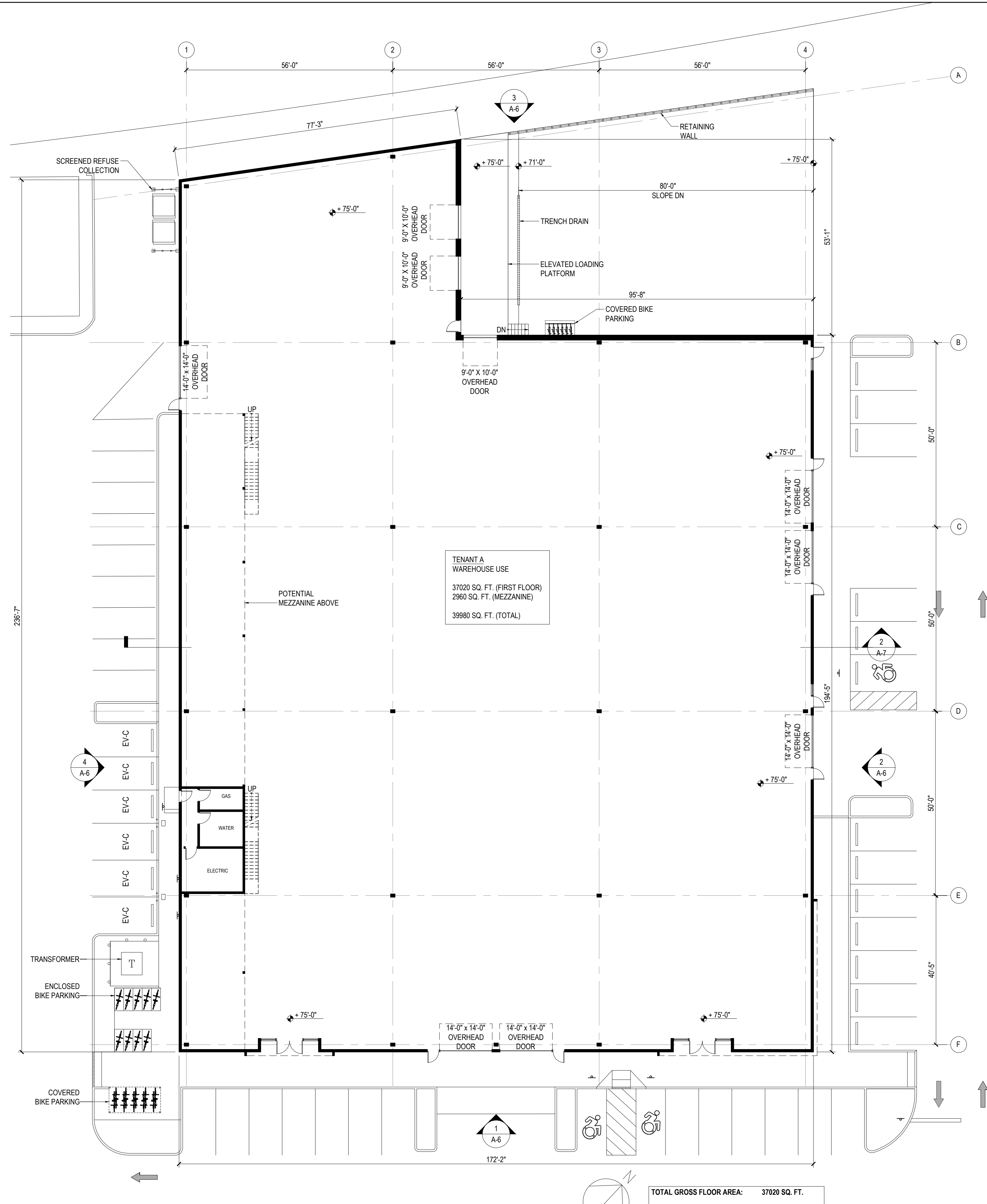
PROJECT LOCATION:
375 FAIRFIELD AVE
 MBLU: 001/3193 PID: 4656
 DRAWING TITLE:
1ST FLOOR & MEZZANINE PLAN

DWG # **A-13**
 SEAL & SIGNATURE DATE: 10/04/2023
 PROJECT #: 2308
 SCALE: AS NOTED
 PAGE # - of -

PERMIT APPLICATION #: TBD
 FOR BUILDING DEPARTMENT USE:

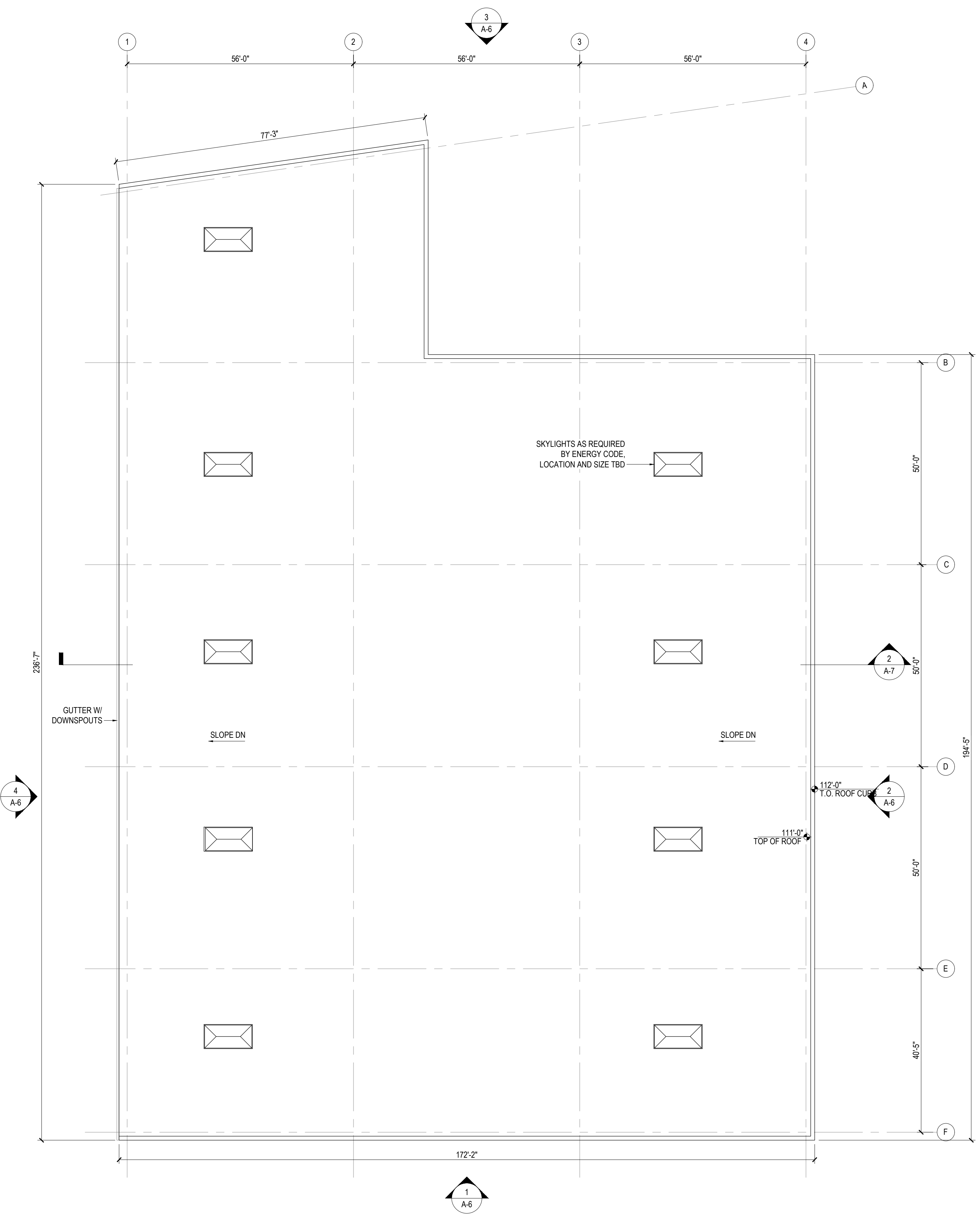


2 BLDG B MEZZANINE
 1/16" = 1'-0"



1 BLDG B 1ST FLOOR PLAN
 1/16" = 1'-0"

TOTAL GROSS FLOOR AREA: **37020 SQ. FT.**
 WAREHOUSE: **37020 SQ. FT.**



1 **BLDG B ROOF PLAN**
1/8" = 1'-0"



OWNER: 375 FAIRFIELD AVE ASSOCIATES
 375 FAIRFIELD AVE
 STAMFORD, CT 06902

ARCHITECT:
JL ARCHITECTS
 JASON LITTLE ARCHITECTS, PLLC
 50 WASHINGTON STREET, SUITE 918
 NORWALK, CT 06854
 917-902-7962
www.jlarch.com

LAND USE COUNSEL:
 CARMODY, TORRANCE,
 SANDAK & HENNESSEY
 LLP
 1055 WASHINGTON BLVD
 STAMFORD, CT 06901

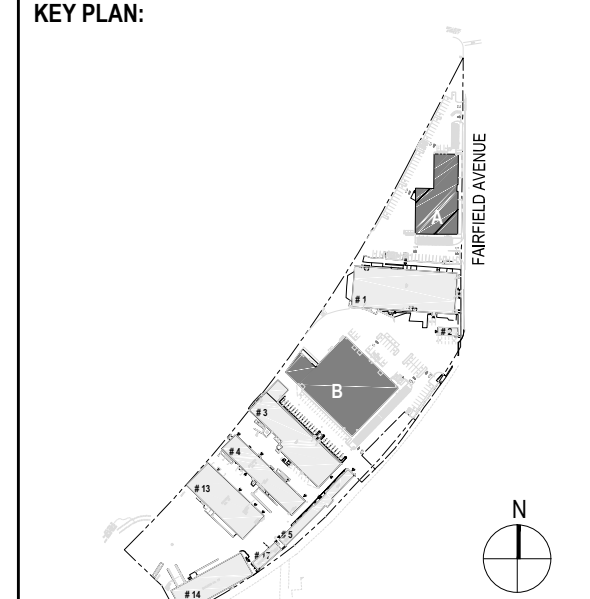
CIVIL ENGINEER:
 ROCCO V. D'ANDREA, INC
 6 NEIL LANE
 P.O. BOX 549
 RIVERSIDE, CT 06878

TRAFFIC ENGINEER:
 SLR CONSULTING
 195 CHURCH ST, 7TH FL
 NEW HAVEN, CT 06510

LANDSCAPE DESIGN:
 ENVIRONMENTAL LAND
 SOLUTIONS
 8 KNIGHT STREET, #203
 NORWALK, CT 06851

MARK	DATE	DESCRIPTION

10/04/23 SITE PLAN APPLICATION



PROJECT LOCATION:
375 FAIRFIELD AVE
 MBLU: 001 / 3193 PID: 4656

DRAWING TITLE:
BLDG B - ROOF PLAN

DWG #
A-14

SEAL & SIGNATURE	DATE: 10/04/2023
	PROJECT #: 2308
	SCALE: AS NOTED
	PAGE # - of -

PERMIT APPLICATION #: TBD
 FOR BUILDING DEPARTMENT USE:

CORE LOCATION AND INTERIOR PARTITION WALLS ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND MAY BE ADJUSTED PRIOR TO APPLICATION FOR BUILDING PERMIT. REFER TO CIVIL DRAWINGS FOR ALL SITE IMPROVEMENTS. REFER TO LANDSCAPE DRAWINGS FOR ALL LANDSCAPE INFORMATION.

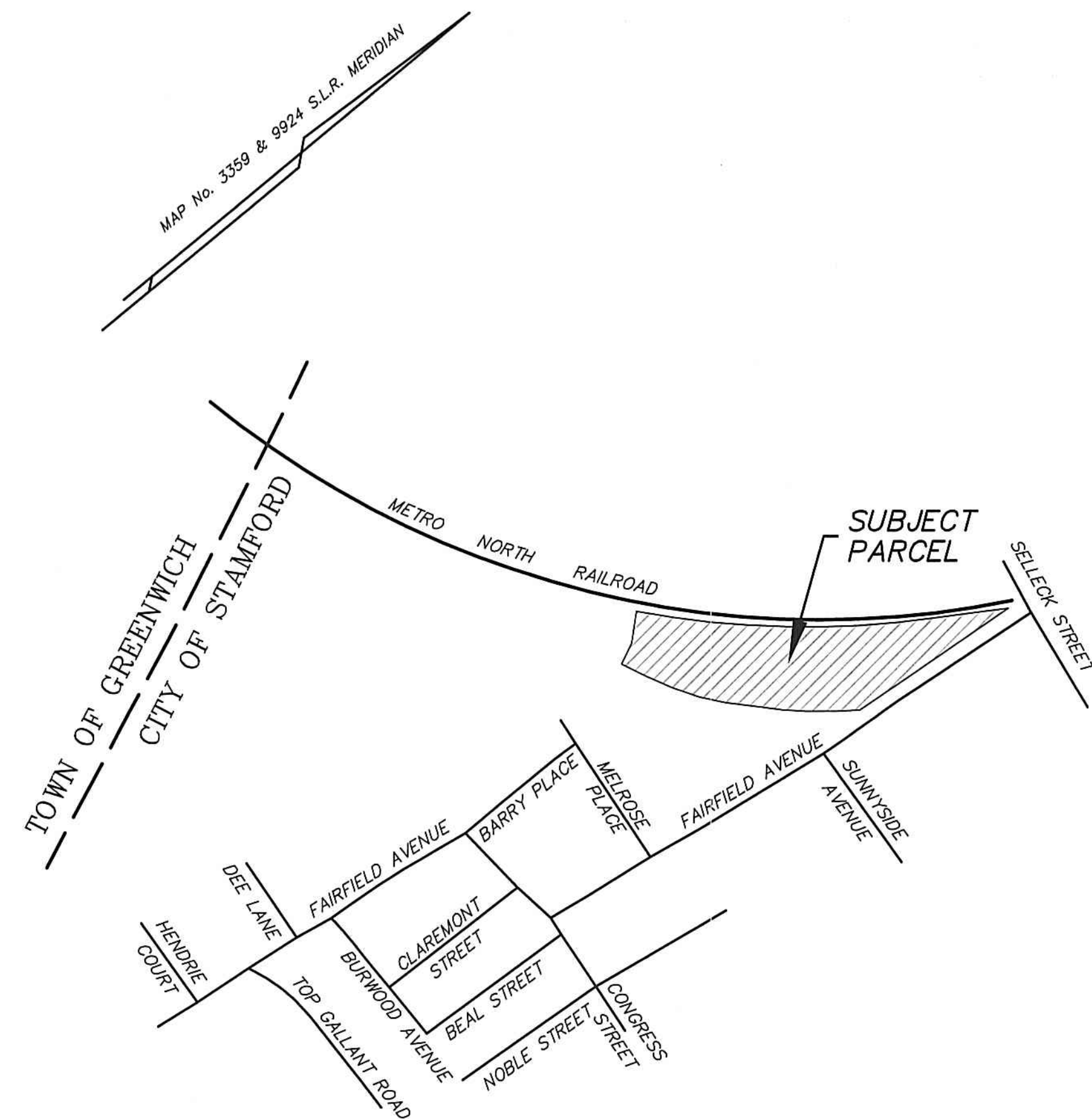
SITE PLAN REVIEW SET COMMERCIAL DEVELOPMENT

LOCATION

375 FAIRFIELD AVENUE STAMFORD, CONNECTICUT

PREPARED FOR

375 FAIRFIELD AVENUE ASSOCIATES



LOCATION MAP - 1" = 500'±

SHEET INDEX

SHEET	TITLE	REVISION	DATE
	TOPOGRAPHIC SURVEY - "EXISTING CONDITIONS"	0	10-4-23
C-1.1	BUILDING "A" SITE GRADING PLAN	0	10-4-23
C-1.2	BUILDING "B" SITE GRADING PLAN	0	10-4-23
C-2.1	BUILDING "A" DRAINAGE AND UTILITY PLAN	0	10-4-23
C-2.2	BUILDING "B" DRAINAGE AND UTILITY PLAN	0	10-4-23
C-3.1	BUILDING "A" SEDIMENTATION AND EROSION CONTROL PLAN	0	10-4-23
C-3.2	BUILDING "B" SEDIMENTATION AND EROSION CONTROL PLAN	0	10-4-23
C-4.1	NOTES AND DETAILS	0	10-4-23
C-4.2	DETAILS	0	10-4-23
C-5.0	LOW-IMPACT DEVELOPMENT PLAN	0	10-4-23

ENGINEERING PLANS PREPARED BY:

Derek E. Daunais
 D'ANDREA SURVEYING & ENGINEERING, P.C.
 DEREK E. DAUNAIS, CT. PE No. 22861

10-4-23

DATE



ONLY COPIES OF THIS SET, BEARING AN ORIGINAL
 IMPRINT OF THE ENGINEER'S / SURVEYOR'S EMBOSSED
 SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

D'ANDREA SURVEYING & ENGINEERING, P.C.
 LAND PLANNERS
 ENGINEERS
 SURVEYORS
 P.O. BOX 549
 RIVERSIDE, CT 06878
 6 NEIL LANE
 TEL. 637-1779

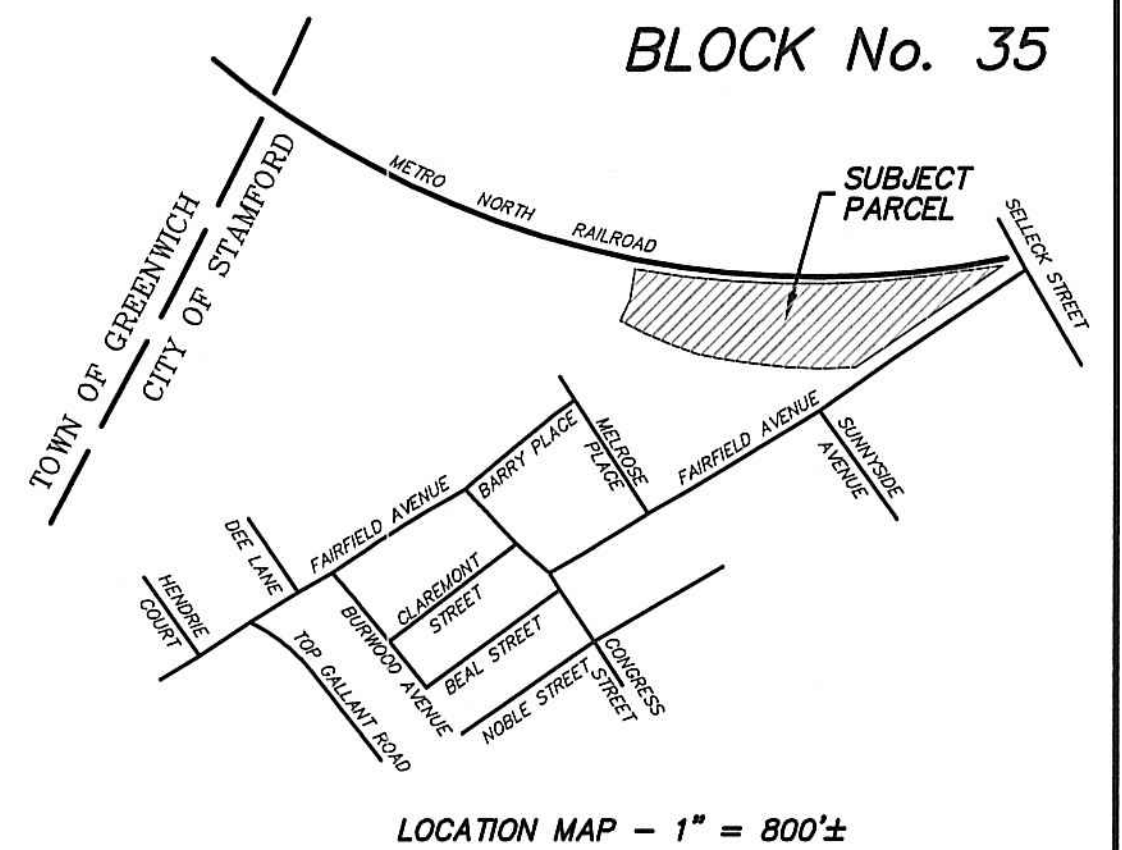
PROJECT	COMMERCIAL DEVELOPMENT	
PREPARED FOR	375 FAIRFIELD AVENUE ASSOCIATES	
LOCATION	375 FAIRFIELD AVENUE STAMFORD, CONNECTICUT	
REV.	DATE	DESCRIPTION
0	10-4-23	ZONING SUBMISSION
		COVER SHEET

EXISTING BUILDING COVERAGE

LOT AREA = 9.3825 ACRES
 BUILDING No. 14 = 13,121 S.F.
 BUILDING No. 17 = 1,967 S.F.
 BUILDING No. 13 = 16,154 S.F.
 BUILDING No. 4 = 12,594 S.F.
 BUILDING No. 5 = 5,779 S.F.
 BUILDING No. 3 = 22,035 S.F.
 BUILDING No. 2 = 1,049 S.F.
 BUILDING No. 1 = 28,203 S.F.
 PUMP ROOM = 109 S.F.
 TOTAL = 101,011 S.F.
 PERCENT COVERAGE = 24.7%

BLOCK No. 35

MAP No. 3359 & 9924 S.L.R. MERIDIAN



LEGEND

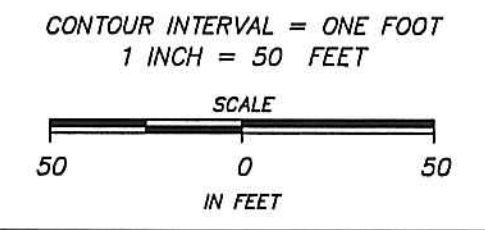
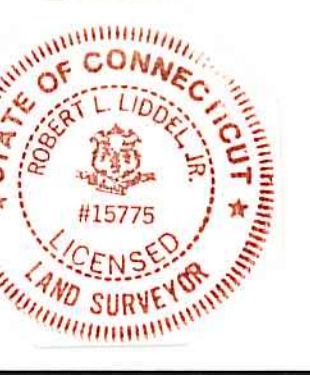
---	EXISTING CONTOUR
x 30.0	EXISTING SPOT ELEVATION
x 20.0	EXISTING TOP/BOTTOM SPOT ELEVATION
(Tree symbol)	DECIDUOUS TREE
-	SIGN
U	UTILITY POLE
MW	MONITORING WELL
GP	GAS GATE
WP	WATER GATE
PV	POST INDICATOR VALVE
H	HYDRANT
C	CLEANOUT
OSW	OVERHEAD SERVICE WIRES
CB	CATCH BASIN
DS	ROOF LEADER DOWNSPOUT
JB	JUNCTION BOX
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
EMH	ELECTRIC MANHOLE
WMH	WATER MANHOLE
CIP	CAST IRON PIPE
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
OSW	OVERHEAD SERVICE WIRES
---	UNDERGROUND UTILITY SERVICE: E-ELECTRIC, G-GAS, W-WATER
---	PROPERTY LINE

CONTOURS AND ELEVATIONS DEPICTED HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). TOPOGRAPHIC AND PLANIMETRIC FEATURES DEPICTED HEREON WERE TRANSFERRED FROM A SURVEY ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY DEPICTING 375 FAIRFIELD AVENUE STAMFORD, CT PREPARED FOR 375 FAIRFIELD AVENUE ASSOCIATES," PREPARED BY REDWICK & MEAD DATED APRIL 1, 2022 AND ARE IN ACCORDANCE TO CLASS "D" HORIZONTAL ACCURACY.

THIS MAP IS A TOPOGRAPHIC SURVEY. BUILDINGS AND EXISTING BOUNDARY INFORMATION IS BASED ON A RESURVEY CONDUCTED IN ACCORDANCE WITH HORIZONTAL ACCURACY CLASS "A-2" AS DEFINED IN THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH SEC. 20-300b-20.

NEW MONUMENTATION HAS NOT BEEN SET AS A RESULT OF THIS SURVEY. ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

AREA = 9.3816 ACRES (PER MAP No. 9924 S.L.R.) REFER TO MAP No. 9924 S.L.R. LAND LIES IN "M-G" ZONING DISTRICT TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.



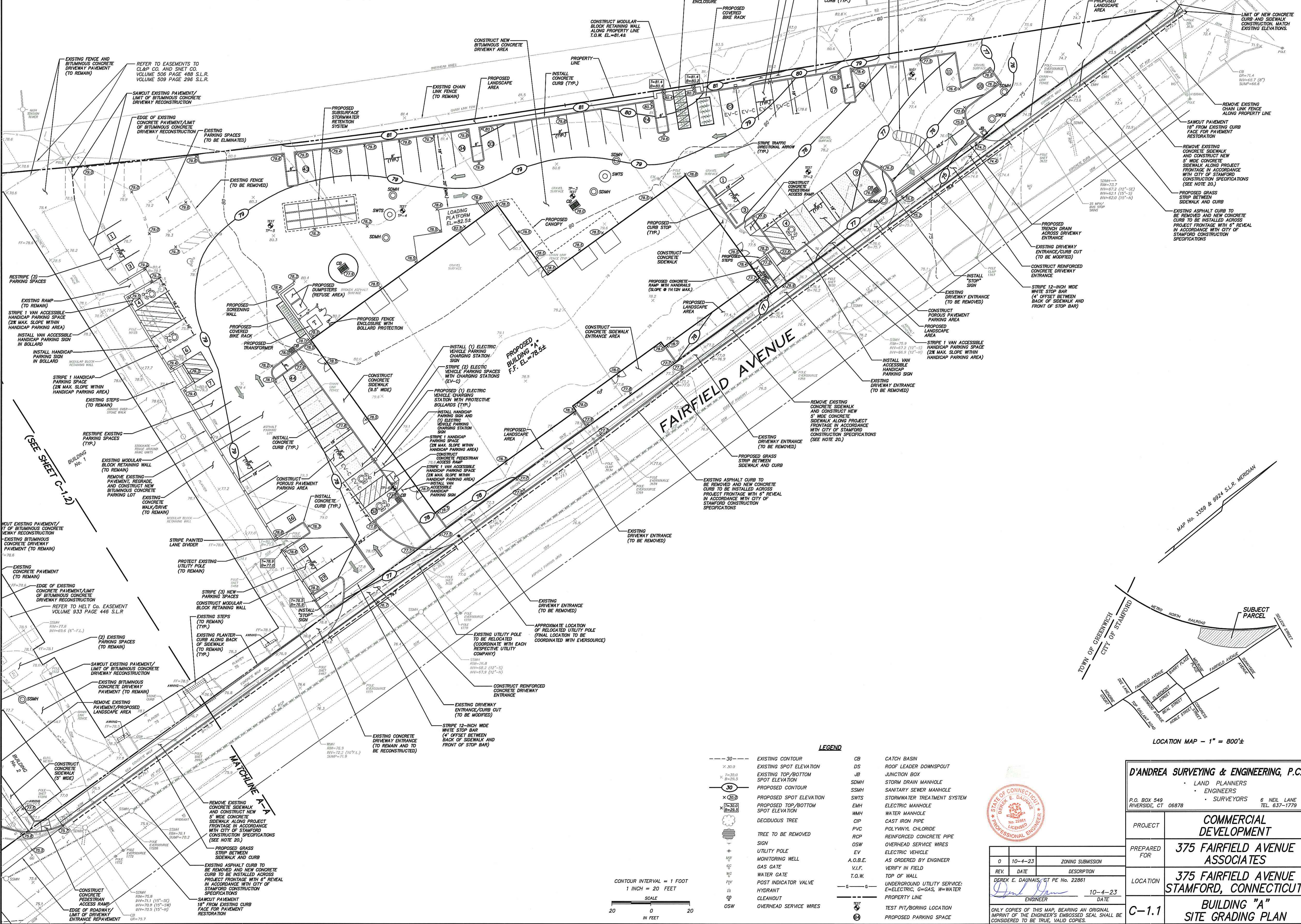
UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION, INCLUDING PHYSICAL EVIDENCE AND UTILITY COMPANY SKETCHES. DEPICTED UTILITIES ARE APPROXIMATE AND ARE INCORPORATED SURVEY DECLARATION OF ACCURACY. DOES NOT EXTEND TO THE PLOTTING OF UNDERGROUND UTILITIES. UNDERGROUND UTILITY LOCATION SHALL BE FIELD VERIFIED AND MARKED PRIOR TO COMMENCING ANY EXCAVATION ACTIVITIES. CALL BEFORE YOU DIG, 1-800-922-4465.

