

375 Fairfield Avenue

Zoning Board Application #223-43
Site Plan & Special Permit Approval
Zoning Board Hearing
January 8, 2024



Betts Ave

Betts Ave

Betts Ave

Durant St

Durant St

Durant St

Bonner St

Bonner St

Bonner St

Selleck St

Selleck St

Selleck St

Fairfield Ave

Fairfield Ave

Fairfield Ave

Taff Ave

Sunnyside Ave

Sunnyside Ave

Fairfield Ave

Fairfield Ave

Fairfield Ave

Liberty Pl

Liberty Pl

Noble St

Noble St

Noble St

Melrose Pl

Melrose Pl

Melrose Pl

Melrose Pl

Melrose Pl

Melrose Pl

Melrose Pl

Melrose Pl

Melrose Pl

Melrose Pl

Melrose Pl

Melrose Pl

Melrose Pl

Melrose Pl

Amelia Pl

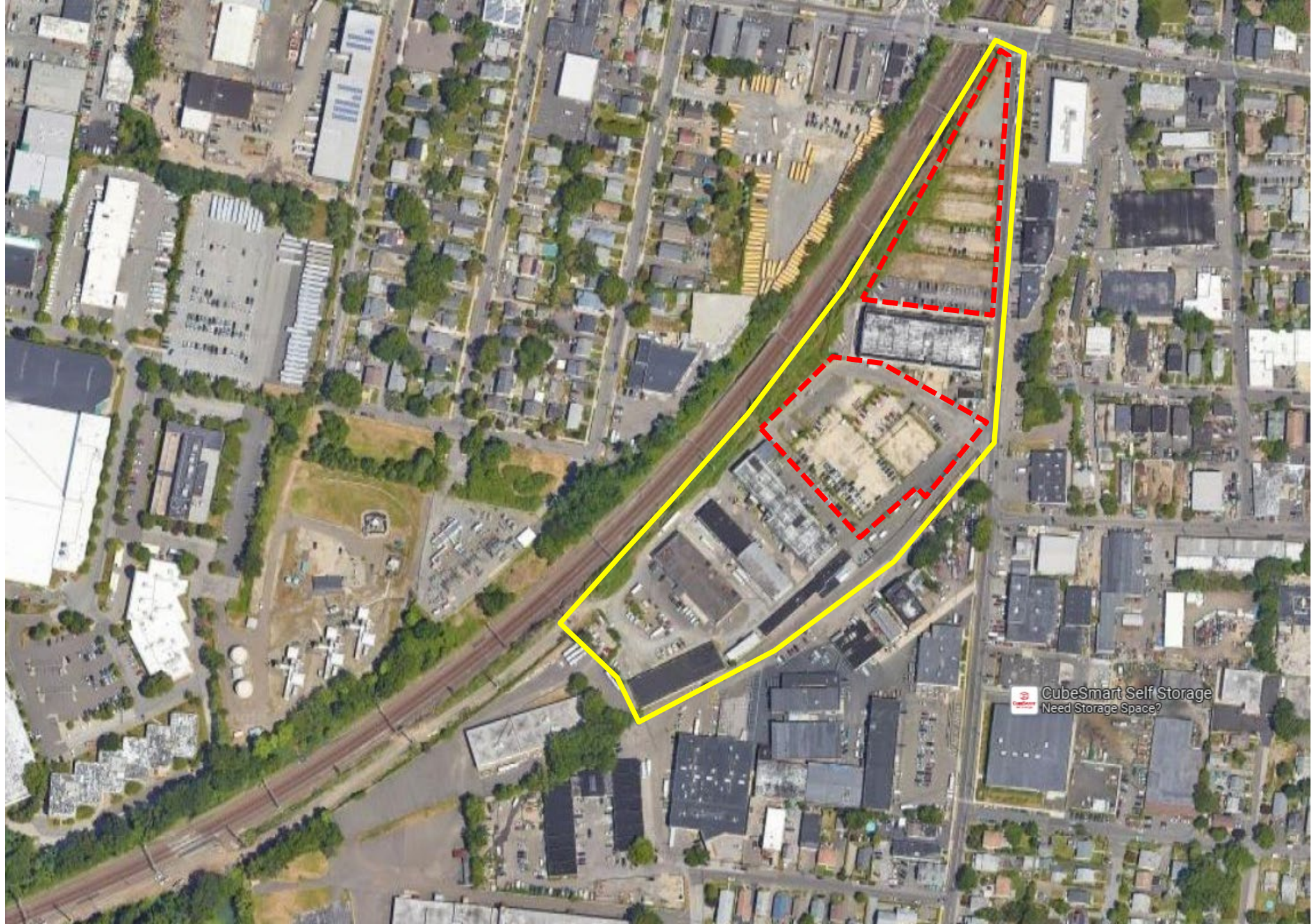
Melrose Pl


Fairfield Ave

Liberty Pl

Noble St

side Pl



 CubeSmart Self Storage
Need Storage Space?



375 Fairfield Ave

SWC Office Furniture Outlet, Inc

Signarama Stamford

Greenwich Living Design

Interlude Home

33Now Mid Century Modern Gallery

Kravet

Gerardo Gonzalez Upholstery

Schwartz Design Showroom

Pasteland





Quality Marble Fabrication Restoration

ADU of Stamford

375 Fairfield Ave

S.W.C. Office Furniture Outlet, Inc

Scalamandre

Greenwich L

Penske Truck Rental

Data SIO, NOAA, U.S. Navy, NGA, GEBCO

Fairfield Ave

Google Earth

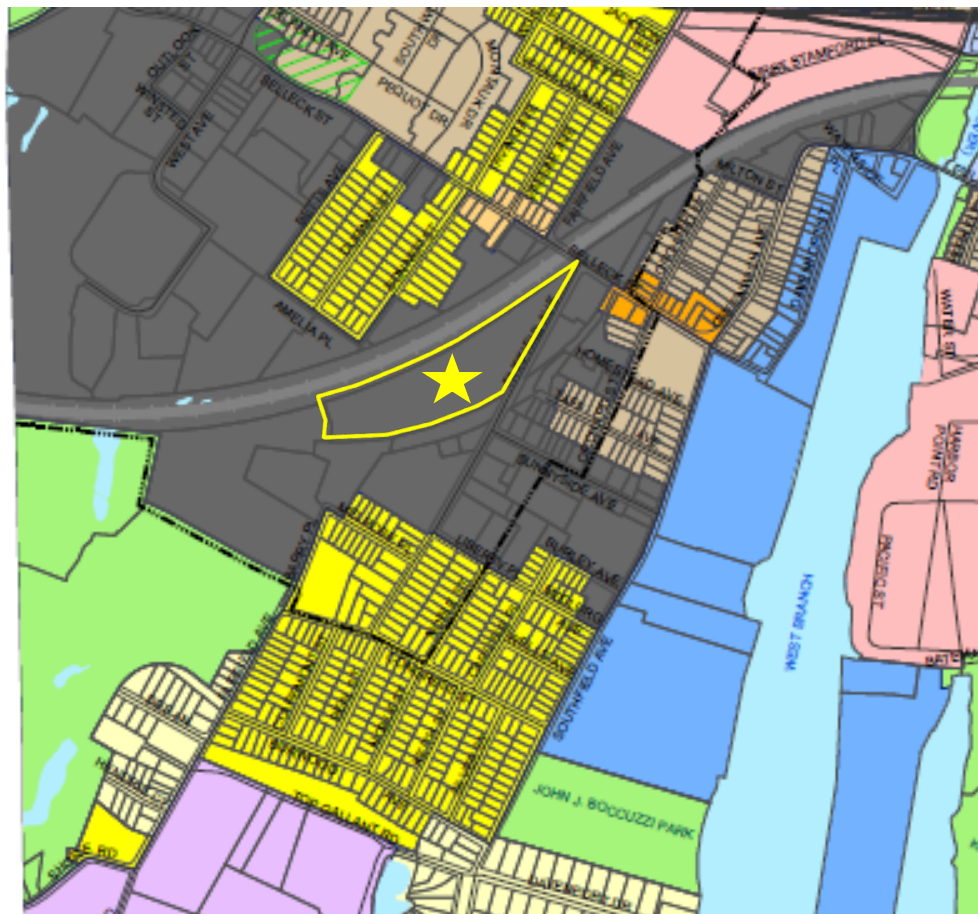




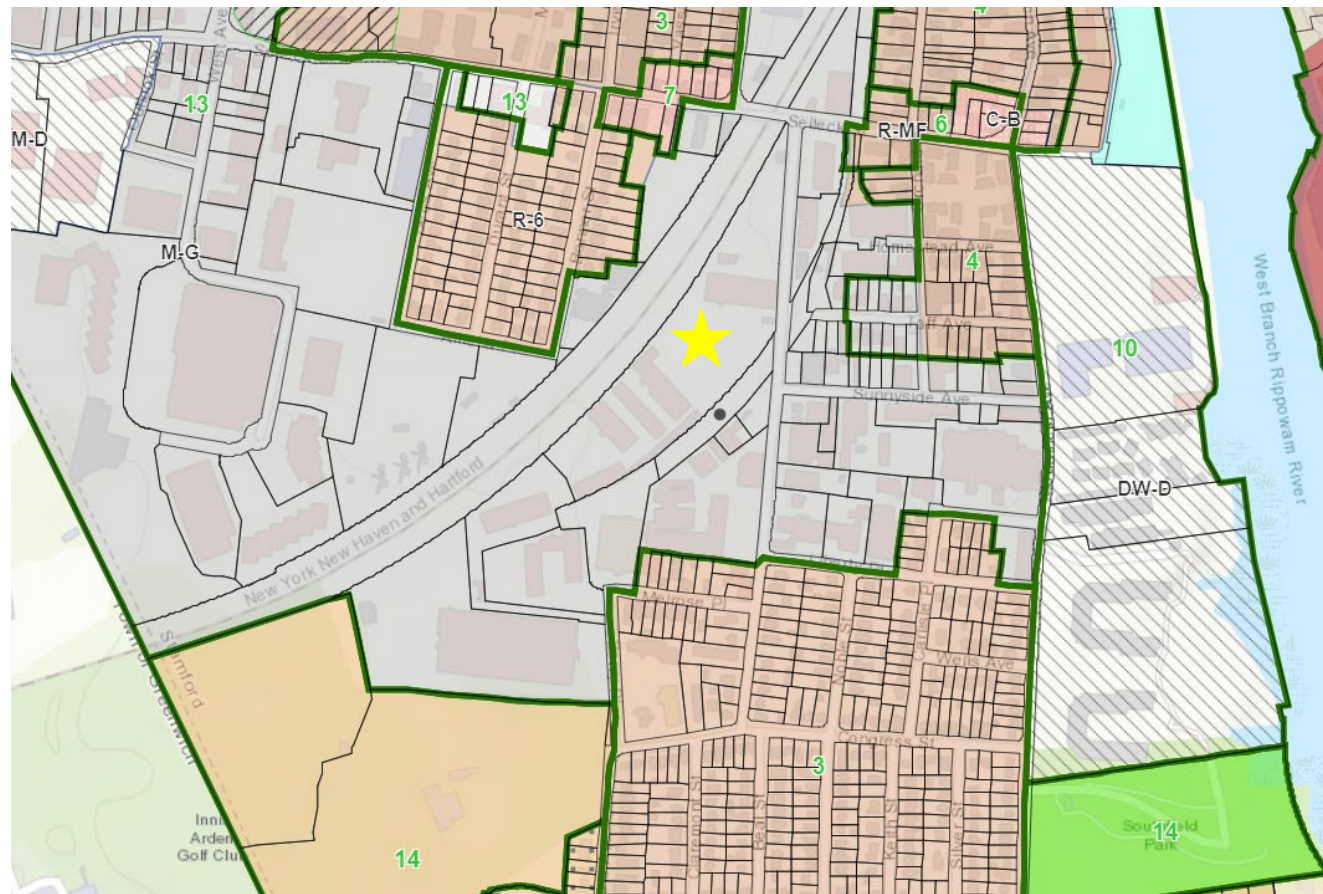
Master Plan Map

Master Plan Categories

-  1 Residential - Very Low Density Single-Family
-  2 Residential - Low Density Single-Family
-  3 Residential - Low Density Multifamily
-  4 Residential - Medium Density Multifamily
-  5 Residential - High Density Multifamily
-  6 Commercial - Neighborhood Business
-  7 Commercial - Arterial
-  8 Mixed Use - Campus
-  9 Urban Mixed-Use
-  10 Shorefront Mixed-Use
-  11 Downtown
-  12 Industrial - Water-Dependent
-  13 Industrial - General
-  14 Open Space - Public Parks
-  15 Open Space/ Conservation Overlay
-  16 Transit-Oriented Development District
-  Coastal Boundary



