

General Notes

- Existing conditions, utilities, and topography information provided by Edward J Frattaroli Inc. - Land Surveyors & Consultants, 62 Mill River Street, Stamford, CT 06902, email: info@frattaroli.com, tel: 203-359-2235.
- Proposed site improvement information provided by Redniss & Mead Land Surveyors, Engineers, and Land Planners, 22 1st Street, Stamford, CT 06905, tel: 203-327-0500.
- Prior to the start of any work, contact "call before you dig" 1-800-922-4455 at least 72 hours prior to any earthwork activities to locate utilities. Contractor shall be responsible for repair of existing utilities damaged, without further charge to the owner.
- Contract limit lines are property lines. Contractor is responsible for repair of, damage, or disturbance to other areas which may occur as the result of his or her work whether within or outside of the contract limit lines.
- All development to be undertaken within street rights of way or other public lands shall comply fully with applicable town, city, and state standards.
- Verify locations, elevations and dimensions in field prior to construction. notify the owner and appropriate consultant of any discrepancies.
- Install erosion controls and tree protection prior to any excavation and/or clearing.
- Removal and disposal of all materials to comply with any and all state and/or local codes.
- Existing plant material to be saved and protected where possible.
- Contractor is responsible for securing all construction permits and licenses required to complete the work.
- Contractor shall be aware of all subsurface drainage and all utilities. Protect lines from damage and debris. Contractor shall be responsible for repair of all damaged lines at no additional cost to the owner.
- Final grade in all cases shall slope away from the building a minimum of 1/4" per foot and all paved areas shall have a minimum wash of 1/8" per foot. Blend new work smoothly with existing grades. Avoid sharp breaks in grade. Round top and bottoms of slopes.
- Protect trees to remain with a 4 ft. ht. snow or construction fence in accordance with the tree protection detail. Maintain protection throughout construction period. Do not store materials or equipment within fence or drip line of tree. Install tree protection prior to any earthwork or clearing.
- All disturbed areas shall be topsoiled, reseeded and stabilized.
- Paving dimensions are from the face of curb or edging to face of curb or edging opposite.

Planting Notes

- Be aware of all underground utilities prior to any planting operations. Contact "CALL BEFORE YOU DIG" prior to excavation.
- All plantings are to be installed by a qualified landscape contractor.
- The contractor shall be required to carry workmen's compensation insurance and comprehensive general liability insurance. Certificates will be required prior to signing contracts.
- Notify owner or landscape architect 72 hours minimum in advance of starting planting operations. Receive approval for layout of all bed lines and material locations prior to installation.
- The landscape architect reserves the right to reject inferior plant materials and substitutions. The landscape architect is willing to make two trips to suppliers to review and approve materials. Previously unapproved materials may be rejected at the site. Minimally, all materials will conform to the "American Standard for Nursery Stock" (ANSI Z60.1 - 1996) of the American Association of Nurserymen.
- When there is a discrepancy between plant quantities shown on the plant list & the plan, use the quantities from the plant list.
- Test soil for pH and nutrients, adjust as required and receive approval prior to planting.
- Pit to be 2 times wider than root ball or widest spread of container or bare roots.
- Set crown of root ball 2" above finished grade.
- Do not add fertilizer to planting soil for fall plantings.
- All planting beds to receive 3" of mulch, sweet peat or equal. Submit sample for approval.
- All disturbed areas not otherwise noted to be seeded turf.
- Irrigation shall be provided as a design / build contract.
- All plant material shall be guaranteed by the contractor to be in good, healthy and flourishing condition for a period of one year from the date of acceptance. The contractor shall replace, as soon as weather and seasonal conditions permit, all dead plants and all plants not in a vigorous, thriving condition, as determined by the landscape architect during, and at the end of the guarantee period. Warranty replacement will be provided at no cost to the owner and include materials and labor. Contractor is responsible for repair of any damage incurred during replacement of warranty materials. Warranty period to begin at the final approval of plantings by Landscape Architect and client. Contractor is responsible for maintaining the plant material until final approval is given. This will include watering the plants.

Lighting Notes

- Notify Landscape Architect 72 hours minimum in advance of starting onsite operations. Receive approval for layout of all fixture locations prior to installation.
- Be aware of all underground utilities prior to any excavation operations. Contact "CALL BEFORE YOU DIG" prior to excavation. Contractor shall be responsible for repair of existing utilities damaged, without further charge to the owner.
- All work to be performed by a qualified state of Connecticut licensed electrical contractor.
- All work to meet or exceed all local and national building code requirements.
- Contractor is responsible for obtaining all necessary licenses and permits required to perform all work shown on drawings.
- Contractor shall be required to carry workmen's compensation insurance and comprehensive general liability insurance. Certificates will be required prior to signing contracts.
- Contractor shall provide all fixtures, accessories, and related materials for complete installation. See engineers drawings for additional information.
- Lighting shown on these plans for location only - See electrical plans for details and specification of all lighting.
- Pole Lights to be on single circuit with shut off timer.
- See architectural drawings for additional lighting layout and detail information.
- All light fixtures have a lead time. Contractor to call supplier to order as needed.
- See Proposed Lighting Schedule on Sheet SP-1.0 for additional information on lighting fixtures.
- See Proposed Lighting Fixture Character Images and Dimensions on Sheet SP-2.0

Irrigation Notes

- Irrigation System shall be provided as needed by the Owner. Contractor shall identify location of items that require interface with other disciplines (power to controller, water supply connection, backflow preventor, etc.)
- Intent is to create a system consistent with LEED criteria to provide 50% reduction in use of potable water. Therefore planting is heavily oriented to native / adaptive plantings.
- Temporary drip irrigation will be used for establishing trees, shrubs, perennials, and ground covers.
- Once plantings are established in areas with temporary irrigation, the systems may be turned off and/or only used during extreme weather conditions.
- Landscape Architect shall review irrigation shop drawings and approve irrigation types and locations.