TOPOGRAPHIC SURVEY
 OF PROPERTY AT
 375 FAIRFIELD AVENUE
 IN
 STAMFORD, CONNECTICUT
 PREPARED FOR
375 FAIRFIELD AVENUE ASSOCIATES

SELECT STREET

GENERAL NOTES:

- Boundary information, existing features, and topography were taken from a survey entitled "Topographic Survey of Property at 375 Fairfield Avenue in Stamford, Connecticut, Prepared for 375 Fairfield Avenue Associates, dated October 4, 2023, as prepared by D'Andrea Surveying & Engineering, P.C.
- The subject parcel does not lie within a Flood Hazard Zone as depicted on FIRM Community Panel 0901020516G, published by FEMA, effective date July 8, 2013.
- Elevations shown are based on the North American Vertical Datum of 1988 (NAVD 88). The contractor shall coordinate the transfer of a control benchmark into the working area, after site preparation is complete, by a licensed surveyor.
- The information given on this plan in respect to the location of subsurface structures and utilities indicates only that the structures and utilities exist and no responsibility is assumed by the engineer for the accuracy of the locations shown. Utility information is not guaranteed complete or accurate.
- In accordance with Connecticut Public Act 87-71 and Connecticut General Statutes Sections 16-345 through 16-355, the owner or the contractor shall be required to verify the depth and location of all utilities prior to commencing construction, and shall contact "Call Before You Dig, Inc." at 1-800-922-4455, 48 hours prior to commencing construction for mark out of underground utilities.
- This site is served by the City of Stamford sanitary sewer system.
- This site is served by the Aquarion Water Company, natural gas, and both overhead and underground electric and telecom services.
- The contractor shall be responsible for securing all required permits from the City of Stamford for completion of the project.
- All construction shall comply with applicable sections of the State of Connecticut, Local, and International Building Codes, and those criteria shall take precedence over these plans. Refer to Sheets C-4.1 and C-4.2 for construction notes and details.
- Upon completion of construction and prior to the issuance of a Certificate of Occupancy, an "as-built" map and certification letter shall be prepared by a professional engineer and land surveyor and submitted to the Engineering Bureau for review and approval for the purpose of certifying that construction was completed substantially in compliance with the approved plans as amended from time to time.
- Roof drains from the proposed building shall be tied into the new storm drainage system, as depicted on the plan. Final locations of the roof drain downspouts shall be coordinated between the architect, the project engineer, and the contractor.
- All existing hardscapes, driveways, and miscellaneous debris within the project area shall be removed from the site and disposed of legally. Refer to Sheet C-1.0 for general demolition notes.
- Refer to Sheets C-2.1 and C-2.2 for a depiction and description of all proposed storm drainages, sanitary sewer, and utility installations and connections.
- Refer to Sheets C-3.1 through C-3.3 for sedimentation and erosion control notes and details and general construction staging notes.
- Refer to Sheet C-4.1 for City of Stamford Standard Notes.
- The proposed building shall be designed by an architect in order to conform with current applicable zoning setback criteria and regulations, and a building permit shall be obtained prior to commencing construction.
- Refer to Architectural Plans as prepared by Jason Little Architects PLLC.
- Refer to Landscape Architectural plans as prepared by Environmental Land Solutions, LLC for final design of proposed landscaping, hardscapes, and exterior site lighting.
- All utility relocations and installations shall be coordinated with each respective utility company prior to construction. Coordinate all utility installation and connection specifications with each respective utility company.
- A "Street Opening Permit" must be obtained prior to any construction activity in the City of Stamford right-of-way. All construction within the right-of-way shall be coordinated with the City of Stamford Engineering Bureau. Approval from the City of Stamford Traffic Advisory Committee and a "Street Opening Permit" are required for closure of the sidewalk along Fairfield Avenue.
- The Contractor shall be responsible for coordinating and maintaining traffic flow on adjoining roadways throughout the project.
- Refer to Sheet C-4.1 for test pit data.
- Footings for new walls shall not extend onto adjacent properties.

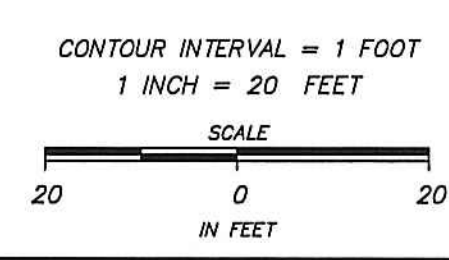


(SEE SHEET C-1.2)

MATCHLINE A-A

LEGEND

--- 30 ---	EXISTING CONTOUR	CB	CATCH BASIN
x 30.0	EXISTING SPOT ELEVATION	DS	ROOF LEADER DOWNSPOUT
x 30.0	EXISTING TOP/BOTTOM SPOT ELEVATION	JB	JUNCTION BOX
o 30	PROPOSED CONTOUR	SDMH	STORM DRAIN MANHOLE
x 30.0	PROPOSED SPOT ELEVATION	SSMH	SANITARY SEWER MANHOLE
x 30.0	PROPOSED TOP/BOTTOM SPOT ELEVATION	SWTS	STORMWATER TREATMENT SYSTEM
o 30.0	DECEIDUOUS TREE	EMH	ELECTRIC MANHOLE
o 30.0	TREE TO BE REMOVED	WMH	WATER MANHOLE
o 30.0	SIGN	CIP	CAST IRON PIPE
o 30.0	UTILITY POLE	PVC	POLYVINYL CHLORIDE
o 30.0	MONITORING WELL	RCP	REINFORCED CONCRETE PIPE
o 30.0	GAS GATE	OSW	OVERHEAD SERVICE WIRES
o 30.0	WATER GATE	EV	ELECTRIC VEHICLE
o 30.0	POST INDICATOR VALVE	V.L.F.	VERIFY IN FIELD
o 30.0	HYDRANT	T.O.W.	TOP OF WALL
o 30.0	CLEANOUT	---	UNDERGROUND UTILITY SERVICE: E=ELECTRIC, G=GAS, W=WATER
o 30.0	OVERHEAD SERVICE WIRES	---	PROPERTY LINE
o 30.0		---	TEST PIT/BORING LOCATION
o 30.0		o	PROPOSED PARKING SPACE



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TEL. 637-1779

COMMERCIAL DEVELOPMENT

PREPARED FOR: **375 FAIRFIELD AVENUE ASSOCIATES**

LOCATION: **375 FAIRFIELD AVENUE STAMFORD, CONNECTICUT**

C-1.1 BUILDING "A" SITE GRADING PLAN

DATE: 10-4-23

ENGINEER: DEREK E. DAUNIS, CT PE No. 22861

ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL, SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

N/F
STATE OF CONNECTICUT
METRO NORTH RAILROAD

REFER TO MAP No. 1494B AND
VOLUME 11927 PAGE 284 S.L.R.
FOR AN UNDEVELOPED ACCESS EASEMENT
TO THE STATE OF CONNECTICUT

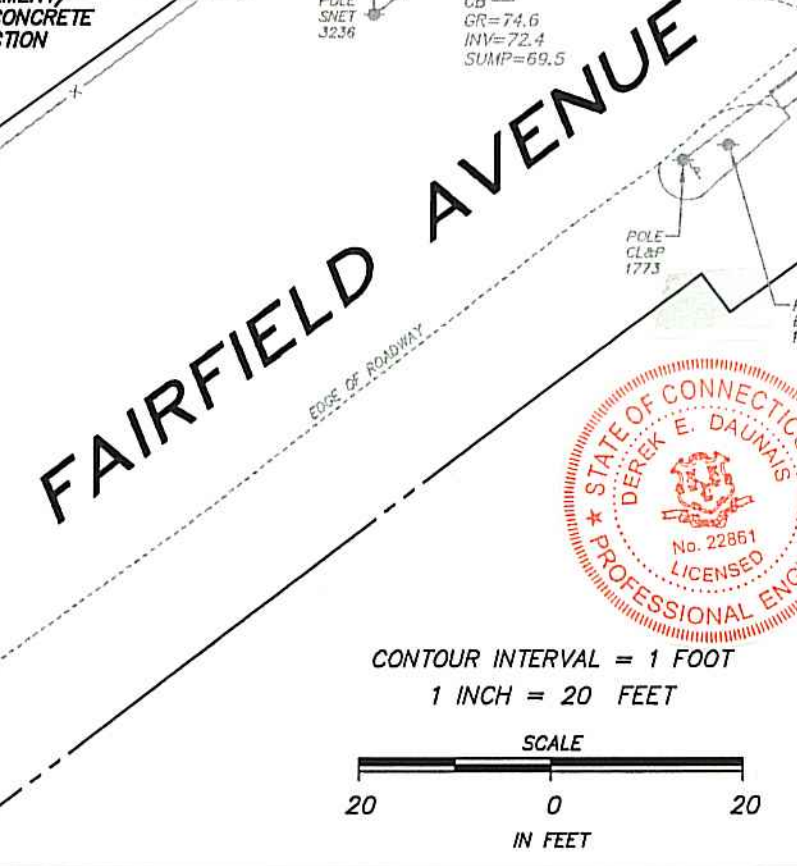
REFER TO EASEMENTS TO
CLAP CO. AND SNET CO.
VOLUME 506 PAGE 488 S.L.R.
VOLUME 509 PAGE 296 S.L.R.



LEGEND

--- 30 ---	EXISTING CONTOUR	CB	CATCH BASIN
x 30.0	EXISTING SPOT ELEVATION	DS	ROOF LEADER DOWNSPOUT
x 30.0	EXISTING TOP/BOTTOM SPOT ELEVATION	JB	JUNCTION BOX
--- 30 ---	PROPOSED CONTOUR	SDMH	STORM DRAIN MANHOLE
x 30.0	PROPOSED SPOT ELEVATION	SSMH	SANITARY SEWER MANHOLE
x 30.0	PROPOSED TOP/BOTTOM SPOT ELEVATION	SWTS	STORMWATER TREATMENT SYSTEM
○	DECIDUOUS TREE	EMH	ELECTRIC MANHOLE
○	TREE TO BE REMOVED	WMH	WATER MANHOLE
○	UTILITY POLE	CIP	CAST IRON PIPE
○	MONITORING WELL	PVC	POLYVINYL CHLORIDE
○	GAS GATE	RCP	REINFORCED CONCRETE PIPE
○	WATER GATE	OSW	OVERHEAD SERVICE WIRES
○	POST INDICATOR VALVE	EV	ELECTRIC VEHICLE
○	HYDRANT	A.O.B.E.	AS ORDERED BY ENGINEER
○	CLEANOUT	V.I.F.	VERIFY IN FIELD
○	OVERHEAD SERVICE WIRES	T.O.W.	TOP OF WALL
○		---	UNDERGROUND UTILITY SERVICE:
○		---	E=ELECTRIC, G=GAS, W=WATER
○		---	PROPERTY LINE
○		○	TEST PIT/BORING LOCATION
		○	PROPOSED PARKING SPACE

- NOTES:**
- Refer to Sheet C-1.1 for General Notes.
 - Elevations shown are based on the North American Vertical Datum of 1988 (NAVD 88). The contractor shall coordinate the transfer of a control benchmark into the working area, after site preparation is complete, by a licensed surveyor.
 - The information given on this plan in respect to the location of subsurface structures and utilities indicates only that the structures and utilities exist and no responsibility is assumed by the engineer for the accuracy of the locations shown. Utility information is not guaranteed to be complete or accurate.
 - In accordance with Connecticut Public Act 87-71 and Connecticut General Statutes Sections 16-345 through 16-350, the owner or the contractor shall be required to verify the depth and location of all utilities prior to commencing construction, and shall contact "Call Before You Dig, Inc." at 1-800-922-4455, 48 hours prior to commencing construction for mark out of underground utilities.
 - A "Street Opening Permit" must be obtained prior to any construction activity in the City of Stamford right-of-way. All construction within the right-of-way shall be coordinated with the City of Stamford Engineering Bureau.
 - The Contractor shall be responsible for coordinating and maintaining traffic flow on adjoining roadways throughout the project.



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PROJECT	COMMERCIAL DEVELOPMENT
PREPARED FOR	375 FAIRFIELD AVENUE ASSOCIATES
LOCATION	375 FAIRFIELD AVENUE STAMFORD, CONNECTICUT
	BUILDING "B" SITE GRADING PLAN

REV.	DATE	DESCRIPTION
0	10-4-23	ZONING SUBMISSION
DEREK E. D'ANDREA, CT PE No. 22861 10-4-23 ENGINEER DATE		

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SELECT STREET

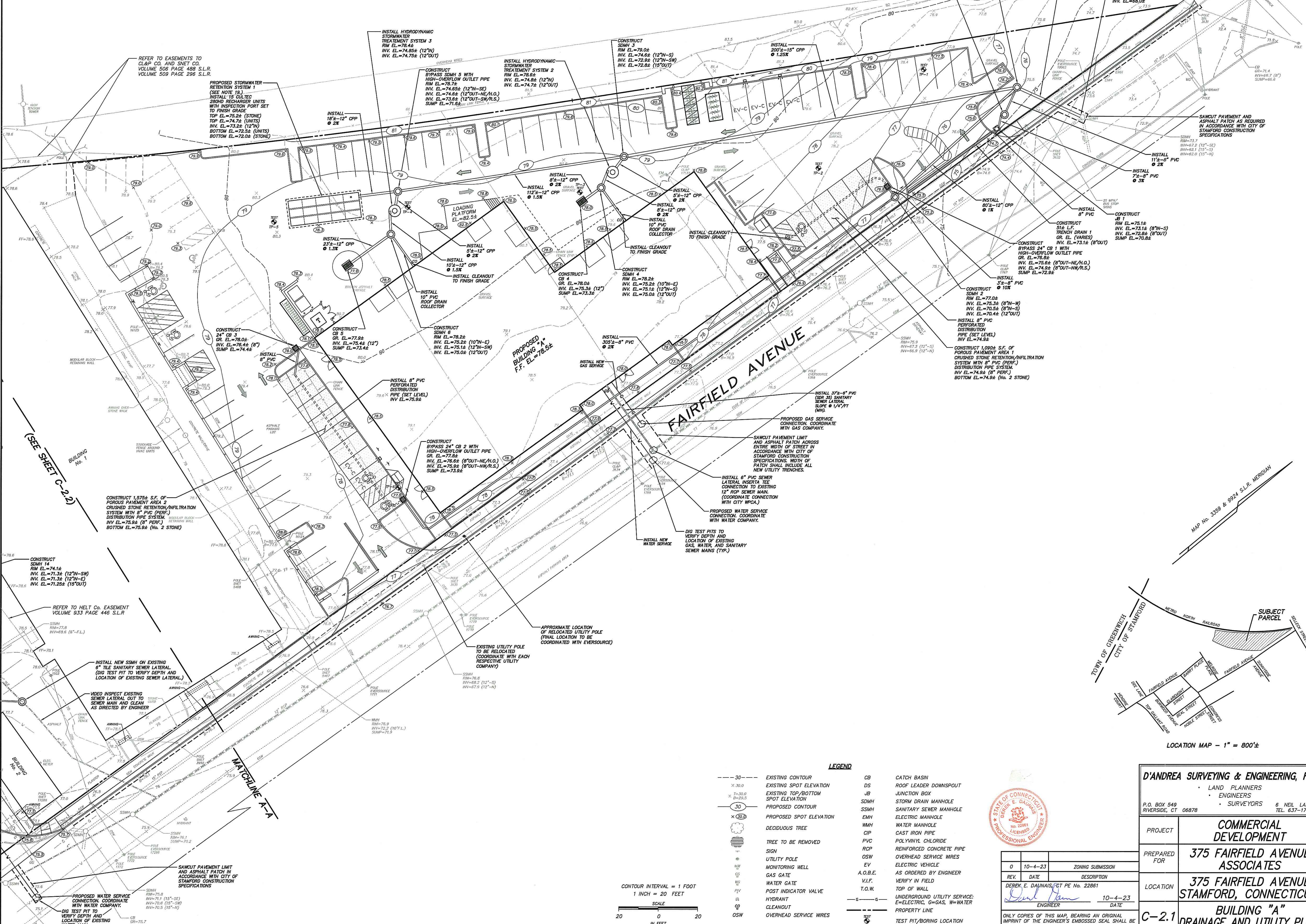
STORM DRAIN AND UTILITY NOTES:

- The purpose of this plan is only to depict the layout of the proposed storm drainage, sanitary sewer, and utility water, gas, electric, telephone and cable. This plan shall not be used for the construction of any other aspect of this project.
- Elevations shown are based on the North American Vertical Datum of 1988 (NAVD 88). The contractor shall coordinate the transfer of a control benchmark into the working area, after site preparation is complete, by a licensed surveyor.
- The information given on these plans in respect to the location of subsurface structures and utilities indicates only that the structures and utilities exist and no responsibility is assumed by the engineer or architect for the accuracy of the locations shown. Utility information is not guaranteed to be complete or accurate.
- In accordance with Connecticut Public Act 87-71 and Connecticut General Statutes Sections 16-343 through 16-359, the owner or the contractor shall be required to verify the depth and location of all utilities prior to commencing construction, and shall contact "Call Before You Dig, Inc." at 1-800-922-4455, 48 hours prior to commencing construction for mark out of underground utilities.
- This site is served by the City of Stamford sanitary sewer system.
- This site is served by the Aquarion Water Company, natural gas, and both overhead and underground electric and telephone services.
- The contractor shall be responsible for securing all required permits from the City of Stamford for completion of the project.
- All construction shall comply with applicable sections of the State of Connecticut, Local, and International Building Codes, and those criteria shall take precedence over these plans. Refer to Sheets C-4.1 and C-4.2 for construction notes and details.
- All utility relocations and installations shall be coordinated with each respective utility company prior to construction. Coordinate all utility installation and connection specifications with each respective utility company.
- Roof drains from the proposed building shall be tied into the new storm drainage system, as depicted on the plan. Final locations of the roof drain downspouts shall be coordinated between the architect, the project engineer, and the contractor.
- The locations and elevations of the proposed storm drainage system depicted hereon may be modified with the approval of the project engineer to meet field conditions.

DRAINAGE MAINTENANCE SCHEDULE

- Catch Basins & Drainage Inlets:
 - Catch basins and drainage inlets shall be completely cleaned of accumulated debris and sediments at the completion of construction.
 - For the first year, catch basins and drainage inlets shall be inspected on a quarterly basis.
 - Any accumulated debris within the catch basins/inlets shall be removed and any repairs made as required.
 - From the second year onward, visual inspections shall occur twice per year, once in the spring and once in the fall, after fall cleanup of leaves has occurred.
 - Accumulated debris within the catch basins/inlets shall be removed and repairs made as required.
 - Accumulated sediments shall be removed at which time they are within 12 inches of the invert of the outlet pipe.
 - Any additional maintenance required per the manufacturer's specifications shall also be completed.
- Storm Drainage Piping and Manholes/Junction Boxes:
 - All storm drainage piping shall be completely flushed of debris and accumulated sediment at the completion of construction.
 - Manholes/Junction Boxes shall be inspected and repaired on an annual basis.
 - Unless system performance indicates degradation of piping, comprehensive video inspection of storm drainage piping shall occur once every ten years.
 - Any additional maintenance required per the manufacturer's specifications shall also be completed.
- Drywells and Infiltration Systems:
 - All drywells/infiltrators shall be completely cleaned of accumulated debris and sediments upon the completion of construction.
 - For the first year, the drywells/infiltrators shall be inspected on a quarterly basis.
 - Any accumulated debris within the drywells/infiltrators shall be removed and any repairs made to the units as required.
 - From the second year onward, visual inspection shall occur twice per year, once in the spring and once in the fall, after fall cleanup of leaves has occurred.
 - Accumulated debris within the units shall be removed and repairs made as required.
 - Any additional maintenance required per the manufacturer's specifications shall also be completed.
- Porous Pavement:
 - Changing the porous pavement surface to an impervious surface requires the review and approval of the City of Stamford Engineering Bureau.
 - Clean and vacuum (Regenerative Air Vacuum for Permeable Pavement) the porous pavement upon the completion of construction.
 - Check for standing water on the surface of the pavement after a precipitation event. If standing water remains within 30 minutes after rainfall had ended, cleaning of porous pavement is recommended.
 - debris into or in proximity to any island or tidal wetlands.
- Roof Gutters - Remove accumulated debris and inspect for damage. Any damage should be repaired as required.

N/F
STATE OF CONNECTICUT
METRO NORTH RAILROAD



(SEE SHEET C-2.2)

REFER TO EASEMENTS TO CLASP CO. AND SHET CO. VOLUME 506 PAGE 488 S.L.R. VOLUME 509 PAGE 296 S.L.R.

PROPOSED STORMWATER RETENTION SYSTEM
INSTALL 15' DIA. DEC 28000 RECHARGER UNITS WITH INSPECTION PORT SET TO FINISH GRADE.
TOP EL.=75.52 (STONE)
TOP EL.=74.72 (UNITS)
INV. EL.=73.22 (12"IN)
BOTTOM EL.=72.02 (UNITS)
BOTTOM EL.=72.02 (STONE)

CONSTRUCT BYPASS 24" CB 2 WITH HIGH-OVERFLOW OUTLET PIPE
GR. EL.=72.82
INV. EL.=76.62 (8"OUT-NE,AL.O.)
INV. EL.=75.92 (8"OUT-NW,R.S.)
SUMP EL.=73.32

FAIRFIELD AVENUE

PROPOSED BUILDING "A"
F.F. EL.=78.52

CONSTRUCT 1,092A S.F. OF POROUS PAVEMENT AREA 1
CRUSHED STONE RETENTION/INFILTRATION SYSTEM WITH 8" PVC (PERF.) DISTRIBUTION PIPE SYSTEM.
INV. EL.=74.92 (8" PERF.)
BOTTOM EL.=74.92 (No. 2 STONE)



LOCATION MAP - 1" = 800'±

LEGEND

--- 30 ---	EXISTING CONTOUR	CB	CATCH BASIN
x 30.0	EXISTING SPOT ELEVATION	DS	ROOF LEADER DOWNSPOUT
x 7-30.0	EXISTING TOP/BOTTOM SPOT ELEVATION	JB	JUNCTION BOX
--- 30 ---	PROPOSED CONTOUR	SDMH	STORM DRAIN MANHOLE
x 30.0	PROPOSED SPOT ELEVATION	SSMH	SANITARY SEWER MANHOLE
○	DECIDUOUS TREE	EMH	ELECTRIC MANHOLE
○	TREE TO BE REMOVED	WMH	WATER MANHOLE
○	SIGN	CIP	CAST IRON PIPE
○	UTILITY POLE	PVC	POLYVINYL CHLORIDE
○	MONITORING WELL	RCF	REINFORCED CONCRETE PIPE
○	GAS GATE	OSW	OVERHEAD SERVICE WIRES
○	WATER GATE	EV	ELECTRIC VEHICLE
○	POST INDICATOR VALVE	A.O.B.E.	AS ORDERED BY ENGINEER
○	HYDRANT	V.I.F.	VERTY IN FIELD
○	CLEANOUT	T.O.W.	TOP OF WALL
○	OVERHEAD SERVICE WIRES	---	UNDERGROUND UTILITY SERVICE: E=ELECTRIC, G=GAS, W=WATER
○		---	PROPERTY LINE
○		○	TEST PIT/BORING LOCATION

REVISIONS

REV.	DATE	DESCRIPTION
0	10-4-23	ZONING SUBMISSION
1	10-4-23	DATE

Derek E. Daunais, P.E. No. 22861
ENGINEER

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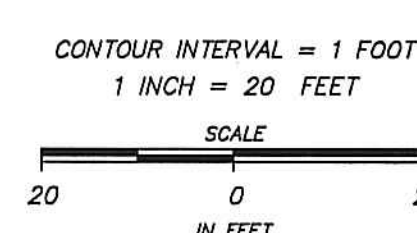
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TEL. 637-1779

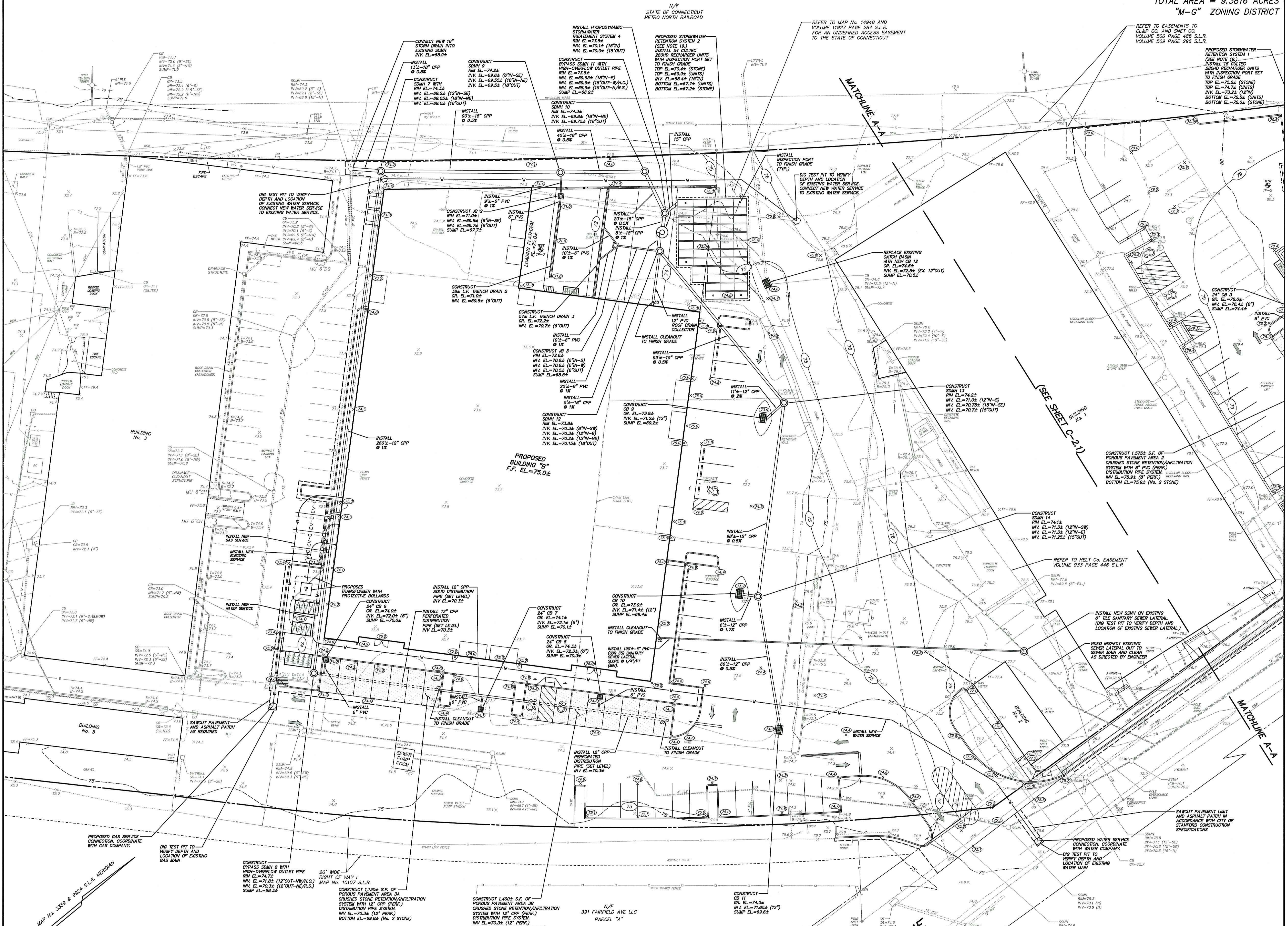
COMMERCIAL DEVELOPMENT

PREPARED FOR: **375 FAIRFIELD AVENUE ASSOCIATES**

LOCATION: **375 FAIRFIELD AVENUE STAMFORD, CONNECTICUT**

C-2.1 BUILDING "A" DRAINAGE AND UTILITY PLAN



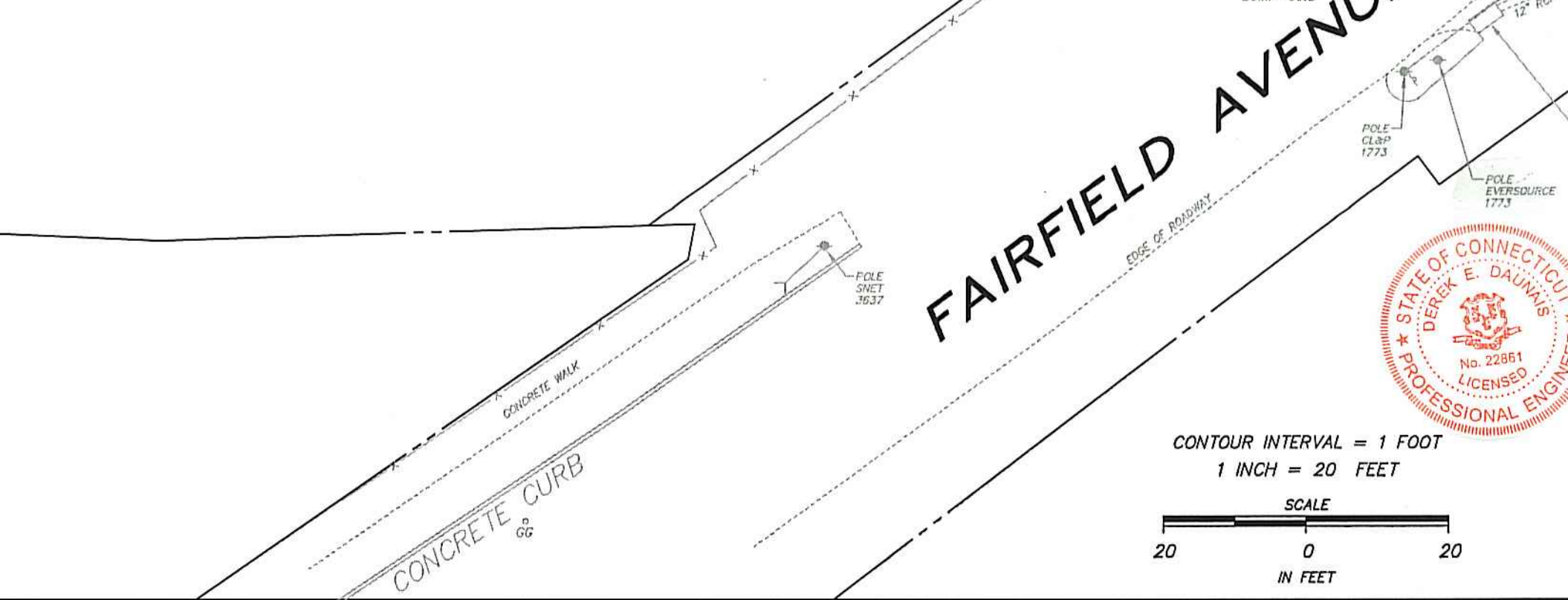


NOTES:

1. Refer to Sheet C-2.1 for Storm Drain and Utility Notes.
2. Elevations shown are based on the North American Vertical Datum of 1988 (NAVD 88). The contractor shall coordinate the transfer of a control benchmark into the working area, after site preparation is complete, by a licensed surveyor.
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6. The Contractor shall be responsible for coordinating and maintaining traffic flow on adjoining roadways throughout the project.