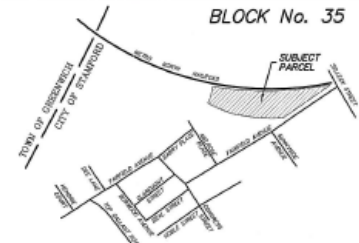
Zoning Map



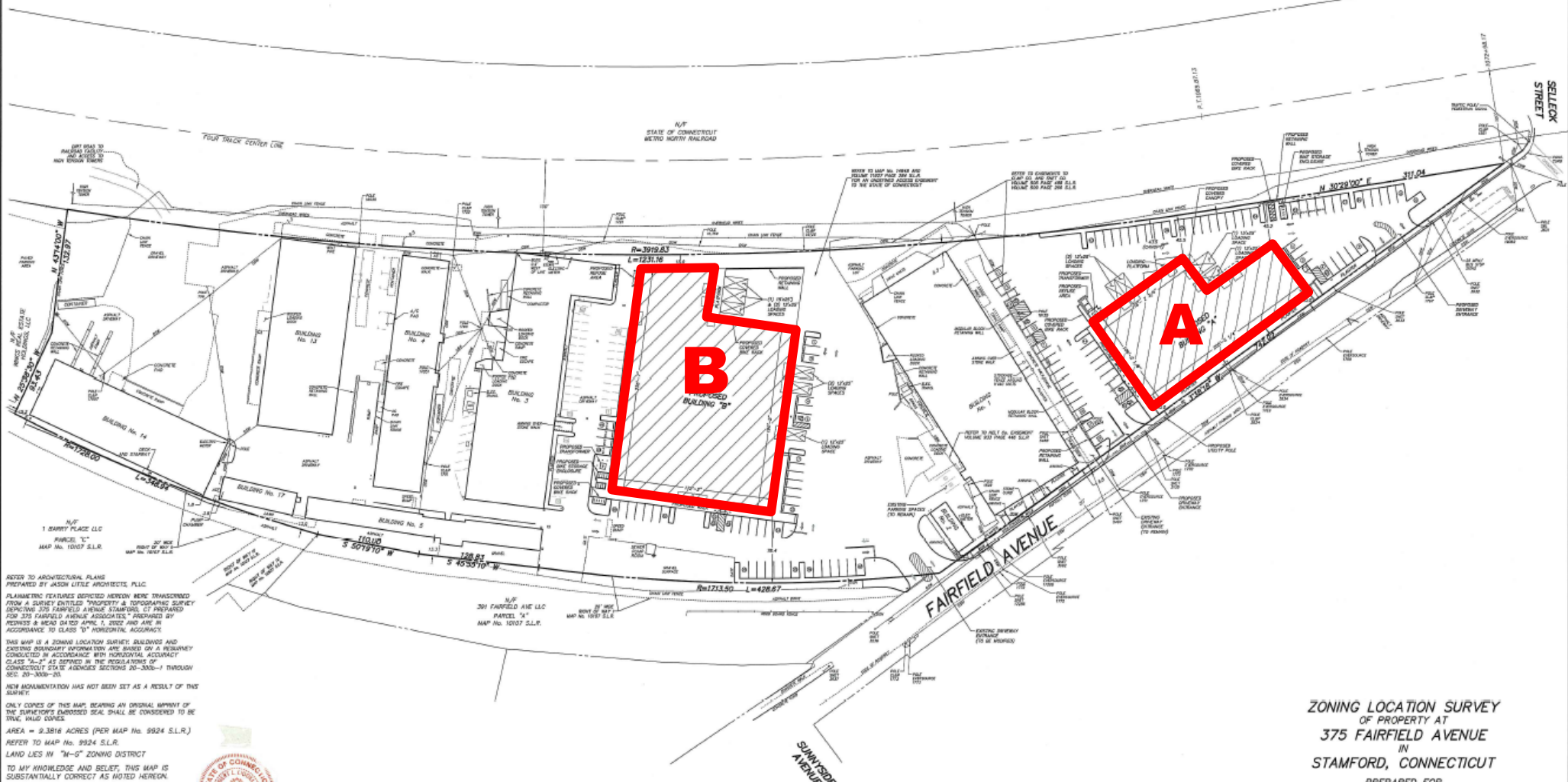
EXISTING BUILDING COVERAGE
 LOT AREA = 9.3825 ACRES
 BUILDING No. 14 = 13,121 S.F.
 BUILDING No. 17 = 1,987 S.F.
 BUILDING No. 13 = 16,154 S.F.
 BUILDING No. 4 = 12,594 S.F.
 BUILDING No. 5 = 5,779 S.F.
 BUILDING No. 3 = 22,035 S.F.
 BUILDING No. 2 = 1,048 S.F.
 BUILDING No. 1 = 28,203 S.F.
 PUMP ROOM = 109 S.F.
 TOTAL = 101,011 S.F.
 PERCENT COVERAGE = 24.7%

PROPOSED BUILDING COVERAGE
 LOT AREA = 9.3825 ACRES
 BUILDING No. 14 = 13,121 S.F.
 BUILDING No. 17 = 1,987 S.F.
 BUILDING No. 13 = 16,154 S.F.
 BUILDING No. 4 = 12,594 S.F.
 BUILDING No. 5 = 5,779 S.F.
 BUILDING No. 3 = 22,035 S.F.
 BUILDING No. 2 = 1,048 S.F.
 BUILDING No. 1 = 28,203 S.F.
 PUMP ROOM = 109 S.F.
 PR. BLDG. "A" = 18,189 S.F.
 PR. BLDG. "B" = 37,116 S.F.
 TOTAL = 156,524 S.F.
 PERCENT COVERAGE = 38.3%

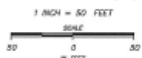
BLOCK No. 35



LOCATION MAP - 1" = 800'



REFER TO ARCHITECTURAL PLANS PREPARED BY JASON LITTLE ARCHITECTS, PLLC.
 PLANNING FEATURES SPECIFIED HEREON WERE TRANSCRIBED FROM A SURVEY ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY (ADJACENT 375 FAIRFIELD AVENUE STAMFORD, CT) PREPARED FOR 375 FAIRFIELD AVENUE ASSOCIATES" PROVIDED BY REYNOLDS & BROAD DATED APRIL 3, 2022 AND ARE IN ACCORDANCE TO CLASS "D" HORIZONTAL ACCURACY.
 THIS MAP IS A ZONING LOCATION SURVEY. BUILDINGS AND EXISTING BOUNDARY INFORMATION ARE BASED ON A SURVEY CONDUCTED IN ACCORDANCE WITH HORIZONTAL ACCURACY CLASS "A-2" AS SET FORTH IN THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300a-1 THROUGH 20-300a-30.
 NEW ACQUISITION HAS NOT BEEN SET AS A RESULT OF THIS SURVEY.
 ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE SURVEYOR'S ENGRAVED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.
 AREA = 9.3816 ACRES (PER MAP No. 9924 S.L.R.)
 REFER TO MAP No. 9924 S.L.R.
 LAND LIES IN "M-5" ZONING DISTRICT
 TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
D'ANDREA SURVEYING & ENGINEERING, P.C.
 SURVEYOR
 ROBERT J. LOGAN, JR., CT LS No. 15778
 RIVERSIDE, CONNECTICUT
 OCTOBER 4, 2023



ZONING LOCATION SURVEY
 OF PROPERTY AT
 375 FAIRFIELD AVENUE
 IN
 STAMFORD, CONNECTICUT
 PREPARED FOR
375 FAIRFIELD AVENUE ASSOCIATES







**BUILDING A
MATERIAL SELECTIONS**

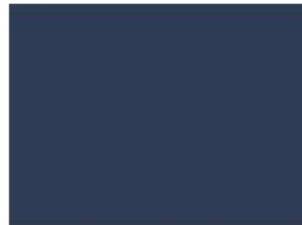
PRECAST CONCRETE PANEL
COLOR: 113: BUFF TAN SANDBLASTED



METAL PANEL
COLOR: DARK GREY



METAL TRIM, DOORS AND ACCENTS
BLUE



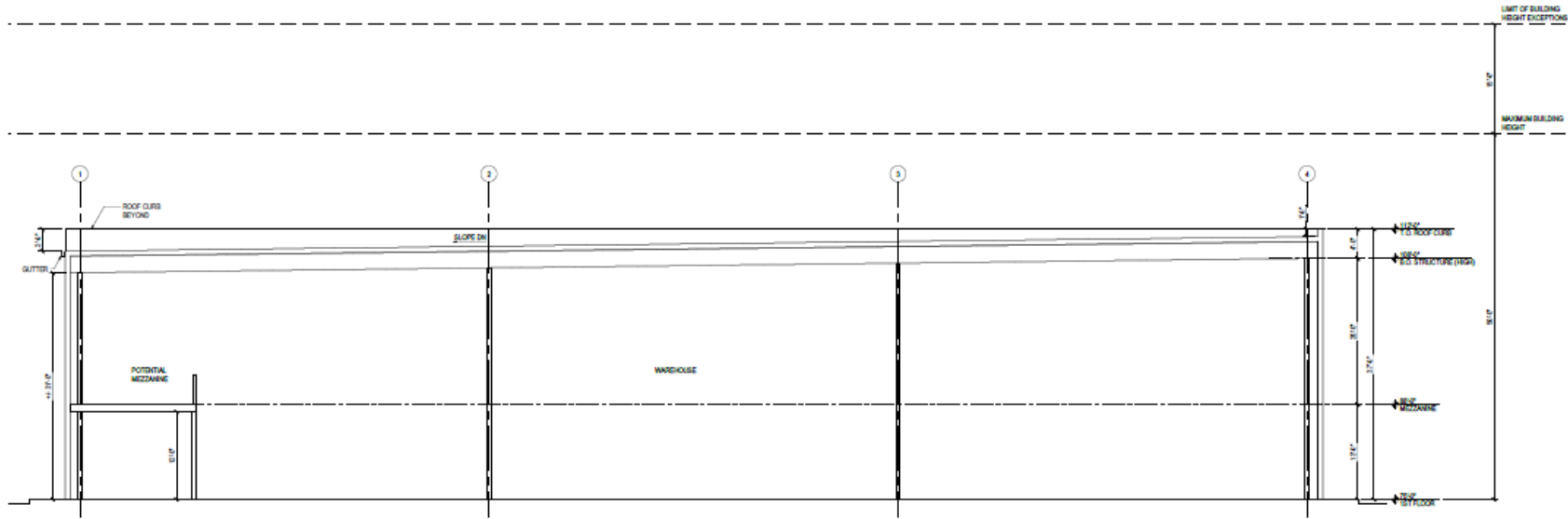
INSULATED METAL PANEL
METL-SPAN CF MESA (REGAL GRAY)



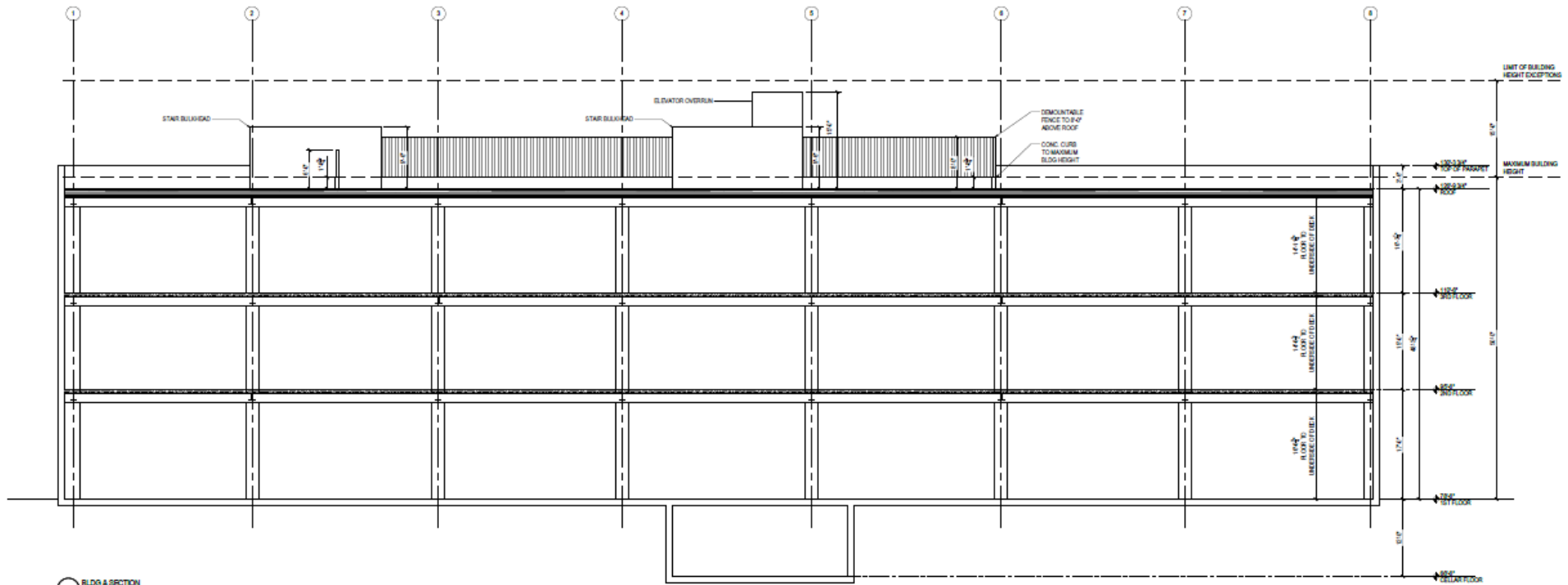
INSULATED METAL PANEL
METL-SPAN CF MESA (SLATE GRAY)