Proposed Planting Schedule




Trees

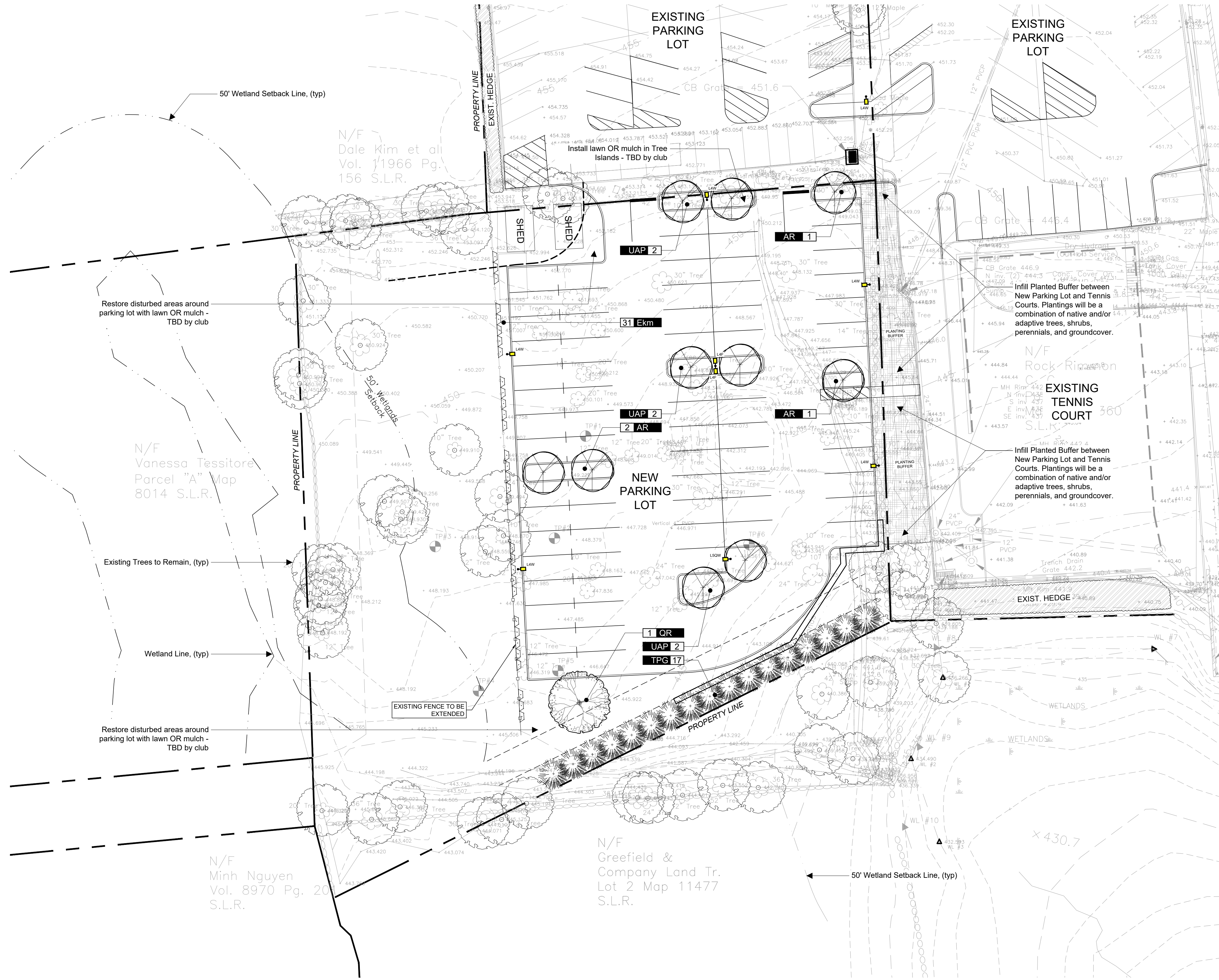
Qty.	Symbol	Botanical Name	Common Name	Installed Size	Mature Size	Cond	Remarks
4	ARO	<i>Acer rubrum</i> 'October Glory'	Red Maple	3"-3.5" CAL.	25'-30' WD. x 40'-50' HT.	B&B	Full, nicely shaped, natural character, matching
1	QR	<i>Quercus rubrum</i>	Red Oak	3"-3.5" CAL.	40'-60' WD. x 50'-70' HT.	B&B	Full, nicely shaped, natural character, specimen
17	TPG	<i>Thuja plicata</i> 'Green Giant'	Western Arborvitae	8'-10' HT.	12'-20' WD. x 50'-60' HT.	B&B	Full to ground, heavy foliage, nicely shaped, natural character
6	UAP	<i>Ulmus americana</i> 'Princeton'	American Elm	3"-3.5" CAL.	30'-50' WD. x 50'-70' HT.	B&B	Full, nicely shaped, vase shaped character, matching

Shrubs

Qty.	Symbol	Botanical Name	Common Name	Size	Mature Size	Cond	Remarks
31	EkM	<i>Euonymus kiautschovicus</i> 'Manhattan'	Manhattan Euonymus	5 GAL.	5' WD. x 8' HT.	CONT.	Full, heavy foliage, nicely shaped, grown on espalier, trained to fence with wire

Proposed Lighting Schedule




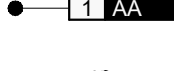





Qty.	Symbol	Type	Description
5		L4W - Pole Lights	VIPER AREA SIZE 2' (VP2) LED Pole Light, Dark Sky Compliant, 3000K color Temp, Optics shall be Type 4W, Type 4F, and Type 5QW Area Strike as noted on Plans, Black Textured Color (BLT), Decorative Upswept Arm Mount with Matching 5" Square Pole, See Plans for Single or Double Fixture per Pole, Mounted at 14' Height, as manufactured by Beacon/Hubbell Lighting, Inc., 2041 58th Avenue Circle East, Bradenton, FL 34203, www.currentlighting.com and supplied by Illuminate Lighting, contact Cliff Gilbert, tel: 203-788-0814, email: cgilbert@illuminate.com. Contractor to submit manufacturer's cut sheet for approval prior to ordering.
2		L4F - Pole Lights	
1		L5QW - Pole Lights	
1	Double Mounted	Pole @ 14'	'SSA-B Series' Aluminum Pole, Black Textured Color (BLT). See Plans for Single or Double Fixture per Pole, Mounting Heights per Fixture Type, as manufactured by Beacon/Hubbell Lighting, Inc., 2041 58th Avenue Circle East, Bradenton, FL 34203, www.currentlighting.com and supplied by Illuminate Lighting, contact Cliff Gilbert, tel: 203-788-0814, email: cgilbert@illuminate.com. Contractor to submit manufacturer's cut sheet for approval prior to ordering.
6	Single Mounted	Poles @ 14'	



ROCKRIMMON COUNTRY CLUB

2949 Long Ridge Road
Stamford, CT 06903

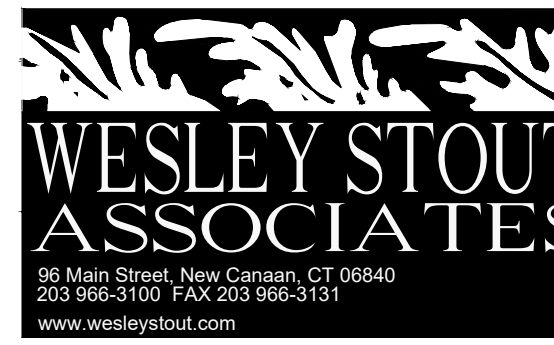
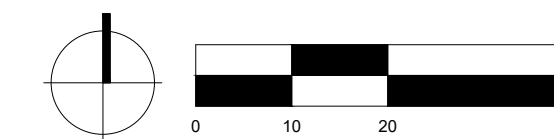
Symbol Legend