LEGEND

--- 30 ---	EXISTING CONTOUR	CB	CATCH BASIN
x 30.0	EXISTING SPOT ELEVATION	DS	ROOF LEADER DOWNSPOUT
x 30.0	EXISTING TOP/BOTTOM SPOT ELEVATION	JB	JUNCTION BOX
x 30.0	PROPOSED CONTOUR	SMHM	STORM DRAIN MANHOLE
x 30.0	PROPOSED SPOT ELEVATION	SMH	SANITARY SEWER MANHOLE
(Tree symbol)	DECIDUOUS TREE	EMH	ELECTRIC MANHOLE
(Tree symbol)	TREE TO BE REMOVED	WMH	WATER MANHOLE
(Sign symbol)	SIGN	CP	CAST IRON PIPE
(Pole symbol)	UTILITY POLE	PVC	POLYVINYL CHLORIDE
(Well symbol)	MONITORING WELL	RCP	REINFORCED CONCRETE PIPE
(Gate symbol)	GAS GATE	OSW	OVERHEAD CONCRETE PIPE
(Water symbol)	WATER GATE	EV	ELECTRIC VEHICLE
(Valve symbol)	POST INDICATOR VALVE	A.O.B.E.	AS ORDERED BY ENGINEER
(Hydrant symbol)	HYDRANT	V.I.F.	VERIFY IN FIELD
(Line symbol)	CLEANOUT	T.O.W.	TOP OF WALL
(Line symbol)	OVERHEAD SERVICE WIRES	---	UNDERGROUND UTILITY SERVICE:
		E-ELECTRIC, G-GAS, W-WATER	
		---	PROPERTY LINE
		(Circle with cross)	TEST PIT/BORING LOCATION



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PROJECT
COMMERCIAL DEVELOPMENT

PREPARED FOR
375 FAIRFIELD AVENUE ASSOCIATES

LOCATION
375 FAIRFIELD AVENUE STAMFORD, CONNECTICUT

C-2.2 BUILDING "B" DRAINAGE AND UTILITY PLAN

DATE
 10-4-23

ENGINEER
 DEREK E. DAUNAS, CT PE No. 22861

SCALE
 1 INCH = 20 FEET

CONTOUR INTERVAL = 1 FOOT

STATE OF CONNECTICUT
 REGISTERED PROFESSIONAL ENGINEER
 No. 22861

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SELECT STREET

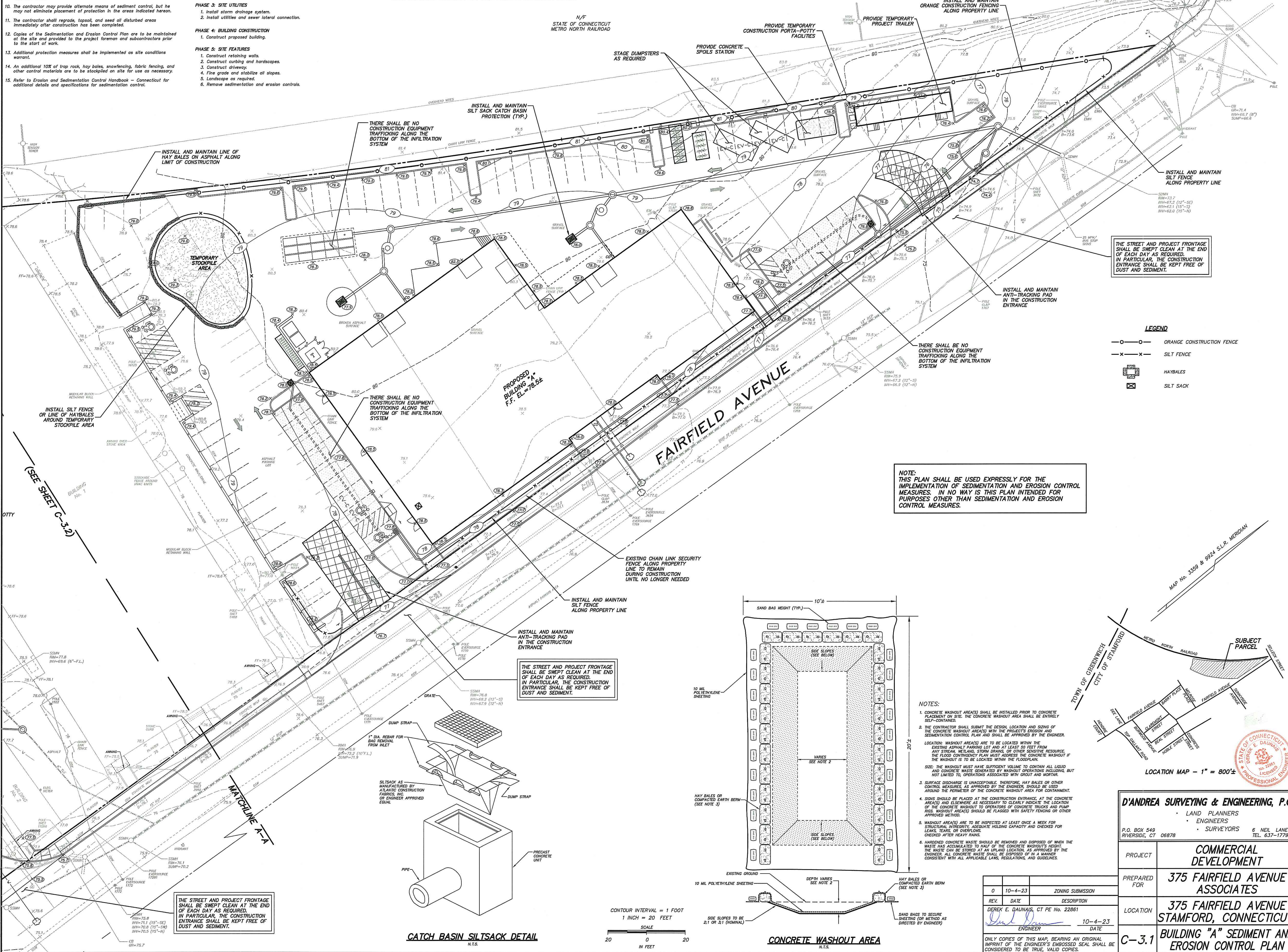
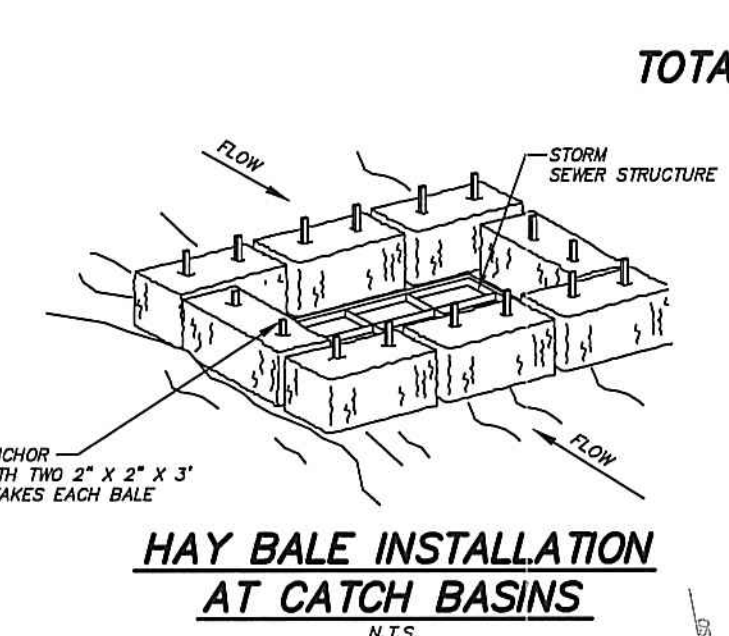
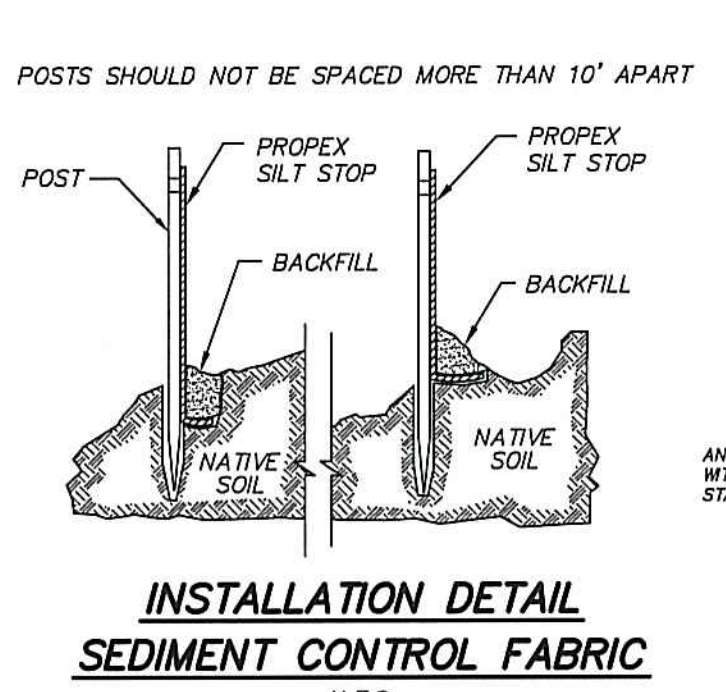
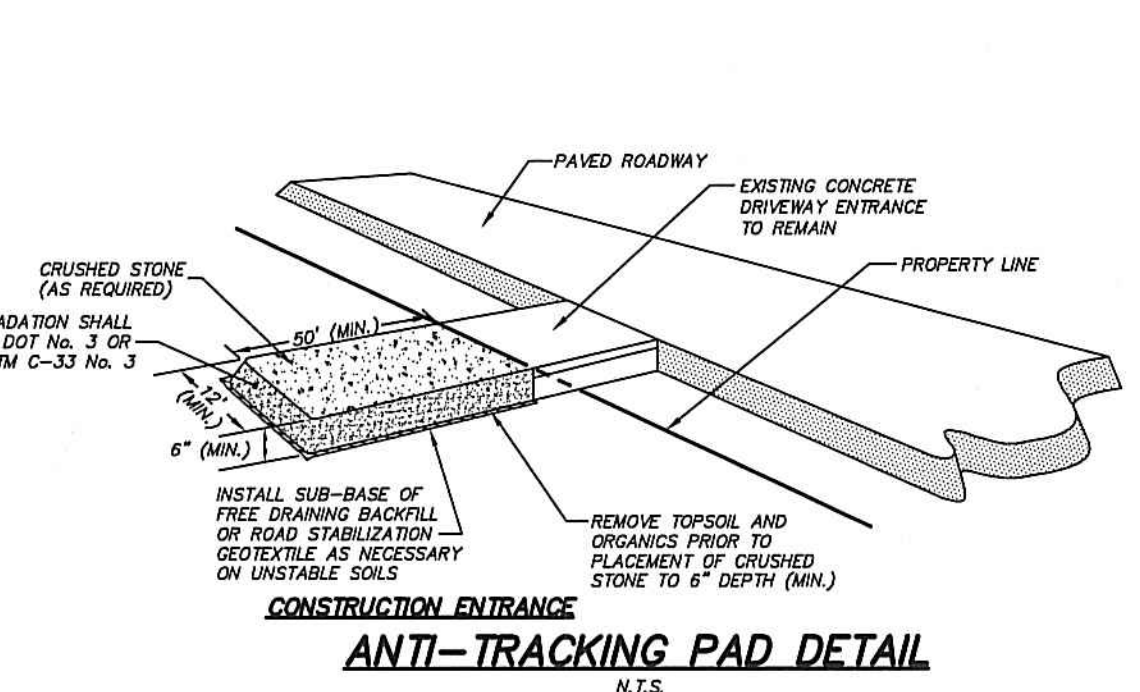
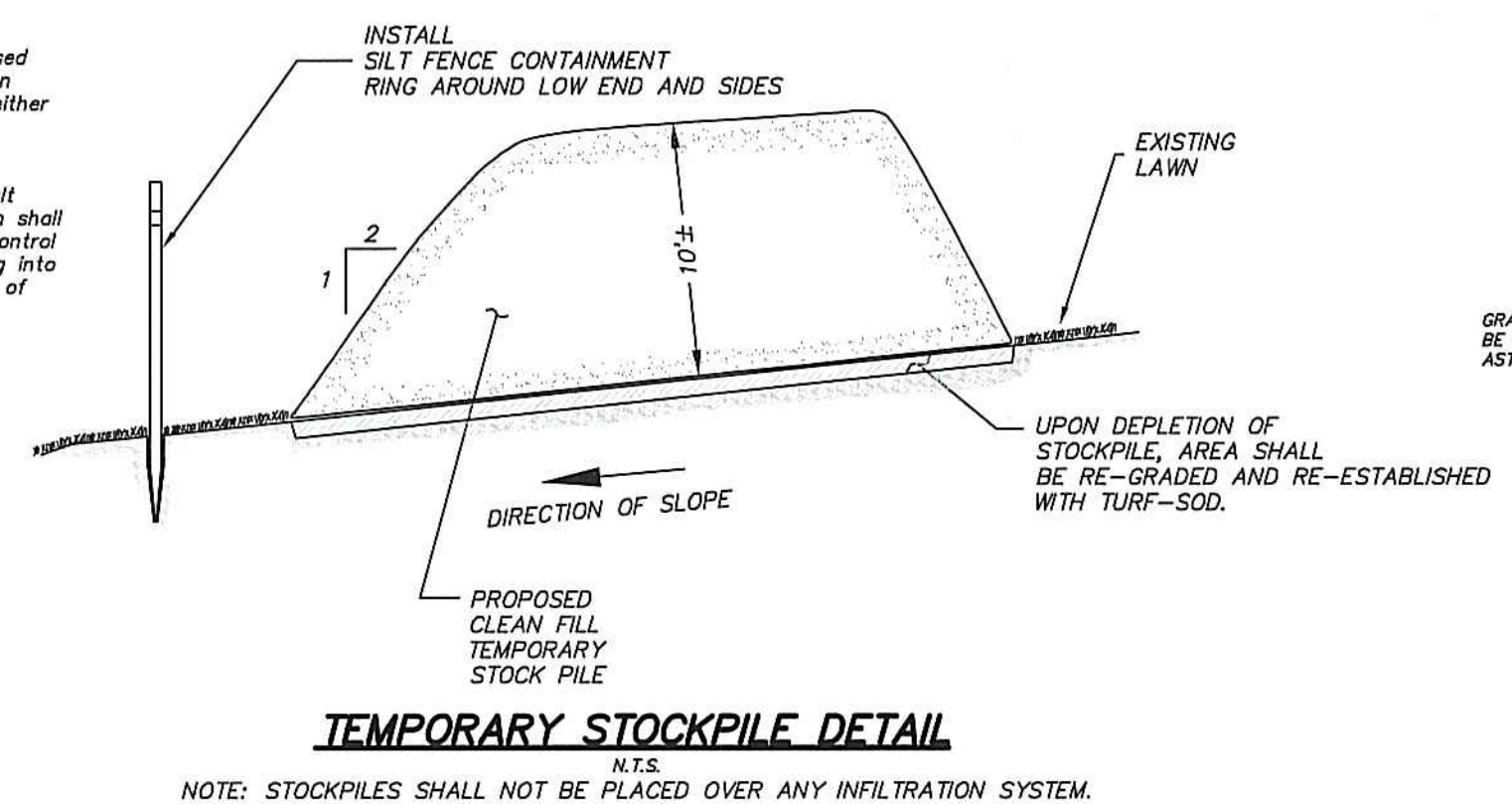
SEDIMENTATION AND EROSION CONTROL NOTES:

1. Temporary soil and erosion control measures inclusive of filter barriers, water brooks, check dams, and anti-tracking areas shall remain in place for as long as necessary to permanently stabilize developed areas.
2. Erosion and sediment control devices shall be installed in their proper sequence. No clearing or grading may be done in any area until the devices for that area, as shown on the plan, are in place and functional.
3. Natural vegetation shall be maintained and protected to the greatest extent practical.
4. All sediment and erosion control devices and provisions shall be maintained in operational condition by the contractor until final acceptance of the project.
5. No changes of this soil erosion and sediment control plan may be made without approval of the project engineer.
6. Land disturbance is to be kept to a minimum and reestablishment and/or stabilization of disturbed areas shall be scheduled as soon as practical.
7. Erosion controls shall be monitored periodically to verify that they are maintained in effective working order. If, during construction, additional control measures are necessary, they shall be installed.
8. Sediment or debris shall be removed from the drainage pipes and structures as it accumulates during construction. It shall be disposed of in a manner which is consistent with the intent of this plan.
9. Sediment fencing shall be installed where required prior to commencing construction and shall remain in place for the duration of the project. Fencing shall be Proplex Silt Stop (TM) as manufactured by Amoco or approved equal.
10. The contractor may provide alternate means of sediment control, but he may not eliminate placement of protection in the areas indicated herein.
11. The contractor shall regrade, topsoil, and seed all disturbed areas immediately after construction has been completed.
12. Copies of the Sedimentation and Erosion Control Plan are to be maintained at the site and provided to the project foreman and subcontractors prior to the start of work.
13. Additional protection measures shall be implemented as site conditions warrant.
14. An additional 10% of trap rock, hay bales, snowfencing, fabric fencing, and other control materials are to be stockpiled on site for use as necessary.
15. Refer to Erosion and Sedimentation Control Handbook - Connecticut for additional details and specifications for sedimentation control.

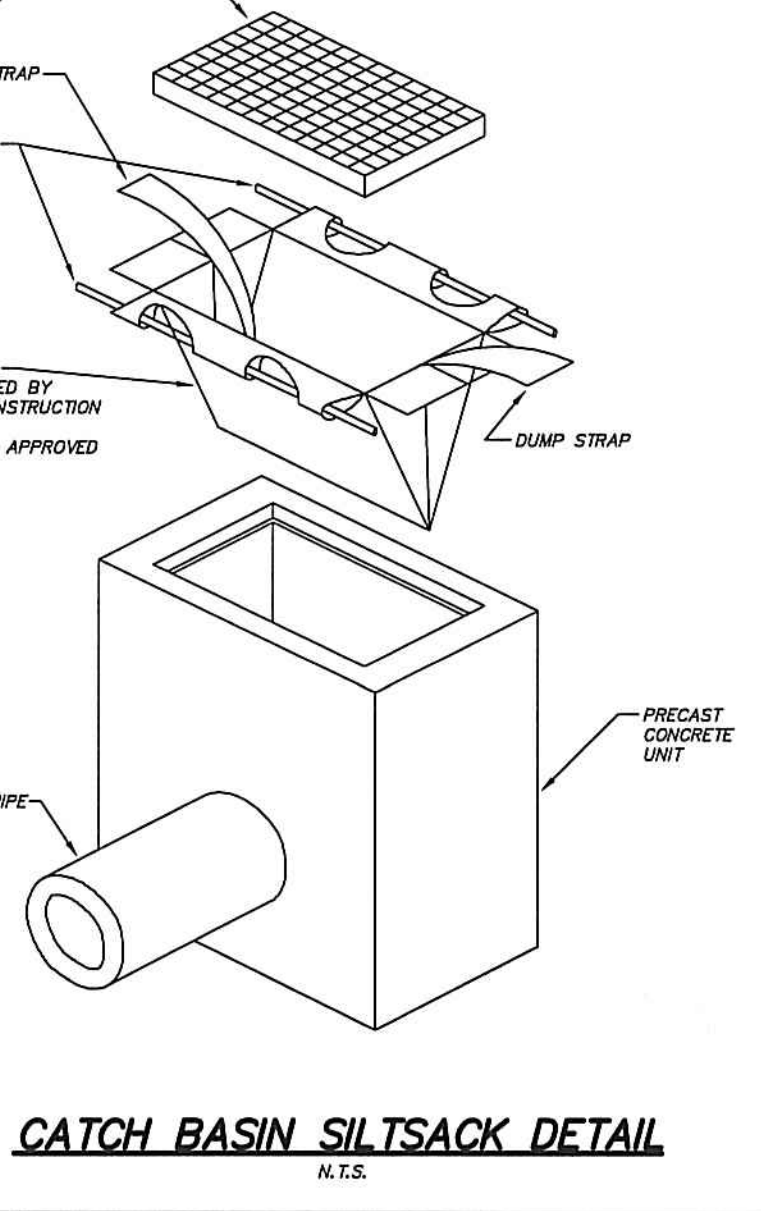
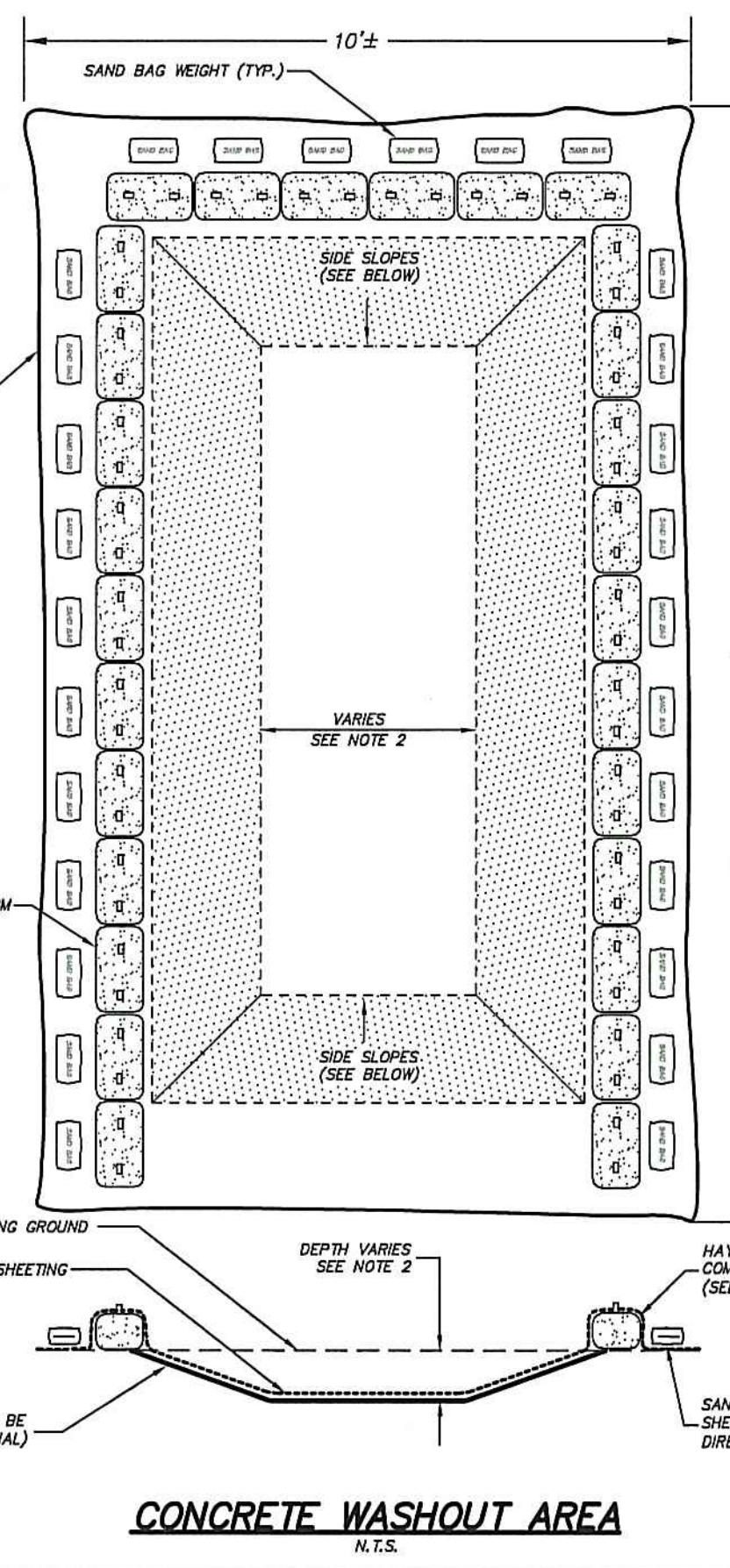
16. Groundwater may be encountered during the construction of the proposed development. If any groundwater is encountered during excavation, then sump pits will be installed and the groundwater shall be pumped into either an on-site temporary crushed stone dewatering pit or a nearby storm drainage system.
17. Prior to any discharge of wastewater into the sanitary sewer as a result of construction dewatering, a Miscellaneous Discharge Permit Application shall be completed and submitted to the City of Stamford Water Pollution Control Authority for review and approval. In the event construction dewatering into the sanitary sewer is approved, a flow meter shall be installed capable of recording, saving, and reporting the daily volume from the pumps.

GENERAL CONSTRUCTION PHASING:

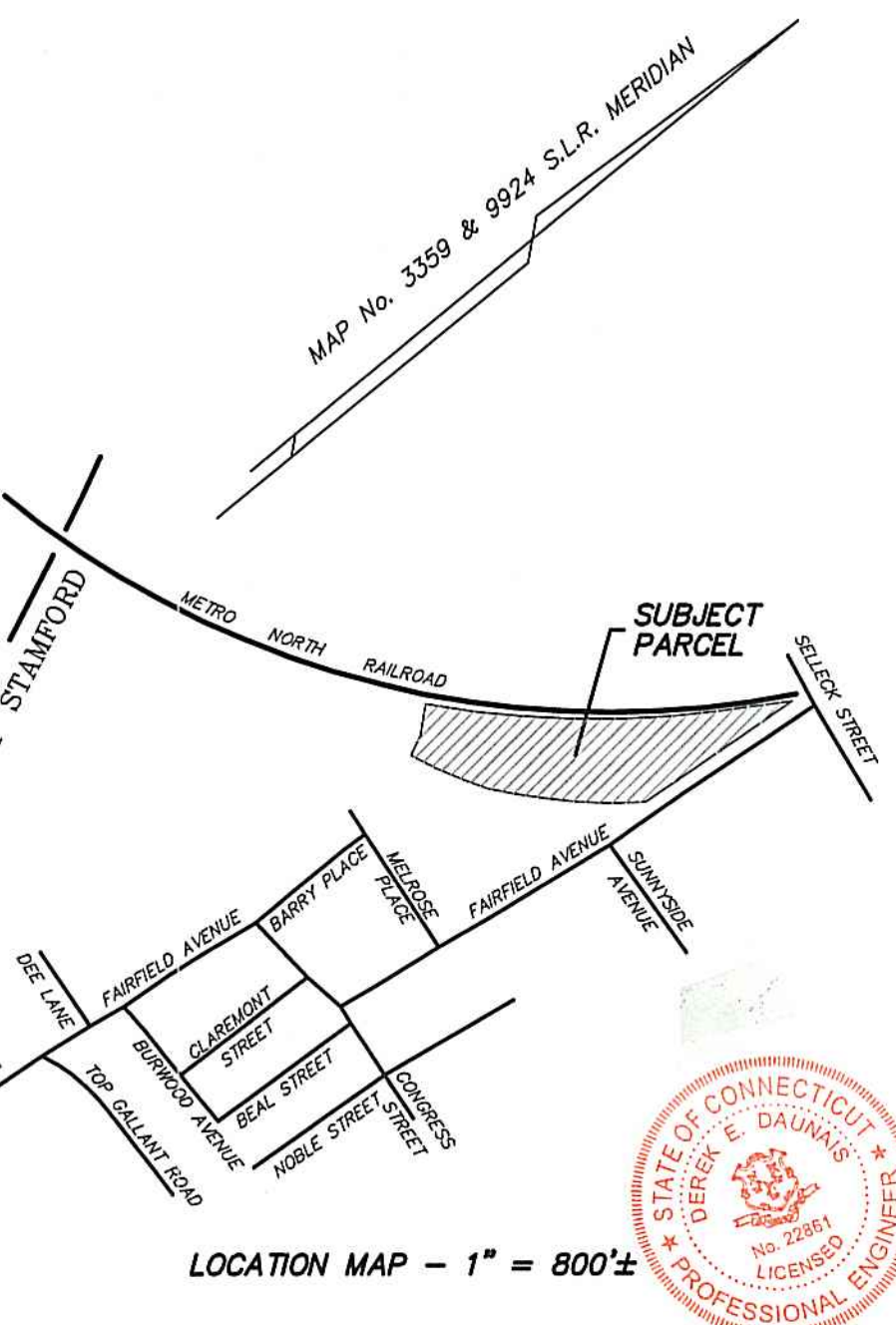
- PHASE 1: DEMOLITION**
1. Access site using existing driveway entrance along Fairfield Avenue.
 2. Remove vegetation.
 3. Remove existing structures, hardscapes, and site features.
 4. Install sedimentation and erosion controls.
- PHASE 2: SITE GRADING/FOUNDATION CONSTRUCTION**
1. Rough site proposed driveway and construction access.
 2. Rough grade site.
 3. Excavate for proposed building foundation.
 4. Construct proposed building foundation.
 5. Backfill and rough grade around building foundation.
- PHASE 3: SITE UTILITIES**
1. Install storm drainage system.
 2. Install utilities and sewer lateral connection.
- PHASE 4: BUILDING CONSTRUCTION**
1. Construct proposed building.
- PHASE 5: SITE FEATURES**
1. Construct retaining walls.
 2. Construct curbing and hardscapes.
 3. Construct driveway.
 4. Fine grade and stabilize all slopes.
 5. Landscape as required.
 6. Remove sedimentation and erosion controls.