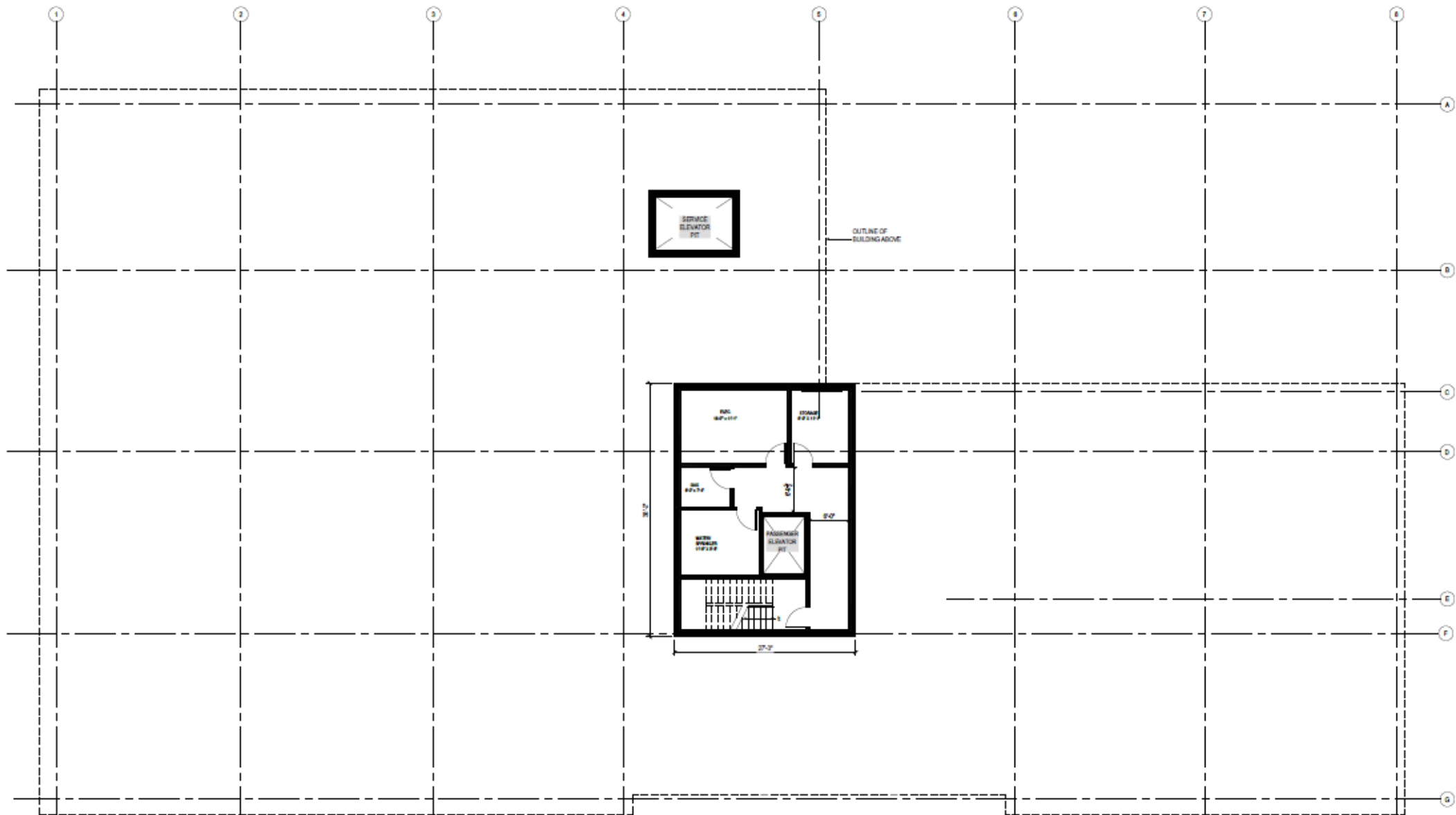
**BUILDING B
MATERIAL SELECTIONS**

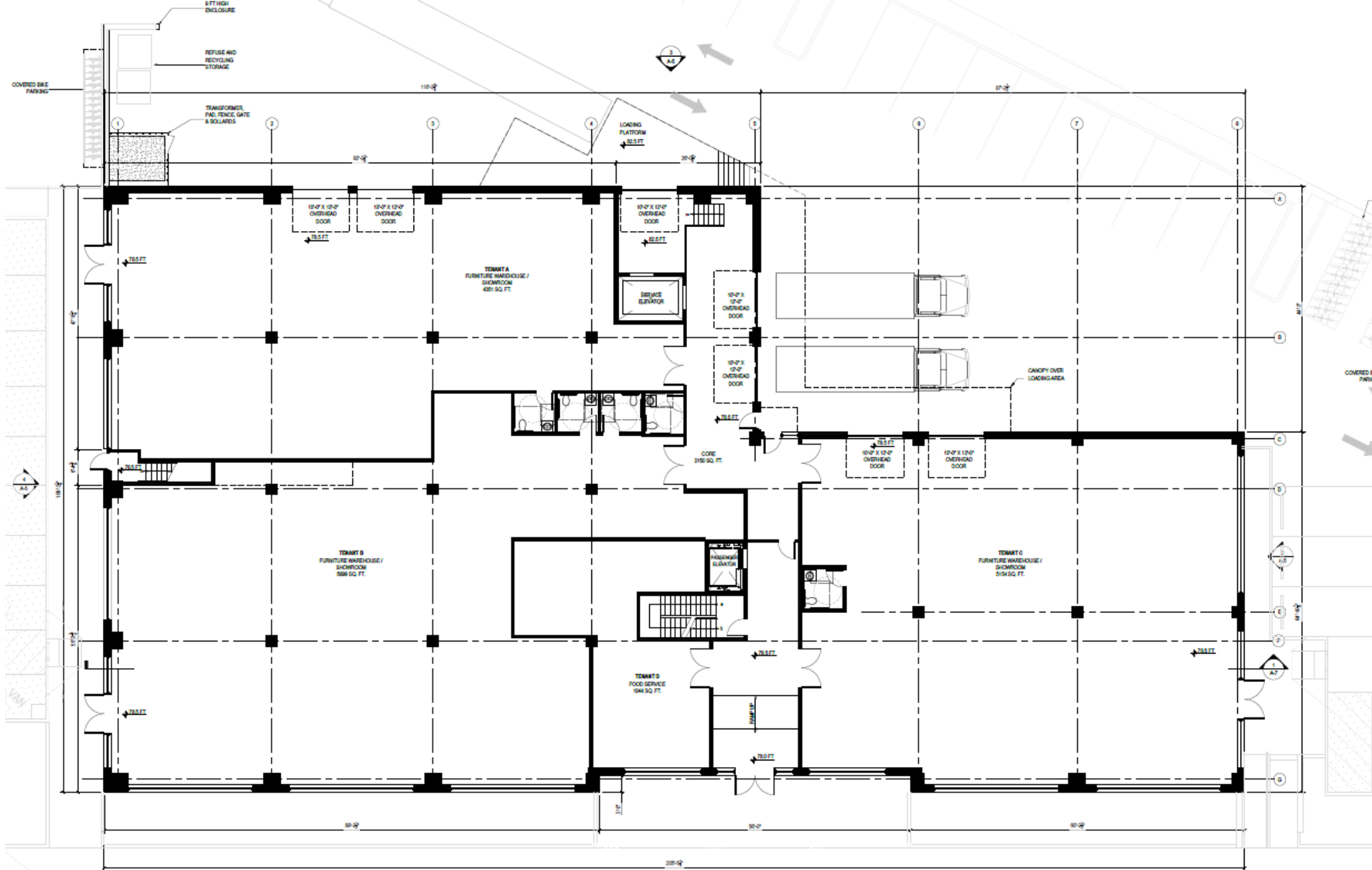


2 BLDG B SECTION
10'-0" = 1"



1 BLDG A SECTION
10'-0" = 1"





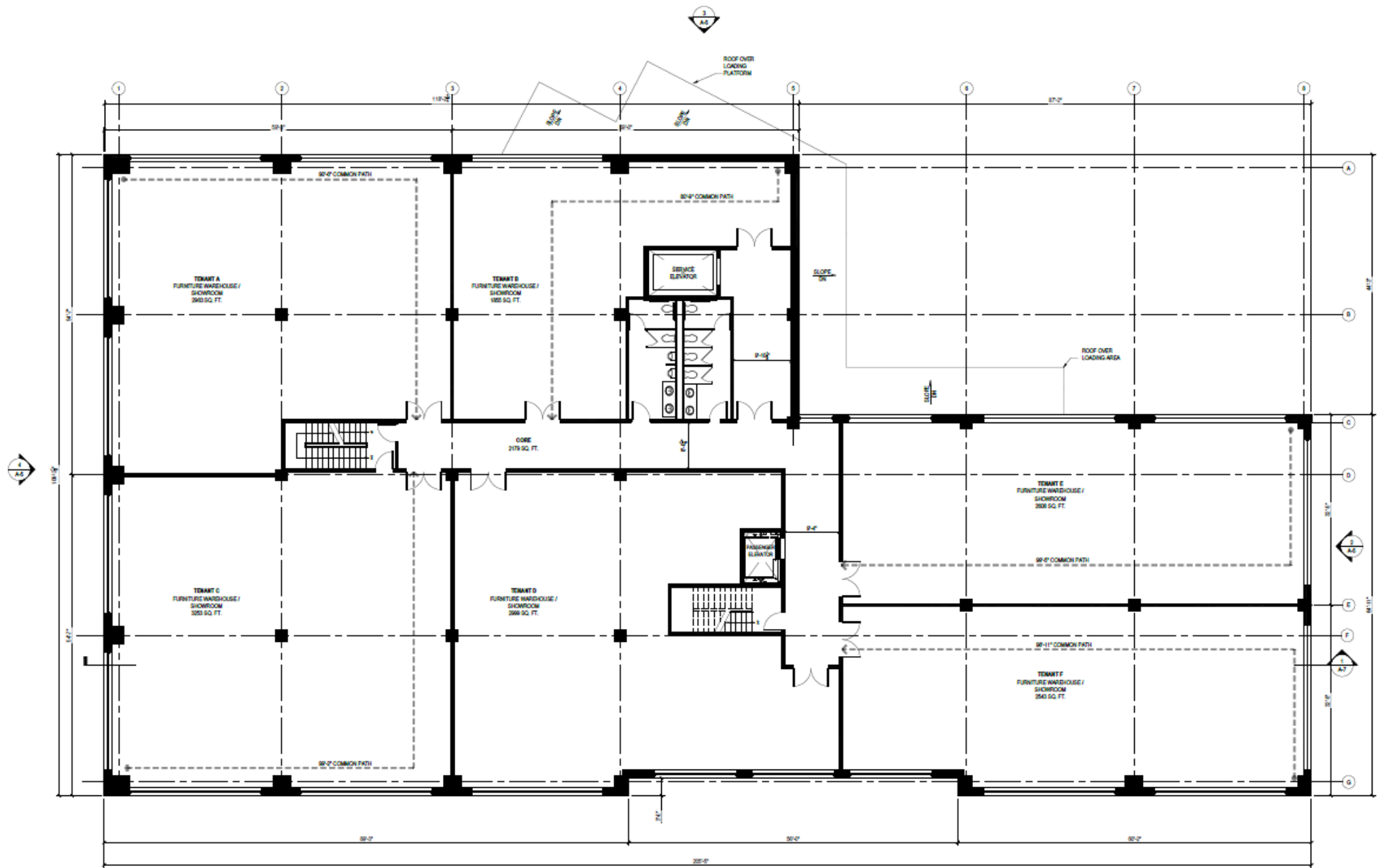
1 1ST FLOOR PLAN



FAIRFIELD AVE



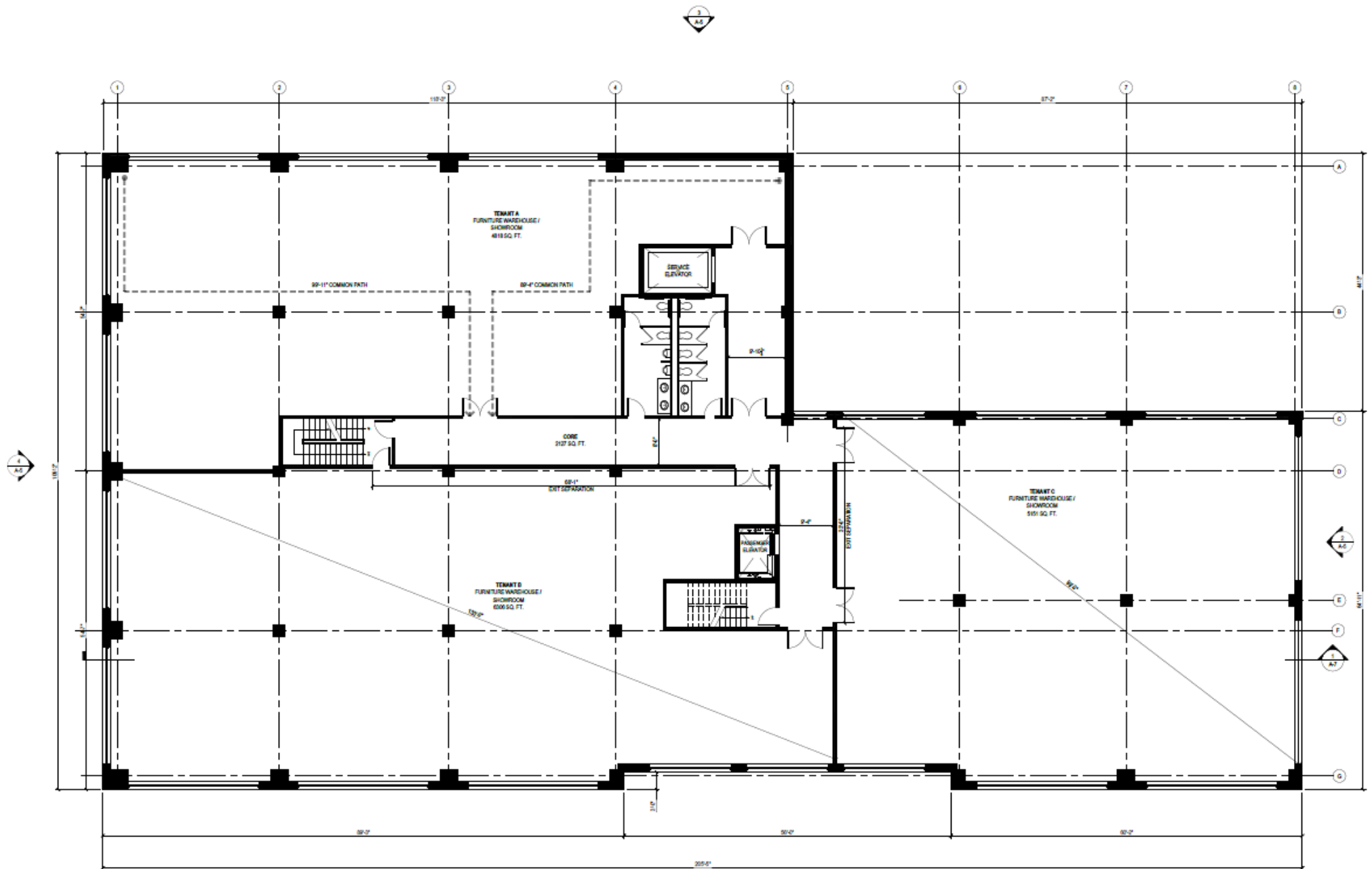
TOTAL GROSS FLOOR AREA:	1846 SQ. FT.
WAREHOUSE:	1736 SQ. FT.
FOOD SERVICE:	104 SQ. FT.



1 2ND FLOOR PLAN
10'-0" = 1"

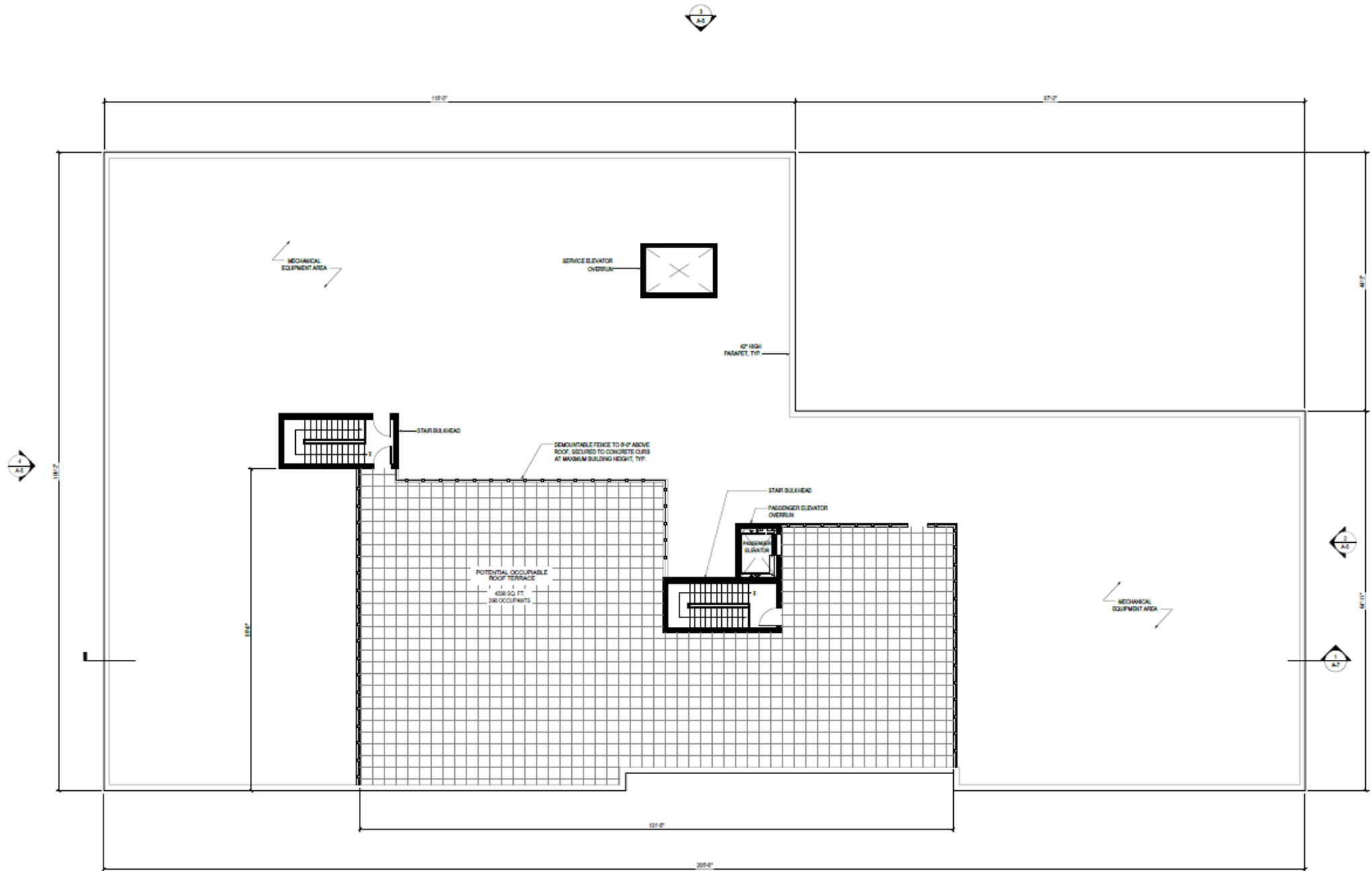


TOTAL GROSS FLOOR AREA: 1848 SQ. FT.
WAREHOUSE: 1848 SQ. FT.



