

David and all,

As requested by HPAC in its resolution in support of this project, attached are the specifications for the 2-over-2 windows proposed to be used for replacement of the windows in 18 Taylor Street. Also attached are the final architectural plans submitted to the Zoning Board for this application, which implement all of HPAC's recommendations, as well as those of the Planning Board and various City departments.

Please let me know if you have any questions or would like any additional information.

Thanks very much,  
Lenny

MAYOR  
**Caroline Simmons**



DIRECTOR OF OPERATIONS  
**Matthew Quiñones**

LAND USE BUREAU CHIEF  
**Ralph Blessing**

HPAC CHAIR  
**David W. Woods, AIA**

**CITY OF STAMFORD**  
**HISTORIC PRESERVATION ADVISORY COMMISSION**

888 WASHINGTON BOULEVARD  
STAMFORD, CT 06904 -2152

**To:** Vineeta Mathur, Principal Planner, Land Use Bureau  
**From:** David W. Woods, AIA, NCARB, LEED-AP  
**Subject:** HPAC Commission Resolution for 12 & 18 Taylor Street  
**Date:** HPAC review date September 12, 2023 - Issue September 13, 2023  
**Application:** **ZB Application #223-36 - 12 & 18 Taylor Street**

At the HPAC Regular Meeting held Tuesday, September 12, 2023, the Commission was presented with the Special Permit application for renovation/restoration of a residential structure at 12 & 18 Taylor Street with a residential addition. It is understood the units within 18 Taylor Street will be renovated and the exterior will be restored. The project has been submitted for consideration under Section 7.3 of the Zoning Regulations. The following is a record of the Commission's discussion.

The Commission would like to commend the Owner for filing a Section 7.3 application to save this important structure. By unanimous vote, the Commission supports the proposed plans presented with these important comments and issues to be included in the design:

1. It is important to use a 2 over 2 window configuration for all windows that match the restored 18 Taylor Street. The Owner may choose to restore the original windows at 18 Taylor Street. They may also choose to purchase new windows which match that same profile. Attention to energy conservation is encouraged by HPAC. The Commission further requested the new construction use the same window profile and shapes.
2. The Owner has indicated they will use James Hardie plank siding. It is understood the color is to be selected. (A white color was indicated.) PVC (composite wood) trims are allowed. The Owner may decide to restore the existing cedar siding at 18 Taylor Street. In that case the parts that are replaced should match the cedar plank shape that exists on the building. Hardie siding will be used on the new construction. The Owner was requested to provide additional care in matching the Hardie color with the restored cedar plank color. (See Note 5 below.)
3. It was recommended additional green space be provided. The Commission noted that there is an existing driveway off Taylor Street that should be converted to green space. The Owner will evaluate this request along with the need for parking and the City's parking requirements.
4. The new residential building side face that faces Mission Street should be evaluated by the design team. The Owner indicated there will be an additional tree planted. The Commission requested an evergreen tree and that the green space is maximized.

5. The Commission generally agreed to the colors presented: Newbury blue accents, Nantucket gray trims, and white clap board siding. The Commission requested the white color be submitted. Special attention should be paid to matching the Hardie siding with the preferred white color at the 18 Taylor Street building. There is a request that both the new and restored buildings are the same white color.
6. The design team will check the existing trims on the historic structure and will restore those.

The Commission requests that the development team return with progress plans and details for final review. It was further requested that the window selection be presented to the Commission. It is agreed the plans and the windows can be submitted to the Land Use Bureau for Commission review and can be done online (electronically) for final approval. If the Owner wishes to take exception to the notes provided, they have the option to return to the Commission for a public presentation and a vote.

In granting support for the project design, the Commission understands the Owners have already submitted the project to the City's Cultural Resources Inventory.

HPAC understands the Land Use Boards may have other considerations for review that are beyond the scope of HPAC recommendations. Those may include bonuses, set-backs, parking, and landscape improvements that are under the Zoning Regulations and not a part of HPAC review.

Once again, we thank the Owner for their presentation to the Commission.

David W. Woods, AIA, NCARB  
Chair, Historic Preservation Advisory Commission

# 18 TAYLOR STREET STAMFORD CT BUILDING A

JIA HUA  
ARCHITECT

NUMBER	DATE	REVISED BY	DESCRIPTION

TAYLOR STREET  
BUILDING A  
RESTORATION &  
RENOVATION

Project Overview



EXISTING HOUSE TO BE REPAINTED AND REPAIRED. SEE PROPOSED ELEVATIONS AND RENDERINGS FOR DETAILS.

EXISTING FENCE TO BE REPLACED WITH WHITE PVC FENCE MATCHING EXISTING STYLE AND SIZE

EXISTING STREET FACADE

DRAWINGS PROVIDED BY:

DATE:

9/22/2023

SCALE:

SHEET:

A000



REVISION TABLE	NUMBER	DATE	REVISED BY	DESCRIPTION

TAYLOR STREET BUILDING A RESTORATION & RENOVATION

PROPOSED ELEVATIONS

DRAWINGS PROVIDED BY:

DATE:

9/22/2023

SCALE:

1/4"=1'-0"

SHEET:

A200



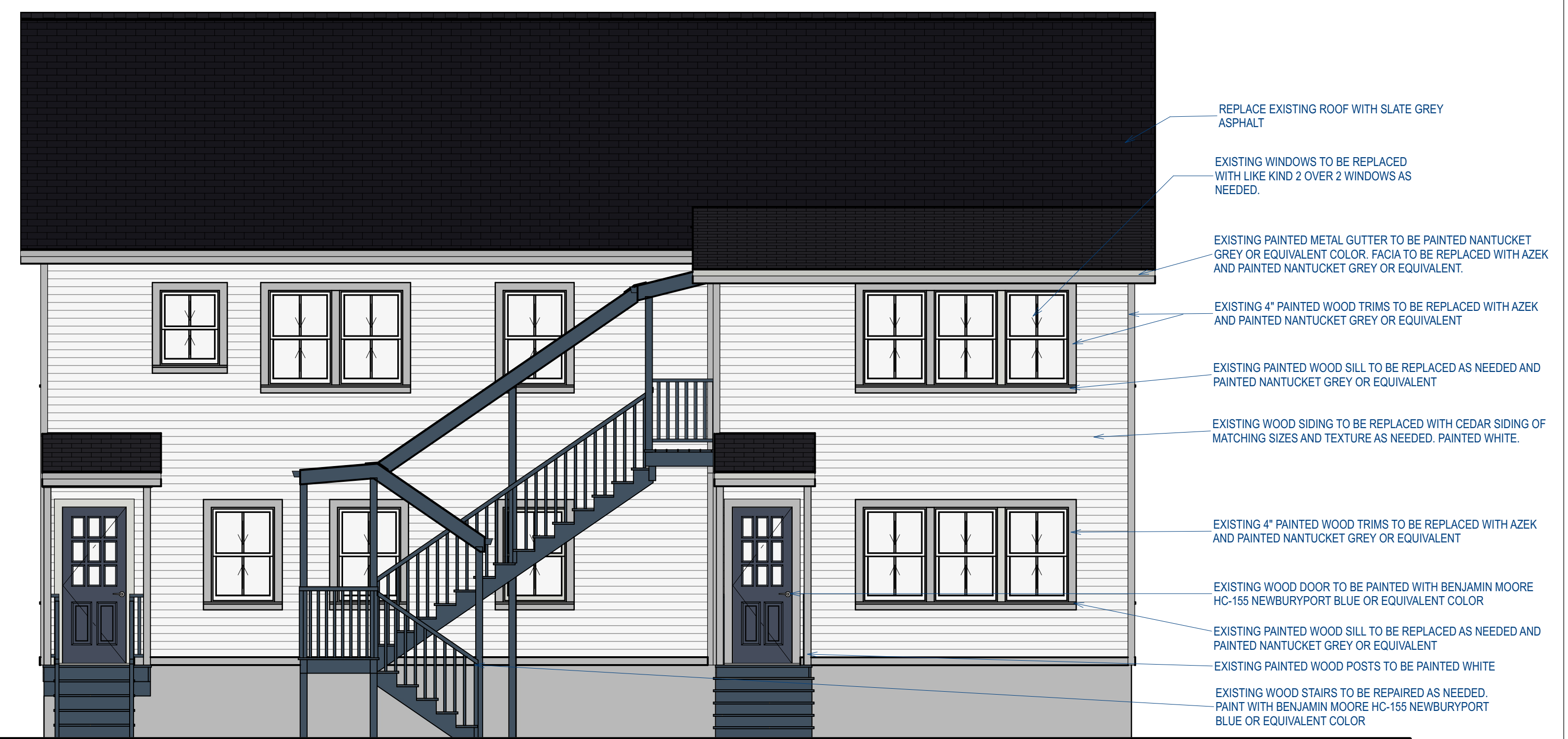
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