NOTE:
 THIS PLAN SHALL BE USED EXPRESSLY FOR THE IMPLEMENTATION OF SEDIMENTATION AND EROSION CONTROL MEASURES. IN NO WAY IS THIS PLAN INTENDED FOR PURPOSES OTHER THAN SEDIMENTATION AND EROSION CONTROL MEASURES.



- LEGEND**
- ○ ○ ORANGE CONSTRUCTION FENCE
 - × × × SILT FENCE
 - ☐ HAYBALES
 - ☒ SILT SACK



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COMMERCIAL DEVELOPMENT

375 FAIRFIELD AVENUE ASSOCIATES

375 FAIRFIELD AVENUE STAMFORD, CONNECTICUT

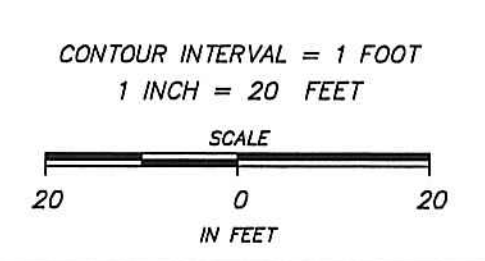
BUILDING "A" SEDIMENT AND EROSION CONTROL PLAN

PROJECT: 10-4-23 ZONING SUBMISSION

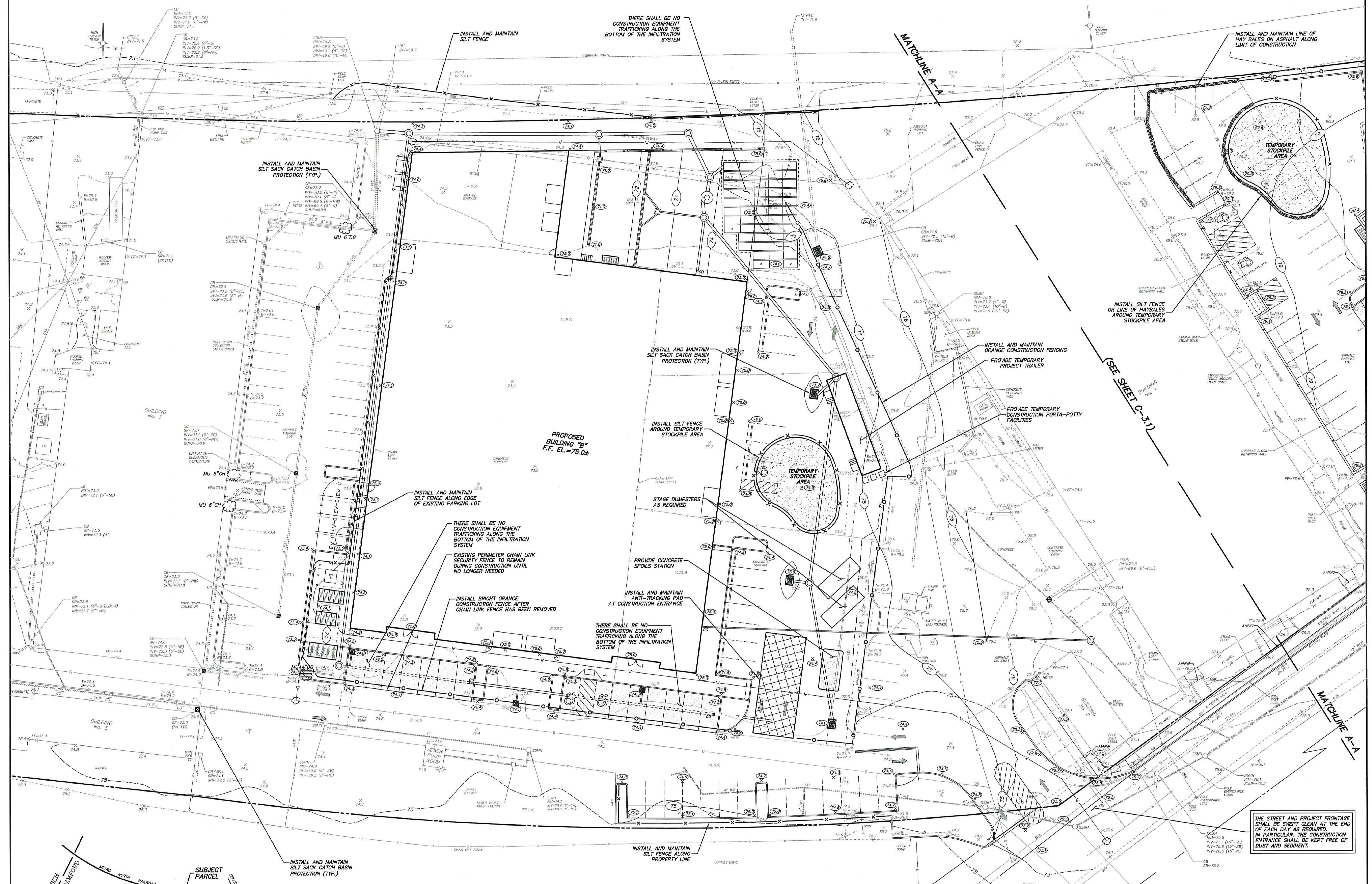
PREPARED FOR: 10-4-23 DATE

LOCATION: 10-4-23 DATE

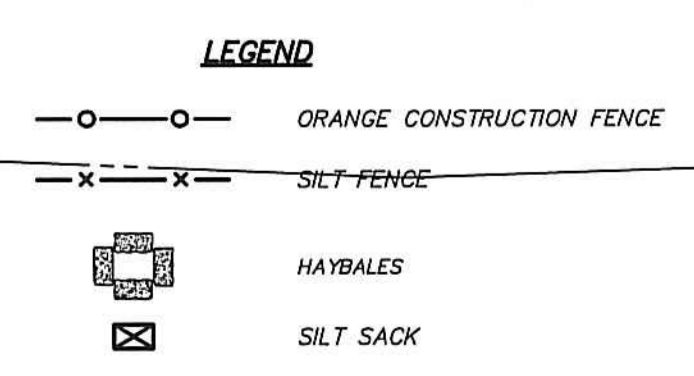
C-3.1



N/F
 STATE OF CONNECTICUT
 METRO NORTH RAILROAD

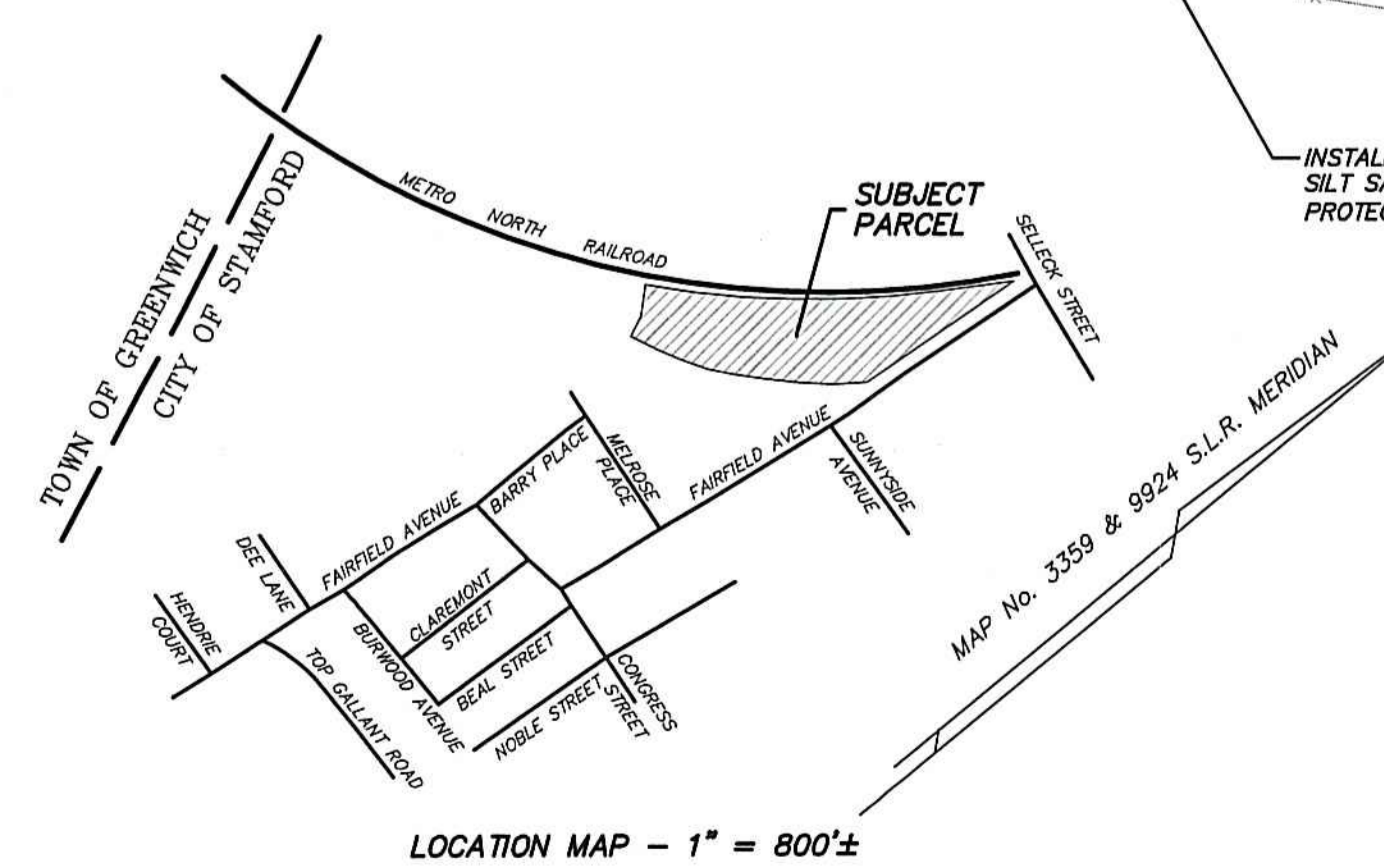


NOTE:
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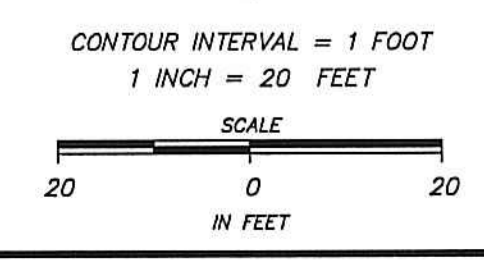
GENERAL CONSTRUCTION PHASING:

- PHASE 1: DEMOLITION**
1. Access site using existing driveway entrance along Fairfield Avenue. Contractor parking and stockpiling to be on-site.
 2. Remove vegetation.
 3. Remove existing structures, hardscapes, and site features.
 4. Install sedimentation and erosion controls.
- PHASE 2: SITE GRADING/FOUNDATION CONSTRUCTION**
1. Rough in proposed driveway and construction access.
 2. Rough grade site.
 3. Excavate for proposed building foundation.
 4. Construct proposed building foundation.
 5. Backfill and rough grade around building foundation.
- PHASE 3: SITE UTILITIES**
1. Install storm drainage system.
 2. Install utilities and sewer lateral connection.
- PHASE 4: BUILDING CONSTRUCTION**
1. Construct proposed building.
- PHASE 5: SITE FEATURES**
1. Construct retaining walls.
 2. Construct curbing and hardscapes.
 3. Construct driveway.
 4. Fine grade and stabilize all slopes.
 5. Landscape as required.
 6. Remove sedimentation and erosion controls.



NOTES:

1. Refer to Sheet C-3.1 for Sedimentation and Erosion Control Notes and Details.
2. Elevations shown are based on the North American Vertical Datum of 1988 (NAVD 88). The contractor shall coordinate the transfer of a control benchmark into the working area, after site preparation is complete, by a licensed surveyor.
3. The information given on this plan in respect to the location of subsurface structures and utilities indicates only that the structures and utilities exist and no responsibility is assumed by the engineer for the accuracy of the locations shown. Utility information is not guaranteed complete or accurate.
4. This plan shall be used expressly for the implementation of sedimentation and erosion control measures. In no way is this plan intended for purposes other than sedimentation and erosion control measures.



D'ANDREA SURVEYING & ENGINEERING, P.C.
 LAND PLANNERS
 ENGINEERS
 SURVEYORS
 P.O. BOX 549
 RIVERSIDE, CT 06878
 6 NEIL LANE
 TEL. 837-1779

PROJECT	COMMERCIAL DEVELOPMENT
PREPARED FOR	375 FAIRFIELD AVENUE ASSOCIATES
LOCATION	375 FAIRFIELD AVENUE STAMFORD, CONNECTICUT
C-3.2	BUILDING "B" SEDIMENT AND EROSION CONTROL PLAN

REV.	DATE	DESCRIPTION
0	10-4-23	ZONING SUBMISSION
1	10-4-23	DEREK E. DAUNAIS, CT PE No. 22861
2	10-4-23	DATE

ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

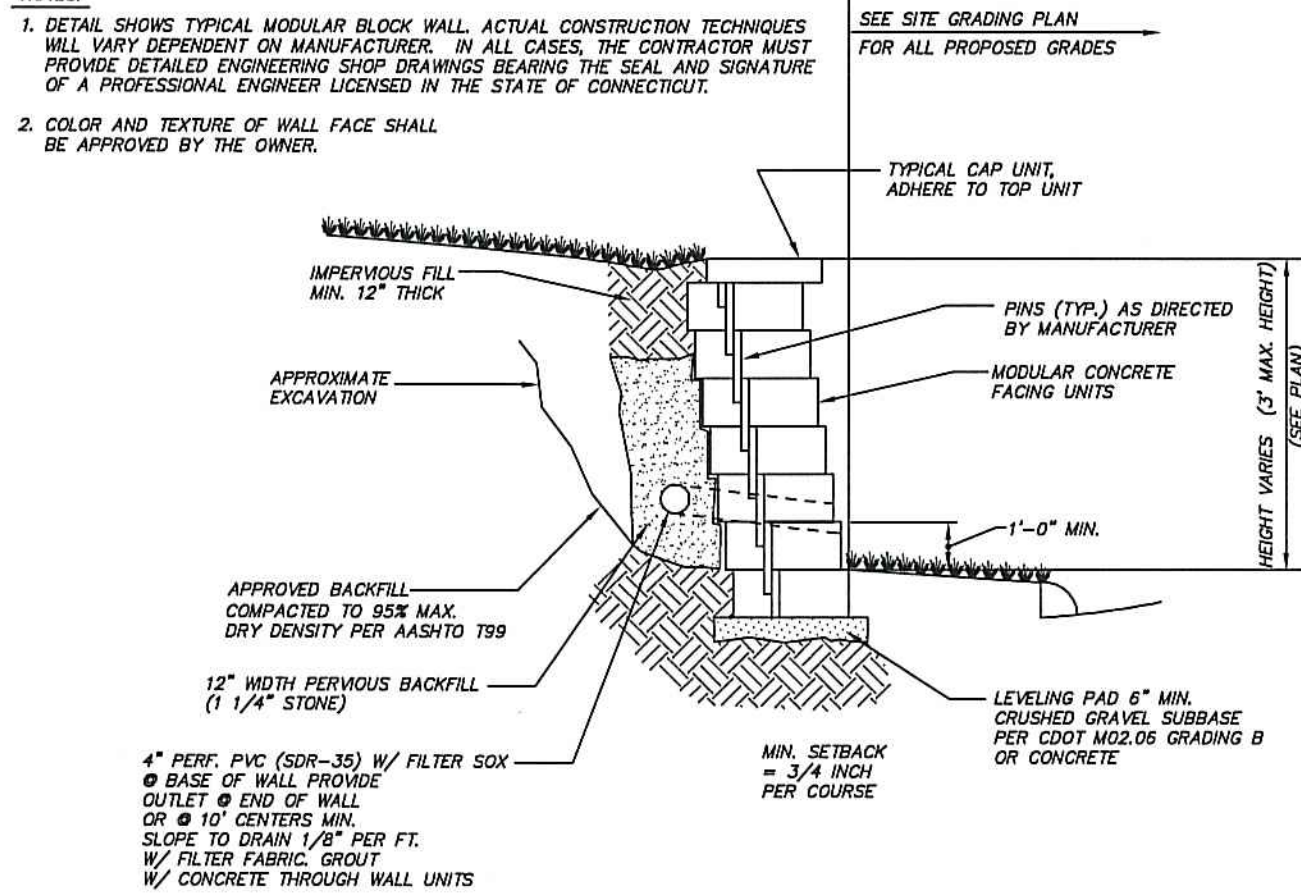
CONSTRUCTION NOTES:

- 1. The contractor shall obtain all appropriate permits prior to commencing construction.
2. The contractor shall be solely responsible to coordinate his work with the work being done by others.
3. All construction shall be inspected by a professional engineer prior to backfill and as the work progresses.
4. The project engineer shall be notified a minimum of three working days prior to the commencement of each phase of construction.
5. Appropriate measures shall be taken to control any sedimentation and erosion which may result during construction.
6. All specimen trees shall be protected during the construction period, except those specifically designated to be removed, in accordance with generally accepted standards.
7. There shall be no dumping of construction debris and/or excess excavated material into or in proximity to any inland or tidal wetland areas.
8. The proposed building shall be designed by the architect in order to conform with current applicable zoning setback criteria and regulations, and a building permit shall be obtained prior to commencing construction.
9. Existing utilities in conflict through or above this parcel shall be relocated as directed by the appropriate utility company or the owner.
10. Pavement replacement shall be bituminous concrete, placed in accordance with the City of Stamford standards and/or Connecticut State Highway specifications.
11. Shoulders and disturbed areas shall receive four inches of topsoil, fine graded and seeded as soon as practical to prevent erosion.
12. The contractor shall not commence any paving until the grading and shaping of the compacted gravel base has been approved by the project engineer.
13. Regrading, filling, and other such alterations to the site shall be restricted to the minimum level necessary to complete the project as shown on the plan.
14. Existing inverts on storm drains, sanitary sewers, and utility conduits shall be field verified where appropriate, before commencing construction.
15. Manhole structures shall be precast concrete with gaskets as manufactured by Eastern Precast Co. Inc. or engineer approved equal, unless noted otherwise.
16. Precast concrete cone sections to be eccentric. Flat slab tops to have eccentric openings.
17. Connection between manholes and PVC sanitary sewer or storm drain pipes shall be made with flexible rubber gasket type connections sealed water tight with a stainless steel clamp.
18. All gravity PVC storm drain and sanitary sewer pipes shall conform to ASTM D 3034 "Standard Specification for type PSM Poly Vinyl Chloride (PVC) Sewer Pipe and Fittings" or approved equal (SDR35).
19. Corrugated plastic pipe (CPP) shall be HDPE, 12-1/2, smooth interior pipe as manufactured by Advanced Drainage Systems, Inc. or engineer approved equal and shall comply with AASHTO M294-94 Type S (smooth inner liner).
20. All reinforced concrete pipe (RCP) shall be Class IV.
21. Where unsuitable foundation is encountered during construction of storm drains or sanitary sewers, the contractor shall remove the unsuitable material and replace it with other material approved by the project engineer.
22. Bedding and backfill material shall conform to ASTM D2321 specification "standard recommended practice for underground installations of flexible thermoplastic sewer pipe (PVC)".
23. All drainage and sewer conduits within the City right-of-way shall have 2 foot minimum cover or be encased in concrete if located under a paved or traveled way.
24. All storm drainage and sewer connections shall be sloped at 2% (minimum) or as otherwise noted.
25. The contractor shall provide all equipment, tools, labor and materials necessary to satisfactorily clean and remove all visible obstructions, dirt, sand, sludge, roots, gravel, stones, etc., from the storm drains, sanitary sewers, and structures.
26. Processed aggregate shall be in accordance with the City of Stamford standards and/or Connecticut State Highway specifications.
27. Roadway pavement shall be 2 course bituminous concrete placed in accordance with the City of Stamford standards and/or Connecticut State Highway specifications.
28. All existing manhole frames, catch basin grates, and utility structures shall be adjusted to new finish grade as required. Contractor to coordinate with existing utility companies to ensure their facilities are adjusted to finish grade.
29. Curbs and sidewalks in the City right-of-way shall be constructed in accordance with the City of Stamford specifications. The contractor shall pay specific attention to the location of construction joints.
30. All traffic control devices including traffic signs and pavement markings shall be installed in conformance with the Manual on Uniform Traffic Control Devices for Streets and Highways, U.S. Department of Transportation, Federal Highway Administration, Millennium Edition, as amended to date.

STANDARD CITY OF STAMFORD NOTES:

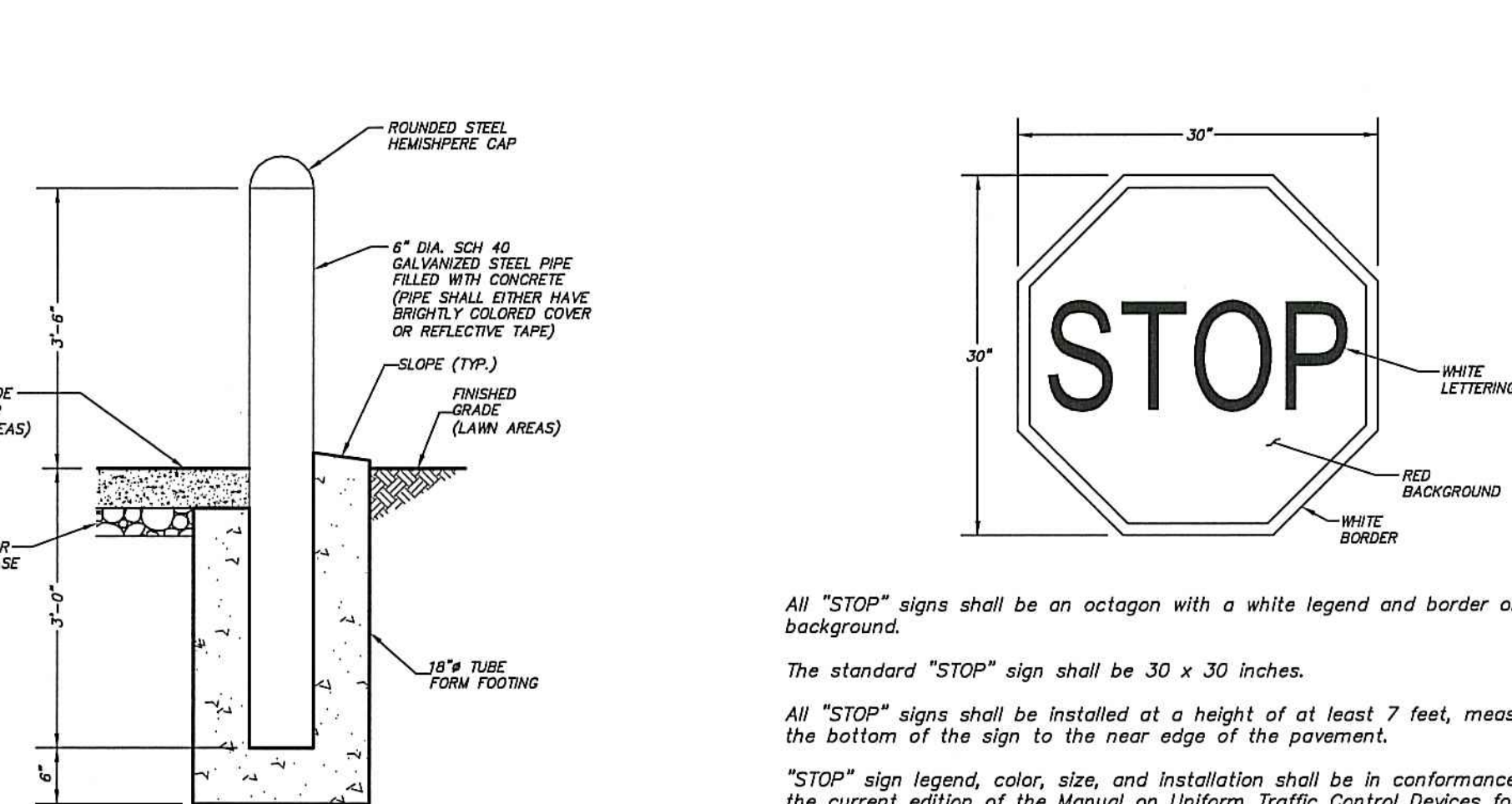
- 1. A Street Opening Permit is required for all work within the City of Stamford Right-of-Way.
2. All work within the City of Stamford Right-of-Way shall be constructed to City of Stamford requirements, the State of Connecticut Basic Building Code and the Connecticut Guidelines for Soil Erosion and Sedimentation Control.
3. The Engineering Bureau of the City of Stamford shall be notified three days prior to any commencement of construction or work within the City of Stamford Right-of-Way.
4. Trees within the City of Stamford Right-of-Way to be removed shall be posted in accordance with the Tree Ordinance.
5. Prior to any excavation the Contractor and/or Applicant/Owner, in accordance with Public Act 77-350, shall be required to contact "Call Before You Dig" at 1-800-922-4455 for mark out of underground utilities.
6. All retaining walls three (3) feet or higher measured from finished grade at the bottom of the wall to finished grade at the top of the wall and retaining walls supporting a surcharge or impounding Class I, II or III-A liquids are required to have a Building Permit. Retaining walls shall be designed and inspected during construction by a Professional Engineer licensed in the State of Connecticut. Prior to the issuance of a Certificate of Occupancy, retaining walls shall be certified by a Professional Engineer licensed in the State of Connecticut.
7. Certification will be required by a professional engineer licensed in the State of Connecticut that work has been completed in compliance with the approved drawings.
8. A Final Improvement Location Survey will be required by a professional land surveyor licensed in the State of Connecticut.
9. Connection to a city-owned storm sewer shall require the Waiver Covering Storm Sewer Connection to be filed with the City of Stamford Engineering Bureau.
10. Granite block or other decorative stone or brick, depressed curb, driveway apron and curbing within the City of Stamford Right-of-Way shall require the Waiver Covering Granite Block Depressed Curb and Driveway Aprons to be filed with the City of Stamford Engineering Bureau.
11. Sediment and erosion controls shall be maintained and repaired as necessary throughout construction until the site is stabilized.
12. To obtain a Certificate of Occupancy, submit all includes all items outlined in the Checklist for Certificate of Occupancy (Appendix D of the City of Stamford Drainage Manual).

NOTES:



TYPICAL SECTION - UNREINFORCED LOW-PROFILE MODULAR CONCRETE BLOCK RETAINING WALL

BOLLARD/PIPE GUARD DETAIL

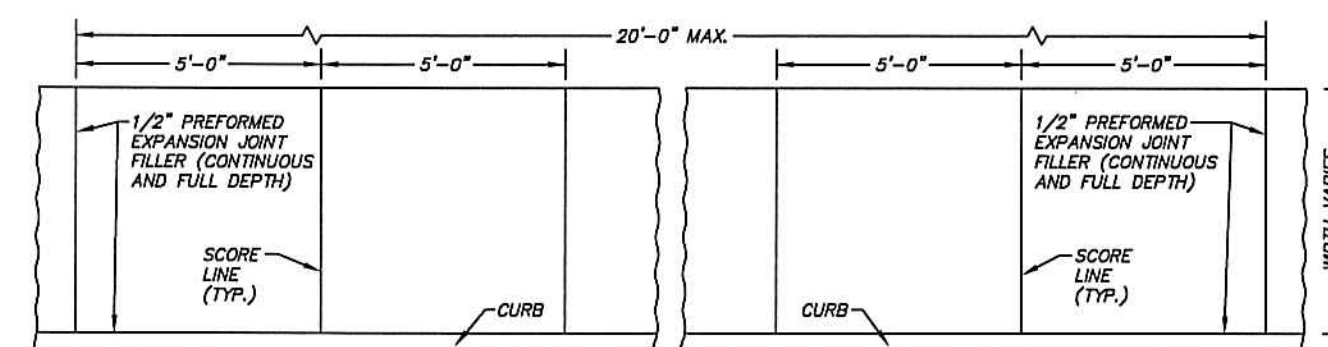


"STOP" SIGN DETAIL (R1-1)

All "STOP" signs shall be on octagon with a white legend and border on a red background. The standard "STOP" sign shall be 30 x 30 inches. All "STOP" signs shall be installed at a height of at least 7 feet, measured from the bottom of the sign to the top edge of the pavement. "STOP" sign legend, color, size, and installation shall be in conformance with the current edition of the Manual on Uniform Traffic Control Devices for Streets and Highways, U.S. Department of Transportation, Federal Highway Administration.