-  Property Line
-  Note Call-Off
-  Detail Call-Off
-  Planting Call-Off
-  Existing Trees to Remain
-  Existing Hedges to Remain
-  Proposed Deciduous Trees
-  Proposed Evergreen Trees
-  Proposed Planting Buffer

REFERENCE NOTES

- Landscape Layout: Overall Plan, General Notes, Planting Note, Lighting Notes, Planting Schedule, and Lighting Schedule - See Sheet SP-1.0
- Site Lighting, and Landscape Details - See Sheet SP-2.0
- Site Development Plan, Grading and Drainage Plan, Site Utilities Plan, and Other Site Details - See Civil Engineer Drawings

1 Revised Parking Layout 11/28/2023
No. Revision: Date:



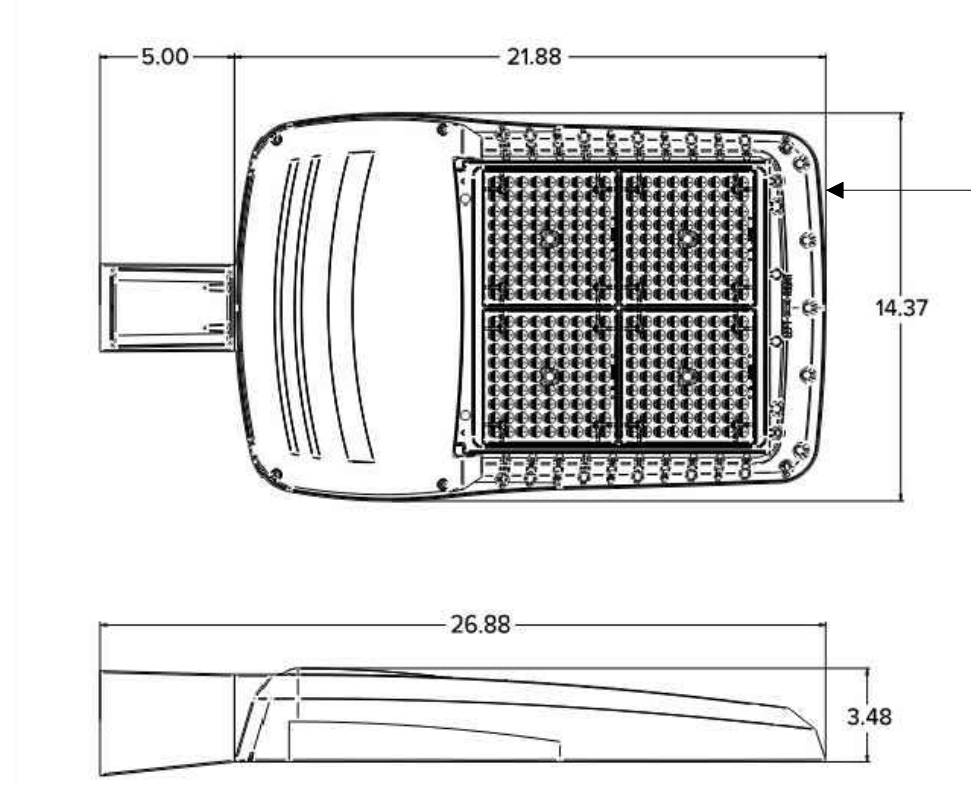
Landscape Layout: Overall Plan

Date: 7/24/2023
Scale: 1" = 20'
Sheet:

SP-1.0



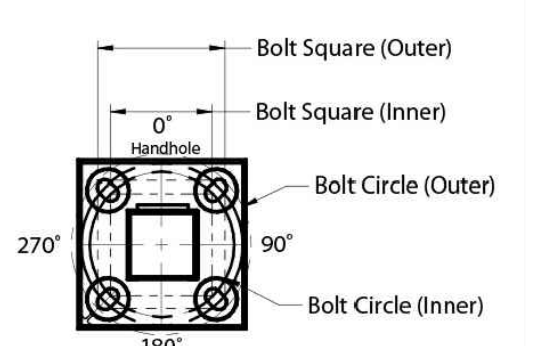
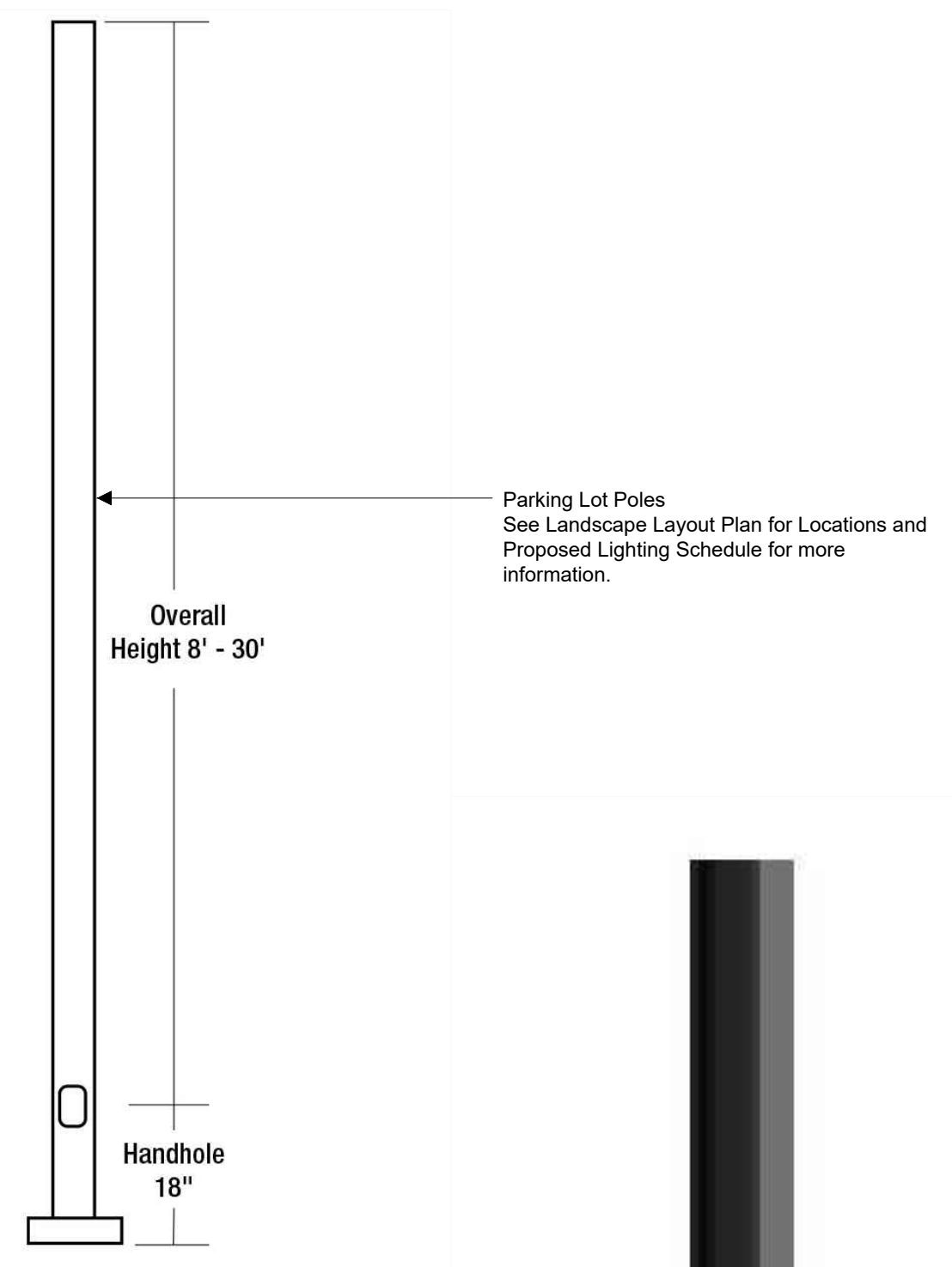
CHARACTER IMAGE