BACK ELEVATION





PROPOSED BACK RENDERING

NUMBER	DATE	REVISION	TABLE	DESCRIPTION

PROPOSED RENDERING

DRAWINGS PROVIDED BY:

DATE:

9/22/2023

SCALE:

NTS

SHEET:

A300





PROPOSED STREET FACADE RENDERING

JIA HUA  
ARCHITECT

NUMBER	DATE	REVISION	TABLE	REVISOR	DESCRIPTION

TAYLOR STREET  
BUILDING A  
RESTORATION &  
RENOVATION

PROPOSED RENDERING

DRAWINGS PROVIDED BY:

DATE:

9/22/2023

SCALE:

NTS

SHEET:

A301

# 18 TAYLOR STREET STAMFORD CT BUILDING C,D,E & F NEW CONSTRUCTION

JIA HUA  
ARCHITECT

NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION

TAYLOR STREET  
BUILDING C,D,E & F  
NEW  
CONSTRUCTION

Project Overview

DRAWINGS PROVIDED BY:

DATE:

10/30/2023

SCALE:

SHEET:

A000



NUMBER	DATE	REVISION BY	DESCRIPTION

TAYLOR STREET  
BUILDING C, D, E & F  
NEW  
CONSTRUCTION

FLOOR PLANS

DRAWINGS PROVIDED BY:

DATE:

10/30/2023

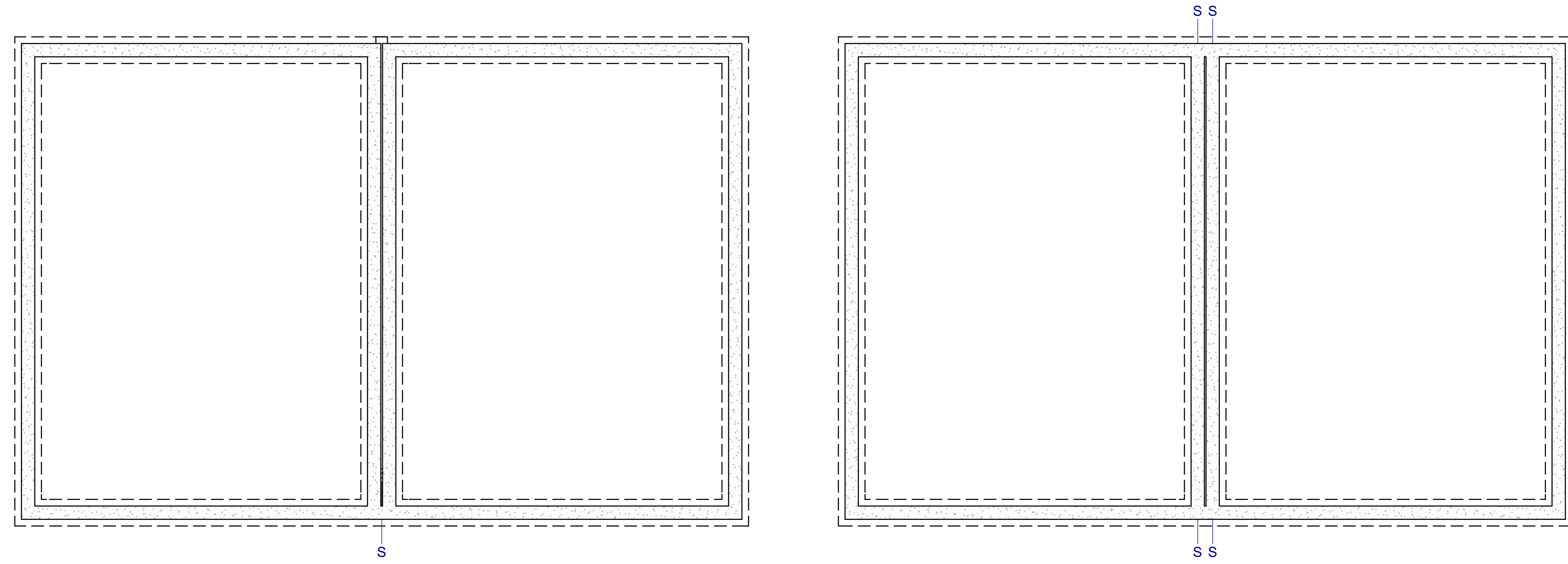
SCALE:

1/4"=1'-0"

SHEET:

A100

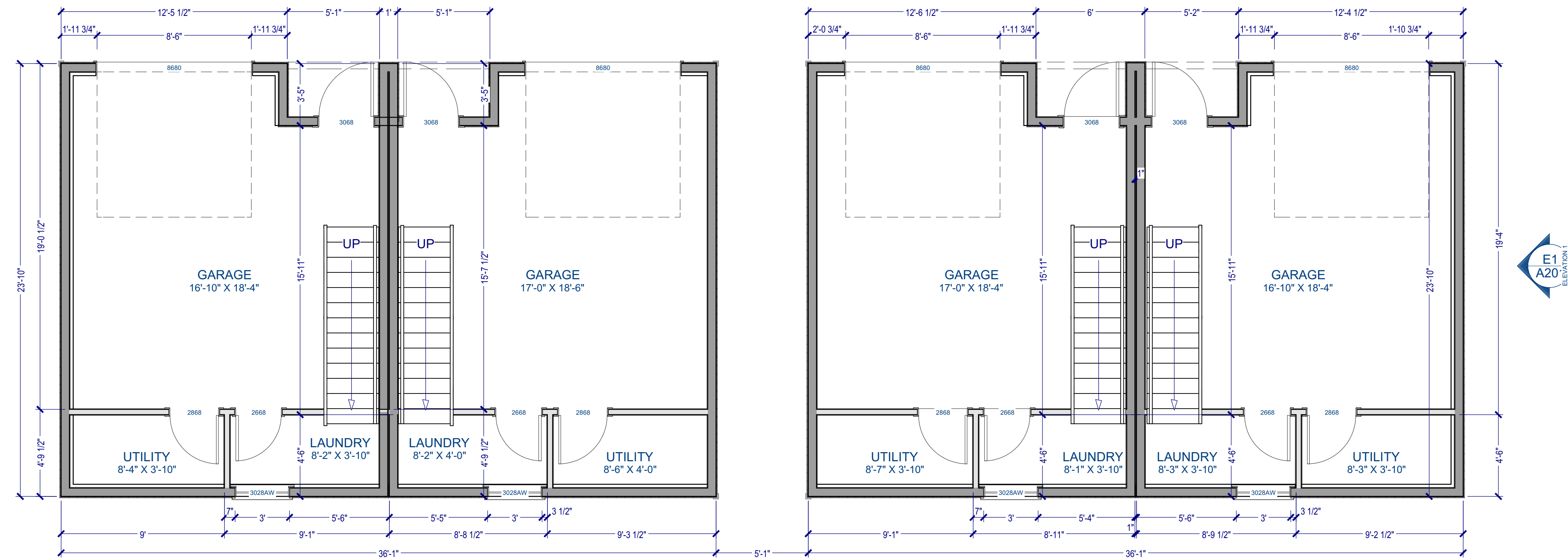
RIGHT ELEVATION  
1  
A201



FOUNDATION PLAN

1  
A200

RIGHT ELEVATION  
1  
A201



GARAGE FLOOR PLAN

2  
A200  
BACK ELEVATION

E1  
A201  
ELEVATION 1

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

TAYLOR STREET  
BUILDING C, D, E & F  
NEW  
CONSTRUCTION

FLOOR PLANS

DRAWINGS PROVIDED BY:

DATE:

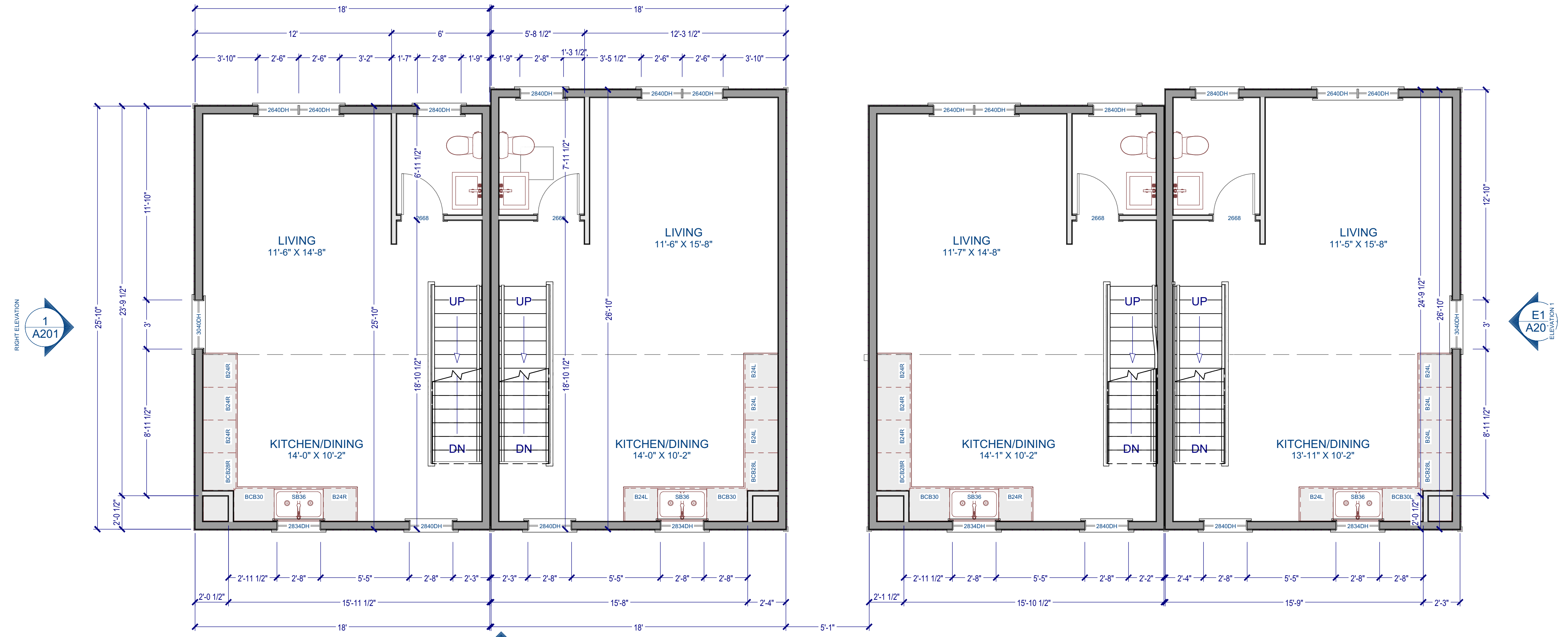
10/30/2023

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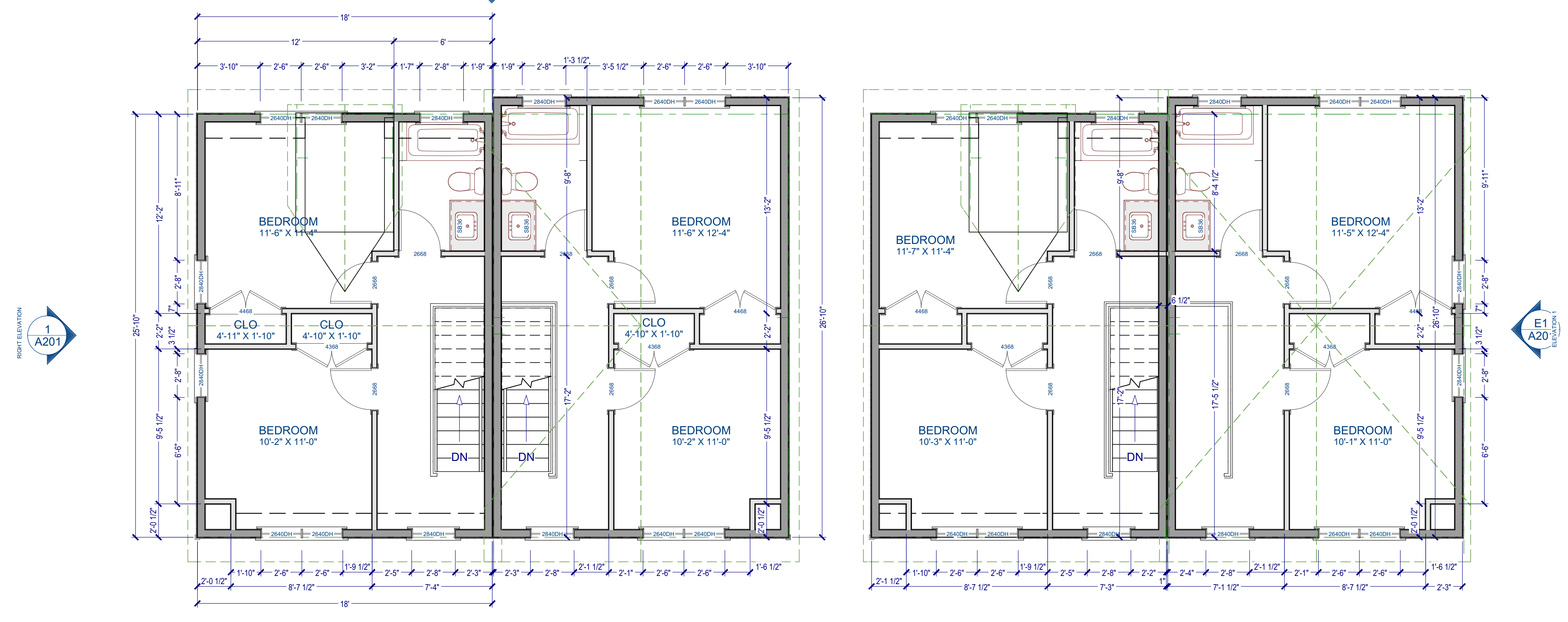
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SHEET:

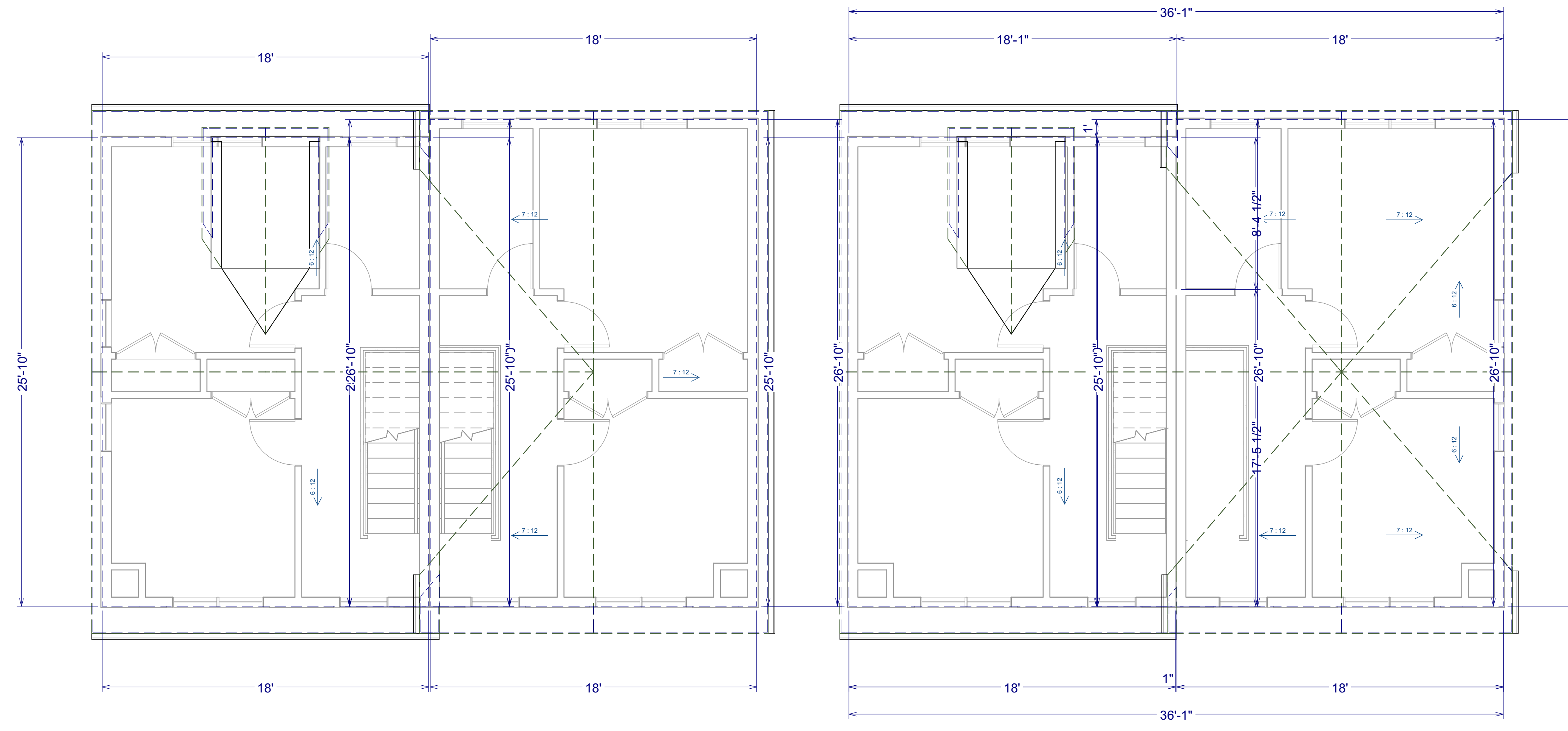
A101



FIRST FLOOR PLAN



SECOND FLOOR PLAN



ATTIC PLAN

NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION

DRAWINGS PROVIDED BY:

DATE:

10/30/2023

SCALE:

1/4"=1'-0"

SHEET:

A102



NUMBER	DATE	REVISION BY	DESCRIPTION

TAYLOR STREET  
BUILDING C,D,E & F  
NEW  
CONSTRUCTION

ELEVATIONS

DRAWINGS PROVIDED BY:

DATE:

10/30/2023

SCALE:

1/4"=1'-0"

SHEET:

A200



FRONT ELEVATION



BACK ELEVATION



NUMBER	DATE	REVISION BY	DESCRIPTION

TAYLOR STREET  
BUILDING C, D, E & F  
NEW  
CONSTRUCTION

ELEVATIONS

DRAWINGS PROVIDED BY:

DATE:

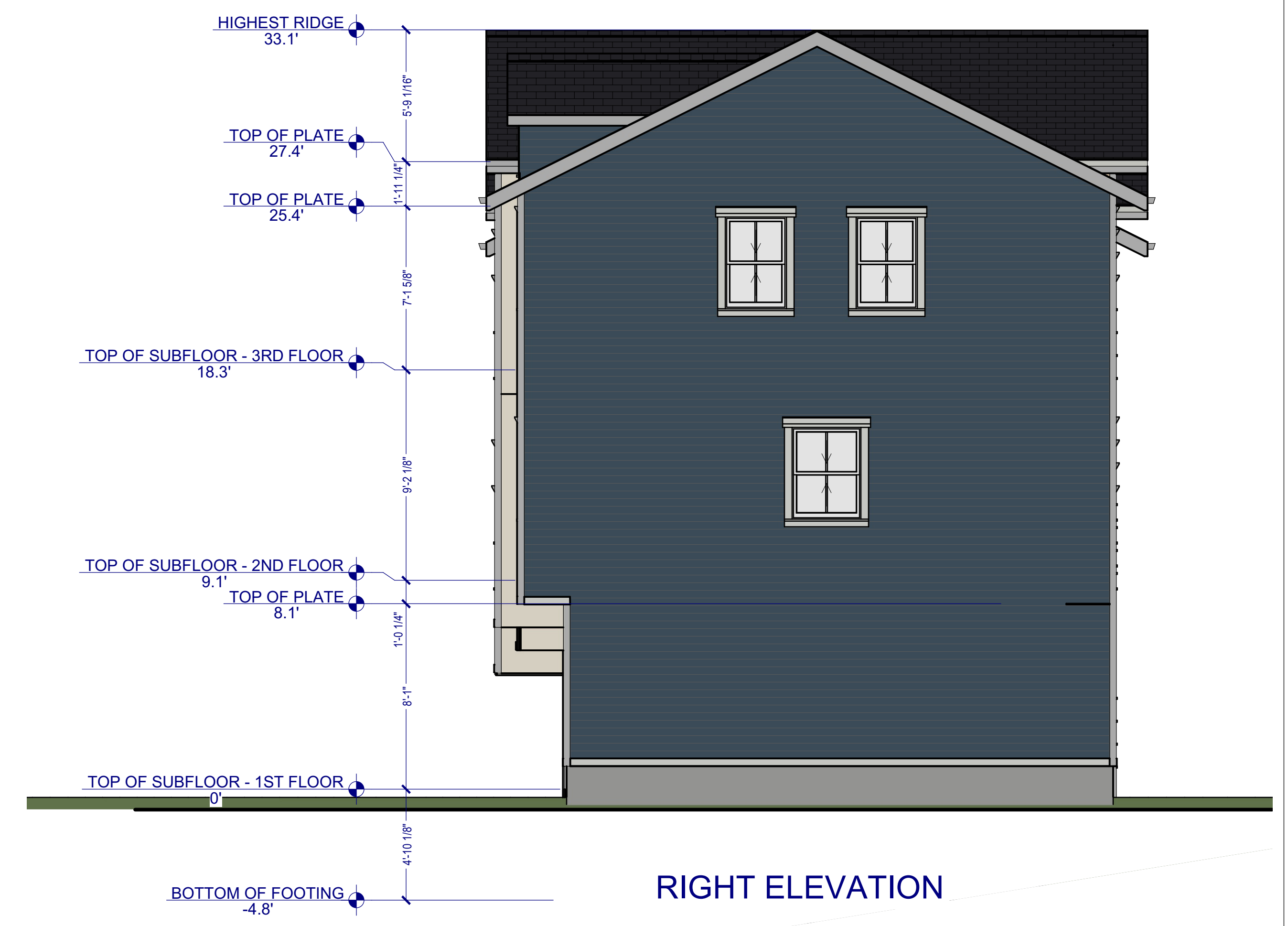
10/30/2023

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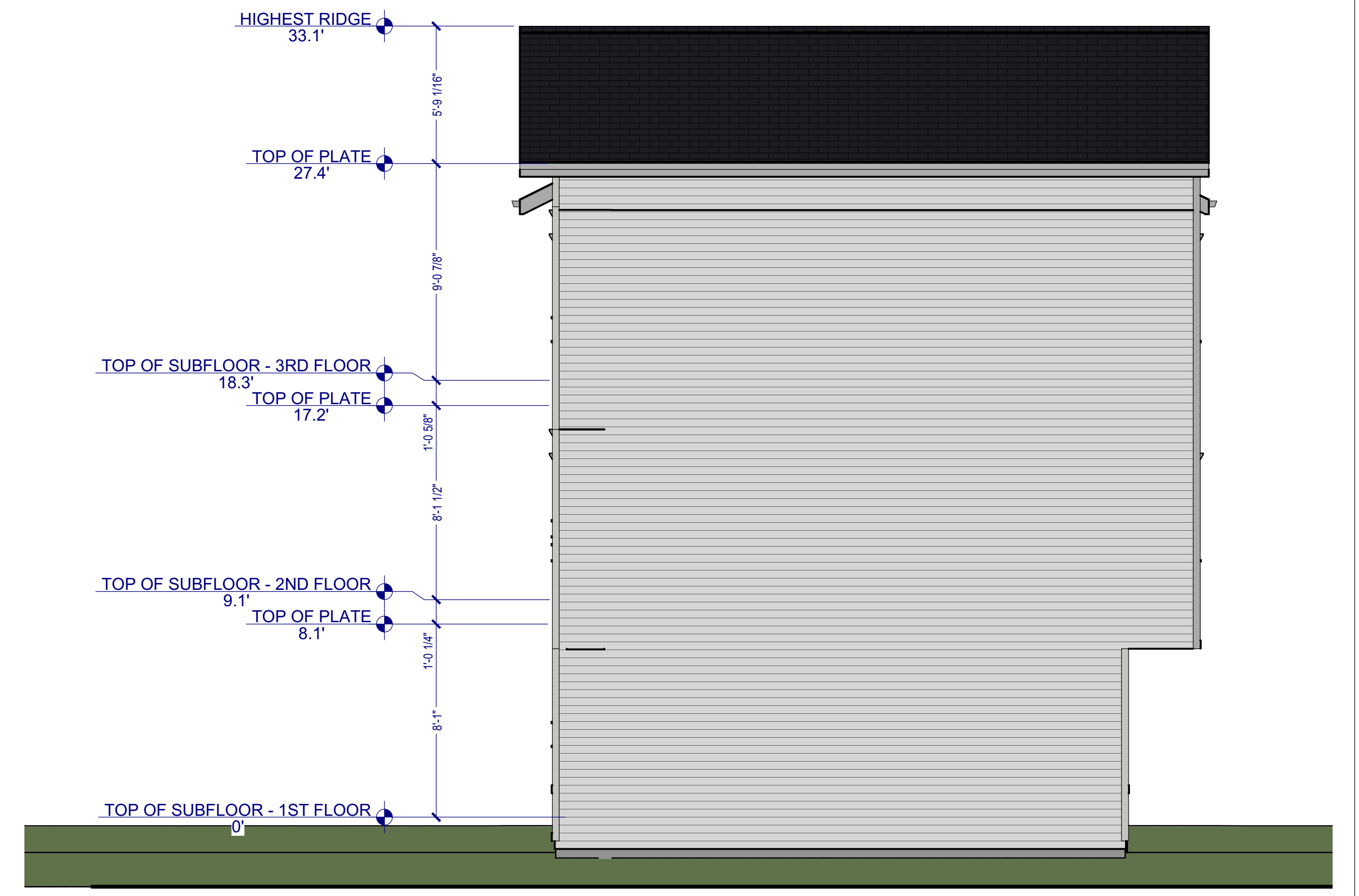
1/4"=1'-0"

SHEET:

A201



RIGHT ELEVATION



LEFT ELEVATION



JIA HUA  
ARCHITECT

NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION

TAYLOR STREET  
BUILDING C, D, E & F  
NEW  
CONSTRUCTION

RENDERING

DRAWINGS PROVIDED BY:

DATE:

10/30/2023

SCALE:

1/4"=1'-0"

SHEET:

A300





JIA HUA  
ARCHITECT

NUMBER	DATE	REVISION	TABLE	DESCRIPTION

TAYLOR STREET  
BUILDING C, D, E & F  
NEW  
CONSTRUCTION

RENDERING

DRAWINGS PROVIDED BY:

DATE:

10/30/2023

SCALE:

1/4"=1'-0"

SHEET:

A301

# 18 TAYLOR STREET STAMFORD CT BUILDING G NEW CONSTRUCTION

JIA HUA  
ARCHITECT

NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION

TAYLOR STREET  
BUILDING G  
NEW  
CONSTRUCTION

Project Overview

DRAWINGS PROVIDED BY:

DATE:

11/15/2023

SCALE:

SHEET:

A000



NUMBER	DATE	REVISION BY	DESCRIPTION

TAYLOR STREET BUILDING G  
NEW CONSTRUCTION

FLOOR PLANS

DRAWINGS PROVIDED BY:

DATE:

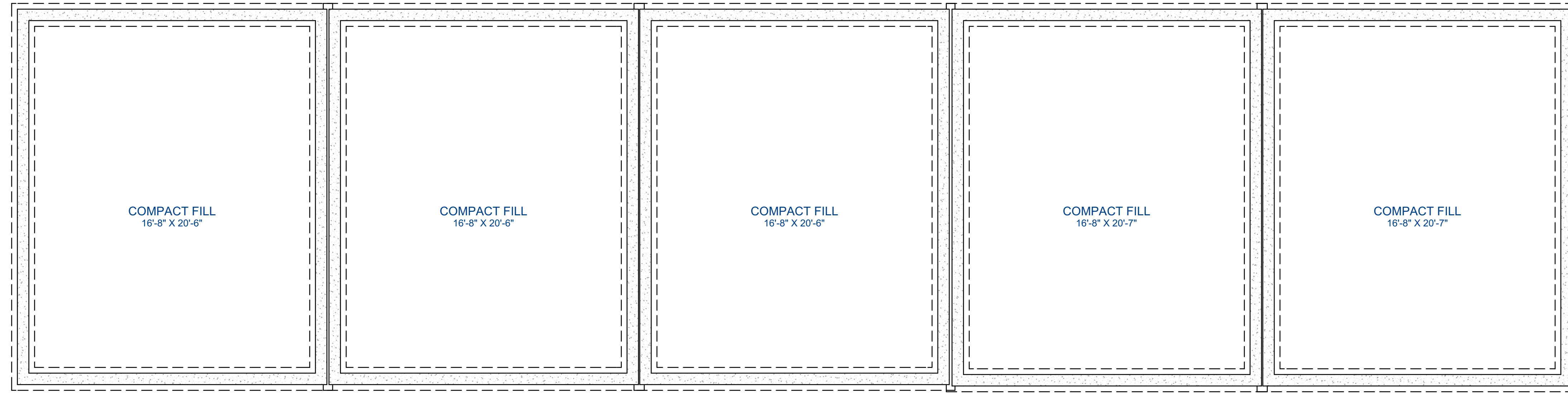
11/15/2023

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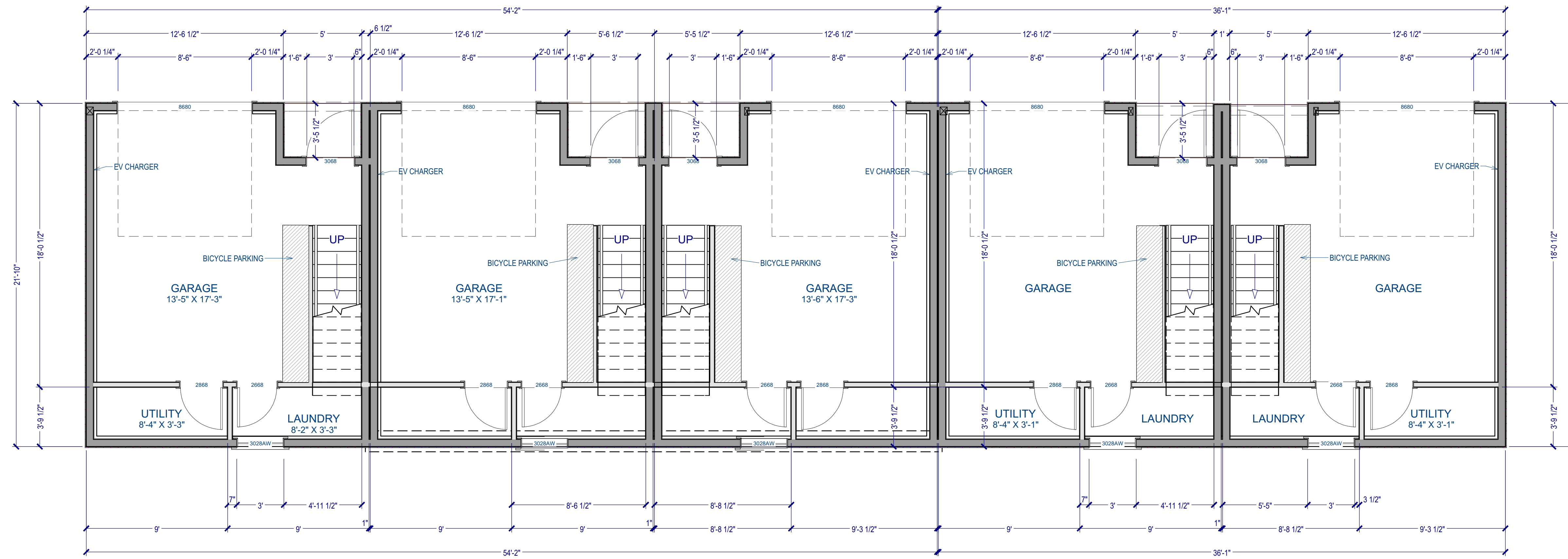
1/4"=1'-0"

SHEET:

A100



FOUNDATION PLAN



GARAGE FLOOR PLAN



REVISION TABLE	NUMBER	DATE	REVISED BY	DESCRIPTION

TAYLOR STREET BUILDING G  
NEW CONSTRUCTION

FLOOR PLANS

DRAWINGS PROVIDED BY:

DATE:

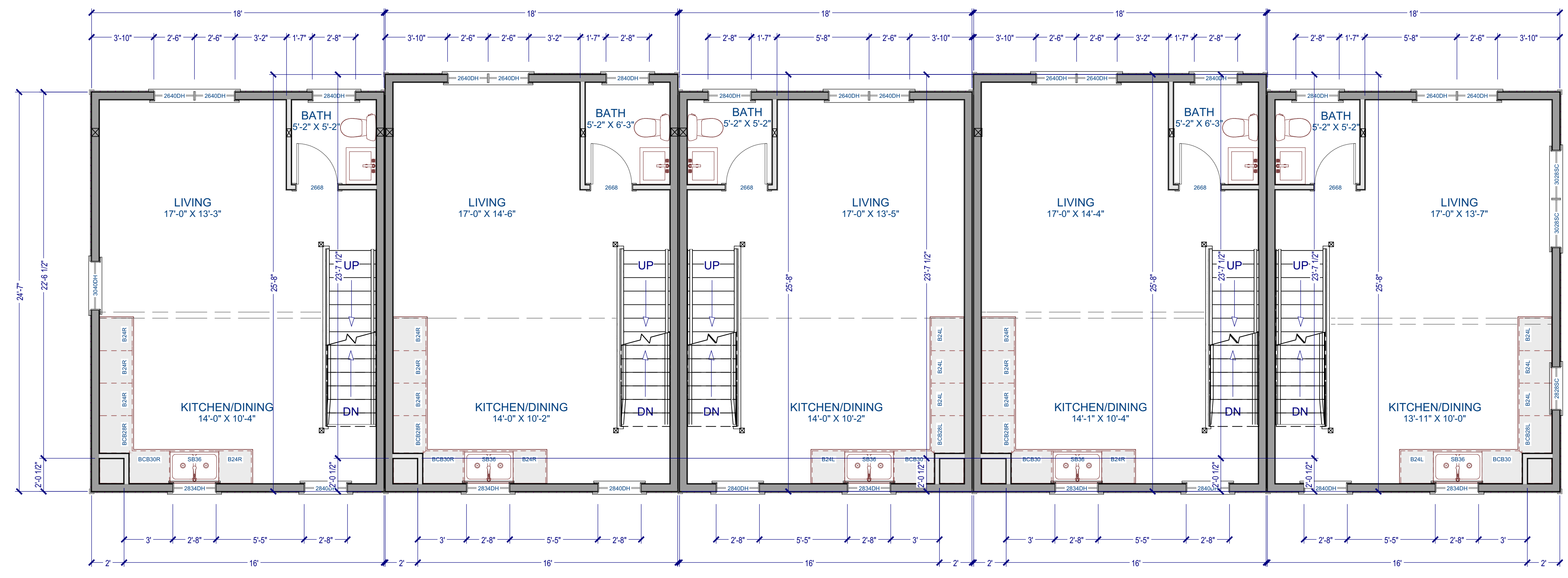
11/15/2023

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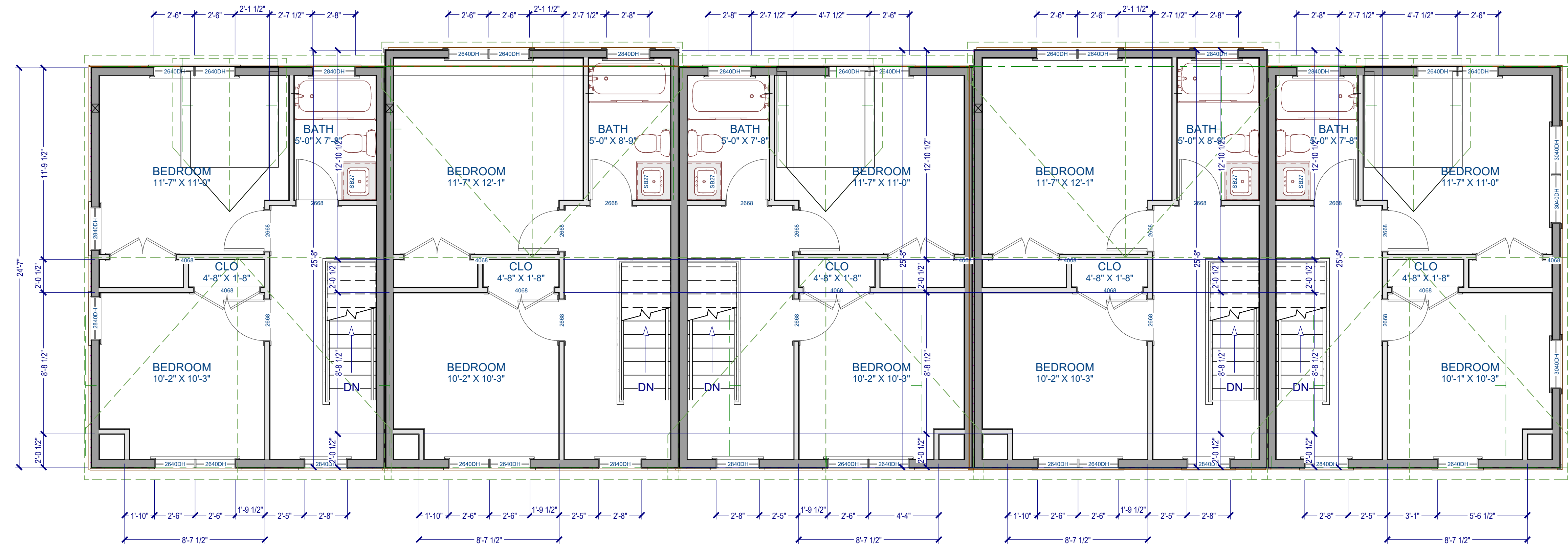
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SHEET:

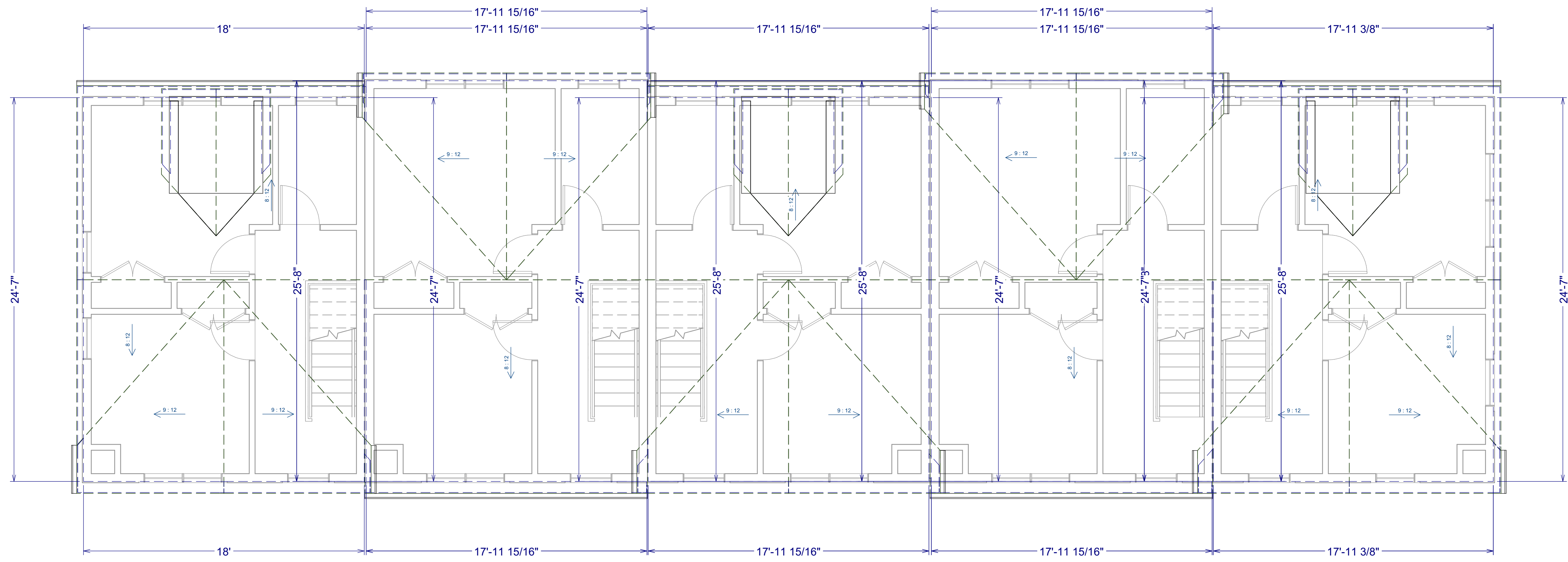
A101



FIRST FLOOR PLAN



SECOND FLOOR PLAN



ATTIC PLAN

NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION

DRAWINGS PROVIDED BY:

DATE:

11/15/2023

SCALE:

1/4"=1'-0"

SHEET:

A102



NUMBER	DATE	REVISION BY	DESCRIPTION

TAYLOR STREET  
BUILDING G  
NEW  
CONSTRUCTION

ELEVATIONS

DRAWINGS PROVIDED BY:

DATE:

11/15/2023

SCALE:

1/4"=1'-0"

SHEET:

A200



FRONT ELEVATION



BACK ELEVATION



NUMBER	DATE	REVISED BY	DESCRIPTION

TAYLOR STREET  
BUILDING G  
NEW  
CONSTRUCTION

ELEVATIONS

DRAWINGS PROVIDED BY:

DATE:

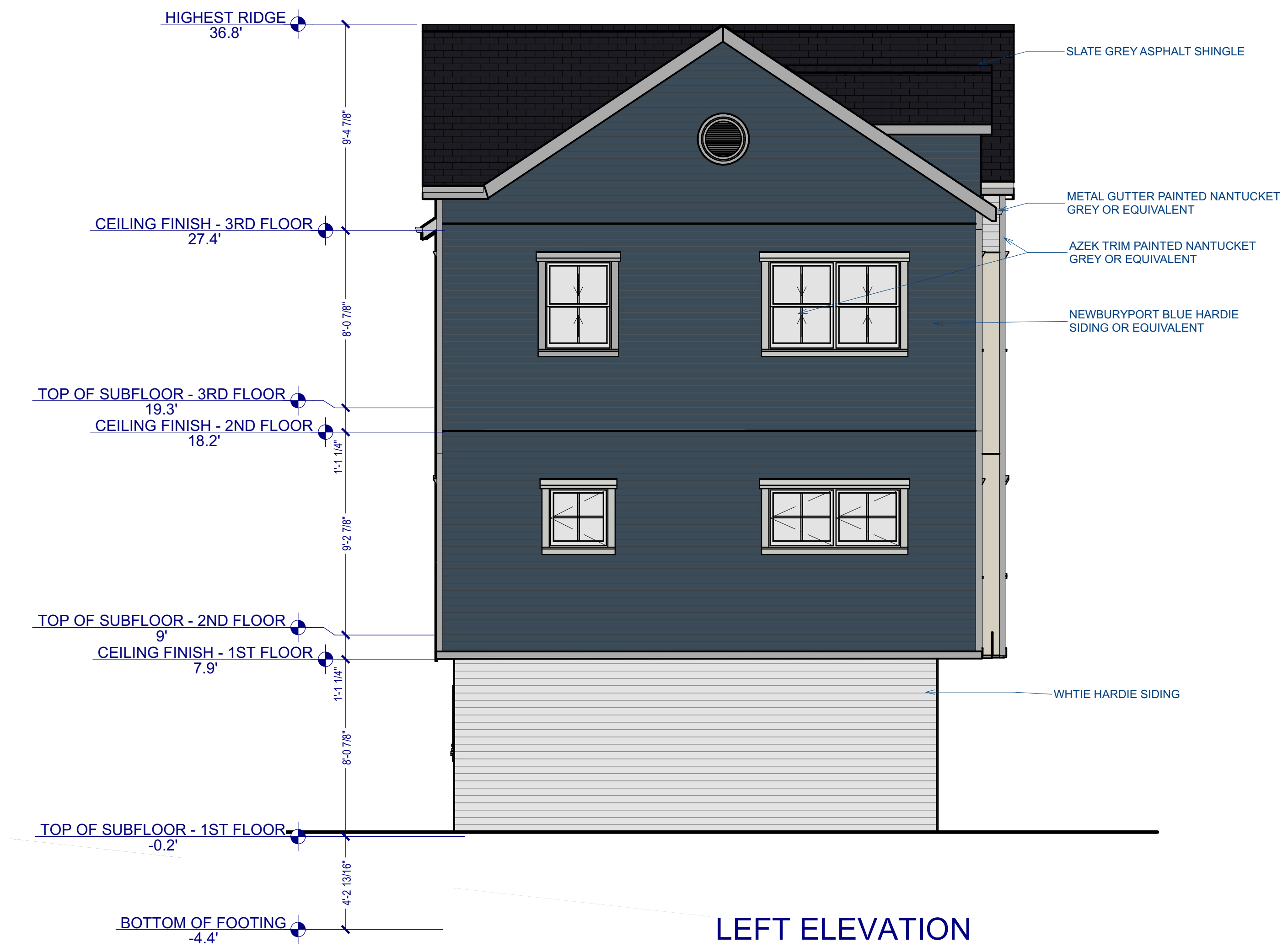
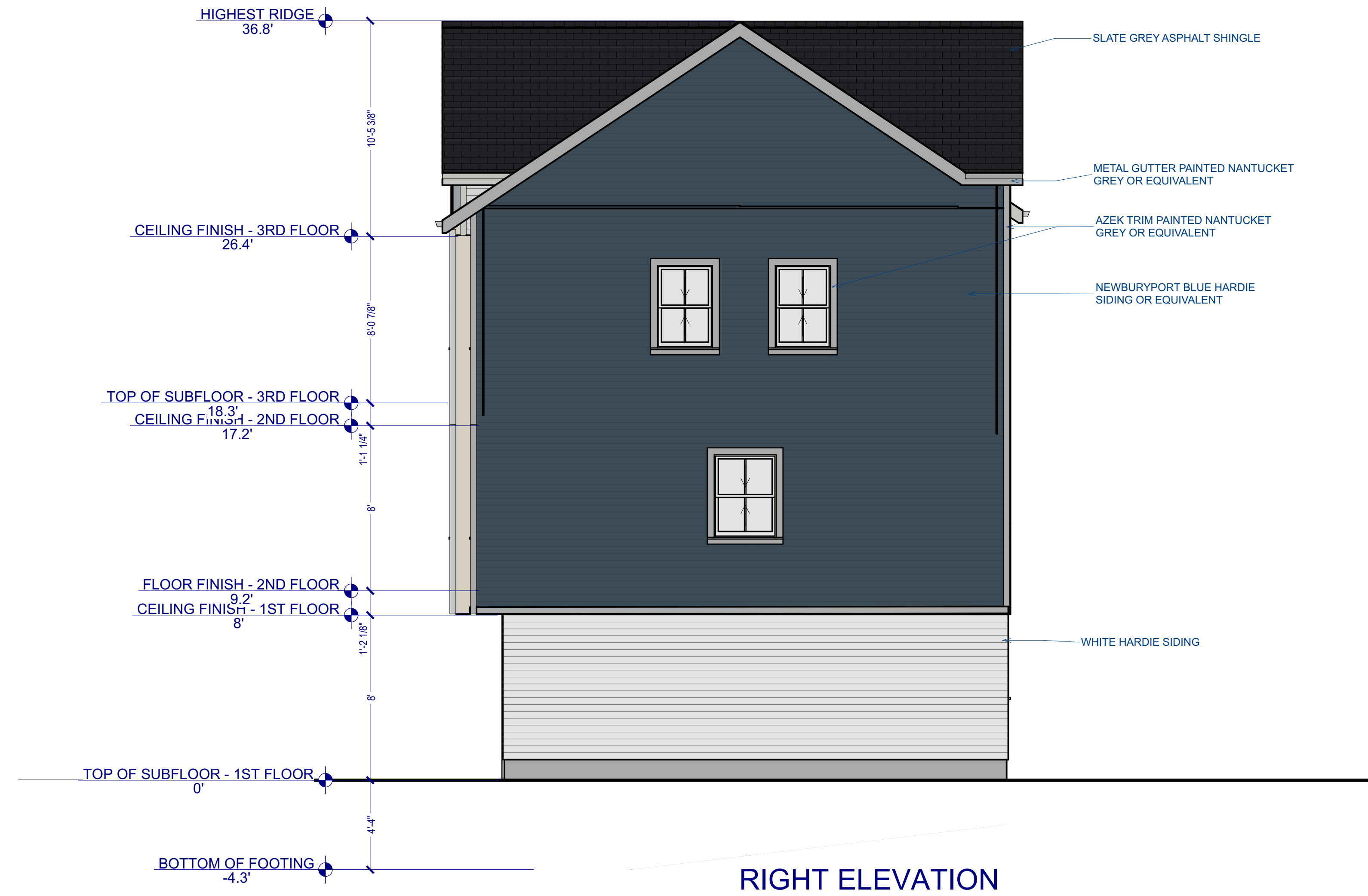
11/15/2023

SCALE:

1/4"=1'-0"

SHEET:

A201





JIA HUA  
ARCHITECT

NUMBER	DATE	REVISION	TABLE	DESCRIPTION

TAYLOR STREET  
BUILDING G  
NEW  
CONSTRUCTION

RENDERING

DRAWINGS PROVIDED BY:

DATE:

11/15/2023

SCALE:

1/4"=1'-0"

SHEET:

A300





JIA HUA  
ARCHITECT

NUMBER	DATE	REVISION	TABLE	DESCRIPTION

TAYLOR STREET  
BUILDING G  
NEW  
CONSTRUCTION

RENDERING

DRAWINGS PROVIDED BY:

DATE:

11/15/2023

SCALE:

1/4"=1'-0"

SHEET:

A301



Jeff Roberto  
 1 Turnage Lane  
 Bethel, CT  
 06801

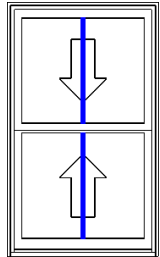
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**SOLD TO :** Vineyard  
**PO# :**  
**Ship Via :** Ground

**QUOTE # :** JW23120086H - Version 0  
**SHIP TO :**  
**PROJECT NAME:** 18 Taylor  
**REFERENCE :**

**U-Factor Weighted Average:** 0.29

**SHGC Weighted Average:** 0.24

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
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Viewed from Exterior. Scale: 1/2" =1'

**Total:** \$933.56

**Total Units:** 1

**AuraLast™** Protect yourself when you choose JELD-WEN AuraLast pine products backed by a limited lifetime warranty against wood rot and termite damage.