1 3RD FLOOR PLAN
8/17/12

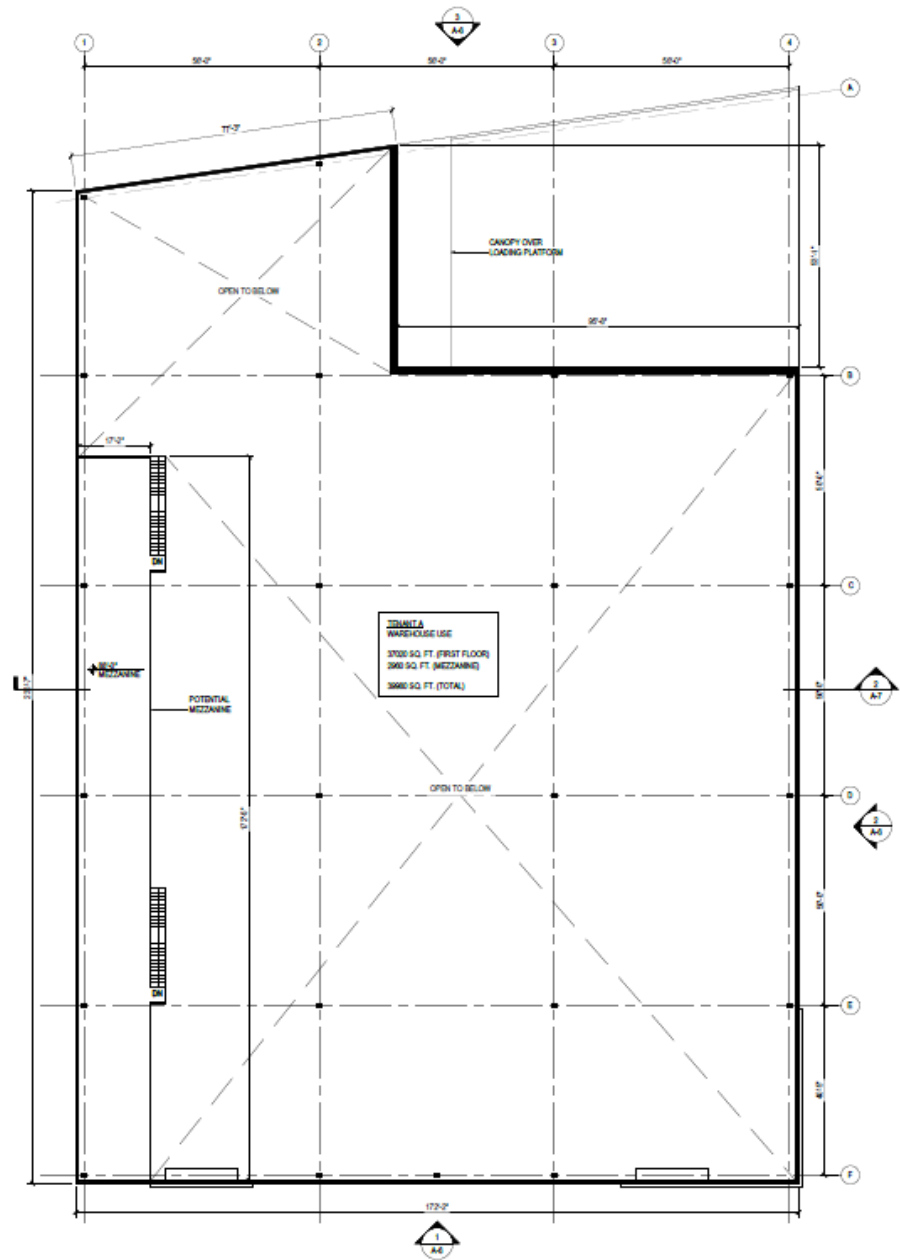
TOTAL GROSS FLOOR AREA: 1846 SQ. FT.
WAREHOUSE: 1846 SQ. FT.



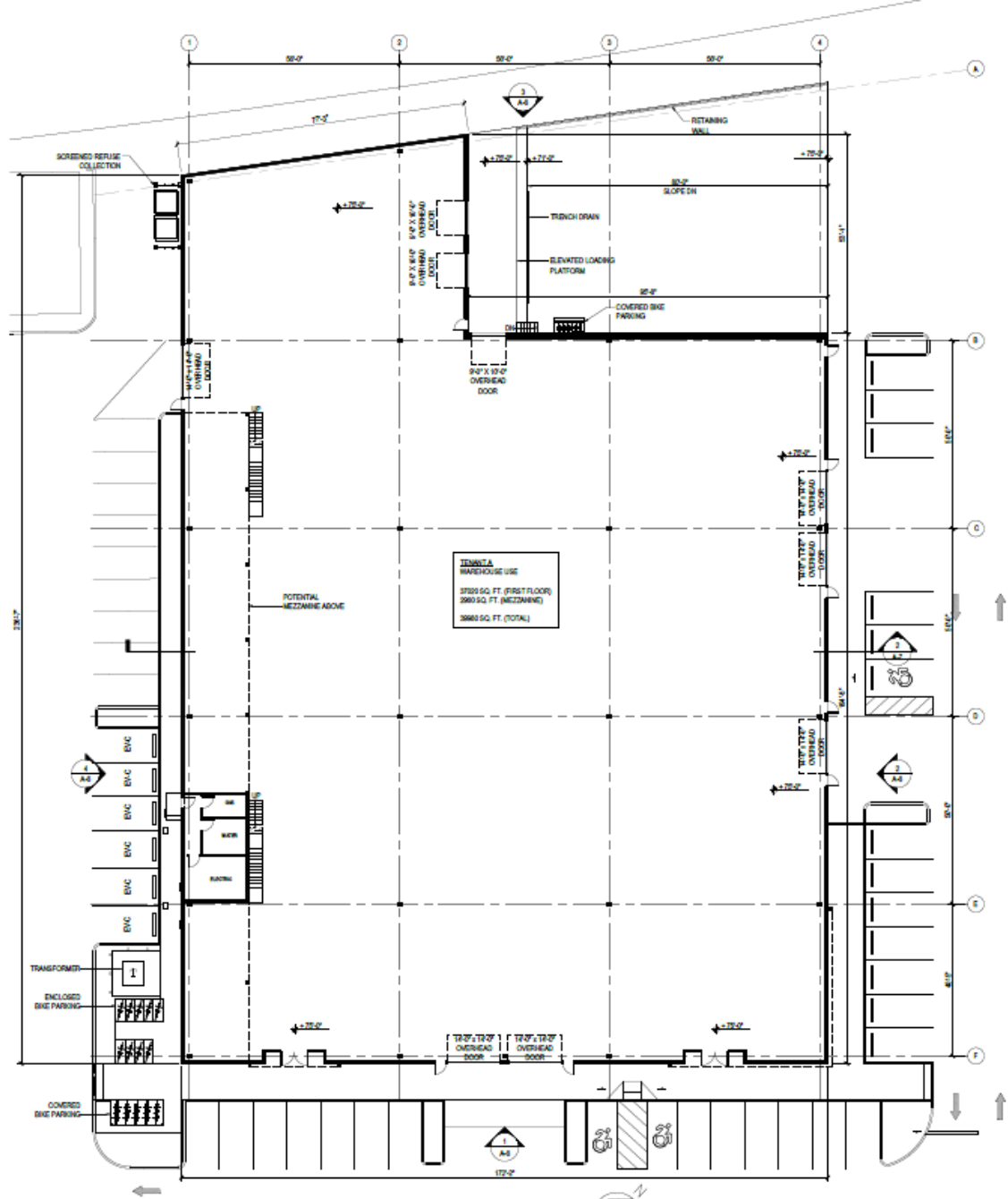
1 ROOF PLAN
1/8" = 1'-0"



TOTAL GROSS FLOOR AREA: 4780 SQ. FT.

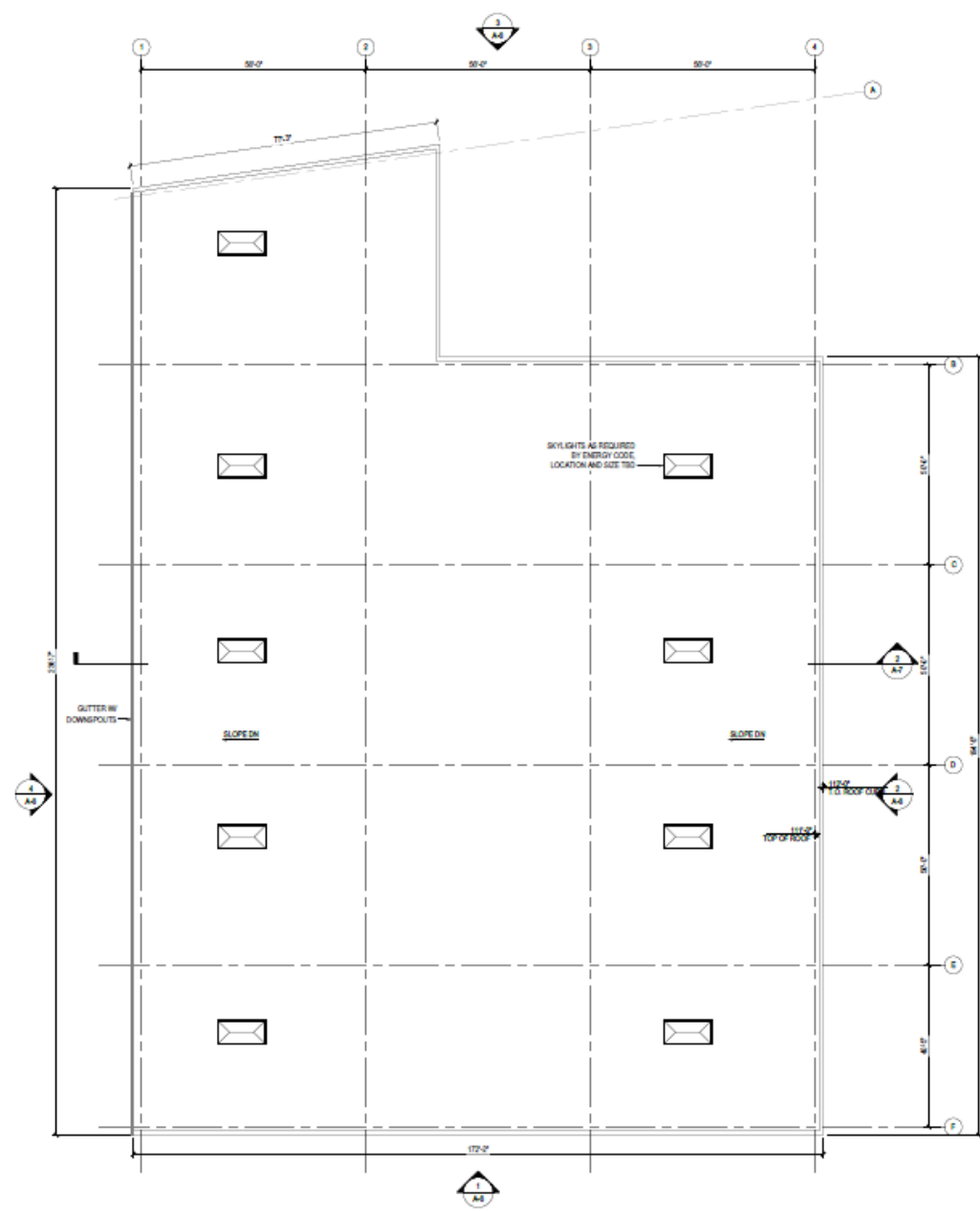


2 BLDG B MEZZANINE
10/1/12



1 BLDG B 1ST FLOOR PLAN
10/1/12

TOTAL GROSS FLOOR AREA: 3700 SQ. FT.
WAREHOUSE: 3700 SQ. FT.



1 BLDG B ROOF PLAN
1/11/19



4 WEST ELEVATION
00'-11"



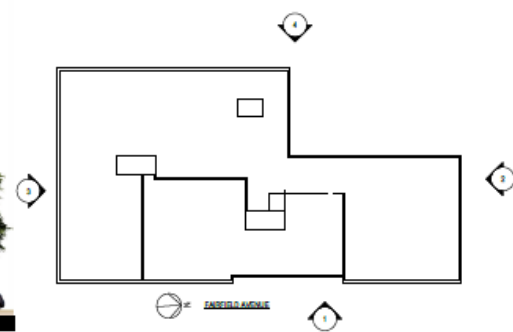
2 NORTH ELEVATION
00'-11"



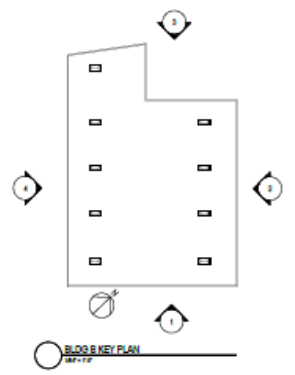
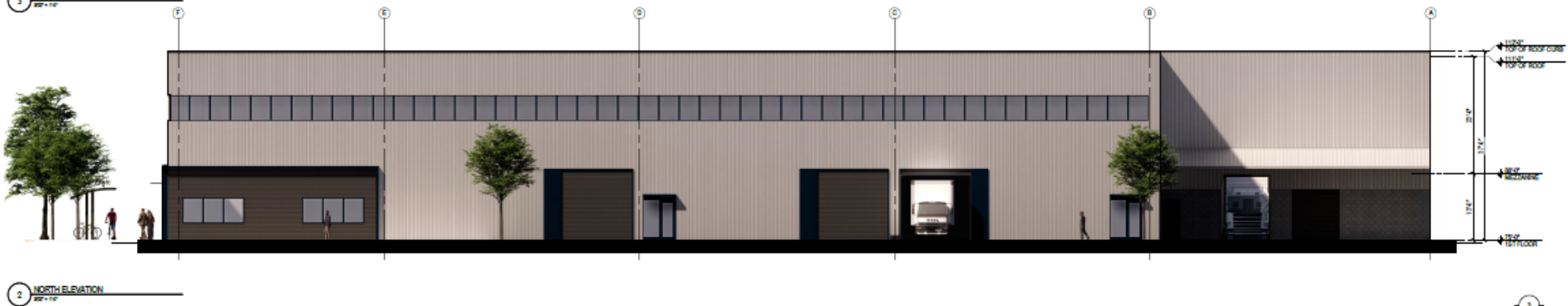
3 SOUTH ELEVATION
00'-11"