FIXTURE DIMENSIONS

Parking Lot Light Fixtures
 See Landscape Layout Plan for Locations and Proposed Lighting Schedule for more information.

1 Pole Light Fixtures - Type L1 & L2
 SP-2.0 Not to Scale

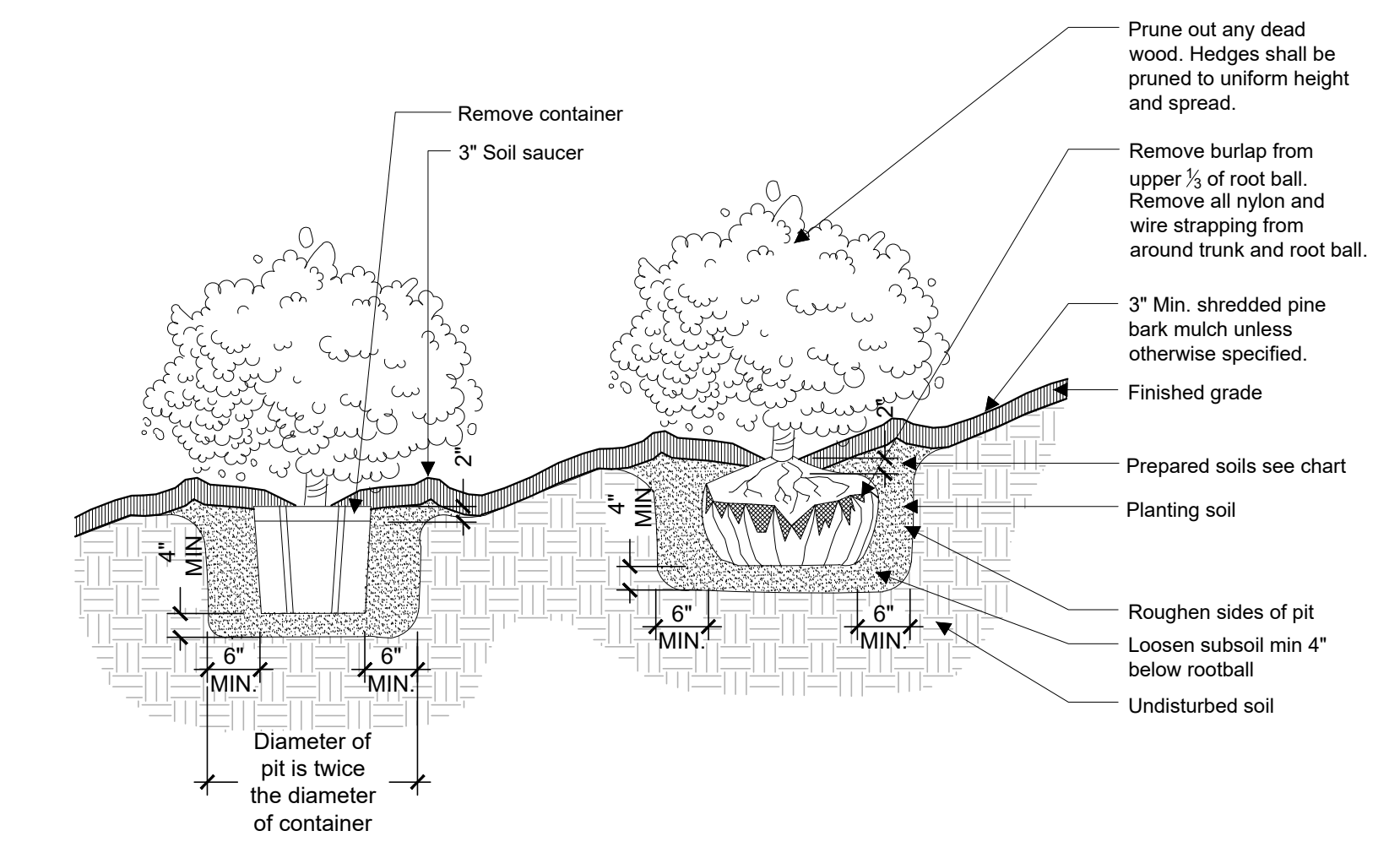


FIXTURE DIMENSIONS

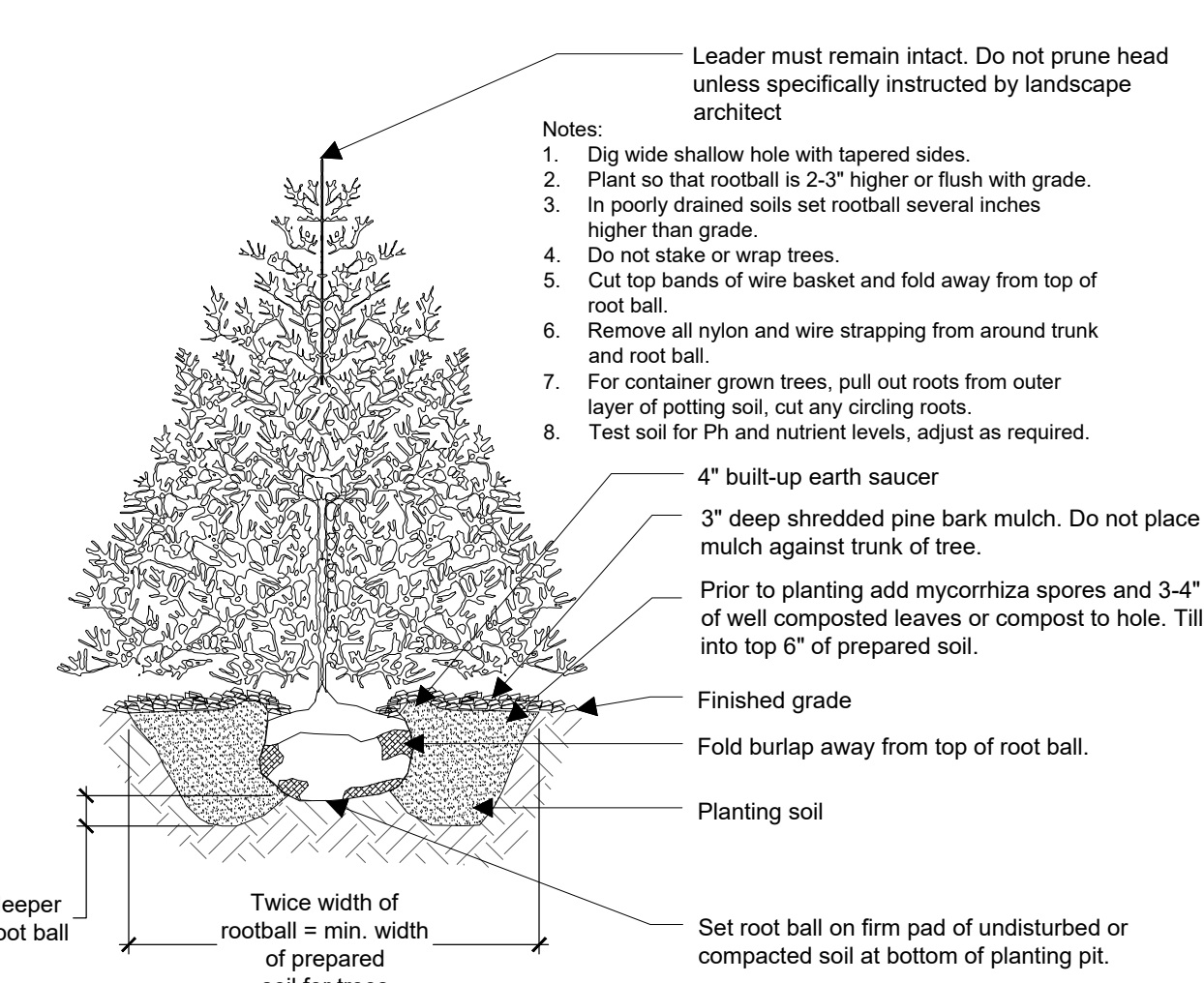
CHARACTER IMAGE

Parking Lot Poles
 See Landscape Layout Plan for Locations and Proposed Lighting Schedule for more information.

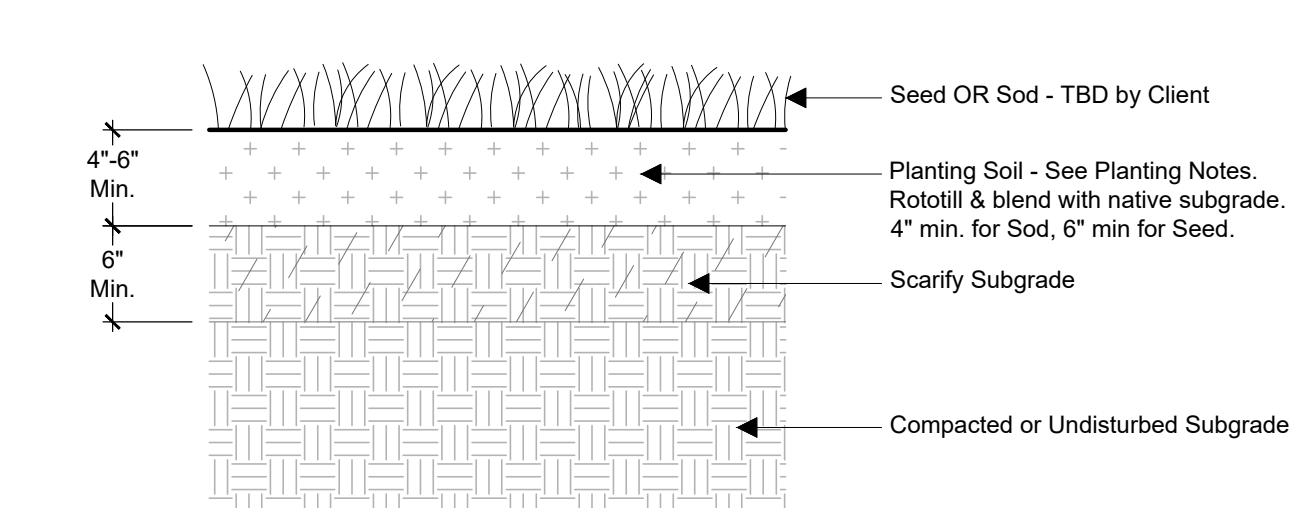
2 Pole - Type L1 & L2
 SP-2.0 Not to Scale