"RESERVED PARKING PERMIT REQUIRED" & "VAN ACCESSIBLE" signs shall have white lettering against a blue background. All accessible signage sizes, lettering, and symbols shall comply with federal and state specifications. All accessible signage shall be installed 60" (minimum) above the floor or ground surface of the parking space, measured to the bottom of the sign. Confirm fine amount prior to sign fabrication.

RESERVED PARKING SPACE SIGN DETAIL

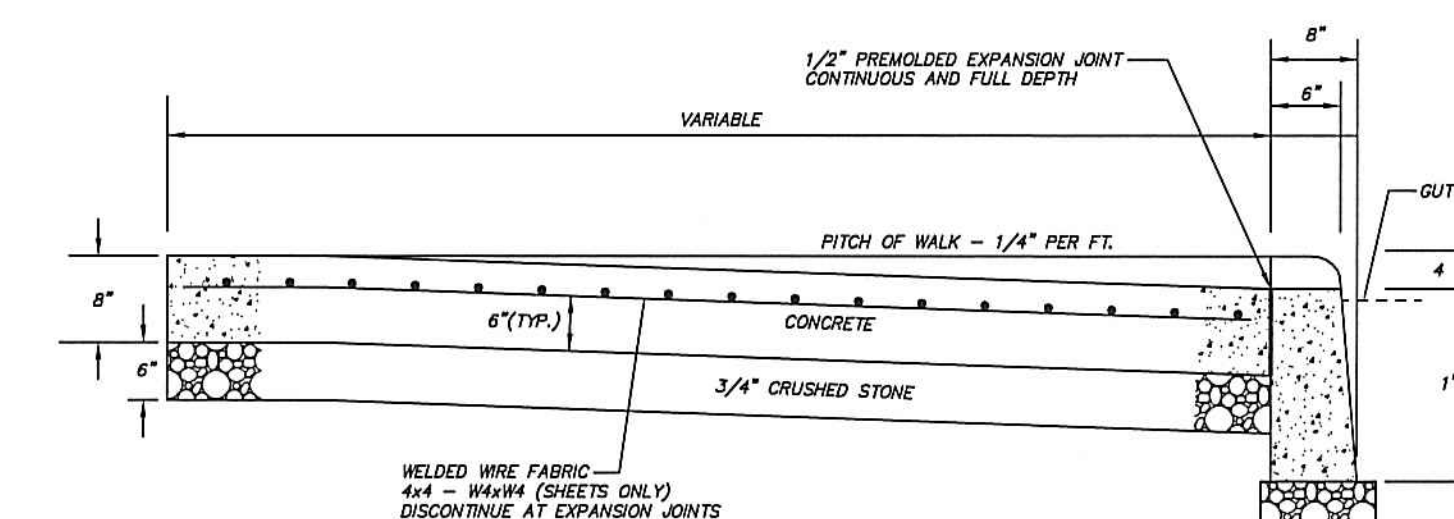


CONCRETE FOR THE SIDEWALK SHALL BE PLACED TO A UNIFORM DEPTH OF FIVE (5) INCHES UNLESS A SIX (6) INCH 3/4" CRUSHED STONE BASE, THE SURFACE EDGES OF EACH PANEL SHALL BE ROUNDED TO A RADIUS OF 1/4" INCH. CONCRETE SHALL BE PORTLAND CLASS "I" CEMENT TYPE II (4,400 PSI MIN) AND SHALL HAVE BETWEEN 6-7% AIR ENTRAINMENT. WELDED WIRE FABRIC (WFF) SHALL BE 6x6 - W2.9x9.2 (SHEETS ONLY), DISCONTINUE AT EXPANSION JOINTS.

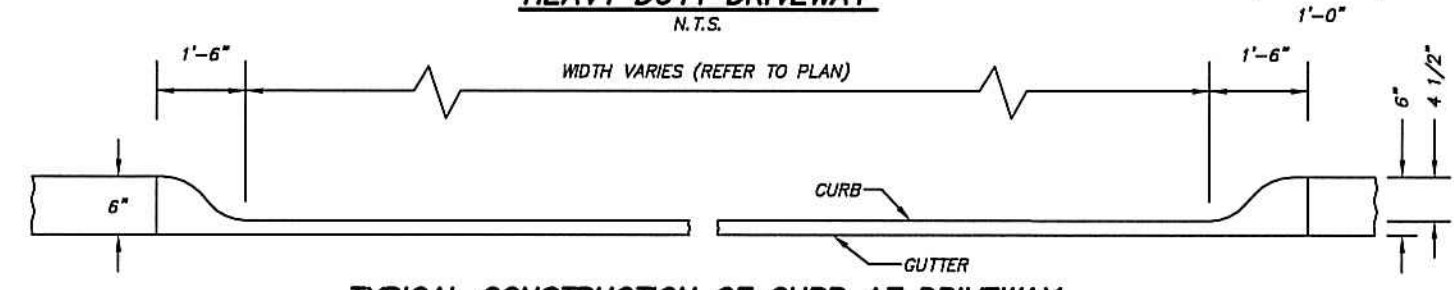
WFF SHALL BE INSTALLED MID DEPTH OF SIDEWALK AND SHALL BE SUPPORTED ON CONCRETE BLOCK OR OTHER APPROVED MATERIAL. A 1/2" THICK APPROVED PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED TRANSVERSELY EVERY 20' FT. MAX. AND BETWEEN NEW CONCRETE CURBING AND SIDEWALKS. A 1/2" THICK APPROVED PREFORMED EXPANSION JOINT FILLER SHALL BE UTILIZED BETWEEN BITUMINOUS JOINTS. CONTROL JOINTS SHALL BE 1" DEEP.

ADDITIONAL CONTROL JOINTS SHALL BE PLACED AS REQUIRED TO ELIMINATE ANY CONDITION WHICH WILL CAUSE STRESS CRACKS (EXAMPLE AT CORNERS OF STRUCTURES). JOINTS SHALL BE ORIENTED AS DIRECTED BY THE PROJECT ENGINEER. SURFACE SHALL BE GIVEN A BROOM FINISH ORIENTED PERPENDICULAR TO DIRECTION OF PEDESTRIAN TRAFFIC FLOW. ANY CHANGES REQUIRED BY LOCAL FIELD CONDITIONS SHALL BE MADE ONLY BY ORDER OF THE PROJECT ENGINEER OR THE CITY ENGINEER.

PLAN OF A SECTION OF CONCRETE SIDEWALK



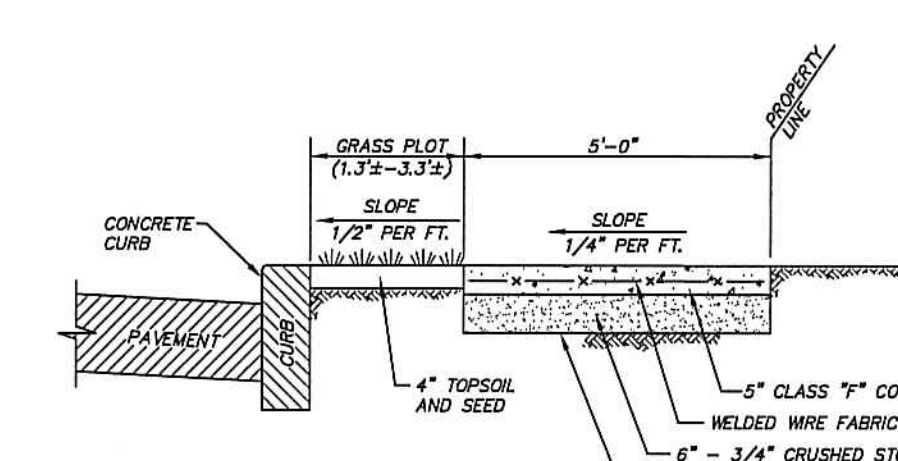
STANDARD DRIVEWAY & HEAVY DUTY DRIVEWAY



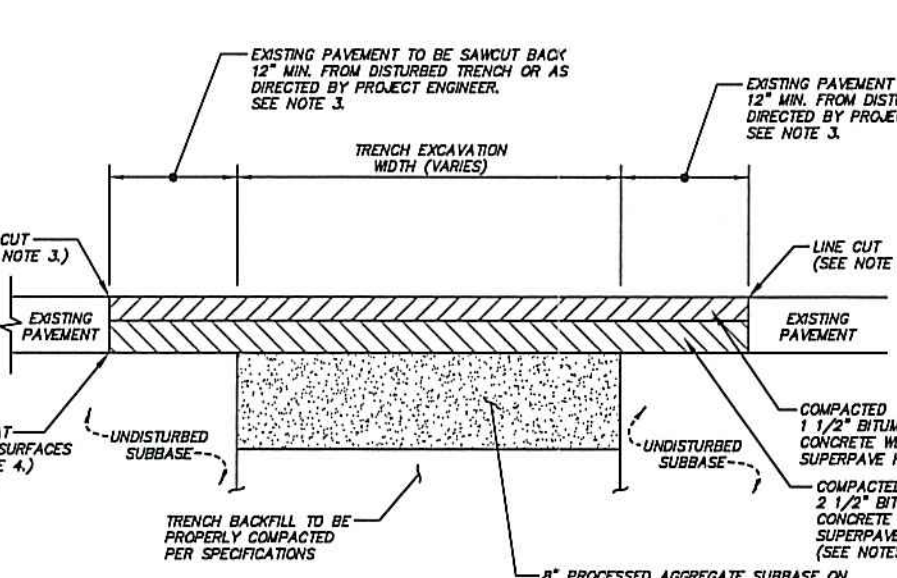
TYPICAL CONSTRUCTION OF CURB AT DRIVEWAY

NOTES: 1. ALL REINFORCING SHALL BE SUPPORTED ON CHAIRS OR OTHER POSITIVE TYPE SUPPORTS APPROXIMATELY ONE PER 25 SQ. FT. 2. CONCRETE SHALL BE CLASS "I", 4,400 PSI. 3. AIR ENTRAINMENT SHALL BE BETWEEN 6 - 7%.

REINFORCED CONCRETE DRIVEWAY ENTRANCE



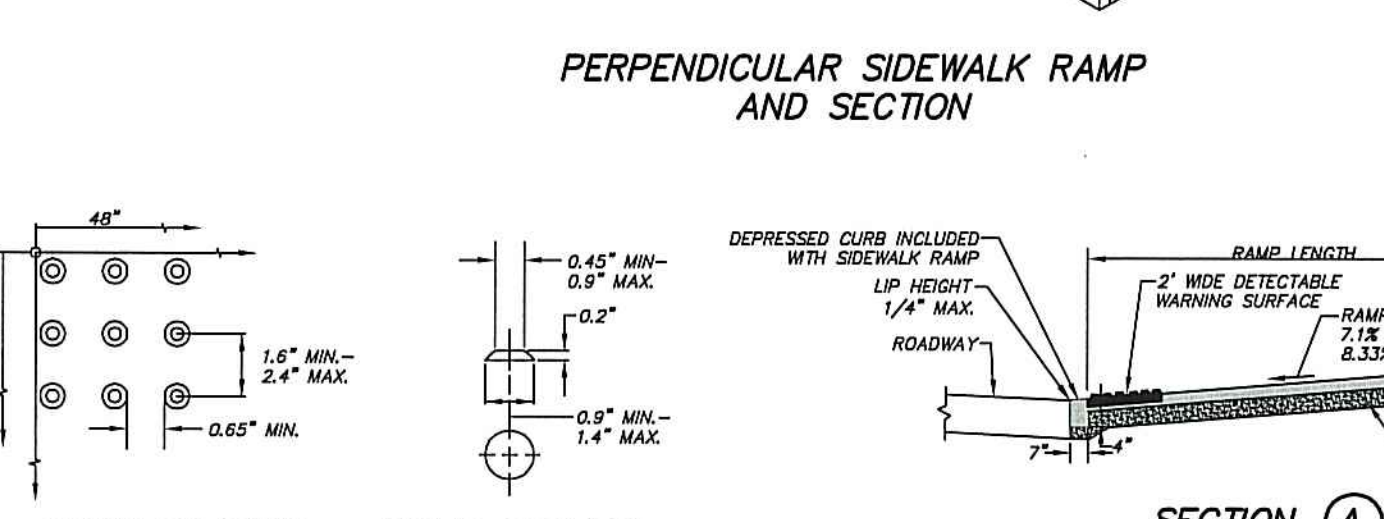
CONCRETE SIDEWALK WITH PLANTING STRIP IN CITY R.O.W.



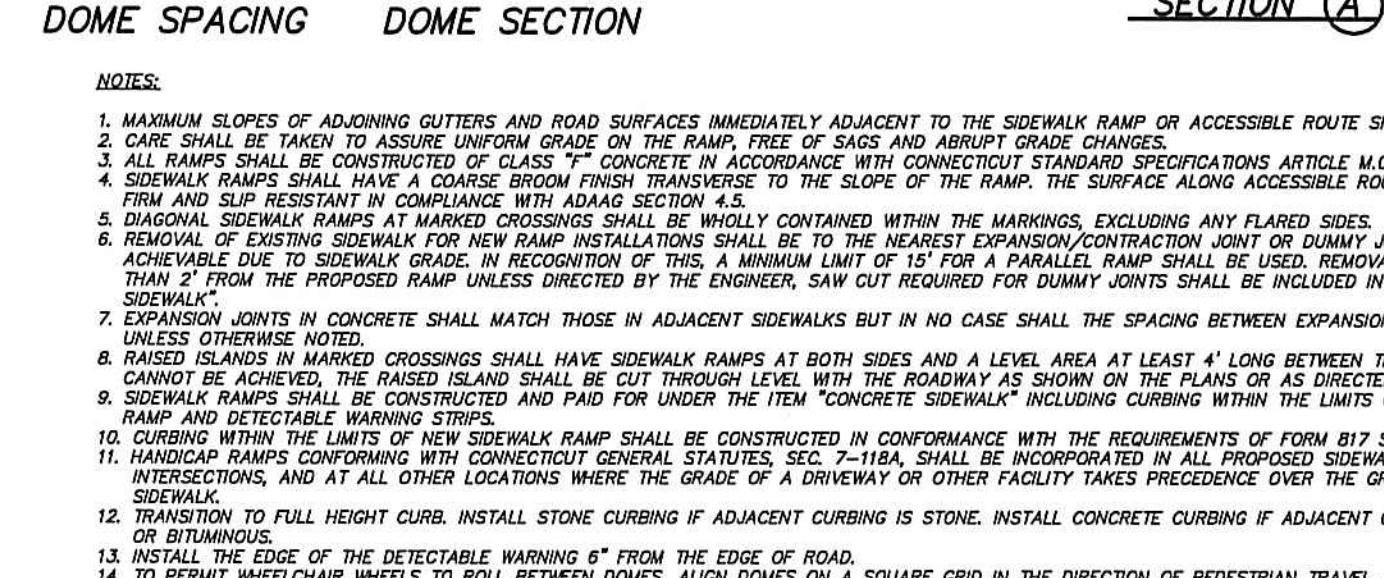
DETAIL FOR TRENCH REPAIR

NOTES: 1. ALL WORK TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONNECTICUT DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, LATEST EDITION, OR AS DIRECTED BY PROJECT ENGINEER. 2. SHOULD THE TOTAL THICKNESS OF EXISTING PAVEMENT EXCEED THICKNESS OF PROPOSED BINDER FILLER WEARING COURSE, THE THICKNESS OF BINDER COURSE SHALL BE INCREASED SUCH THAT THE TOTAL THICKNESS OF REPAIR BITUMINOUS PAVEMENT MATCHES EXISTING. 3. CURB/CURBS SHALL BE MADE IMMEDIATELY PRIOR TO BINDER REPAIR AND NOT WHEN TRENCH IS EXCAVATED. CURB/CURBS SHALL BE STRAIGHT AND EVEN TO ELIMINATE IRREGULAR EDGES. 4. TACK COAT SHALL BE APPLIED TO THE FULL DEPTH OF EXISTING PAVEMENT ALONG THE PERIMETER EDGES OF THE TRENCH AND ALL CONTACT SURFACES SUCH AS CURBING AND STRUCTURES (MANHOLES AND CATCH BASINS). TACK COAT SHALL BE APPLIED BETWEEN LIFTS/COURSES THAT HAVE BEEN IN PLACE LONGER THAN FIVE (5) DAYS. 5. MAX. SLOPE BINDER COURSE SHALL NOT BE PLACED IN LIFTS GREATER THAN 2 1/2" COMPACTED THICKNESS.

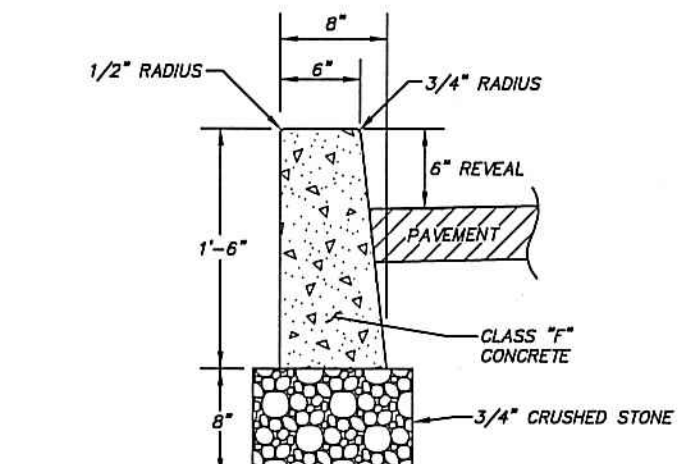
BITUMINOUS CONCRETE DRIVEWAY AND PARKING LOT DETAIL



PERPENDICULAR SIDEWALK RAMP AND SECTION

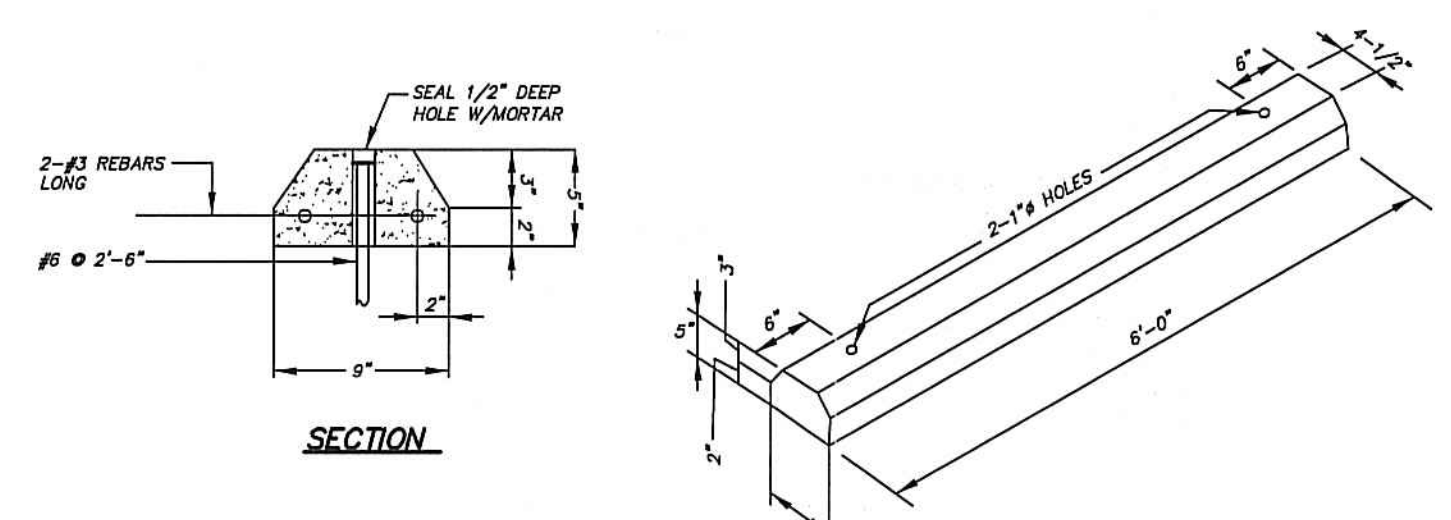


DETAILS FOR PEDESTRIAN ACCESS RAMP



CONCRETE CURB DETAIL

NOTES: 1. ALL CURBING TO BE CAST-IN-PLACE WITHIN CITY RIGHT-OF-WAY. 2. APPROVED 1/2" PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED AT A MAXIMUM SPACING OF 10 FEET CONCORDING WITH EXPANSION JOINTS IN SIDEWALK.



PRECAST CONCRETE CURB STOP DETAIL

Table listing test pits (TP-1 to TP-7) with their locations and materials. Includes details for processed aggregate, silt/sand, and weathered rock.

Table listing materials for various test pits (TP-1 to TP-7) such as processed aggregate, silt/sand, gravel, and concrete slabs.

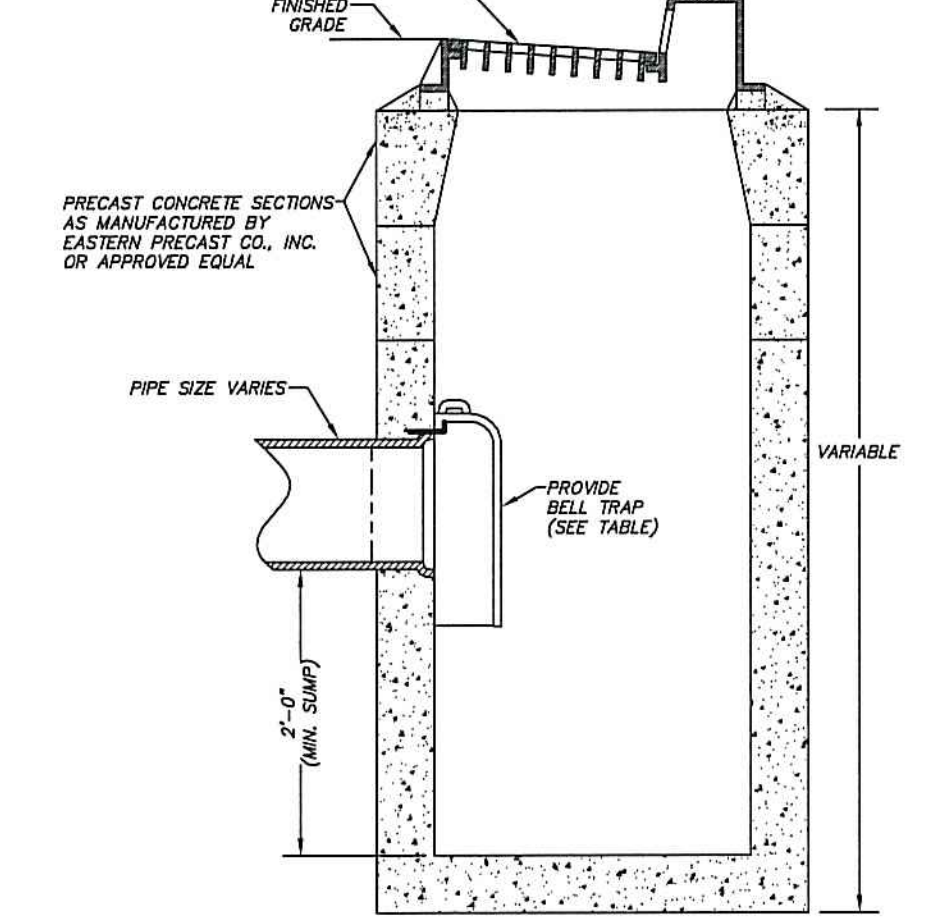
D'ANDREA SURVEYING & ENGINEERING, P.C. LAND PLANNERS ENGINEERS SURVEYORS 6 NELL LANE STAMFORD, CT 06907

Table with project information: PROJECT: COMMERCIAL DEVELOPMENT; PREPARED FOR: 375 FAIRFIELD AVENUE ASSOCIATES; LOCATION: 375 FAIRFIELD AVENUE STAMFORD, CONNECTICUT; NOTES AND DETAILS: C-4.1



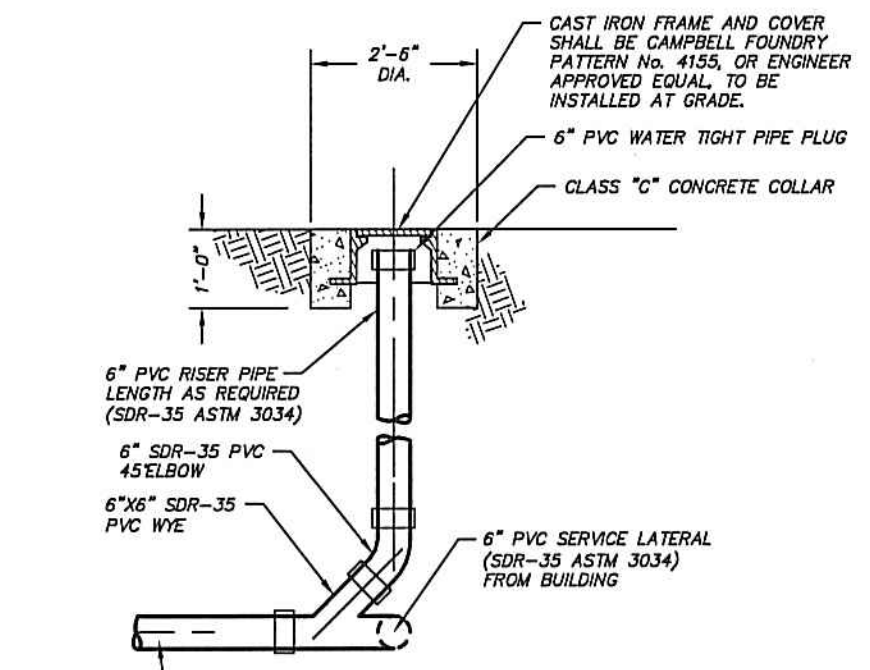
Table with Zoning Submission information: REV. 0, DATE 10-4-23, DESCRIPTION ZONING SUBMISSION, ENGINEER DATE 10-4-23.

PIPE SIZE	PATTERN NUMBER
6"	2563
8"	2564
10"	2565
12"	2566
15"	2567
18"	2568

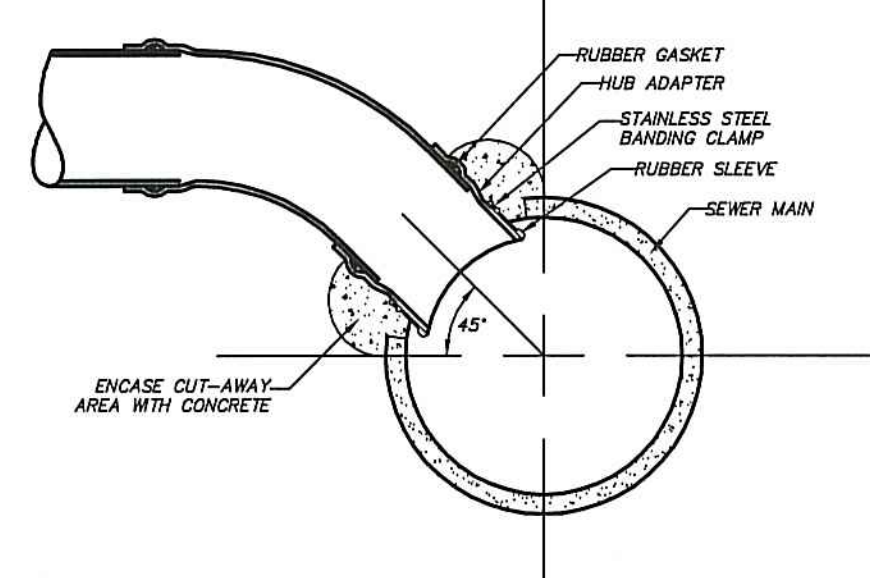


SINGLE CATCH BASIN DETAIL (TYPE "C")
N.T.S.

NOTES:
CATCH BASIN SHALL HAVE A MINIMUM SUMP OF 2 FEET AS MEASURED FROM THE LOWEST PIPE INVERT ELEVATION TO THE INTERIOR BOTTOM OF THE STRUCTURE.
CONTRACTOR SHALL PURCHASE AND INSTALL A SEPARATE SUMP SECTION, NO OUTLET OR INLET PIPES SHALL PENETRATE THE BOTTOM SUMP SECTION.
REFER TO DEVELOPMENT PLAN FOR SIZES, LOCATIONS, AND INVERT ELEVATIONS OF ALL PIPES.