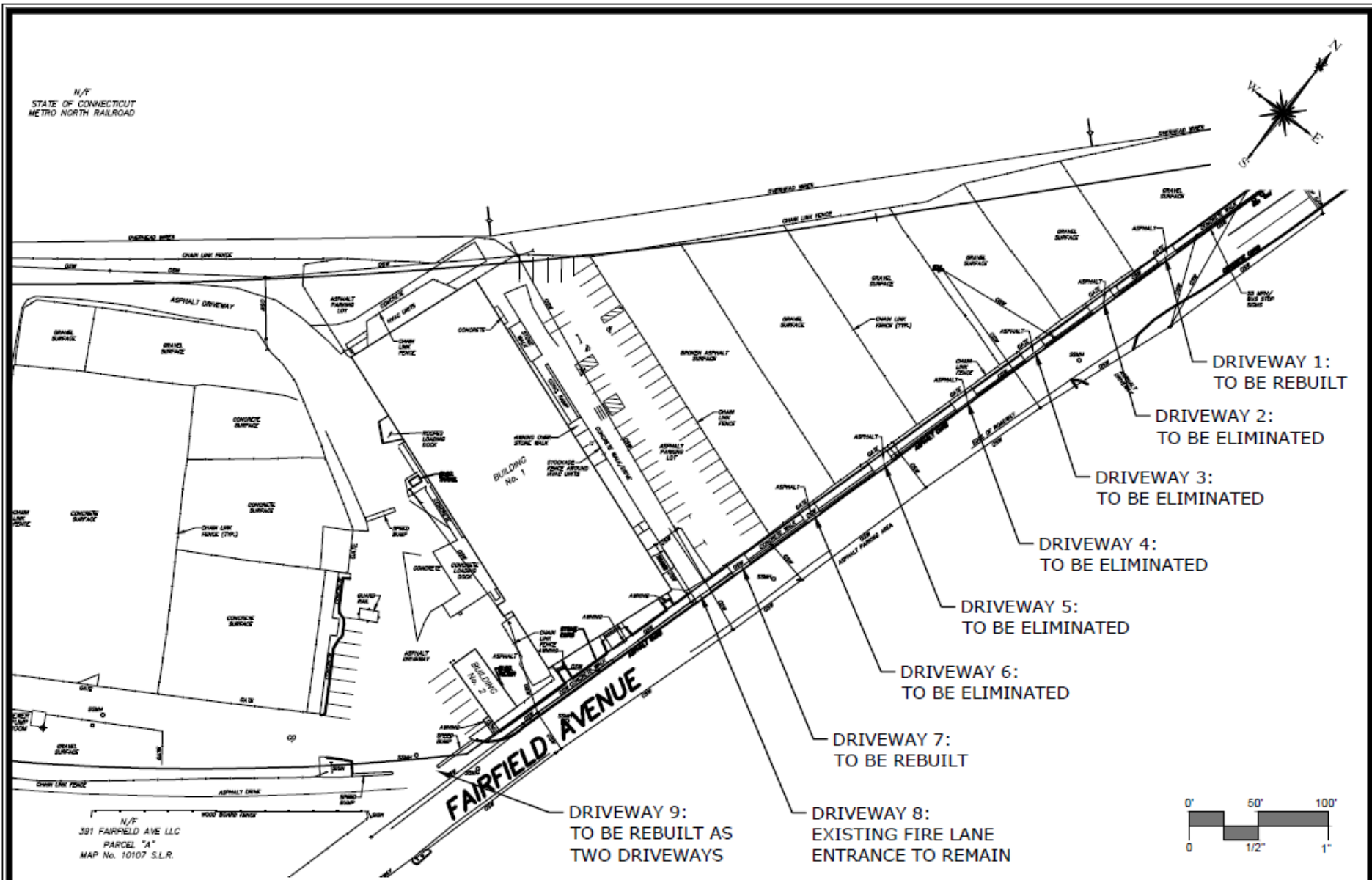
1 EAST ELEVATION
00'-11"



BLDG A KEY PLAN
00'-11"



Drawing: W:\CAD\DESIGN\21576.00001-02\CAD\EXISTING DRIVEWAYS_2024-01-05 SURVEYING Layout 18-01.dwg
 Plotted by: KGDHBBE On this date: Fri, 2024 January 5 11:26am



N/F
STATE OF CONNECTICUT
METRO NORTH RAILROAD

N/F
391 FAIRFIELD AVE LLC
PARCEL "A"
MAP No. 10107 S.L.R.



DATE	JANUARY 2024
SCALE	1"=30'
PROJ. NO.	21576.00001
DESIGNED	KPG
DRAWN	KPG
CHECKED	NCO

EXISTING SITE DRIVEWAYS
SWC OFFICE FURNITURE OUTLET, INC.
 375 FAIRFIELD AVENUE
 STAMFORD, CONNECTICUT

DRAWING NAME:
FIG. 1A

CHANGE: C:\AUTOSWES\APRIL18_10760\EXISTING DRIVEWAYS_2024-01-05 SURVEYING Layout TAB\DRIVEWAYS

Plotted by: KOLTHRIE On this date: Fri, 2024 January 5 - 1:27pm



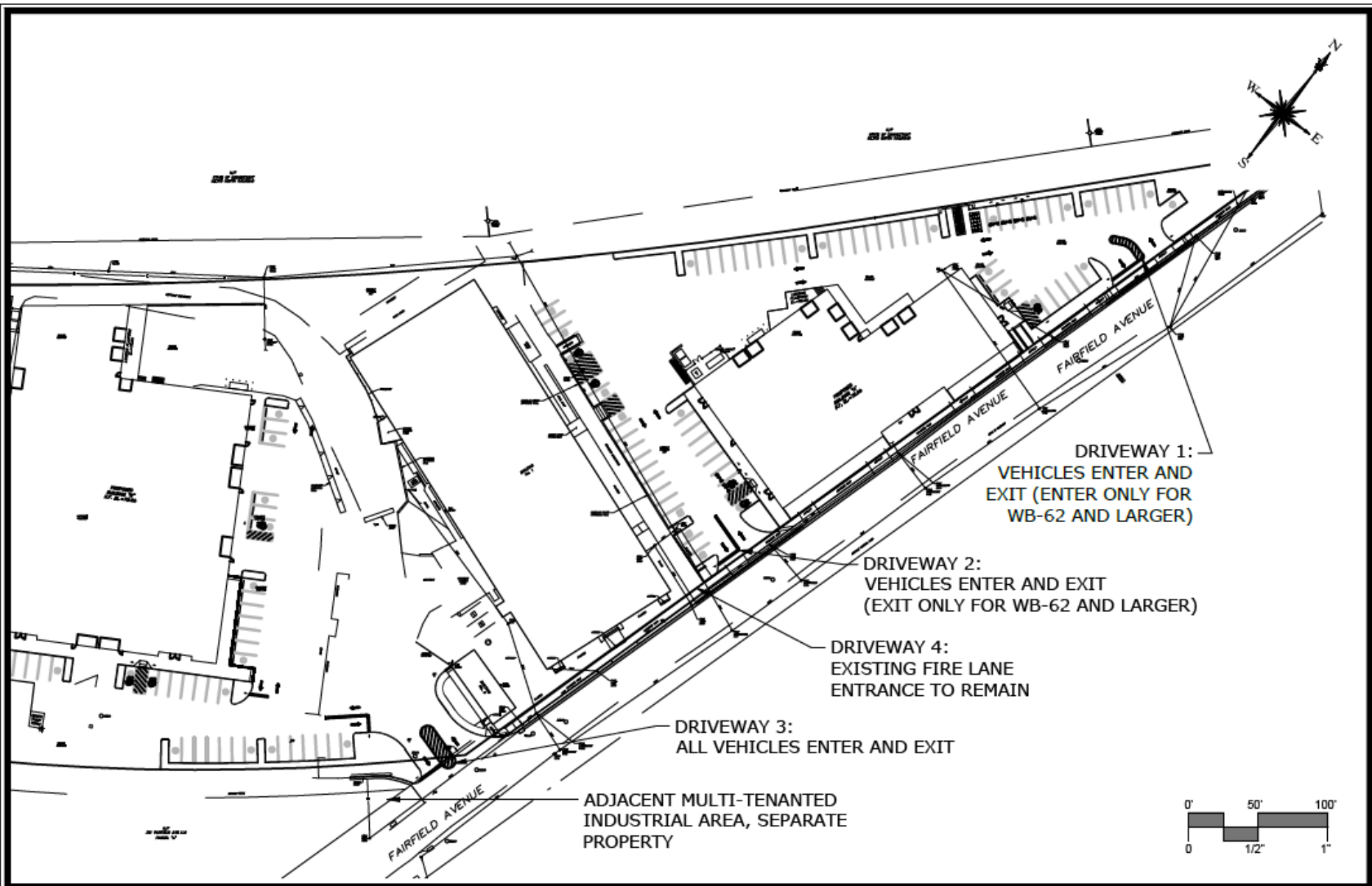
SLR

195 CHURCH STREET, 7TH FLOOR
 NEW HAVEN, CT 06510
 203.344.7887
 SLRCONSULTING.COM

DATE	JANUARY 2024
SCALE	1"=30'
PROJ. NO.	21576.00001
DESIGNED	KPG
DRAWN	KPG
CHECKED	NCO

EXISTING SITE DRIVEWAYS
SWC OFFICE FURNITURE OUTLET, INC.
 375 FAIRFIELD AVENUE
 STAMFORD, CONNECTICUT

DRAWING NAME:
FIG. 1A




195 CHURCH STREET, 7TH FLOOR
 NEW HAVEN, CT 06510
 203.344.7887
 SLRCONSULTING.COM



DATE	DECEMBER 2023
SCALE	1"=30'
PROJ. NO.	21576.00001
DESIGNED	KPG
DRAWN	KPG
CHECKED	NCO

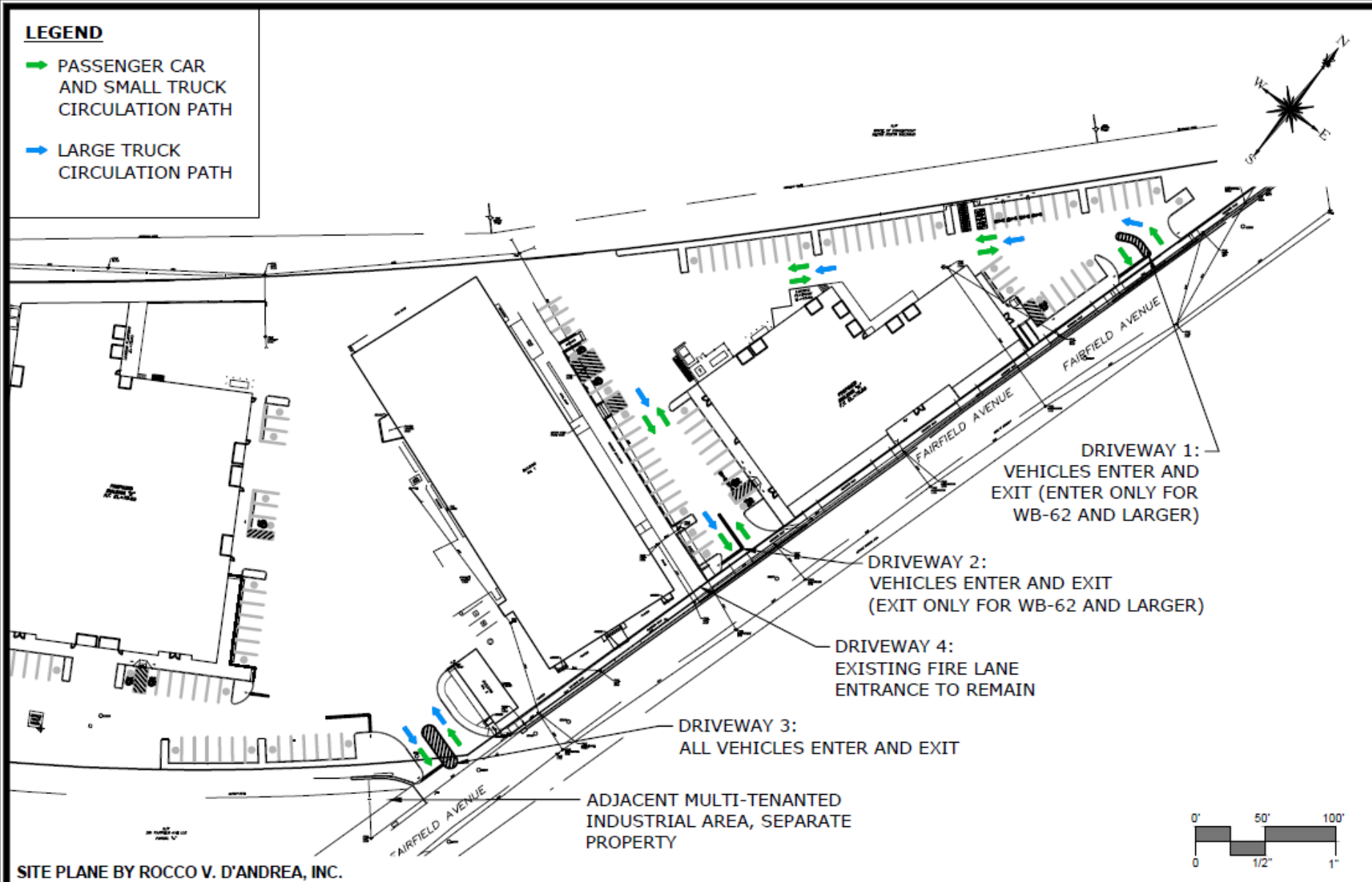
PROPOSED SITE DRIVEWAYS
SWC OFFICE FURNITURE OUTLET, INC.
 375 FAIRFIELD AVENUE
 STAMFORD, CONNECTICUT

DRAWING NAME:
FIG. 1

DRAWING: W:\CAD\DESIGN\21576.00001-01\CAD\PROPOSED DRIVEWAYS_2023-12-19 SITE PLANNING Layout 18.dwg
 Plotted by: KQUINNE On this date: Mon, 2024 January 8 - 3:13pm

LEGEND

 PASSENGER CAR AND SMALL TRUCK CIRCULATION PATH
 LARGE TRUCK CIRCULATION PATH



SITE PLANE BY ROCCO V. D'ANDREA, INC.