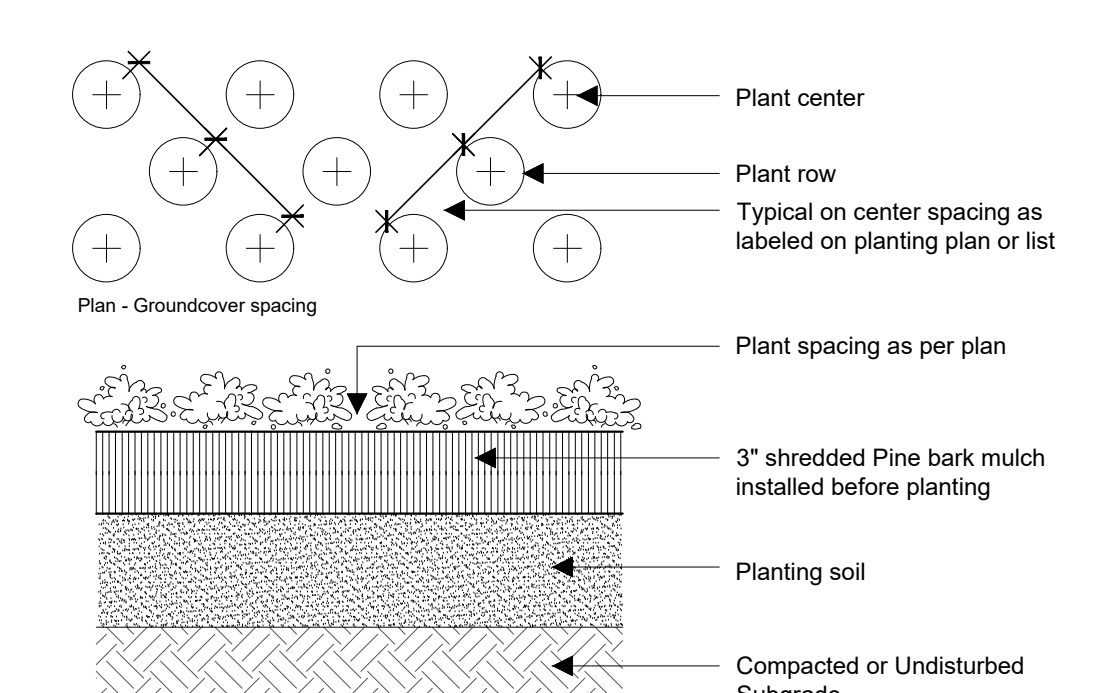
5 Shrub Planting
 SP-2.0 Not to Scale



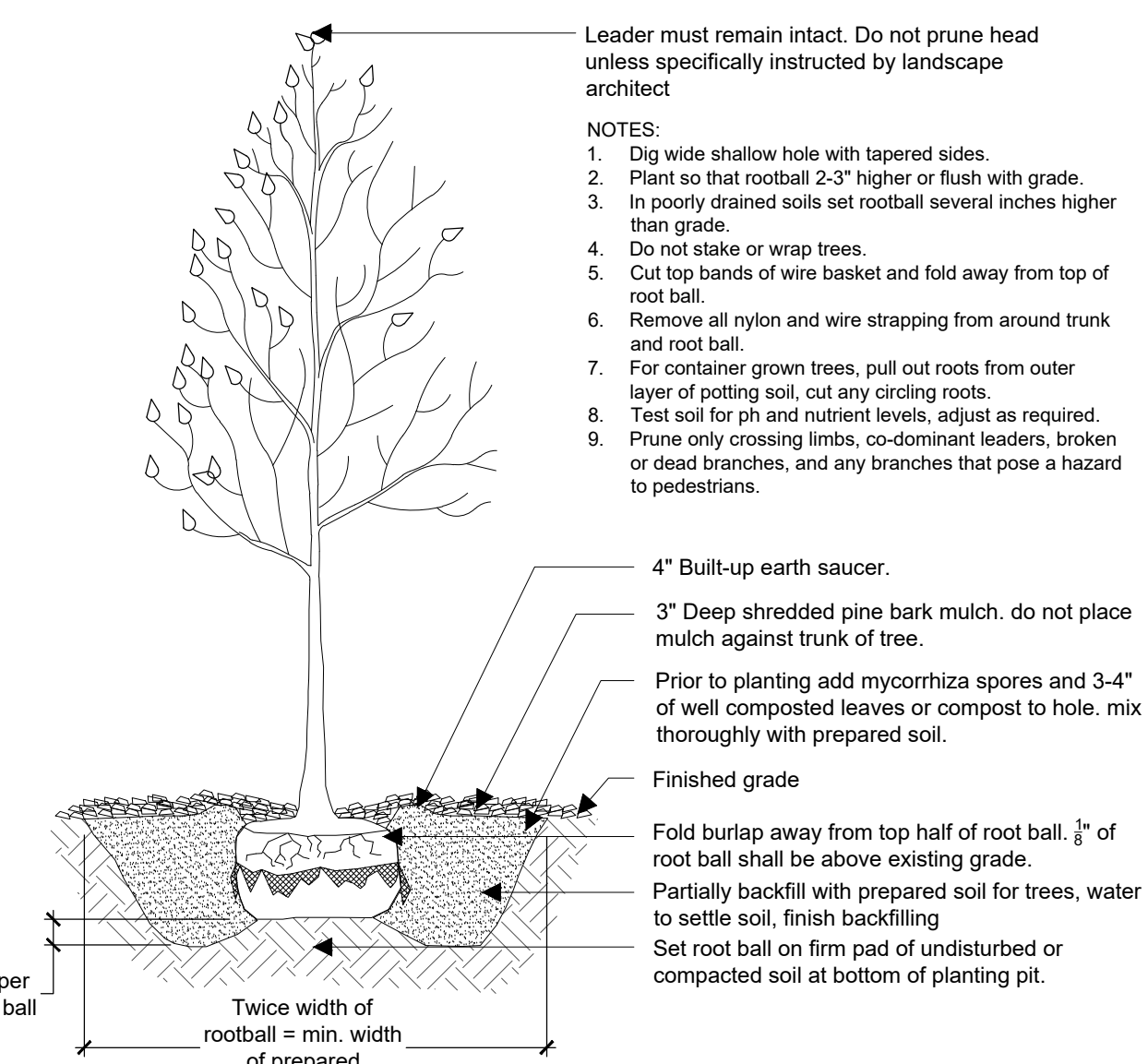
6 Evergreen Tree Planting
 SP-2.0 Not to Scale