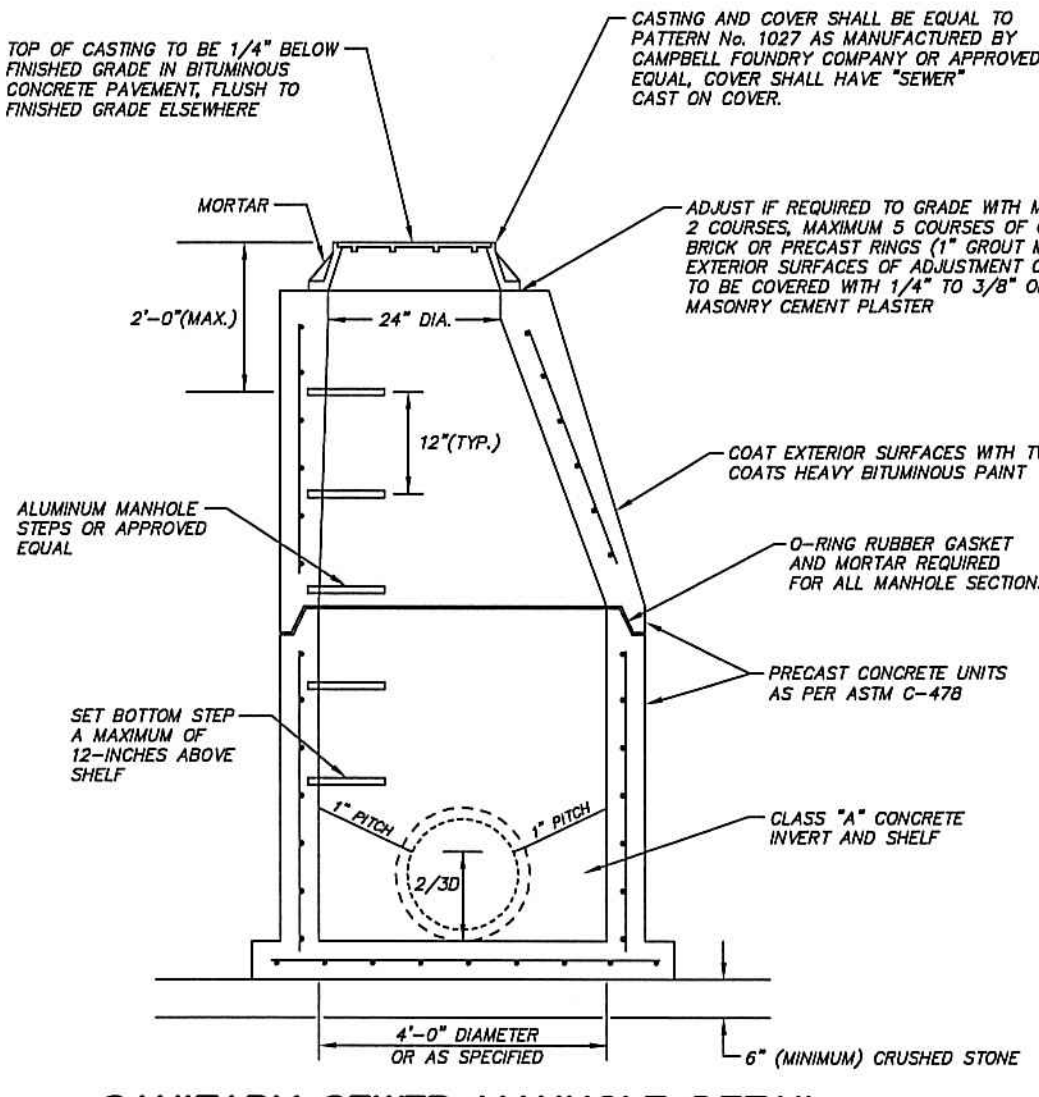


CLEANOUT IN PAVEMENT
N.T.S.



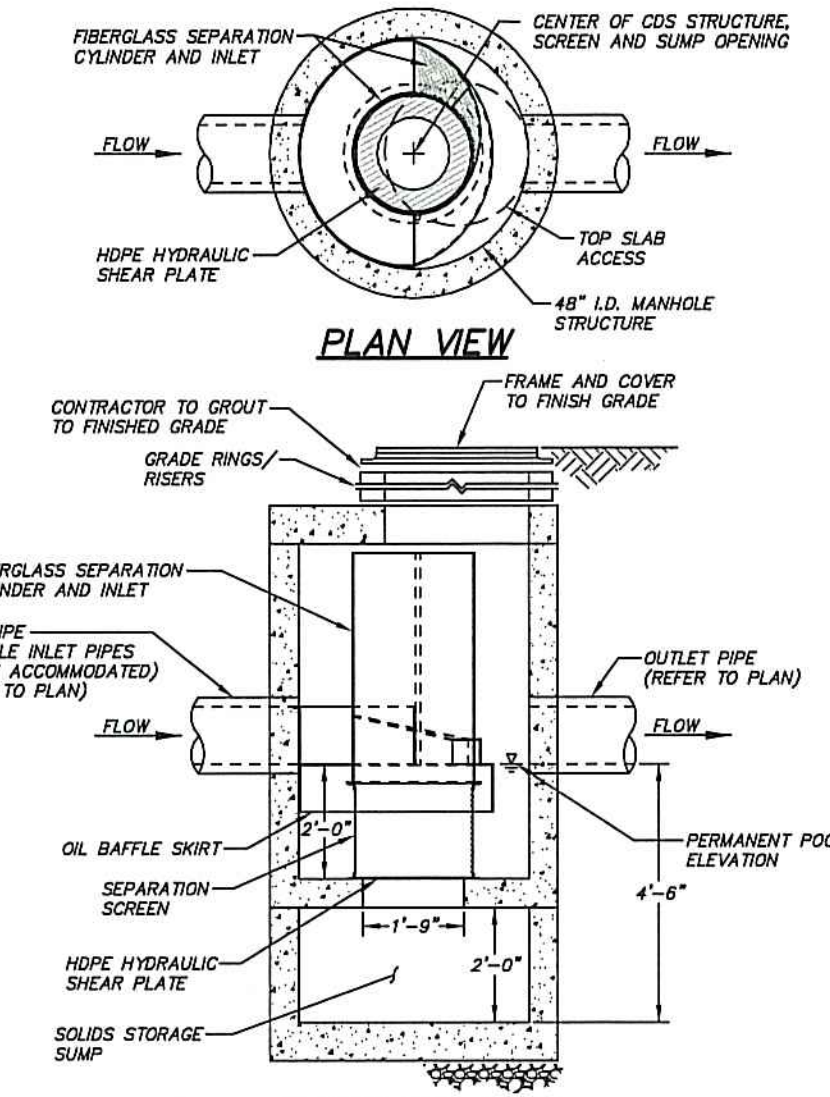
PVC PIPE LATERAL CONNECTION
N.T.S.

NOTES:
1. COORDINATE INSTALLATION WITH CITY OF STAMFORD MPCA.
2. COMPONENTS SHALL BE PROVIDED BY INSERTA TEE, PHONE NO. 503-537-2110, OR ENGINEER APPROVED EQUAL.



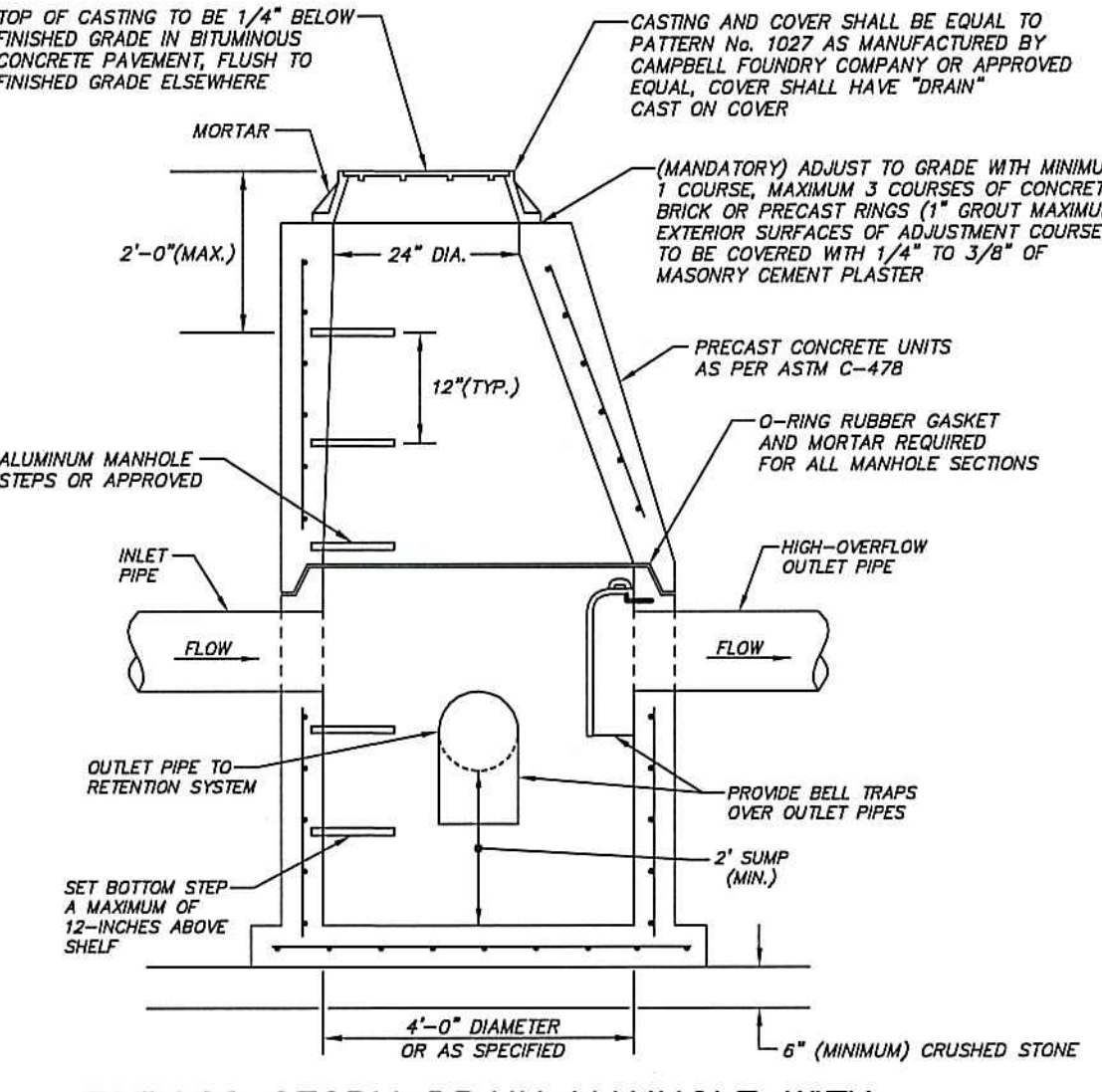
SANITARY SEWER MANHOLE DETAIL
N.T.S.

NOTE: REFER TO DEVELOPMENT PLAN FOR SIZES, LOCATIONS, AND INVERT ELEVATIONS OF ALL PIPES.



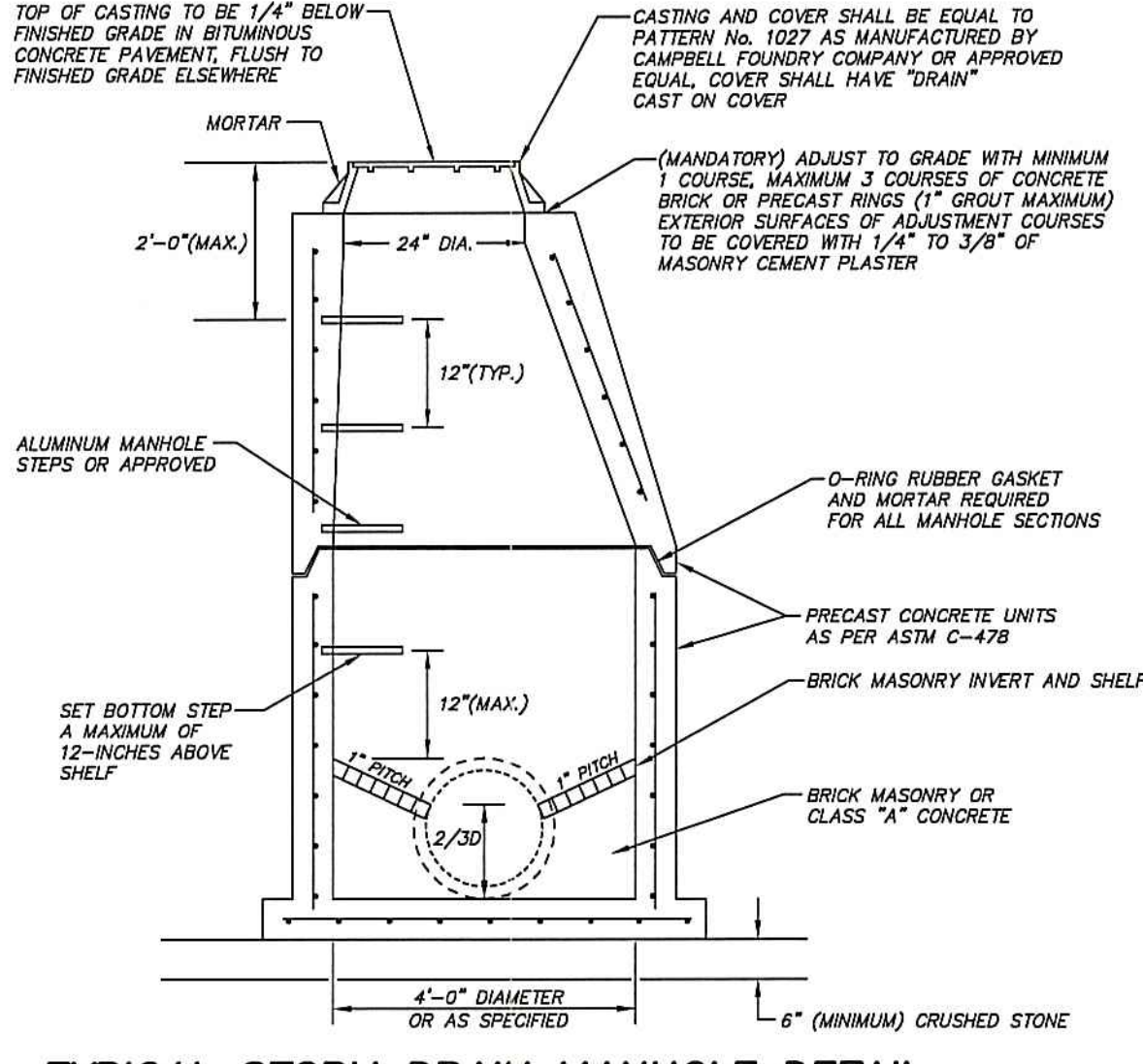
STORMWATER TREATMENT SYSTEM TYPICAL CONTECH CDS2015-4 DETAIL
N.T.S.

NOTES:
1. FINAL MODEL SIZE AND DIMENSIONS OF STORMWATER TREATMENT SYSTEM SHALL BE DETERMINED BY THE SYSTEM MANUFACTURER AND APPROVED BY THE SUPERVISING ENGINEER. A TYPICAL STORMWATER TREATMENT SYSTEM STRUCTURE AND DESIGN SHALL BE APPROVED BY THE SUPERVISING ENGINEER.
2. STORMWATER TREATMENT SYSTEM COMPONENTS MANUFACTURED BY CONTECH ENGINEERING SOLUTIONS LLC, 7-800-338-3042.
3. DESIGN AND INSTALLATION OF PIPING AND BATTERIES WILL BE PROVIDED BY CONTECH ENGINEERING SOLUTIONS LLC.
4. LOCATION AND SIZE OF MANHOLE OPENINGS MAY BE ADJUSTED BY LICENSED MANUFACTURER.
5. STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET HS20 (AASHTO M208) LOAD RATING.



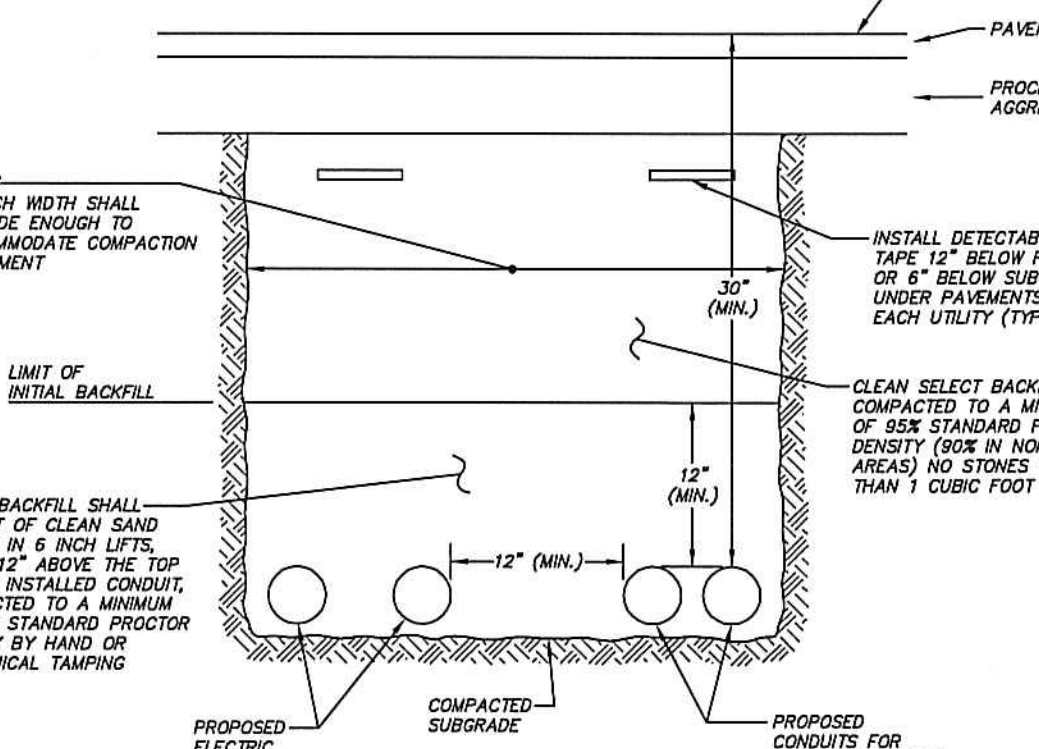
BYPASS STORM DRAIN MANHOLE WITH HIGH-OVERFLOW OUTLET DETAIL
N.T.S.

NOTES:
MANHOLE SHALL HAVE A MINIMUM SUMP OF 2 FEET AS MEASURED FROM THE LOWEST PIPE INVERT ELEVATION TO THE INTERIOR BOTTOM OF THE STRUCTURE.
REFER TO DEVELOPMENT PLAN FOR SIZES, LOCATIONS, AND INVERT ELEVATION OF ALL PIPES.



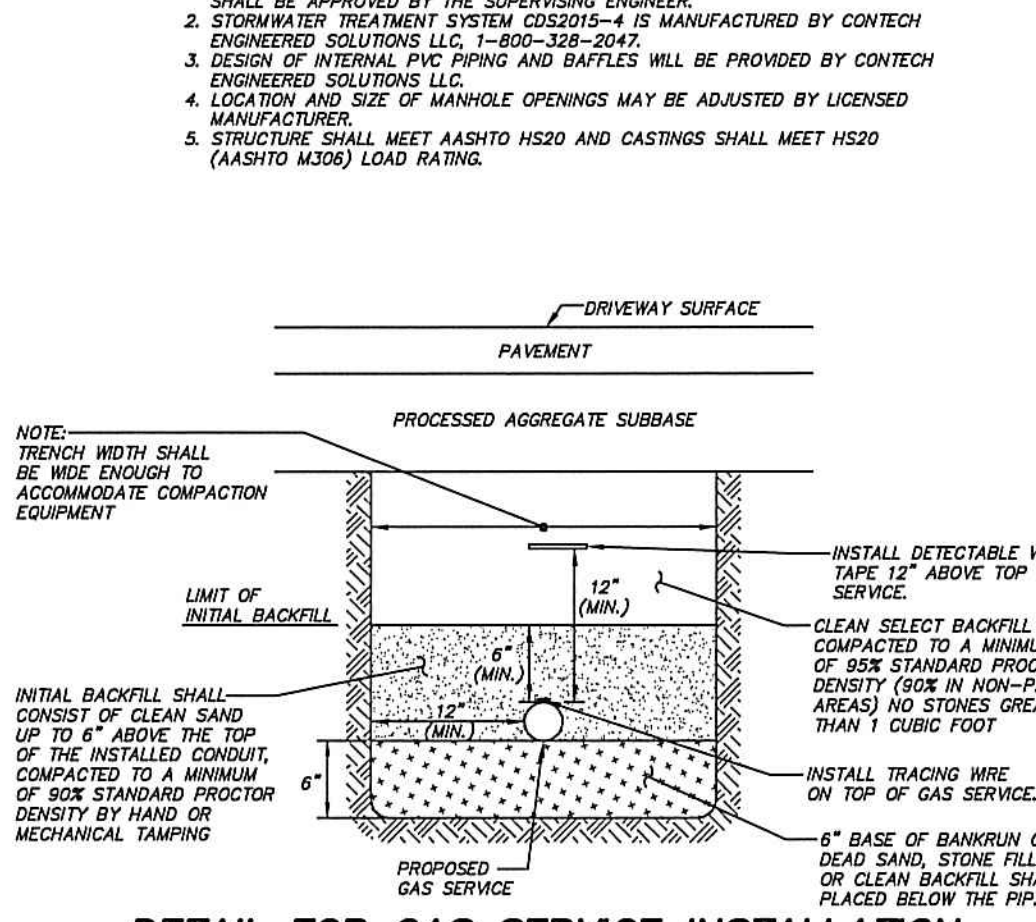
TYPICAL STORM DRAIN MANHOLE DETAIL
N.T.S.

NOTE: REFER TO DEVELOPMENT PLAN FOR SIZES, LOCATIONS, AND INVERT ELEVATIONS OF ALL PIPES.



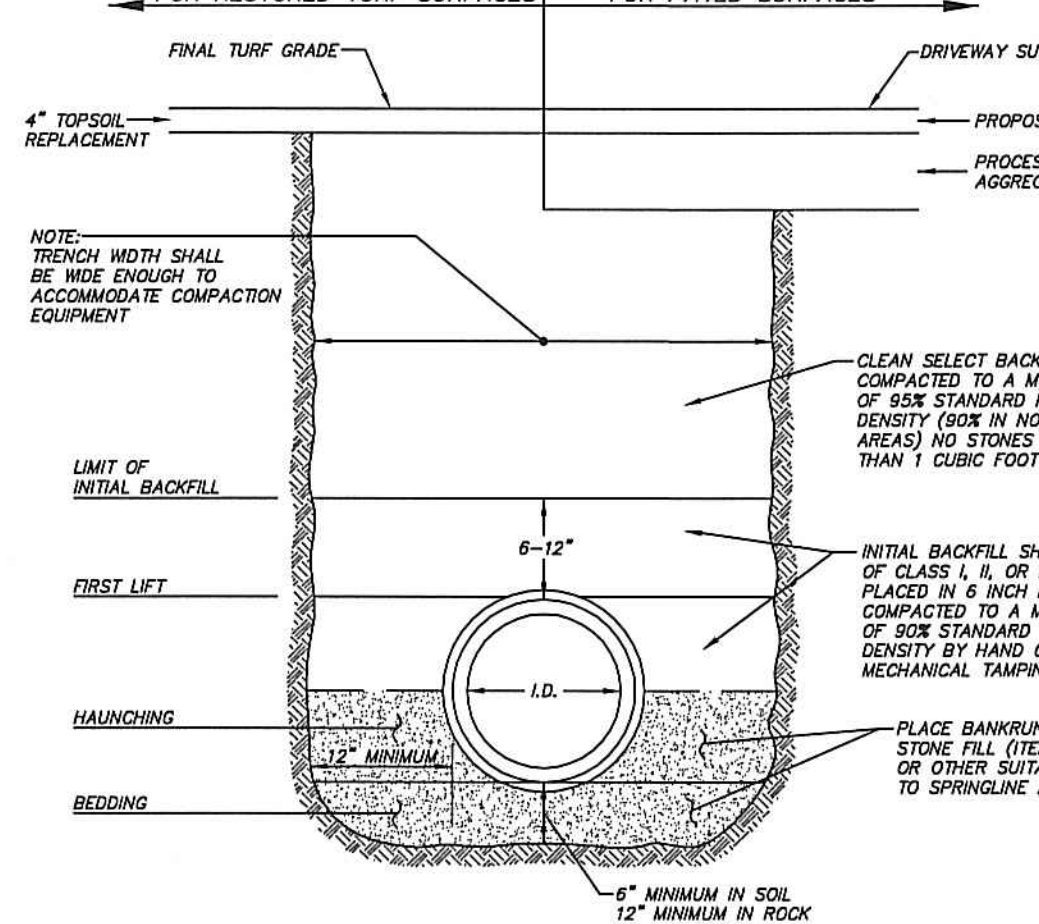
DETAIL FOR UNDERGROUND UTILITY TRENCH
N.T.S.

NOTES:
1. COORDINATE INSTALLATION WITH EACH RESPECTIVE UTILITY COMPANY PRIOR TO INSTALLATION.
2. ACTUAL NUMBER AND SIZE OF CONDUITS TO BE INSTALLED MAY VARY. CONTRACTOR SHALL COORDINATE ACTUAL NUMBER AND SIZE OF CONDUITS TO BE INSTALLED WITH BOTH THE OWNER AND EACH RESPECTIVE UTILITY COMPANY.



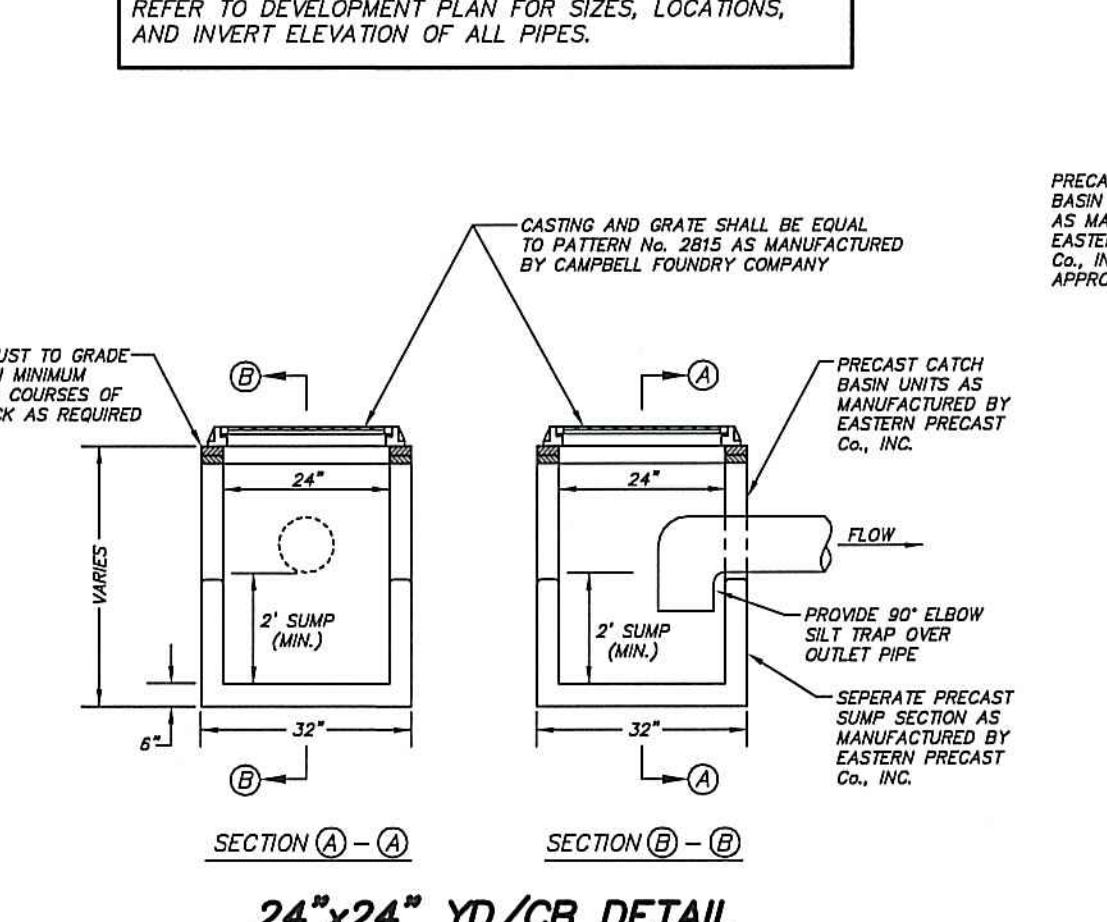
DETAIL FOR GAS SERVICE INSTALLATION
N.T.S.