DATE	DECEMBER 2023
SCALE	1"=30'
PROJ. NO.	21576.00001
DESIGNED	KPG
DRAWN	KPG
CHECKED	NCO

PROPOSED SITE DRIVEWAYS AND TRAFFIC CIRCULATION
SWC OFFICE FURNITURE OUTLET, INC.
 375 FAIRFIELD AVENUE
 STAMFORD, CONNECTICUT

DRAWING NAME:

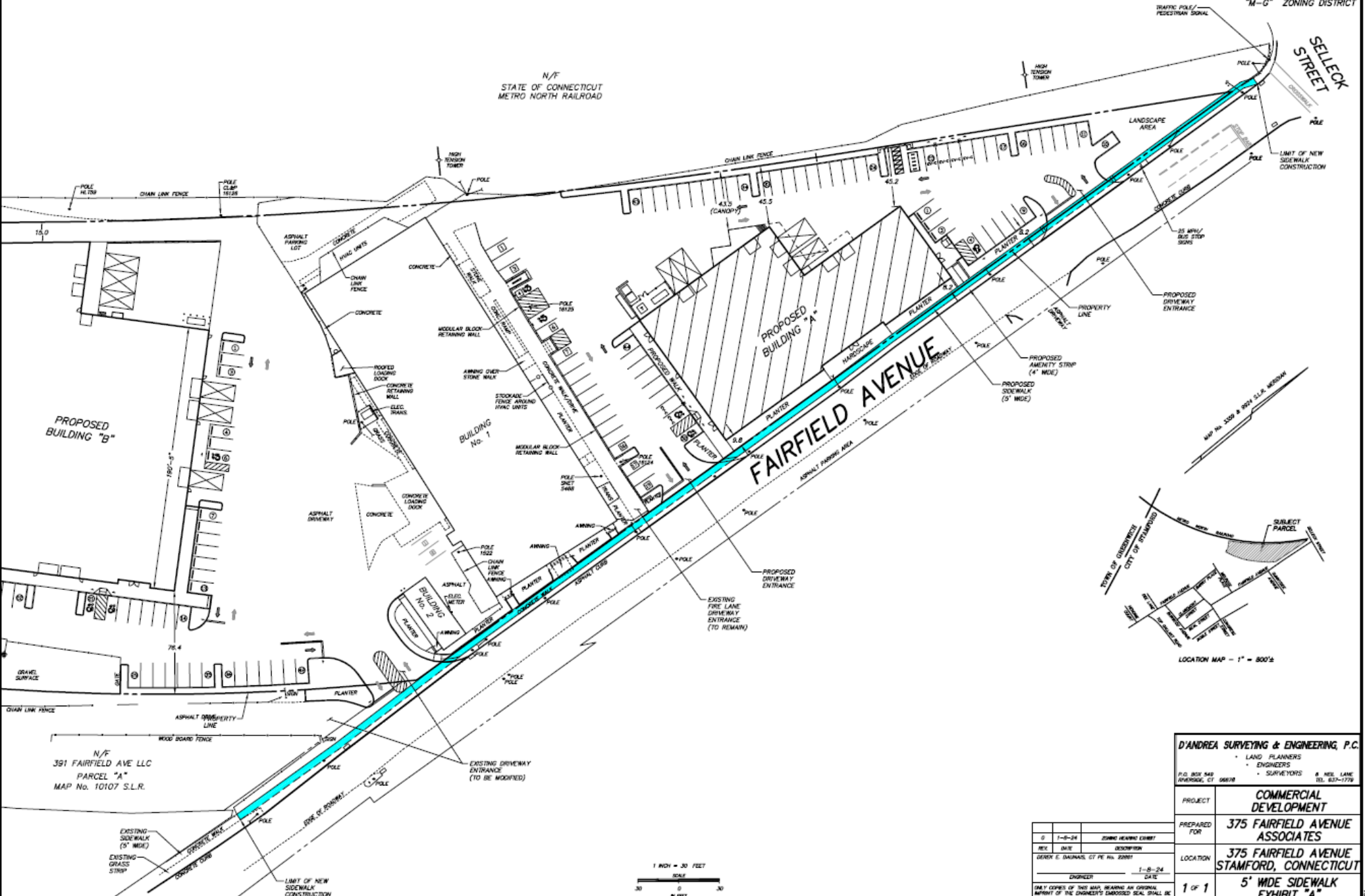
FIG. 1

Curb Cut to be Reconfigured



NOTES:
 1. The purpose of this exhibit is only to depict the layout of a proposed 5' wide strip with 1' wide sidewalk along Fairfield Avenue.

BLOCK No. 35
 TOTAL AREA = 9.3816 ACRES
 "M-G" ZONING DISTRICT



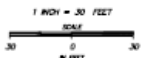
D'ANDREA SURVEYING & ENGINEERING, P.C.
 LAND PLANNERS
 ENGINEERS
 SURVEYORS

P.O. BOX 540
 AVONDALE, CT 06010

8 HILL LANE
 STAMFORD, CT 06310

PROJECT	COMMERCIAL DEVELOPMENT
PREPARED FOR	375 FAIRFIELD AVENUE ASSOCIATES
LOCATION	375 FAIRFIELD AVENUE STAMFORD, CONNECTICUT
1 OF 1	5' WIDE SIDEWALK EXHIBIT "A"

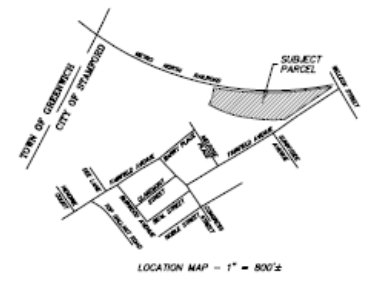
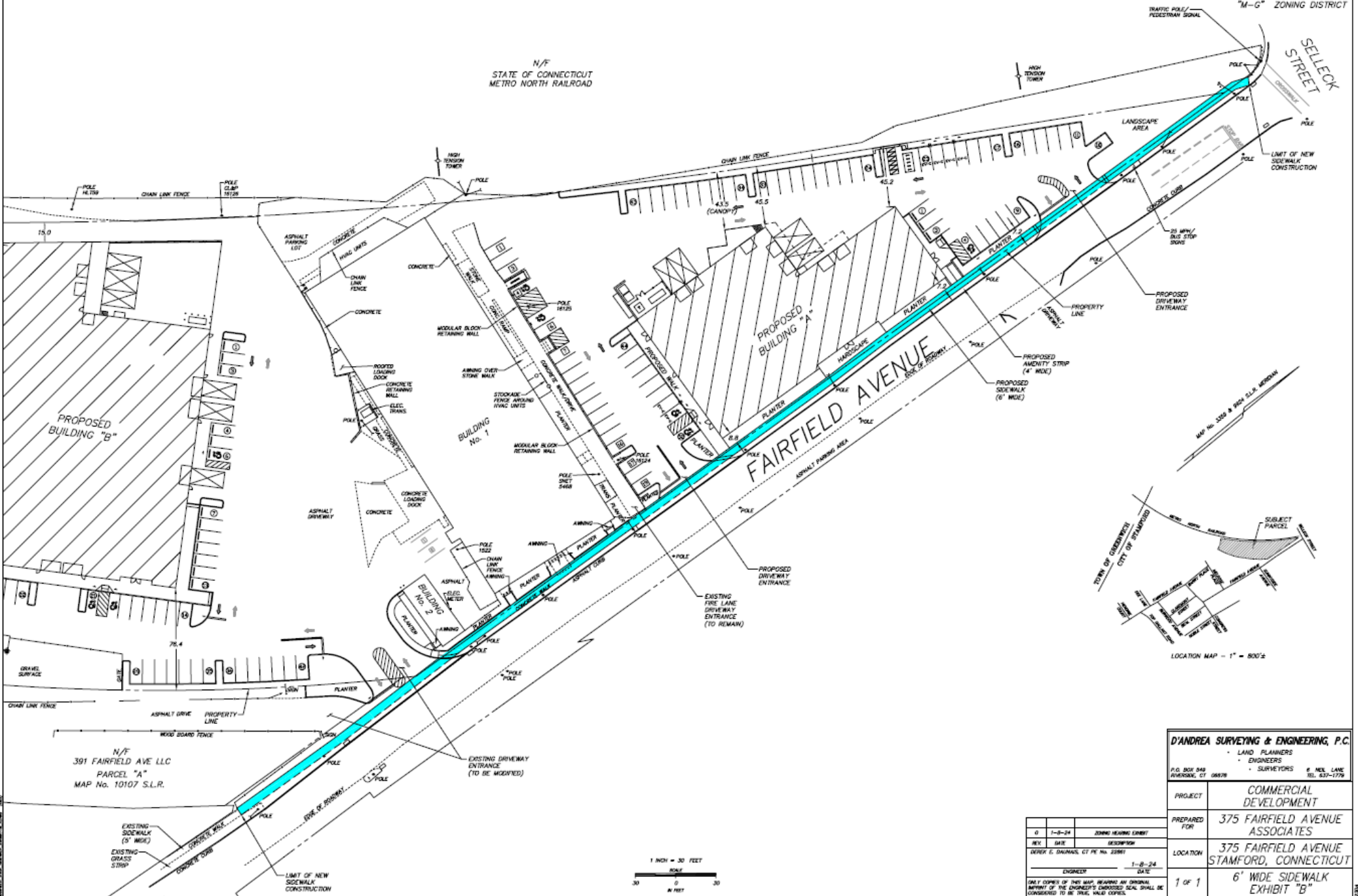
DATE	DESCRIPTION
1-8-24	ZONING HEARING EXHIBIT
1-8-24	DATE
1-8-24	DATE



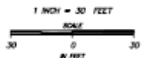
ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

NOTES:
 1. The purpose of this exhibit is to depict the layout of a proposed driveway strip with 2' wide sidewalk using Fairbank Avenue.

BLOCK No. 35
 TOTAL AREA = 9.3816 ACRES
 "M-G" ZONING DISTRICT



N/F
 391 FAIRFIELD AVE LLC
 PARCEL "A"
 MAP No. 10107 S.L.R.



D'ANDREA SURVEYING & ENGINEERING, P.C. LAND PLANNERS ENGINEERS P.O. BOX 849 FARMINGTON, CT 06030 6 MILL LANE TEL. 637-1778	
PROJECT	COMMERCIAL DEVELOPMENT
PREPARED FOR	375 FAIRFIELD AVENUE ASSOCIATES
LOCATION	375 FAIRFIELD AVENUE STAMFORD, CONNECTICUT
1 OF 1	6' WIDE SIDEWALK EXHIBIT "B"

DATE	1-8-24	JOHN WARDEN ENGINEER
REV. DATE		SECTION
DESIGNER	G. DIAMANTIS, CT PE No. 22861	
ENGINEER	1-8-24	DATE

ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EXPOSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

Untitled Map

Write a description for your map.

Legend

-  375 Fairfield Ave
-  Feature 1
-  Feature 2



Google Earth

© 2024 Google

5.07 ft

EXISTING BUILDING COVERAGES
 LOT AREA = 2.2025 ACRES
 BUILDING No. 14 = 13,127 S.F.
 BUILDING No. 17 = 1,967 S.F.
 BUILDING No. 13 = 18,154 S.F.
 BUILDING No. 4 = 12,894 S.F.
 BUILDING No. 5 = 3,778 S.F.
 BUILDING No. 7 = 22,030 S.F.
 BUILDING No. 2 = 1,049 S.F.
 BUILDING No. 1 = 24,203 S.F.
 STAIR ROOM = 108 S.F.
 TOTAL = 101,011 S.F.
 PERCENT COVERAGE = 34.78%

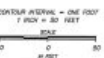
BLOCK No. 35



CONTOURS AND ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE DATUM INDICATED THEREON UNLESS OTHERWISE NOTED.
 TOPOGRAPHIC AND PLUMBING FEATURES SHOWN HEREON WERE OBTAINED FROM A SURVEY CONDUCTED IN ACCORDANCE WITH THE PROVISIONS OF REGULATION 12-100-1 THROUGH REG. 12-100-10.
 THIS MAP IS A REPRESENTATIVE SURVEY. MEASUREMENTS AND ELEVATIONS SHOWN HEREON ARE BASED ON A SURVEY CONDUCTED IN ACCORDANCE WITH THE PROVISIONS OF REGULATION 12-100-1 THROUGH REG. 12-100-10.
 THIS MAP IS A REPRESENTATIVE SURVEY. MEASUREMENTS AND ELEVATIONS SHOWN HEREON ARE BASED ON A SURVEY CONDUCTED IN ACCORDANCE WITH THE PROVISIONS OF REGULATION 12-100-1 THROUGH REG. 12-100-10.
 THIS MAP IS A REPRESENTATIVE SURVEY. MEASUREMENTS AND ELEVATIONS SHOWN HEREON ARE BASED ON A SURVEY CONDUCTED IN ACCORDANCE WITH THE PROVISIONS OF REGULATION 12-100-1 THROUGH REG. 12-100-10.
 THIS MAP IS A REPRESENTATIVE SURVEY. MEASUREMENTS AND ELEVATIONS SHOWN HEREON ARE BASED ON A SURVEY CONDUCTED IN ACCORDANCE WITH THE PROVISIONS OF REGULATION 12-100-1 THROUGH REG. 12-100-10.

LEGEND

- 30 — EXISTING CONTOUR
- 24.0 — EXISTING SPOT ELEVATION
- 24.0 — EXISTING TOP-BOTTOM SPOT ELEVATION
- — OBSTACLES
- — SIGN
- — UTILITY POLE
- — MONITORING WELL
- — SAN CHUTE
- — WATER CHUTE
- — POST PROVISION MARK
- — FURNACE
- — CLEARWELL
- — OVERHEAD SERVICE WIRE
- — GUYEN WIRE
- — POLE LEADER DOWNSPUT
- — JUNCTION BOX
- — STORM OVER MANHOLE
- — SANITARY SEWER MANHOLE
- — CLEANING MANHOLE
- — WATER MANHOLE
- — SLEEP AND RISE
- — POLYMER DRAINAGE
- — REINFORCED CONCRETE PIPE
- — OVERHEAD SERVICE WIRE
- — UNDERGROUND UTILITY SERVICE
- — ELECTRIC SIGNAL W-WIRE
- — PROPERTY LINE



NO WARRANTY IS MADE BY THE SURVEYOR FOR THE ACCURACY OF THE DATA OR THE RESULTS THEREOF. THE SURVEYOR'S RESPONSIBILITY IS LIMITED TO THE ACCURACY OF HIS OWN SURVEYING AND THE DATA PROVIDED TO HIM BY OTHERS.