3 Lawn Soil Profile
 SP-2.0 Not to Scale



4 Groundcover Planting
 SP-2.0 Not to Scale

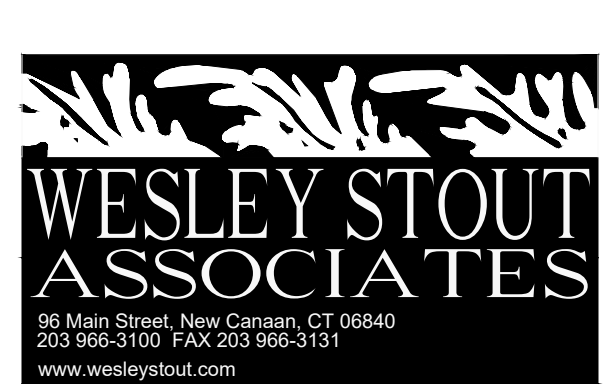


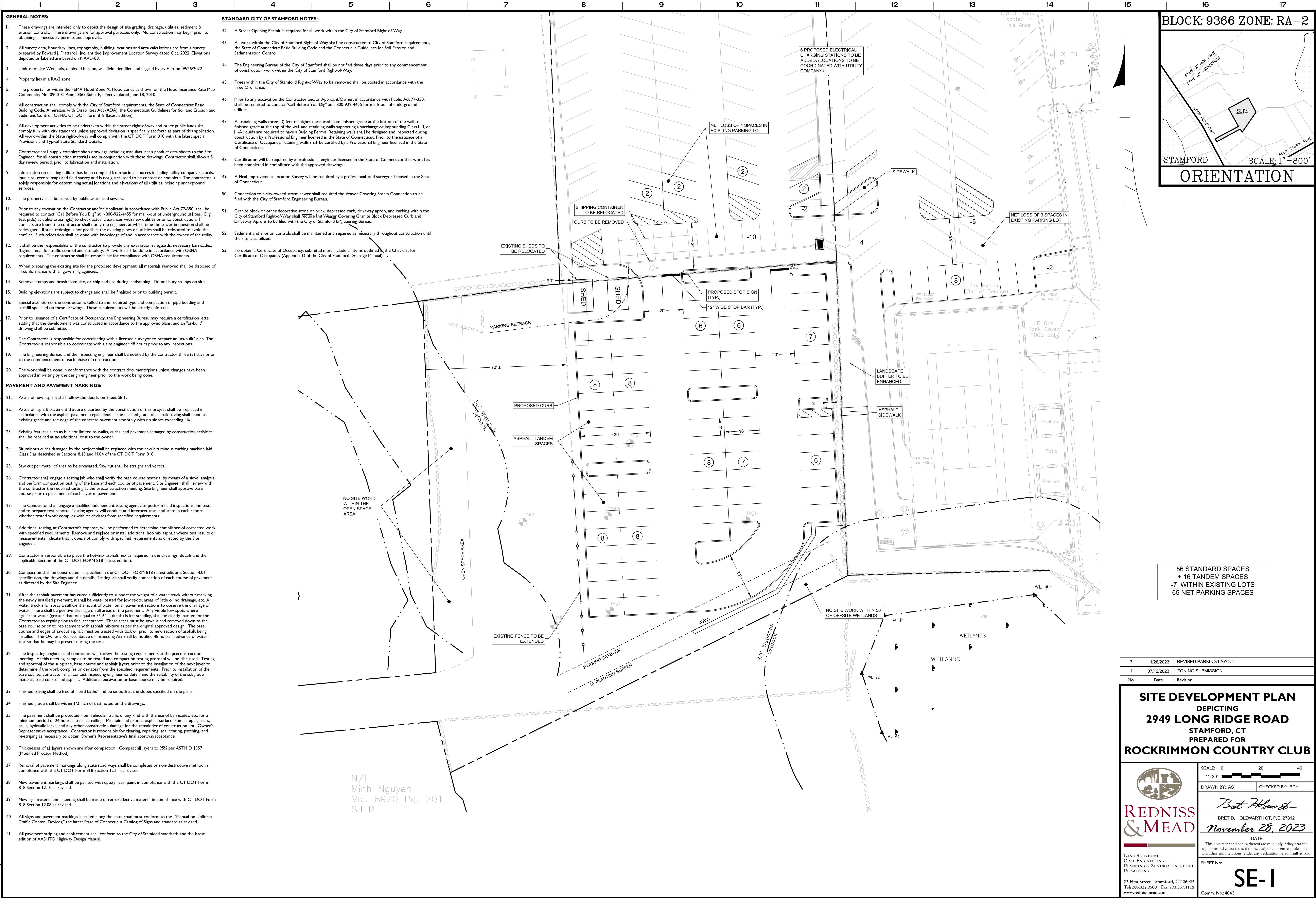
7 Deciduous Tree Planting
 SP-2.0 Not to Scale

REFERENCE NOTES

- Landscape Layout: Overall Plan, General Notes, Planting Note, Lighting Notes, Planting Schedule, and Lighting Schedule - See Sheet SP-1.0
- Site Lighting and Landscape Details - See Sheet SP-2.0
- Site Development Plan, Grading and Drainage Plan, Site Utilities Plan, and Other Site Details - See Civil Engineer Drawings

1	Revised Parking Layout	11/28/2023
No.	Revision:	Date:





- GENERAL NOTES:**
- These drawings are intended only to depict the design of site grading, drainage, utilities, sediment & erosion controls. These drawings are for approval purposes only. No construction may begin prior to obtaining all necessary permits and approvals.
 - All survey data, boundary lines, topography, building locations and area calculations are from a survey prepared by Edward J. Frattaroli, Inc. entitled Improvement Location Survey dated Oct. 2022. Elevations depicted or labeled are based on NAVD83.
 - Limit of offsite Wetlands, depicted hereon, was field identified and flagged by Jay Fain on 09/26/2022.
 - Property lies in a RA-2 zone.
 - The property lies within the FEMA Flood Zone X. Flood zones as shown on the Flood Insurance Rate Map Community No. 09001C Panel 0365 Suffix F, effective dated June 18, 2010.
 - All construction shall comply with the City of Stamford requirements, the State of Connecticut Basic Building Code, American with Disabilities Act (ADA), the Connecticut Guidelines for Soil Erosion and Sediment Control, OSHA, CT DOT Form 818 (latest edition).
 - All development activities to be undertaken within the street right-of-way and other public lands shall comply fully with city standards unless approved deviation is specifically set forth as part of this application. All work within the State right-of-way will comply with the CT DOT Form 818 with the latest special Provisions and Typical State Standard Details.
 - Contractor shall supply complete shop drawings including manufacturer's product data sheets to the Site Engineer, for all construction material used in conjunction with these drawings. Contractor shall allow a 5 day review period, prior to fabrication and installation.
 - Information on existing utilities has been compiled from various sources including utility company records, municipal record maps and field survey and is not guaranteed to be correct or complete. The contractor is solely responsible for determining actual locations and elevations of all utilities including underground services.
 - The property shall be served by public water and sewers.
 - Prior to any excavation the Contractor and/or Applicant, in accordance with Public Act 77-350, shall be required to contact "Call Before You Dig" at 1-800-922-4455 for mark-out of underground utilities. Dig test pits (6" at utility crossings) to check actual clearances with new utilities prior to construction. If conflicts are found the contractor shall notify the engineer, at which time the sewer in question shall be redesigned. If such redesign is not possible, the existing pipes or utilities shall be relocated to avoid the conflict. Such relocation shall be done with knowledge of and in accordance with the owner of the utility.
 - It shall be the responsibility of the contractor to provide any excavation safeguards, necessary barricades, flagmen, etc., for traffic control and site safety. All work shall be done in accordance with OSHA requirements. The contractor shall be responsible for compliance with OSHA requirements.
 - When preparing the existing site for the proposed development, all materials removed shall be disposed of in conformance with all governing agencies.
 - Remove stumps and brush from site, or chip and use during landscaping. Do not bury stumps on site.
 - Building elevations are subject to change and shall be finalized prior to building permit.
 - Special attention of the contractor is called to the required type and compaction of pipe bedding and backfill specified on these drawings. These requirements will be strictly enforced.
 - Prior to issuance of a Certificate of Occupancy, the Engineering Bureau may require a certification letter stating that the development was constructed in accordance to the approved plans, and an "as-built" drawing shall be submitted.
 - The Contractor is responsible for coordinating with a licensed surveyor to prepare an "as-built" plan. The Contractor is responsible to coordinate with a site engineer 48 hours prior to any inspections.
 - The Engineering Bureau and the inspecting engineer shall be notified by the contractor three (3) days prior to the commencement of each phase of construction.
 - The work shall be done in conformance with the contract documents/plans unless changes have been approved in writing by the design engineer prior to the work being done.
- PAVEMENT AND PAVEMENT MARKINGS:**
- Areas of new asphalt shall follow the details on Sheet SE-1.