NOTES:
1. THE CONTRACTOR SHALL HAVE ALL MATERIAL SELECTION AND INSTALLATION SPECIFICATIONS APPROVED BY THE GAS COMPANY PRIOR TO INSTALLATION.
2. ACTUAL NUMBER AND SIZE OF SERVICES TO BE INSTALLED MAY VARY. CONTRACTOR SHALL COORDINATE ACTUAL NUMBER AND SIZE OF SERVICES TO BE INSTALLED WITH BOTH THE OWNER AND THE GAS COMPANY.



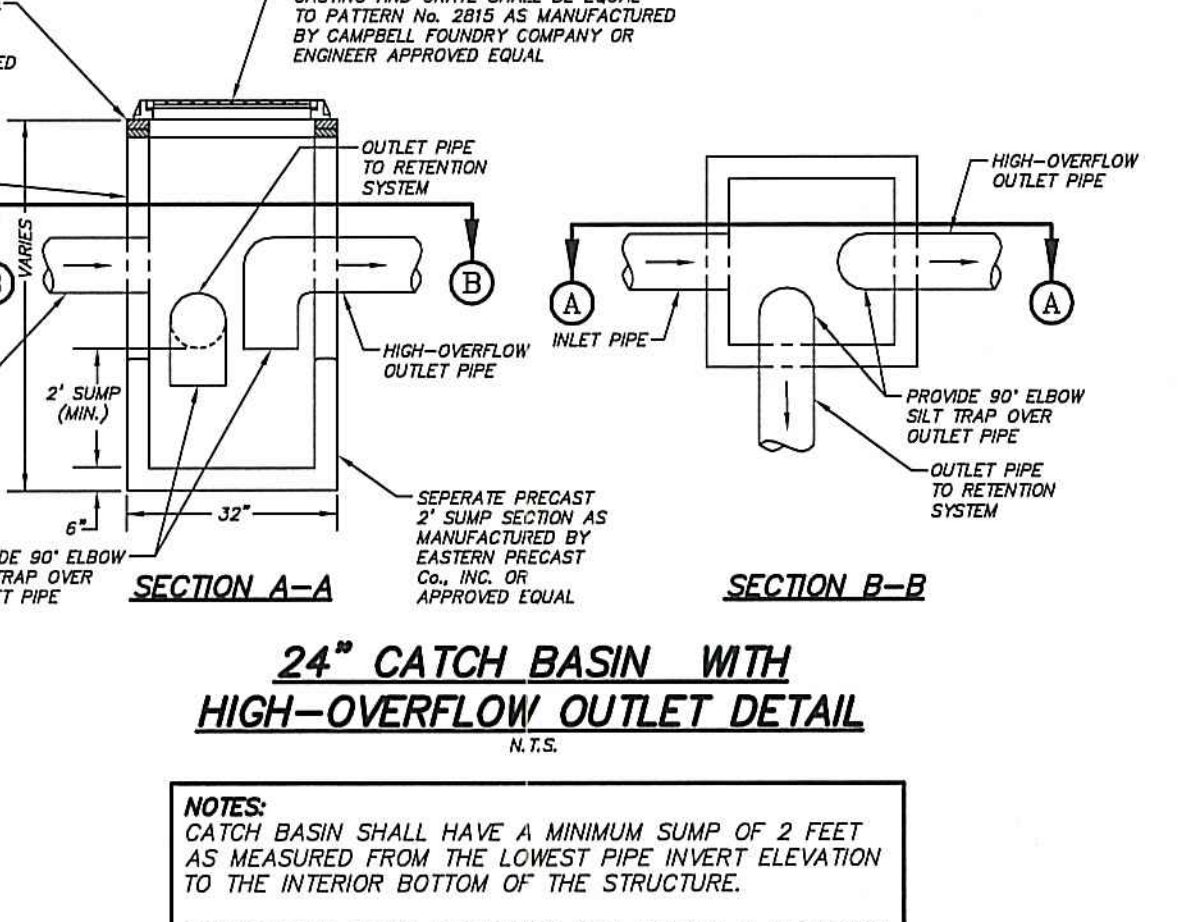
DETAIL FOR WATER SERVICE INSTALLATION
N.T.S.

NOTES:
1. THE CONTRACTOR SHALL HAVE ALL MATERIAL SELECTION AND INSTALLATION SPECIFICATIONS APPROVED BY THE AQUARIUM WATER COMPANY PRIOR TO INSTALLATION.
2. ACTUAL NUMBER AND SIZE OF SERVICES TO BE INSTALLED MAY VARY. CONTRACTOR SHALL COORDINATE ACTUAL NUMBER AND SIZE OF SERVICES TO BE INSTALLED WITH BOTH THE OWNER AND THE AQUARIUM WATER COMPANY.



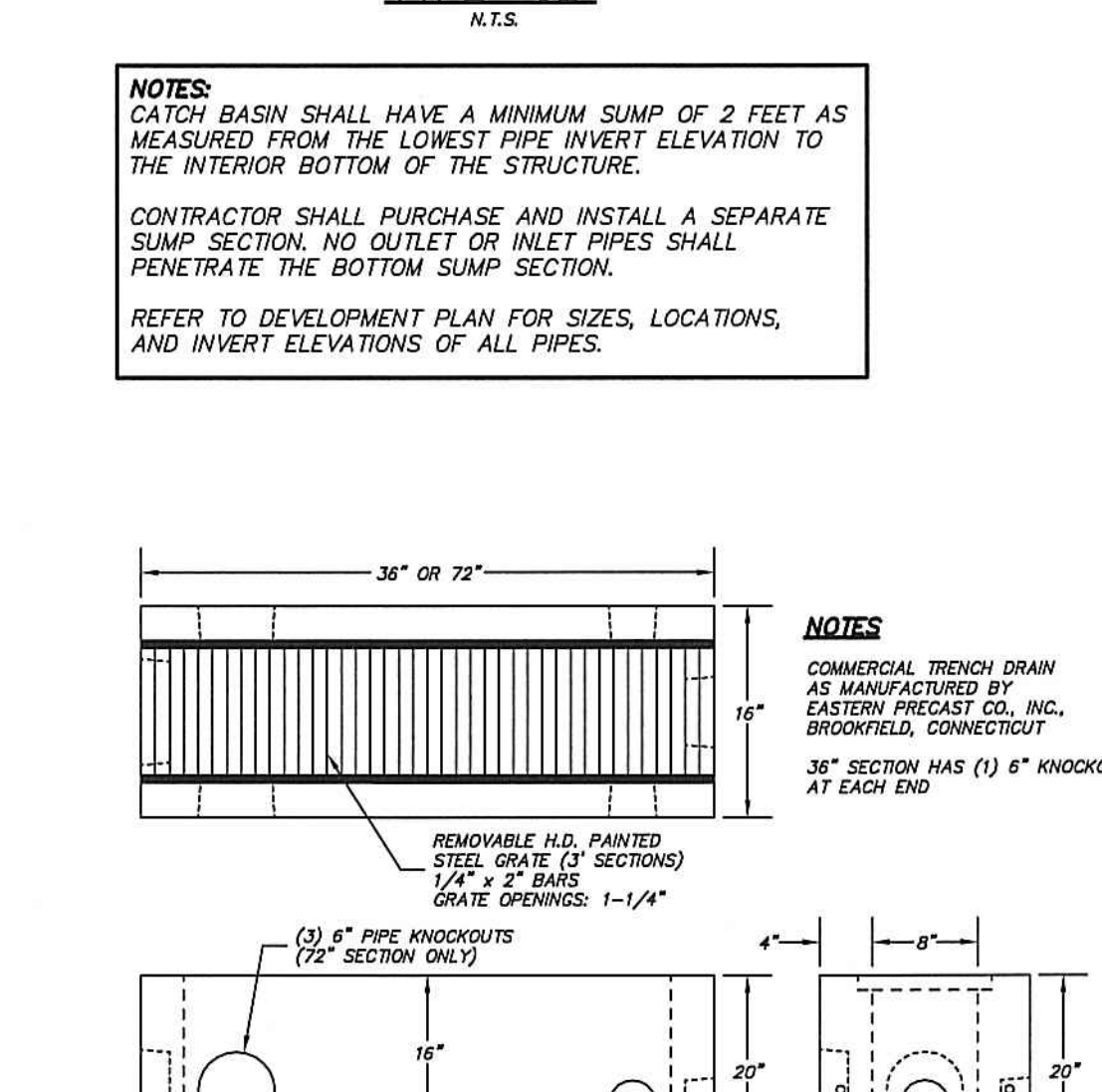
24"x24" YD/CB DETAIL TYPE "CL"
N.T.S.

NOTES:
CATCH BASIN SHALL HAVE A MINIMUM SUMP OF 2 FEET AS MEASURED FROM THE LOWEST PIPE INVERT ELEVATION TO THE INTERIOR BOTTOM OF THE STRUCTURE.
CONTRACTOR SHALL PURCHASE AND INSTALL A SEPARATE SUMP SECTION, NO OUTLET OR INLET PIPES SHALL PENETRATE THE BOTTOM SUMP SECTION.
REFER TO DEVELOPMENT PLAN FOR SIZES, LOCATIONS, AND INVERT ELEVATIONS OF ALL PIPES.



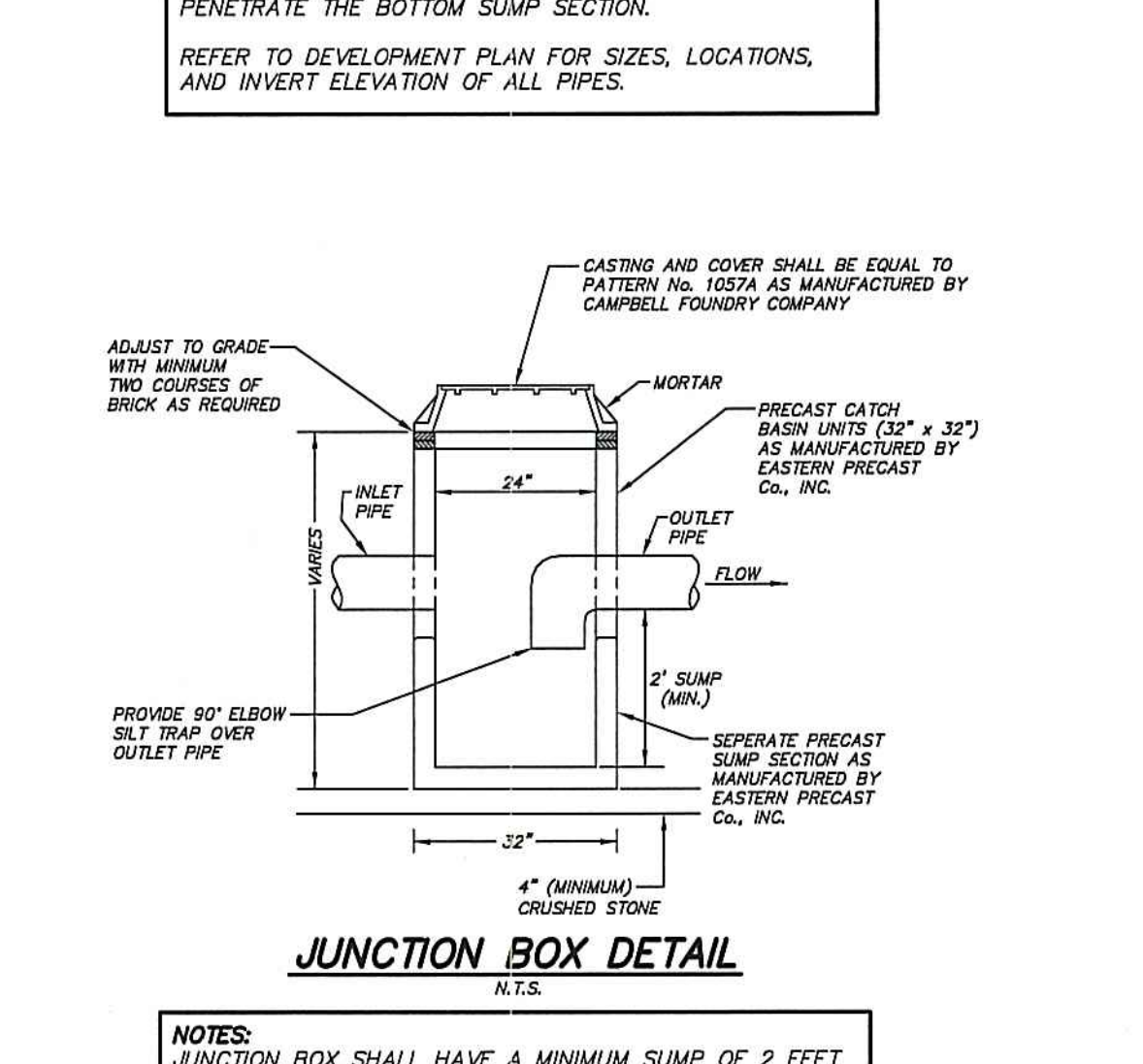
24" CATCH BASIN WITH HIGH-OVERFLOW OUTLET DETAIL
N.T.S.

NOTES:
CATCH BASIN SHALL HAVE A MINIMUM SUMP OF 2 FEET AS MEASURED FROM THE LOWEST PIPE INVERT ELEVATION TO THE INTERIOR BOTTOM OF THE STRUCTURE.
CONTRACTOR SHALL PURCHASE AND INSTALL A SEPARATE SUMP SECTION, NO OUTLET OR INLET PIPES SHALL PENETRATE THE BOTTOM SUMP SECTION.
REFER TO DEVELOPMENT PLAN FOR SIZES, LOCATIONS, AND INVERT ELEVATIONS OF ALL PIPES.



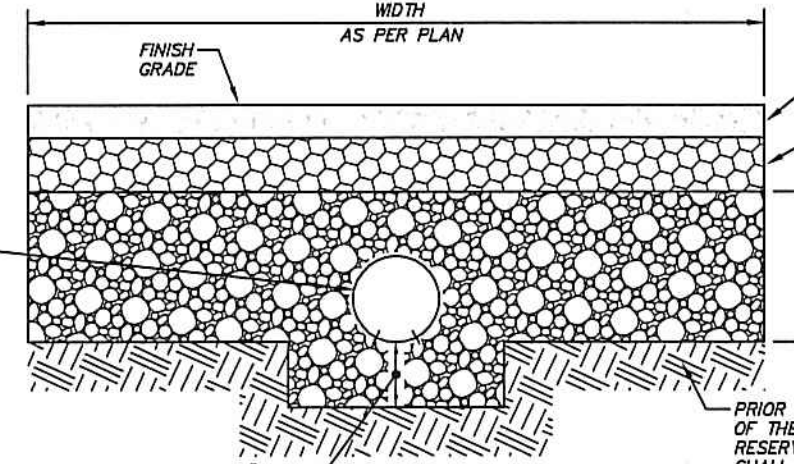
HEAVY DUTY TRENCH DRAIN SYSTEM DETAIL
N.T.S.

NOTES:
1. THE UNDERLYING SOIL SHALL BE SCARIFIED OR TILLED TO IMPROVE INFILTRATION BEFORE APPLYING THE RESERVOIR COURSE.
2. EACH STONE LAYER SHALL BE COMPACTED BEFORE APPLYING THE LAYER ABOVE.
3. THE POROUS ASPHALT SHALL BE PROTECTED FROM SEDIMENTS DURING CONSTRUCTION TO PREVENT CLOGGING.



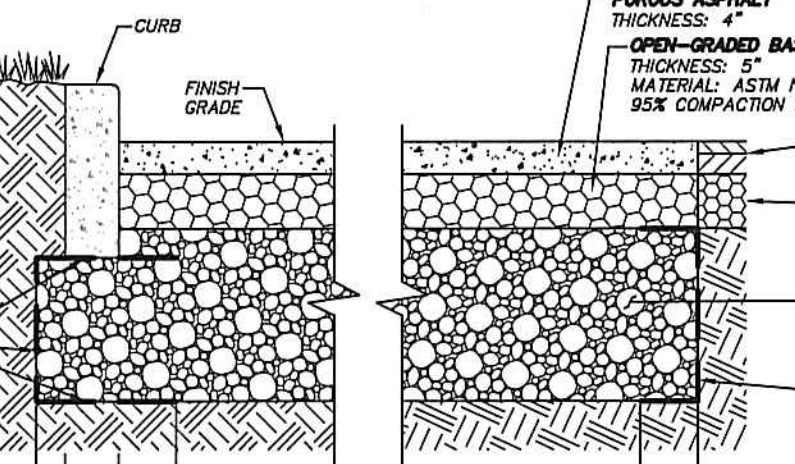
JUNCTION BOX DETAIL
N.T.S.

NOTES:
JUNCTION BOX SHALL HAVE A MINIMUM SUMP OF 2 FEET AS MEASURED FROM THE LOWEST PIPE INVERT ELEVATION TO THE INTERIOR BOTTOM OF THE STRUCTURE.
CONTRACTOR SHALL PURCHASE AND INSTALL A SEPARATE SUMP SECTION, NO OUTLET OR INLET PIPES SHALL PENETRATE THE BOTTOM SUMP SECTION.
REFER TO DEVELOPMENT PLAN FOR SIZES, LOCATIONS, AND INVERT ELEVATIONS OF ALL PIPES.

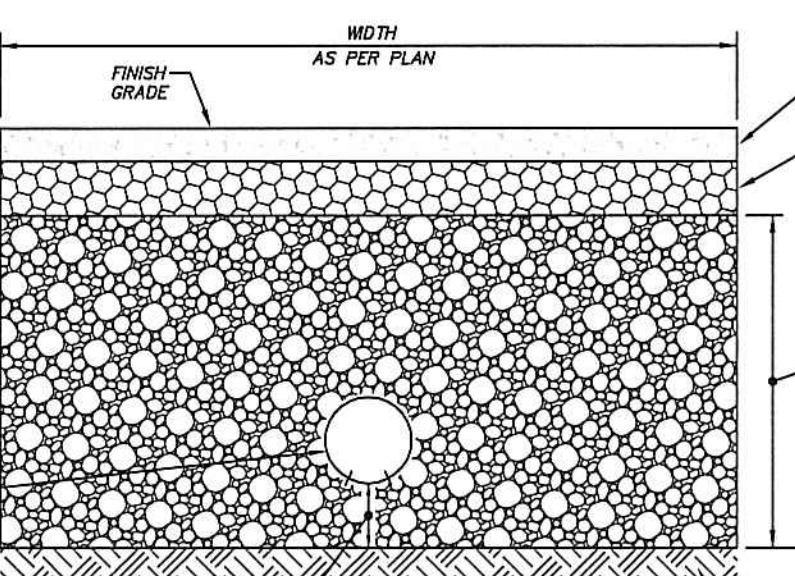


(POROUS PAVEMENT AREA 1) ABOVE CRUSHED STONE RESERVOIR WITH DISTRIBUTION PIPE DETAIL
N.T.S.

NOTES:
1. THE UNDERLYING SOIL SHALL BE SCARIFIED OR TILLED TO IMPROVE INFILTRATION BEFORE APPLYING THE RESERVOIR COURSE.
2. EACH STONE LAYER SHALL BE COMPACTED BEFORE APPLYING THE LAYER ABOVE.
3. THE POROUS ASPHALT SHALL BE PROTECTED FROM SEDIMENTS DURING CONSTRUCTION TO PREVENT CLOGGING.



TYPICAL EDGE OF POROUS ASPHALT CRUSHED STONE RESERVOIR COURSE DETAIL
N.T.S.

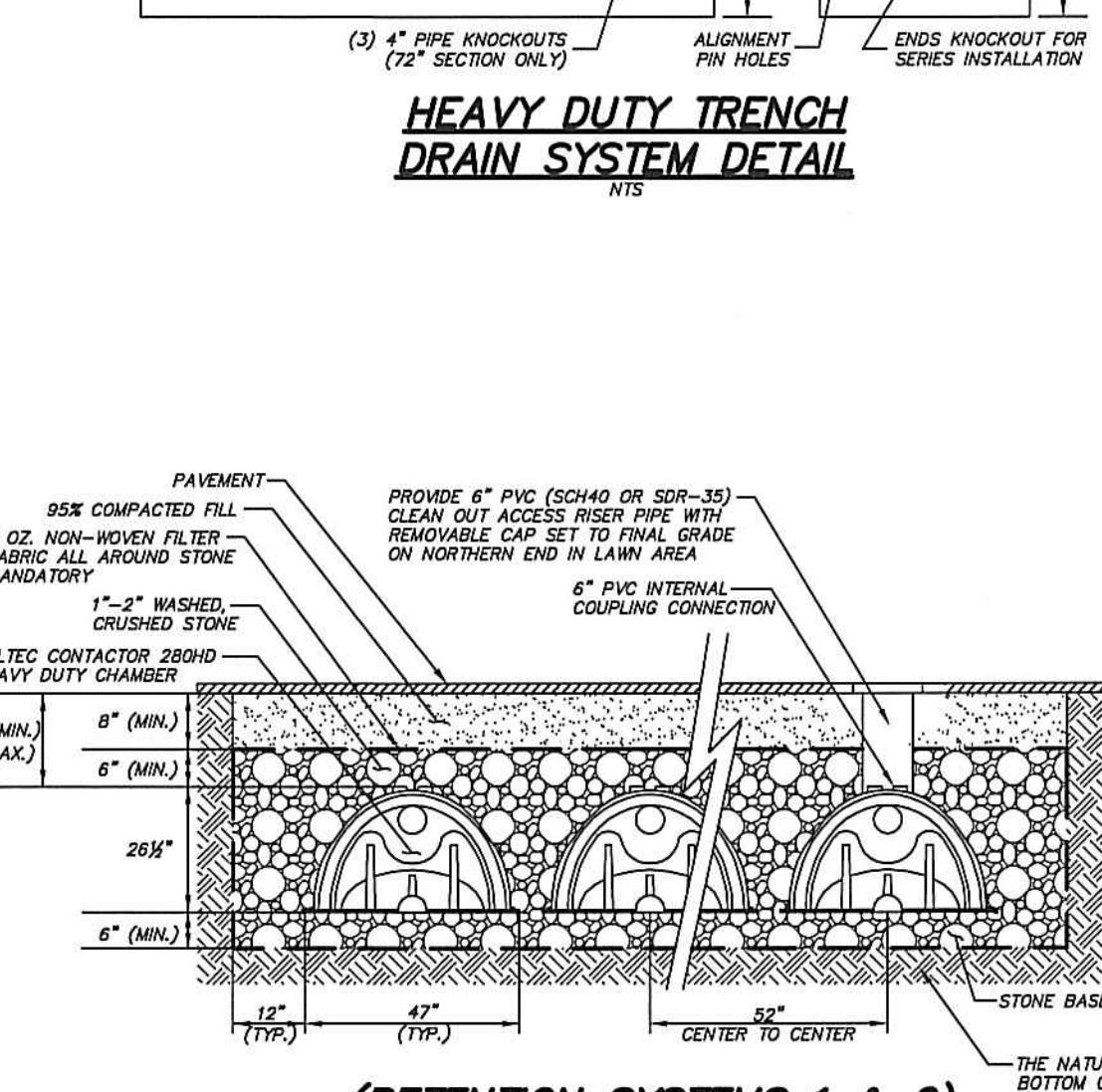


(POROUS PAVEMENT AREA 2) ABOVE CRUSHED STONE RESERVOIR WITH DISTRIBUTION PIPE DETAIL
N.T.S.

NOTES:
1. THE UNDERLYING SOIL SHALL BE SCARIFIED OR TILLED TO IMPROVE INFILTRATION BEFORE APPLYING THE RESERVOIR COURSE.
2. EACH STONE LAYER SHALL BE COMPACTED BEFORE APPLYING THE LAYER ABOVE.
3. THE POROUS ASPHALT SHALL BE PROTECTED FROM SEDIMENTS DURING CONSTRUCTION TO PREVENT CLOGGING.

(POROUS PAVEMENT AREA 3) ABOVE CRUSHED STONE RESERVOIR WITH DISTRIBUTION PIPE DETAIL
N.T.S.

NOTES:
1. THE UNDERLYING SOIL SHALL BE SCARIFIED OR TILLED TO IMPROVE INFILTRATION BEFORE APPLYING THE RESERVOIR COURSE.
2. EACH STONE LAYER SHALL BE COMPACTED BEFORE APPLYING THE LAYER ABOVE.
3. THE POROUS ASPHALT SHALL BE PROTECTED FROM SEDIMENTS DURING CONSTRUCTION TO PREVENT CLOGGING.



(RETENTION SYSTEMS 1 & 2) TYPICAL CROSS SECTION DETAIL CULTEC CHAMBER SYSTEM RECHARGER 280HD PAVED (H-20) LOADING
N.T.S.

NOTES:
1. THE ASTM No. 3 stone subbase material should be spread in minimum 8 in. lifts. Compaction is done with a 10 ton steel vibratory roller or a 13,500 lb plate compactor. Greater lift thicknesses are permitted (i.e., 12 in.) when using either of these compactors, then using a roller, the first two passes on the vibratory roller must be the last two passes on the plate compactor. Compaction is complete when the roller resistance can be seen in the base when rolled by the compactor. Plates compactors with vibration indicators should be used to determine when compaction is complete. Stones will compact more completely if moistened during compaction. Aggregate shall not be crushed by the compactor.
2. The ASTM No. 57 base layer is spread and compacted as one 4 in. lift. The stone material should be moist during compaction for better consolidation. Like the subbase aggregate, the stone passes with the roller can be with vibration to consolidate the base material. The final passes should be without vibration. A 13,500 lb plate compactor area can be used to compact the ASTM No. 57 base layer.
3. After installation of the No. 57 base layer, the porous asphalt should be placed on this layer. Porous asphalt installation can be by hand or with mechanical equipment.

CONSTRUCTION INSTALLATION NOTES FOR POROUS ASPHALT PAVEMENT
N.T.S.