TOPOGRAPHIC SURVEY
 OF PROPERTY AT
375 FAIRFIELD AVENUE
 IN
STAMFORD, CONNECTICUT
 PREPARED FOR
375 FAIRFIELD AVENUE ASSOCIATES

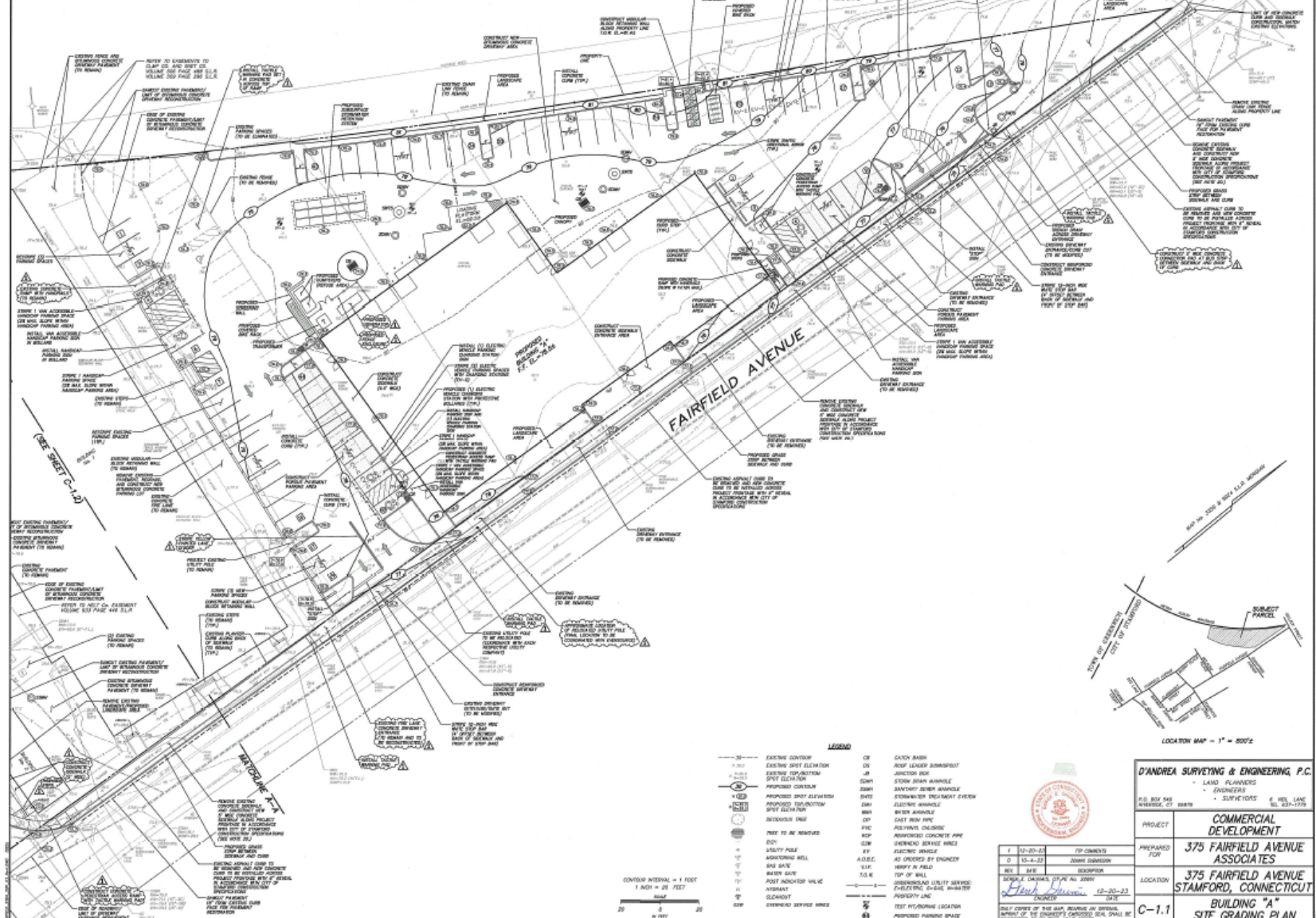


D'Andrea Surveying & Engineering, P.C.
 SUPERVISOR
 1000 S. MAIN ST., 27 13 00 1000
 STAMFORD, CONNECTICUT 06905
 DATE: OCTOBER 4, 2023

STREET
K
STREET

GENERAL NOTES

1. Existing structures, utility lines, and easements are shown as they are. A survey of the property of 20 Fairfield Avenue in Stamford, Connecticut, Pursuant to a Certificate of Public Hearing, dated August 2, 2011, as corrected by the City of Stamford, dated August 2, 2011, is shown by the dashed line.
2. The subject parcel does not lie within a Flood Hazard Area as depicted on FEMA Community Development Districts.
3. Easements shown are based on the most accurate base plan of 1988 (MSD 88) and the contractor shall coordinate the location of a current easement for the existing area. After construction is complete, it is to be re-established.
4. The contractor shall be responsible for securing all required permits from the City of Stamford.
5. All construction shall comply with applicable sections of the State of Connecticut, Local and Federal laws, codes, and regulations which apply to the project and the site.
6. The contractor shall be responsible for obtaining all required permits from the City of Stamford.
7. The contractor shall be responsible for obtaining all required permits from the City of Stamford.
8. The contractor shall be responsible for obtaining all required permits from the City of Stamford.
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14. The contractor shall be responsible for obtaining all required permits from the City of Stamford.
15. The contractor shall be responsible for obtaining all required permits from the City of Stamford.
16. The contractor shall be responsible for obtaining all required permits from the City of Stamford.
17. The contractor shall be responsible for obtaining all required permits from the City of Stamford.
18. The contractor shall be responsible for obtaining all required permits from the City of Stamford.
19. The contractor shall be responsible for obtaining all required permits from the City of Stamford.
20. The contractor shall be responsible for obtaining all required permits from the City of Stamford.
21. The contractor shall be responsible for obtaining all required permits from the City of Stamford.
22. The contractor shall be responsible for obtaining all required permits from the City of Stamford.
23. The contractor shall be responsible for obtaining all required permits from the City of Stamford.



LEGEND

—	EXISTING CONTOUR	CR	CATCH BASIN
—	EXISTING SPOT ELEVATION	DL	ROOF LEADER DRAINAGE
—	EXISTING CONTOUR	DR	ANCHOR BOLT
—	PROPOSED CONTOUR	SW	STONE BRICK ANCHOR
—	PROPOSED SPOT ELEVATION	SW	SAVONARY STONE ANCHOR
—	PROPOSED CONTOUR	SW	FORWARDER TREATMENT SYSTEM
—	PROPOSED SPOT ELEVATION	SW	ELECTRIC ANCHOR
—	PROPOSED CONTOUR	SW	BEVER ANCHOR
—	PROPOSED SPOT ELEVATION	SW	EAST ROW PIPE
—	PROPOSED CONTOUR	SW	REINFORCING CHAIRS
—	PROPOSED SPOT ELEVATION	SW	ANCHORED CONCRETE PIPE
—	PROPOSED CONTOUR	SW	REINFORCING WIRE
—	PROPOSED SPOT ELEVATION	SW	ELECTRIC SERVICE
—	PROPOSED CONTOUR	SW	AS ORDERED BY ENGINEER
—	PROPOSED SPOT ELEVATION	SW	HEAVY IRON PILE
—	PROPOSED CONTOUR	SW	TOP OF WALL
—	PROPOSED SPOT ELEVATION	SW	TOP OF WALL
—	PROPOSED CONTOUR	SW	OVERHEAD UTILITY SERVICES
—	PROPOSED SPOT ELEVATION	SW	CASTING CURVE, INLET
—	PROPOSED CONTOUR	SW	PROPERTY LINE
—	PROPOSED SPOT ELEVATION	SW	TEST PITCHING LOCATION
—	PROPOSED CONTOUR	SW	PROPOSED PARKING SPACE

LOCATION MAP - 1" = 200'

D'ANDREA SURVEYING & ENGINEERING, P.C.
LAND PLANNERS
ENGINEERS
SURVEYORS
6 VEL LANE
WATERBURY, CT 06898 TEL: 231-1775

PROJECT: COMMERCIAL DEVELOPMENT

PREPARED FOR: 375 FAIRFIELD AVENUE ASSOCIATES

LOCATION: 375 FAIRFIELD AVENUE STAMFORD, CONNECTICUT

C-1.1 SITE GRADING PLAN

DATE: 12-20-23
SCALE: AS SHOWN

DESIGNED BY: Frank J. D'Andrea
CHECKED BY: [Signature]

STORM SEWER AND UTILITY ADJUST

- The contractor shall be responsible for the design of the proposed storm sewer, sanitary sewer, gas, electric, telephone and cable. The plan shall be based on the existing conditions and the proposed project. The contractor shall coordinate the location of all utility lines with the existing conditions and the proposed project. After the preliminary is complete, the contractor shall submit a final plan for the City of Stamford.
- Whenever there are storm on the North American Trenching System (NATS) the contractor shall coordinate the location of all utility lines with the existing conditions and the proposed project. After the preliminary is complete, the contractor shall submit a final plan for the City of Stamford.
- The contractor shall be responsible for the design of the proposed storm sewer, sanitary sewer, gas, electric, telephone and cable. The plan shall be based on the existing conditions and the proposed project. The contractor shall coordinate the location of all utility lines with the existing conditions and the proposed project. After the preliminary is complete, the contractor shall submit a final plan for the City of Stamford.
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DRAINAGE MAINTENANCE SCHEDULE

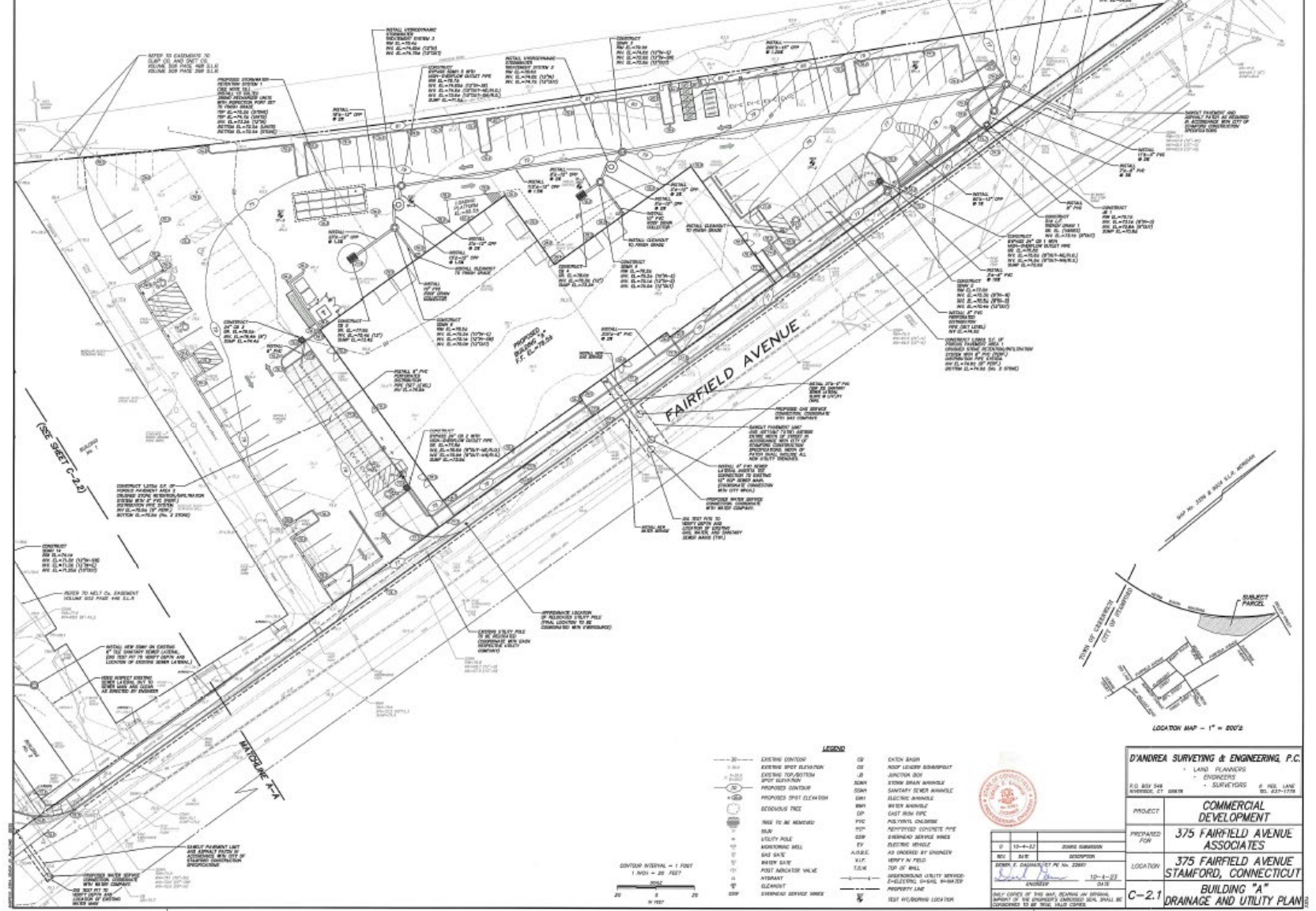
- Storm sewers in drainage basins:
 - Check basins and drainage pipes shall be inspected at least once a year. The contractor shall be responsible for the design of the proposed storm sewer, sanitary sewer, gas, electric, telephone and cable. The plan shall be based on the existing conditions and the proposed project. The contractor shall coordinate the location of all utility lines with the existing conditions and the proposed project. After the preliminary is complete, the contractor shall submit a final plan for the City of Stamford.
 - Check basins and drainage pipes shall be inspected at least once a year. The contractor shall be responsible for the design of the proposed storm sewer, sanitary sewer, gas, electric, telephone and cable. The plan shall be based on the existing conditions and the proposed project. The contractor shall coordinate the location of all utility lines with the existing conditions and the proposed project. After the preliminary is complete, the contractor shall submit a final plan for the City of Stamford.
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- Storm sewers in drainage basins:
 - Check basins and drainage pipes shall be inspected at least once a year. The contractor shall be responsible for the design of the proposed storm sewer, sanitary sewer, gas, electric, telephone and cable. The plan shall be based on the existing conditions and the proposed project. The contractor shall coordinate the location of all utility lines with the existing conditions and the proposed project. After the preliminary is complete, the contractor shall submit a final plan for the City of Stamford.
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STORM SEWER AND UTILITY ADJUST

- The contractor shall be responsible for the design of the proposed storm sewer, sanitary sewer, gas, electric, telephone and cable. The plan shall be based on the existing conditions and the proposed project. The contractor shall coordinate the location of all utility lines with the existing conditions and the proposed project. After the preliminary is complete, the contractor shall submit a final plan for the City of Stamford.
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BLOCK No. 35
 TOTAL AREA = 9.3816 ACRES
 "M-G" ZONING DISTRICT