 - Areas of asphalt pavement that are disturbed by the construction of this project shall be replaced in accordance with the asphalt pavement repair detail. The finished grade of asphalt paving shall blend to existing grade and the edge of the concrete pavement smoothly with no slopes exceeding 4%.
 - Existing features such as but not limited to walls, curbs, and pavement damaged by construction activities shall be repaired at no additional cost to the owner.
 - Bituminous curbs damaged by the project shall be replaced with the new bituminous curbing machine laid Class 3 as described in Sections 8.15 and M.04 of the CT DOT Form 818.
 - Saw cut perimeter of area to be excavated. Saw cut shall be straight and vertical.
 - Contractor shall engage a testing lab who shall verify the base course material by means of a sieve analysis and perform compaction testing of the base and each course of pavement. Site Engineer shall review with the contractor the required testing at the preconstruction meeting. Site Engineer shall approve base course prior to placement of each layer of pavement.
 - The Contractor shall engage a qualified independent testing agency to perform field inspections and tests and to prepare test reports. Testing agency will conduct and interpret tests and state in each report whether tested work complies with or deviates from specified requirements.
 - Additional testing, at Contractor's expense, will be performed to determine compliance of corrected work with specified requirements. Remove and replace or install additional hot-mix asphalt where test results or measurements indicate that it does not comply with specified requirements as directed by the Site Engineer.
 - Contractor is responsible to place the hot-mix asphalt mix as required in the drawings, details and the applicable Section of the CT DOT FORM 818 (latest edition).
 - Compaction shall be constructed as specified in the CT DOT FORM 818 (latest edition), Section 4.06 specification, the drawings and the details. Testing lab shall verify compaction of each course of pavement as directed by the Site Engineer.
 - After the asphalt pavement has cured sufficiently to support the weight of a water truck without marking the newly installed pavement, it shall be water tested for low spots, areas of little or no drainage, etc. A water truck shall spray a sufficient amount of water on all pavement sections to observe the drainage of water. There shall be positive drainage on all areas of the pavement. Any visible low spots where significant water (greater than or equal to 3/16" in depth) is left standing, shall be clearly marked for the Contractor to repair prior to final acceptance. These areas must be sawcut and removed down to the base course prior to replacement with asphalt mixture as per the original approved design. The base course and edges of sawcut asphalt must be treated with tack oil prior to new section of asphalt being installed. The Owner's Representative or inspecting A/E shall be notified 48 hours in advance of water test so that he may be present during the test.
 - The inspecting engineer and contractor will review the testing requirements at the preconstruction meeting. At this meeting, samples to be tested and compaction testing protocol will be discussed. Testing and approval of the subgrade, base course and asphalt layers prior to the installation of the next layer to determine if the work complies or deviates from the specified requirements. Prior to installation of the base course, contractor shall contact inspecting engineer to determine the suitability of the subgrade material, base course and asphalt. Additional excavation or base course may be required.
 - Finished paving shall be free of "bird baths" and be smooth at the slopes specified on the plans.
 - Finished grade shall be within 1/2 inch of that noted on the drawings.
 - The pavement shall be protected from vehicular traffic of any kind with the use of barricades, etc. for a minimum period of 24 hours after final rolling. Maintain and protect asphalt surface from scrapes, sears, spills, hydraulic leaks, and any other construction damage for the remainder of construction until Owner's Representative acceptance. Contractor is responsible for cleaning, repairing, seal coating, patching, and re-striping as necessary to obtain Owner's Representative's final approval/acceptance.
 - Thicknesses of all layers shown are after compaction. Compact all layers to 95% per ASTM D 1557 (Modified Proctor Method).
 - Removal of pavement markings along state road ways shall be completed by non-destructive method in compliance with the CT DOT Form 818 Section 12.11 as revised.
 - New pavement markings shall be painted with epoxy resin paint in compliance with the CT DOT Form 818 Section 12.10 as revised.
 - New sign material and sheeting shall be made of retroreflective material in compliance with CT DOT Form 818 Section 12.08 as revised.
 - All signs and pavement markings installed along the state road must conform to the "Manual on Uniform Traffic Control Devices," the latest State of Connecticut Catalog of Signs and standard as revised.
 - All pavement striping and replacement shall conform to the City of Stamford standards and the latest edition of AASHTO Highway Design Manual.