D'ANDREA SURVEYING & ENGINEERING, P.C.
LAND PLANNERS
ENGINEERS
SURVEYORS

P.O. BOX 549
RIVERSIDE, CT 06878

6 NEIL LANE
TEL. 637-1779

COMMERCIAL DEVELOPMENT

PROJECT: **375 FAIRFIELD AVENUE ASSOCIATES**

PREPARED FOR: **375 FAIRFIELD AVENUE STAMFORD, CONNECTICUT**

DATE: **10-4-23**

DESCRIPTION: **ZONING SUBMISSION**

REVISIONS:

REV.	DATE	DESCRIPTION
0	10-4-23	ZONING SUBMISSION

ENGINEER: **Derek E. Daunias, CT PE No. 22861**

C-4.2 DETAILS

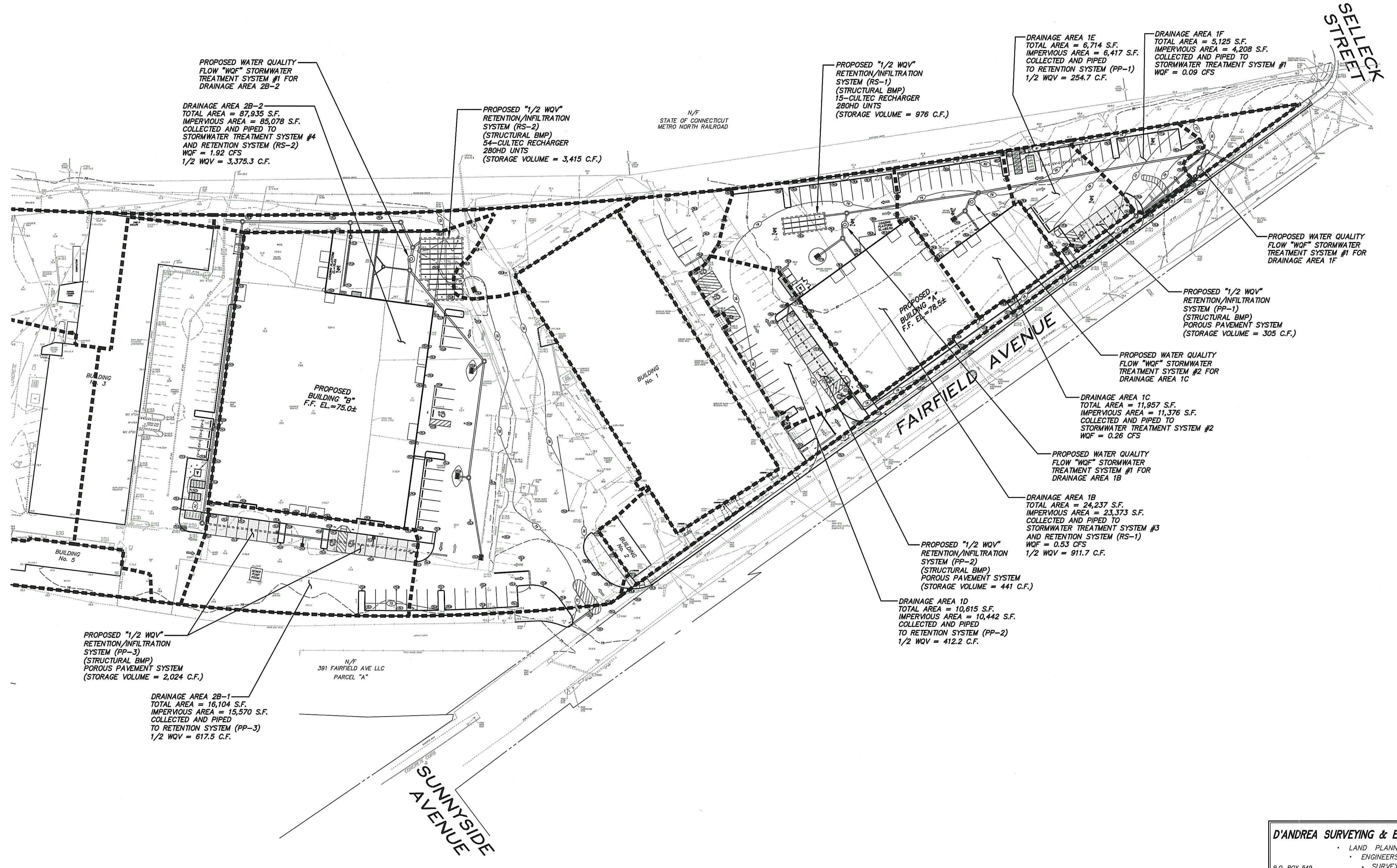
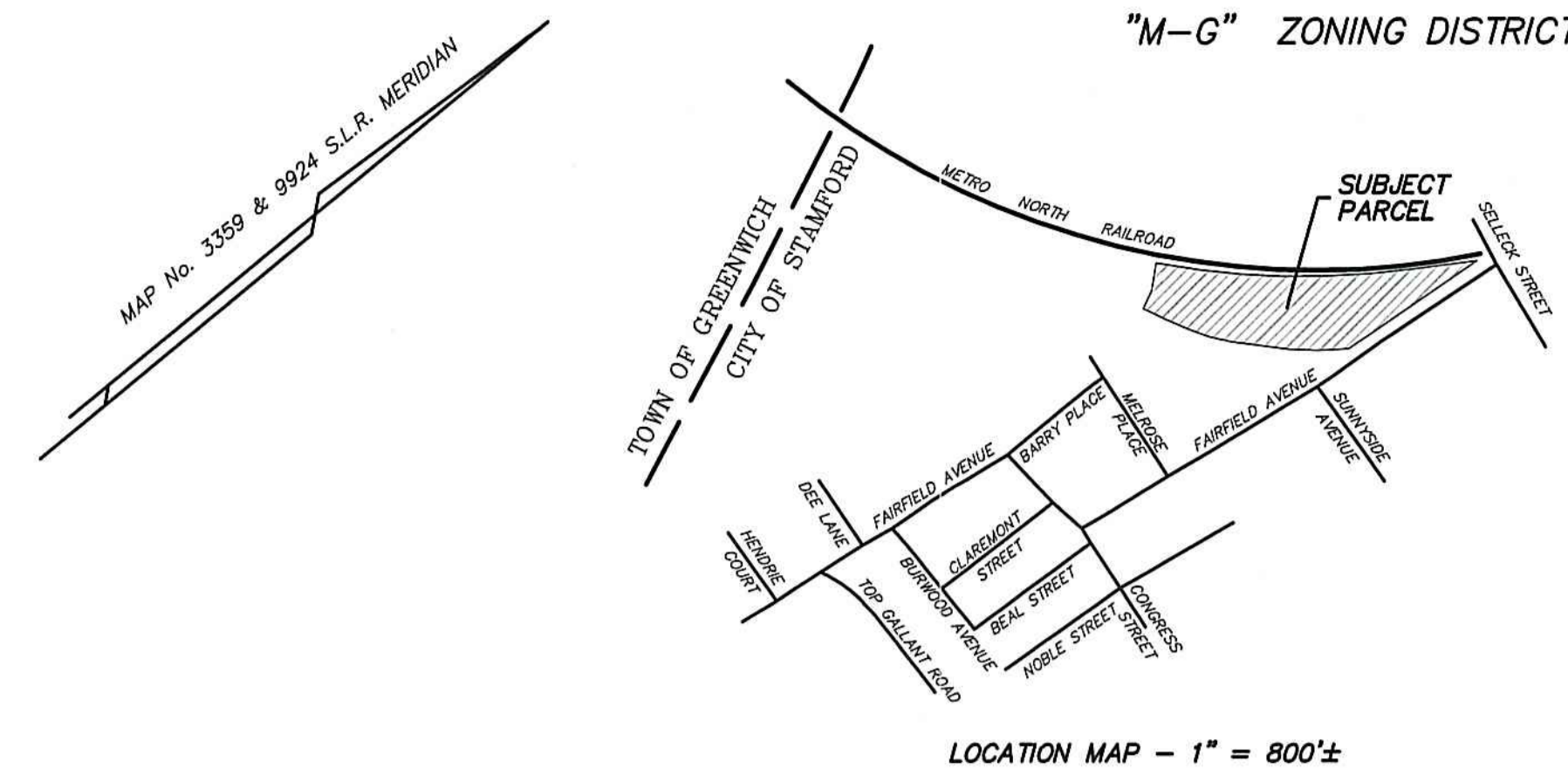


- NOTES:**
1. The purpose of this plan is only to highlight the Low Impact Development portions of the project, as per City requirements. This plan shall not be used for any other portion of construction.
 2. Elevations shown are based on the North American Vertical Datum of 1988 (NAVD 88).
 3. Refer to Sheets C-1.1 through C-2.2 for a detailed depiction of the proposed site development and storm drainage improvements.
 4. Refer to Sheet C-4.1 for test pit data.

HYDROLOGIC SOIL GROUP SUMMARY
THE PROPERTY IS COMPOSED OF URBAN LAND (HSQ-D)
SOIL INFORMATION TAKEN FROM THE NATURAL RESOURCES CONSERVATION SERVICE (NRCS).

TOTAL SITE AREA	408,703 SQ.FT.
DISTURBED AREA	170,240 SQ.FT.
PRE-DEVELOPMENT IMPERVIOUS AREA	396,183 SQ.FT.
POST-DEVELOPMENT IMPERVIOUS AREA	388,070 SQ.FT.
REQUIRED 1/2 WQV*	5,586.3 CUBIC FEET
PROVIDED RET. VOL.	7,161 CUBIC FEET

*The required 1/2 WQV has been calculated for the proposed development drainage areas being collected by the proposed stormwater retention/infiltration systems (DA's 1B, 1D, 1E, 2B-1, & 2B-2).



PROPOSED WATER QUALITY FLOW "WQF" STORMWATER TREATMENT SYSTEM #1 FOR DRAINAGE AREA 2B-2

DRAINAGE AREA 2B-2
TOTAL AREA = 87,935 S.F.
IMPERVIOUS AREA = 85,078 S.F.
COLLECTED AND PIPED TO STORMWATER TREATMENT SYSTEM #4 AND RETENTION SYSTEM (RS-2)
WQF = 1.92 CFS
1/2 WQV = 3,375.3 C.F.

PROPOSED "1/2 WQV" RETENTION/INFILTRATION SYSTEM (RS-2)
(STRUCTURAL BMP)
54-CULTEC RECHARGER
280HD UNITS
(STORAGE VOLUME = 3,415 C.F.)

PROPOSED "1/2 WQV" RETENTION/INFILTRATION SYSTEM (RS-1)
(STRUCTURAL BMP)
15-CULTEC RECHARGER
280HD UNITS
(STORAGE VOLUME = 976 C.F.)

DRAINAGE AREA 1E
TOTAL AREA = 6,714 S.F.
IMPERVIOUS AREA = 6,417 S.F.
COLLECTED AND PIPED TO RETENTION SYSTEM (PP-1)
1/2 WQV = 254.7 C.F.

DRAINAGE AREA 1F
TOTAL AREA = 5,125 S.F.
IMPERVIOUS AREA = 4,208 S.F.
COLLECTED AND PIPED TO STORMWATER TREATMENT SYSTEM #1
WQF = 0.09 CFS

PROPOSED WATER QUALITY FLOW "WQF" STORMWATER TREATMENT SYSTEM #1 FOR DRAINAGE AREA 1F

PROPOSED "1/2 WQV" RETENTION/INFILTRATION SYSTEM (PP-1)
(STRUCTURAL BMP)
POROUS PAVEMENT SYSTEM
(STORAGE VOLUME = 305 C.F.)

PROPOSED WATER QUALITY FLOW "WQF" STORMWATER TREATMENT SYSTEM #2 FOR DRAINAGE AREA 1C

DRAINAGE AREA 1C
TOTAL AREA = 11,957 S.F.
IMPERVIOUS AREA = 11,378 S.F.
COLLECTED AND PIPED TO STORMWATER TREATMENT SYSTEM #2
WQF = 0.26 CFS

PROPOSED WATER QUALITY FLOW "WQF" STORMWATER TREATMENT SYSTEM #1 FOR DRAINAGE AREA 1B

DRAINAGE AREA 1B
TOTAL AREA = 24,237 S.F.
IMPERVIOUS AREA = 23,373 S.F.
COLLECTED AND PIPED TO STORMWATER TREATMENT SYSTEM #3 AND RETENTION SYSTEM (RS-1)
WQF = 0.53 CFS
1/2 WQV = 911.7 C.F.

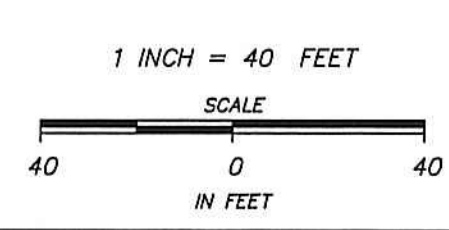
PROPOSED "1/2 WQV" RETENTION/INFILTRATION SYSTEM (PP-2)
(STRUCTURAL BMP)
POROUS PAVEMENT SYSTEM
(STORAGE VOLUME = 441 C.F.)

DRAINAGE AREA 1D
TOTAL AREA = 10,615 S.F.
IMPERVIOUS AREA = 10,442 S.F.
COLLECTED AND PIPED TO RETENTION SYSTEM (PP-2)
1/2 WQV = 412.2 C.F.

PROPOSED "1/2 WQV" RETENTION/INFILTRATION SYSTEM (PP-3)
(STRUCTURAL BMP)
POROUS PAVEMENT SYSTEM
(STORAGE VOLUME = 2,024 C.F.)

DRAINAGE AREA 2B-1
TOTAL AREA = 16,104 S.F.
IMPERVIOUS AREA = 15,570 S.F.
COLLECTED AND PIPED TO RETENTION SYSTEM (PP-3)
1/2 WQV = 617.5 C.F.

N/F
391 FAIRFIELD AVE LLC
PARCEL "A"

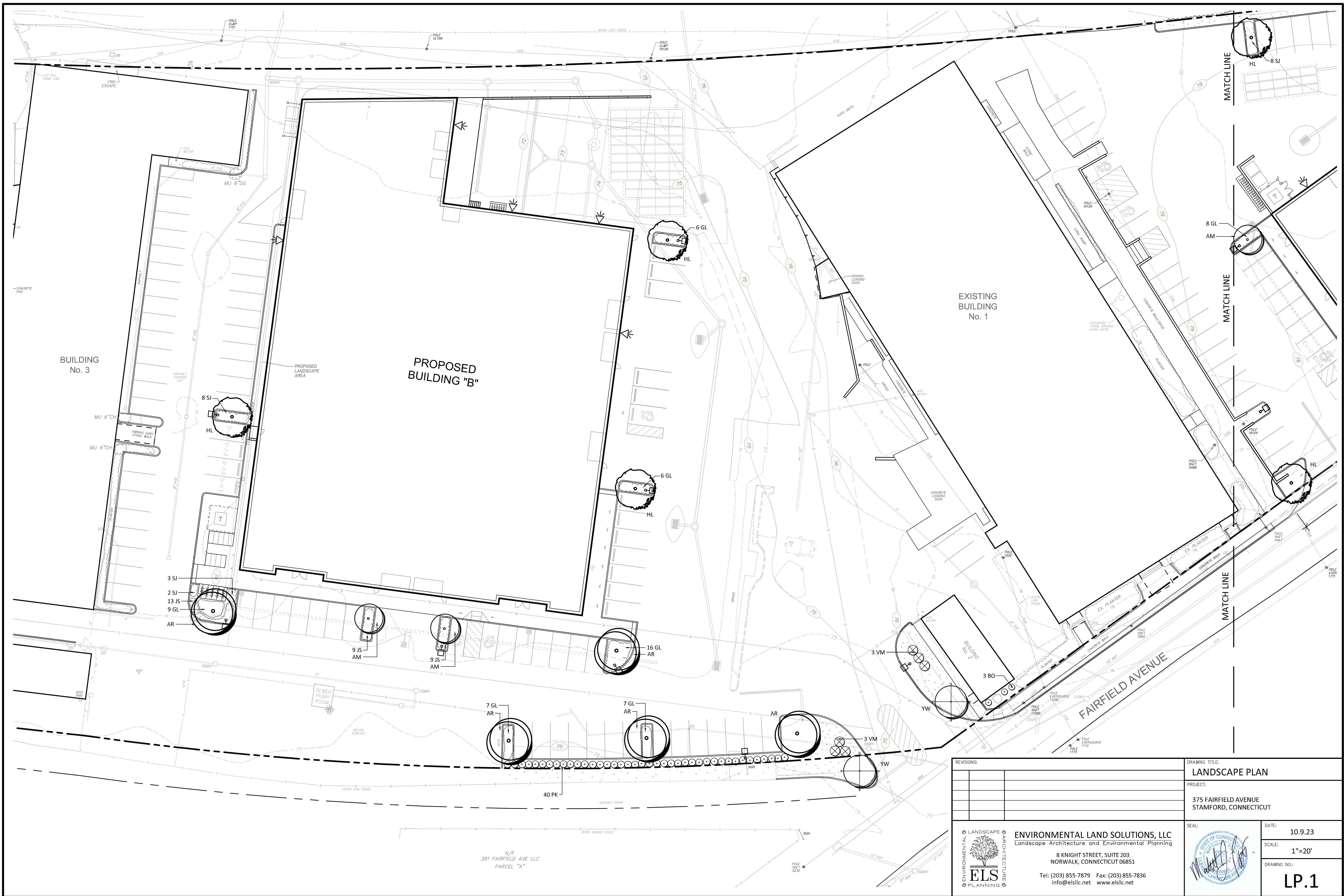


D'ANDREA SURVEYING & ENGINEERING, P.C.
LAND PLANNERS
ENGINEERS
P.O. BOX 549 RIVERSIDE, CT 06878
6 NEIL LANE TEL. 637-1779

PROJECT	COMMERCIAL DEVELOPMENT
PREPARED FOR	375 FAIRFIELD AVENUE ASSOCIATES
LOCATION	375 FAIRFIELD AVENUE STAMFORD, CONNECTICUT
DATE	10-4-23
ENGINEER	DEREK E. DAUNAS, CT PE No. 22861

C-5.0 LOW IMPACT DEVELOPMENT PLAN

REV.	DATE	DESCRIPTION
0	10-4-23	ZONING SUBMISSION



N/F
391 FAIRFIELD AVE LLC
PARCEL "A"

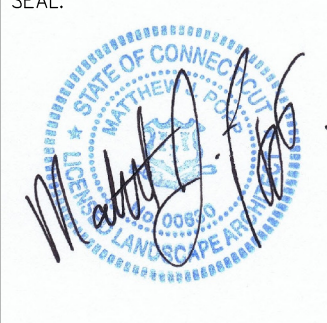
REVISIONS:	

DRAWING TITLE:
LANDSCAPE PLAN

PROJECT:
375 FAIRFIELD AVENUE
STAMFORD, CONNECTICUT



ENVIRONMENTAL LAND SOLUTIONS, LLC
Landscape Architecture and Environmental Planning
8 KNIGHT STREET, SUITE 203
NORWALK, CONNECTICUT 06851
Tel: (203) 855-7879 Fax: (203) 855-7836
info@elsllc.net www.elsllc.net



DATE: 10.9.23
SCALE: 1"=20'
DRAWING NO.: **LP.1**

"CALL BEFORE YOU DIG"

N/F
STATE OF CONNECTICUT
METRO NORTH RAILROAD

LEGEND

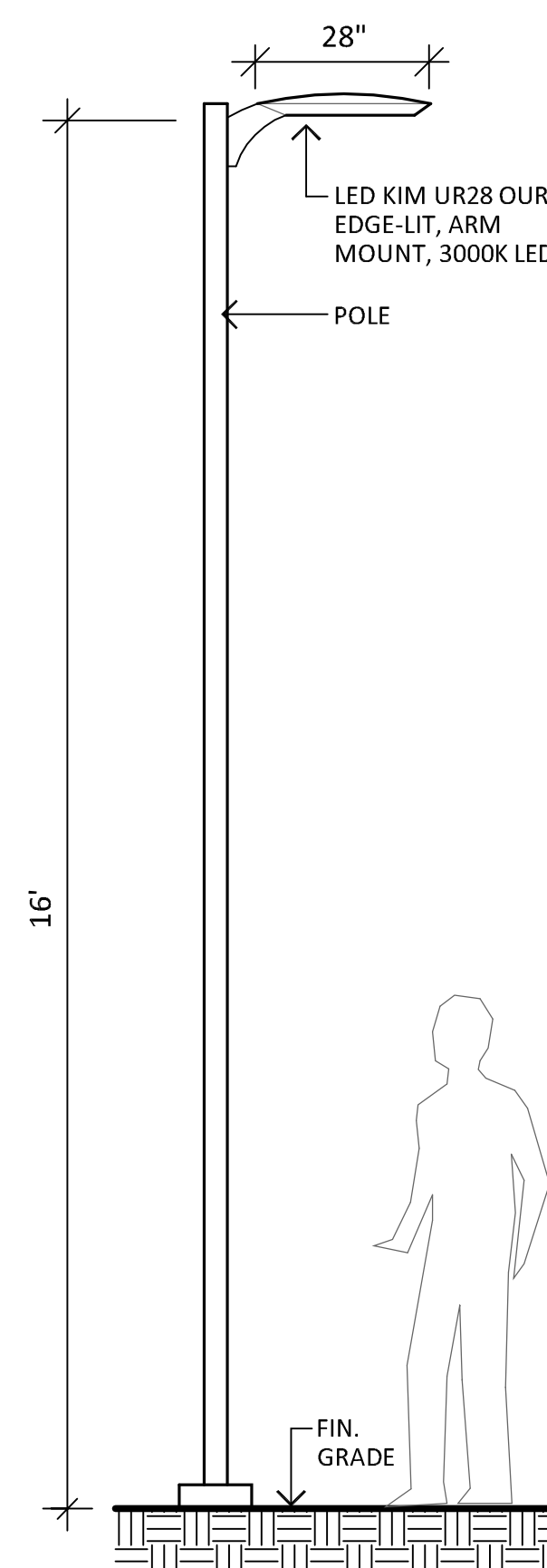
- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- TREE LINE (APPROX.)
- NEW / EX. LAWN AREA
- EX. DECIDUOUS / EVERGREEN TREE TO REMAIN
- EX. TREE TO BE REMOVED
- NEW DECIDUOUS SHADE TREE
- NEW DECIDUOUS SMALL TREE
- NEW EVERGREEN TREE
- NEW SHRUB
- NEW LIGHT POLE
- NEW WALL MOUNTED LIGHT FIXTURE

GENERAL NOTES:

- SITE PLAN INFORMATION TAKEN FROM AN AUTOCADD FILE SUPPLIED BY D'ANDREA SURVEYING & ENGINEERING, PC.
- EXACT LOCATION OF PROPOSED PLANTINGS AND SPECIES TYPES MAY VARY FROM THIS PLAN BASED ON SITE PLAN REVISIONS AND/OR ACTUAL FIELD CONDITIONS.
- PLANT SPECIES SUBSTITUTIONS MAY BE MADE WITH THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- PLANTING METHODS SHALL BE IN ACCORDANCE WITH THE "AMERICAN STANDARDS FOR NURSERY STOCK", LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- THE CONTRACTOR SHALL VERIFY WITH THE PROJECT ENGINEER THAT THE NEW PLANTINGS DO NOT INTERFERE WITH EXISTING AND/OR PROPOSED UTILITIES, SIGHT LINES, AND/OR STRUCTURES.
- THIS PLAN FOR PLANTING PURPOSES ONLY. SEE PLANS BY OTHERS FOR ADDITIONAL INFORMATION.
- SPRAY NEW PLANTINGS IMMEDIATELY AFTER INSTALLATION WITH A WHITE-TAILED DEER REPELLENT AND CONTINUE AS NEEDED TO MAINTAIN PLANTS FREE OF SIGNIFICANT DEER BROWSING. SHIELD NEWLY PLANTED TREE TRUNKS FROM DEER RUBBING WITH TREE TRUNK PROTECTION.
- SEED LAWN AREAS WITH A HIGH QUALITY FESCUE AND BLUEGRASS SEED MIXTURE. APPLY SOIL AMENDMENTS AND SEED AREAS AT THE METHODS AND RATE RECOMMENDED BY THE MANUFACTURER.

LIGHTING NOTES (TYP.):

- SITE LIGHTING INFORMATION AND LIGHTING PLANS PREPARED BY ENVIRONMENTAL LAND SOLUTIONS, LLC ARE DESIGNED FOR GENERAL LANDSCAPE AESTHETIC PURPOSES ONLY. LIGHTING INFORMATION SHOWN ON THIS PLAN SHALL NOT BE USED FOR SECURITY OR SAFETY PURPOSES.
- LOCATION AND TYPE OF LIGHT FIXTURES ARE TYPICAL AND MAY VARY BASED ON ACTUAL FIELD CONDITIONS, SITE AND ARCHITECTURAL PLAN REVISIONS, USE OF EXISTING LIGHTING (IF ANY), NEW BUILDING MOUNTED LIGHTING, AESTHETICS, AND CONSULTATIONS WITH LIGHTING CONSULTANT AND/OR MANUFACTURER.
- THIS PLAN ASSUMES THAT THE BUILDING WILL HAVE WALL MOUNTED FIXTURES (BY OTHERS) TO LIGHT THE FACADE AND ADJACENT LANDSCAPE AREAS (INCLUDING WALKS AND DOORS).
- LIGHT POLES LOCATED WITHIN LANDSCAPE AND PEDESTRIAN AREAS SHALL BE ON A BASE FLUSH WITH GRADE LOCATED A MINIMUM OF 3' FROM THE EDGE OF VEHICLE PAVEMENT IF FEASIBLE.



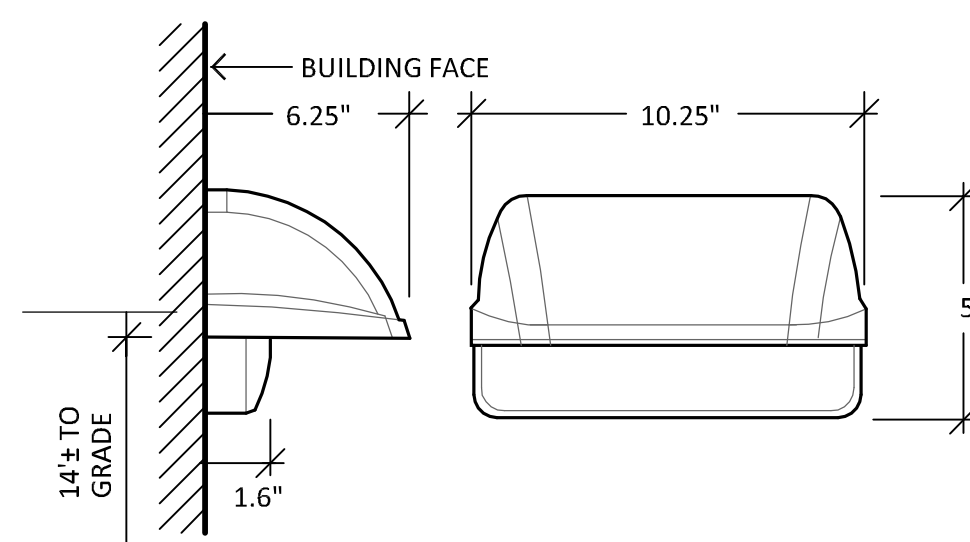
LED KIM UR28 OURO
EDGE-LIT, ARM
MOUNT, 3000K LED

POLE

FIN. GRADE

NOTES:
1. SITE LIGHTING MAY BE PHASD IN OVER TIME.
2. POLE AND LIGHT FIXTURE TO BE BLACK.
3. INSTALL POLE AND LIGHT FIXTURE AS PER THE MANUFACTURER'S RECOMMENDATIONS.

LIGHT POLE (TYP.)
N.T.S.



NOTE:
1. LIGHT FIXTURE (LNC2 LITEPACK) BY HUBBELL OUTDOOR LIGHTING. INSTALL LIGHT FIXTURE PER MANUFACTURER'S RECOMMENDATIONS.
2. FIXTURE SHALL BE BLACK IN COLOR.
3. SEE ARCHITECTURAL PLANS FOR FINAL MOUNTING HEIGHT AND PLACEMENT.
4. PROVIDE ALL LIGHTS WITH AN ACRYLIC DIFFUSER.

WALL FIXTURE (TYP.)

WALL FIXTURE (TYP.)

SCALE: NOT TO SCALE

STREET TREE CHART

(FOR STREET TREES ON CITY LAND OR WITHIN 10' OF STREETScape PROPERTY LINE)

STREETScape ROAD AREA	TOTAL STREET FRONTAGE (LF)	REQUIRED STREET TREES (FRONTAGE/25)	STREET TREES EXISTING	STREET TREES PROPOSED	NUMBER OF STREET CORNERS	TREES SUBJECT TO FEE PAYMENT (STREET TREES REQUIRED - STREET TREES EXISTING - STREET TREES PROPOSED - CORNERS)	FEE IN LIEU REQUIRED (\$2500 PER TREE SUBJECT TO FEE PAYMENT)
FAIRFIELD AVENUE	430.5'	17.22	0	18	0	0 (17.22 - 0 - 18 - 0 = -0.78)	\$0
SUBTOTAL:							\$0

PLANT LIST

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	STREET TREE	TREE SIZE	REMARKS	PLANTING HEIGHT	MATURE HEIGHT
5	AR	ACER RUBRUM	RED MAPLE	2 1/2-3" CAL.	B&B	0	LARGE	RED FALL COLOR	13-14' HT.	50-60' HT.
8	AM	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG MAPLE	2 1/2-3" CAL.	B&B	5	MEDIUM	COLUMNAR	13-14' HT.	45-50' HT.
2	YW	CLADRASTIS LUTEA	YELLOWWOOD	2-2 1/2" CAL.	B&B	0	MEDIUM	NATIVE, WHITE FLOWERS	12-13' HT.	35-40' HT.
13	HL	GLEDITSIA TRIACANTHOS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	2 1/2-3" CAL.	B&B	4	LARGE	NATIVE	13-14' HT.	40-50' HT.
5	WO	QUERCUS PHELLOS 'HIGHTOWER'	HIGHTOWER WILLOW OAK	2-2 1/2" CAL.	B&B	5	LARGE	NATIVE, WILDLIFE	13-14' HT.	60-70' HT.
4	WK	CRATAEGUS 'WINTER KING'	WINTER KING HAWTHORN	2-2 1/2" CAL.	B&B	4	LARGE	NATIVE, RED BERRIES	12-13' HT.	20-25' HT.
1	BB	MAGNOLIA GRANDIFLORA 'BRACKEN'S BEAUTY'	BRACKEN'S BEAUTY MAGNOLIA	5-6' HT.	B&B	0	SMALL	EVERGREEN TREE	6-7' HT.	20-25' HT.
29	LL	HYDRANGEA 'LIME LIGHT'	LIME LIGHT HYDRANGEA	30-36" HT.	CONT.			WHITE FLOWER	2.5' HT.	4' HT.
3	BO	HYDRANGEA 'BOBO'	BOBO HYDRANGEA	2-3' HT.	CONT.			WHITE FLOWER	2' HT.	3' HT.
116	SJ	HYPERICUM FRONDOSUM 'SUNBURST'	SUNBURST ST. JOHNSWORT	18-24" HT.	CONT.			NATIVE, YELLOW FLOWER	2' HT.	3' HT.
31	JS	JUNIPERUS CHINENSIS VAR. 'SARGENTII'	SARGENT JUNIPER	2-3' SPR.	CONT.			EVERGREEN	18" HT.	2' HT.
162	GL	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	2-3' SPR.	CONT.			SPREADING	3' HT.	3' HT.
40	PK	ROSA 'PINK KNOWOUT'	PINK KNOCKOUT ROSE	2-3' HT	CONT.			PINE FLOWERS	2' HT.	4' HT.
8	VM	VIBURNUM BURKWOODII 'MOHAWK'	MOHAWK VIBURNUM	3-4' HT.	B&B			FRAGRANT	3' HT.	8' HT.

REVISIONS:

ENVIRONMENTAL LAND SOLUTIONS, LLC
Landscape Architecture and Environmental Planning

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NORWALK, CONNECTICUT 06851

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info@elsllc.net www.elsllc.net

DRAWING TITLE:
LANDSCAPE PLAN

PROJECT:
375 FAIRFIELD AVENUE
STAMFORD, CONNECTICUT

DATE:
10.9.23

SCALE:
AS SHOWN

DRAWING NO.:
LP.2