- STANDARD CITY OF STAMFORD NOTES:**
- A Street Opening Permit is required for all work within the City of Stamford Right-of-Way.
 - All work within the City of Stamford Right-of-Way shall be constructed to City of Stamford requirements, the State of Connecticut Basic Building Code and the Connecticut Guidelines for Soil Erosion and Sedimentation Control.
 - The Engineering Bureau of the City of Stamford shall be notified three days prior to any commencement of construction work within the City of Stamford Right-of-Way.
 - Trees within the City of Stamford Right-of-Way to be removed shall be posted in accordance with the Tree Ordinance.
 - Prior to any excavation the Contractor and/or Applicant/Owner, in accordance with Public Act 77-350, shall be required to contact "Call Before You Dig" at 1-800-922-4455 for mark out of underground utilities.
 - All retaining walls three (3) feet or higher measured from finished grade at the bottom of the wall to finished grade at the top of the wall and retaining walls supporting a surcharge or impounding Class I, II, or III-A liquids are required to have a Building Permit. Retaining walls shall be designed and inspected during construction by a Professional Engineer licensed in the State of Connecticut. Prior to the issuance of a Certificate of Occupancy, retaining walls shall be certified by a Professional Engineer licensed in the State of Connecticut.
 - Certification will be required by a professional engineer licensed in the State of Connecticut that work has been completed in compliance with the approved drawings.
 - A Final Improvement Location Survey will be required by a professional land surveyor licensed in the State of Connecticut.
 - Connection to a city-owned storm sewer shall require the Waiver Covering Storm Connection to be filed with the City of Stamford Engineering Bureau.
 - Granite block or other decorative stone or brick, depressed curb, driveway apron, and curbing within the City of Stamford Right-of-Way shall require the Waiver Covering Granite Block Depressed Curb and Driveway Aprons to be filed with the City of Stamford Engineering Bureau.
 - Sediment and erosion controls shall be maintained and repaired as necessary throughout construction until the site is stabilized.
 - To obtain a Certificate of Occupancy, submittal must include all items outlined in the Checklist for Certificate of Occupancy (Appendix D of the City of Stamford Manual).

BLOCK: 9366 ZONE: RA-2

ORIENTATION

56 STANDARD SPACES
+ 16 TANDEM SPACES
= 72 WITHIN EXISTING LOTS
65 NET PARKING SPACES

2	11/28/2023	REVISED PARKING LAYOUT
1	07/12/2023	ZONING SUBMISSION
No.	Date	Revision

SITE DEVELOPMENT PLAN
DEPICTING
2949 LONG RIDGE ROAD
STAMFORD, CT
PREPARED FOR
ROCKRIMMON COUNTRY CLUB

REDNISS & MEAD

LAND SURVEYING
CIVIL ENGINEERING
PLANNING & ZONING CONSULTING
PERMITTING

22 First Street | Stamford, CT 06905
Tel: 203.327.0500 | Fax: 203.357.1118
www.rednissmead.com

SCALE: 0 20 40
1"=20'

DRAWN BY: AS | CHECKED BY: BDH

Bret D. Holzwarth
BRET D. HOLZWARTH CT. P.E. 27812
November 28, 2023
DATE

This document and copies thereof are valid only if they bear the signature and embossed seal of the designated licensed professional. Unauthorised alterations render any declaration herein null & void.

SHEET No: **SE-1**
Comm. No: 4043

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