SELLECT STREET

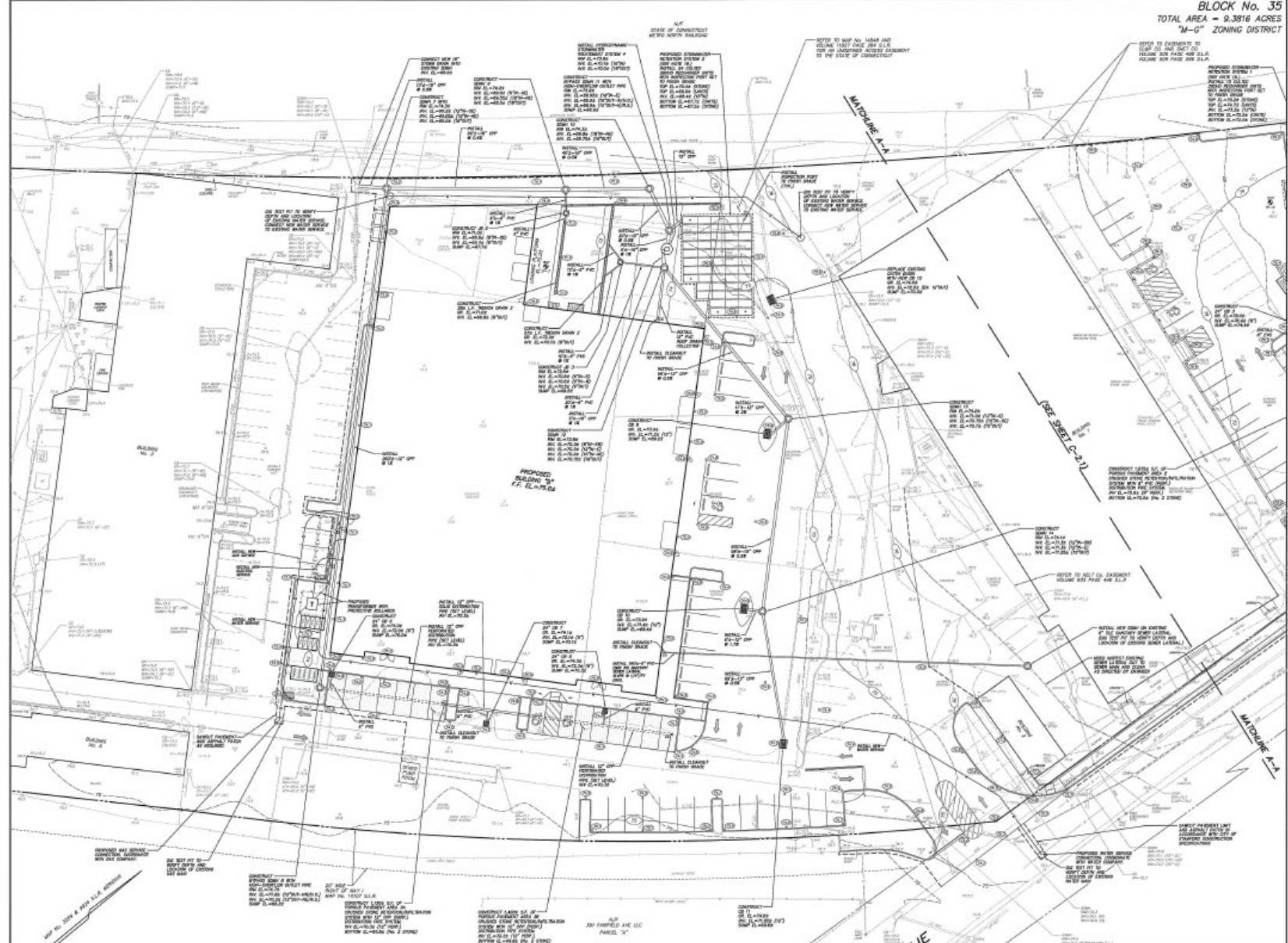


LOCATION MAP - 1" = 200'

D'ANDREA SURVEYING & ENGINEERING, P.C.
 LAND PLANNERS
 CIVIL ENGINEERS
 SURVEYORS
 P.O. BOX 548
 STAMFORD, CT 06908 TEL. 927-1778

PROJECT: COMMERCIAL DEVELOPMENT
PREPARED FOR: 375 FAIRFIELD AVENUE ASSOCIATES
LOCATION: 375 FAIRFIELD AVENUE, STAMFORD, CONNECTICUT
C-2.1 DRAINAGE AND UTILITY PLAN

DATE: 10-4-22
SCALE: AS SHOWN
PROJECT NO.: 10-4-22
DATE: 10-4-22



NOTES:

- Refer to Sheet C-2.1 for Storm Drain and Utility Lines.
- Dimensions shown are based on the South American National Datum of 1985 (NAD 83). The contractor shall establish the location of all control monuments and the existing and proposed utility structures in accordance with the zoning ordinance and shall assume full responsibility for ensuring that the proposed work complies with the zoning ordinance. Utility structures are not permitted on easements.
- All information shown on this plan is subject to the zoning ordinance and applicable regulations and shall be subject to the zoning ordinance and shall assume full responsibility for ensuring that the proposed work complies with the zoning ordinance. Utility structures are not permitted on easements.
- In accordance with Connecticut Public Act 89-11 and Connecticut General Statutes Sections 8-300 through 8-308, the owner of the portion shall be required to verify the location of the utility structures and shall assume full responsibility for ensuring that the proposed work complies with the zoning ordinance and shall assume full responsibility for ensuring that the proposed work complies with the zoning ordinance. Utility structures are not permitted on easements.
- The Contractor shall be responsible for establishing and maintaining traffic flow as applicable throughout the project.

LEGEND

---	EXISTING CURB/SIDEWALK	CP	CURB SIGN
---	EXISTING SPOT ELEVATION	CS	NEW LEADERS CORNERPOST
---	EXISTING TOP ELEVATION	CS	ARCHING SIGN
---	PROPOSED CURB/SIDEWALK	CSA	STORM DRAIN ANCHORAGE
---	PROPOSED SPOT ELEVATION	CSM	COURTNEY SIGN ANCHORAGE
---	SEWERAGE TREE	CSN	WATER ANCHORAGE
---	TO BE REMOVED	CSF	CAST IRON PIPE
---	BOX	CSG	POLYETHYLENE GLASSBORO
---	UTILITY POLE	CSH	ADVANCED CONCRETE PIPE
---	ADVERTISING SIGN	CSI	ENHANCED SERVICE HOLES
---	UTILITY POLE	CSJ	ELECTRIC SERVICE
---	POST INDICATOR MARK	CSK	AS ORDERED BY ENGINEER
---	ADVERTISING SIGN	CSL	NEWBY W. FIELDS
---	CELEBRATION	CSM	TOP OF RAIL
---	CELEBRATION	CSN	UNDERGROUND UTILITY SERVICES
---	CELEBRATION	CSO	ELECTRIC (D-GAS) 3/4" HOOD
---	CELEBRATION	CSQ	PROPERTY LINE
---	CELEBRATION	CSR	EXISTING FOUNDATION

PROJECT: COMMERCIAL DEVELOPMENT
PREPARED FOR: 375 FAIRFIELD AVENUE ASSOCIATES
LOCATION: 375 FAIRFIELD AVENUE, STAMFORD, CONNECTICUT
C-2.2 BUILDING "B" DRAINAGE AND UTILITY PLAN

D'ANDREA SURVEYING & ENGINEERING, P.C.
LAND PLANNERS
ENGINEERS
SURVEYORS
P.O. BOX 948
WAVELAND CT 06488
TEL: 203-375-1775

REVISIONS:

NO.	DATE	DESCRIPTION
0	10-4-21	DRAINAGE
1	10-4-21	AS ORDERED BY ENGINEER
2	10-4-21	AS ORDERED BY ENGINEER

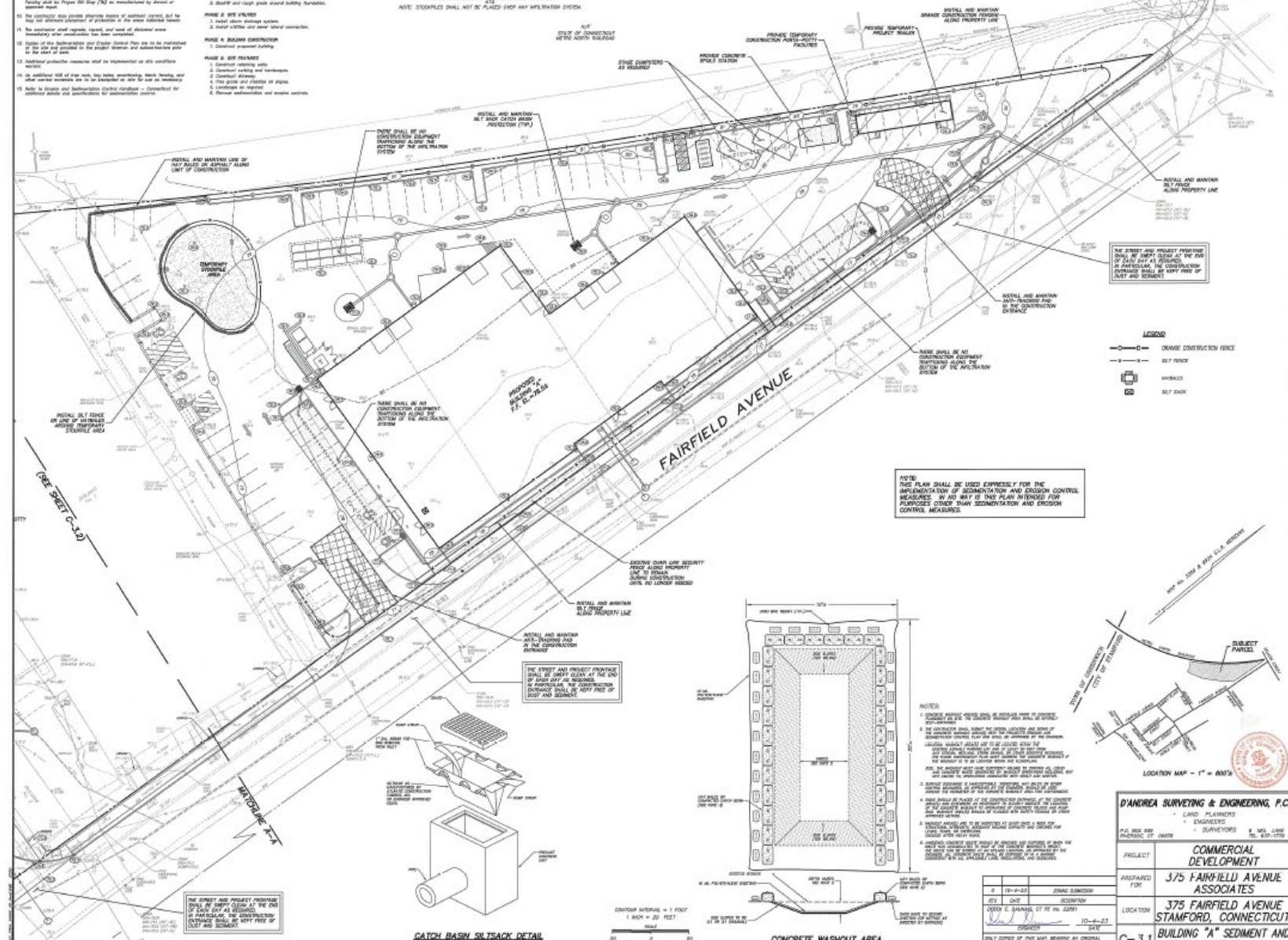
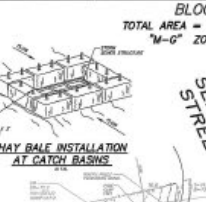
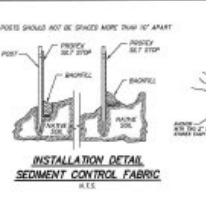
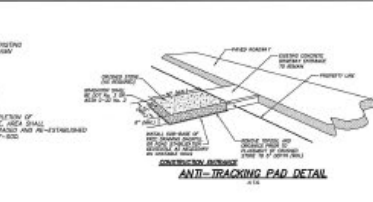
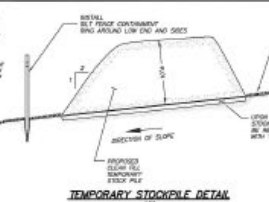
CONTRACT INTERVAL = 1 FOOT
1 INCH = 20 FEET
SCALE: 1/4" = 1'-0"

DATE: 10/21/21
DRAWN BY: [Signature]
CHECKED BY: [Signature]

SELECT STREET

- SEEDING AND EROSION CONTROL NOTES:**
1. Temporary seed and water control measures shall be installed on all exposed soil surfaces within 14 days of construction. The seed shall be applied at a rate of 10 lbs. per 1,000 sq. ft. of exposed soil. The water control measures shall be installed at a rate of 10 lbs. per 1,000 sq. ft. of exposed soil.
 2. Erosion control measures shall be installed on all exposed soil surfaces within 14 days of construction. The measures shall be installed at a rate of 10 lbs. per 1,000 sq. ft. of exposed soil.
 3. Erosion control measures shall be installed on all exposed soil surfaces within 14 days of construction. The measures shall be installed at a rate of 10 lbs. per 1,000 sq. ft. of exposed soil.
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 5. Erosion control measures shall be installed on all exposed soil surfaces within 14 days of construction. The measures shall be installed at a rate of 10 lbs. per 1,000 sq. ft. of exposed soil.
 6. Erosion control measures shall be installed on all exposed soil surfaces within 14 days of construction. The measures shall be installed at a rate of 10 lbs. per 1,000 sq. ft. of exposed soil.
 7. Erosion control measures shall be installed on all exposed soil surfaces within 14 days of construction. The measures shall be installed at a rate of 10 lbs. per 1,000 sq. ft. of exposed soil.
 8. Erosion control measures shall be installed on all exposed soil surfaces within 14 days of construction. The measures shall be installed at a rate of 10 lbs. per 1,000 sq. ft. of exposed soil.
 9. Erosion control measures shall be installed on all exposed soil surfaces within 14 days of construction. The measures shall be installed at a rate of 10 lbs. per 1,000 sq. ft. of exposed soil.
 10. Erosion control measures shall be installed on all exposed soil surfaces within 14 days of construction. The measures shall be installed at a rate of 10 lbs. per 1,000 sq. ft. of exposed soil.
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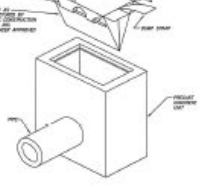
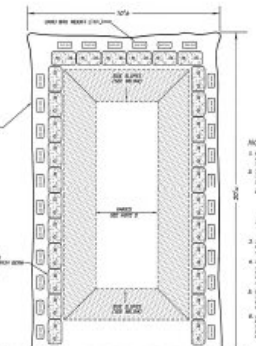
- GENERAL CONSTRUCTION PHASING:**
- PHASE 1: EXCAVATION**
1. Excavate and install catch basins.
 2. Install catch basins.
 3. Install catch basins.
 4. Install catch basins.
- PHASE 2: SITE GRADING/FOUNDATION CONSTRUCTION**
1. Grading to proposed driveway and construction access.
 2. Foundation construction.
 3. Foundation construction.
 4. Foundation construction.
 5. Foundation construction.
- PHASE 3: SITE UTILITIES**
1. Install utility lines.
 2. Install utility lines.
 3. Install utility lines.
- PHASE 4: BUILDING CONSTRUCTION**
1. Construct proposed building.
 2. Construct proposed building.
 3. Construct proposed building.
 4. Construct proposed building.
 5. Construct proposed building.
- PHASE 5: SITE FINISHES**
1. Construct proposed site.
 2. Construct proposed site.
 3. Construct proposed site.
 4. Construct proposed site.
 5. Construct proposed site.



THE STREET AND PROJECT FRONTAGE SHALL BE KEPT CLEAR AT ALL TIMES. IN PARTICULAR, THE CONSTRUCTION FRONTAGE SHALL BE KEPT FREE OF DIRT AND DEBRIS.

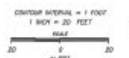


NOTE: THIS PLAN SHALL BE USED EXPRESSLY FOR THE IMPLEMENTATION OF SEDIMENTATION AND EROSION CONTROL MEASURES. IN NO WAY IS THIS PLAN INTENDED FOR PURPOSES OTHER THAN SEDIMENTATION AND EROSION CONTROL MEASURES.



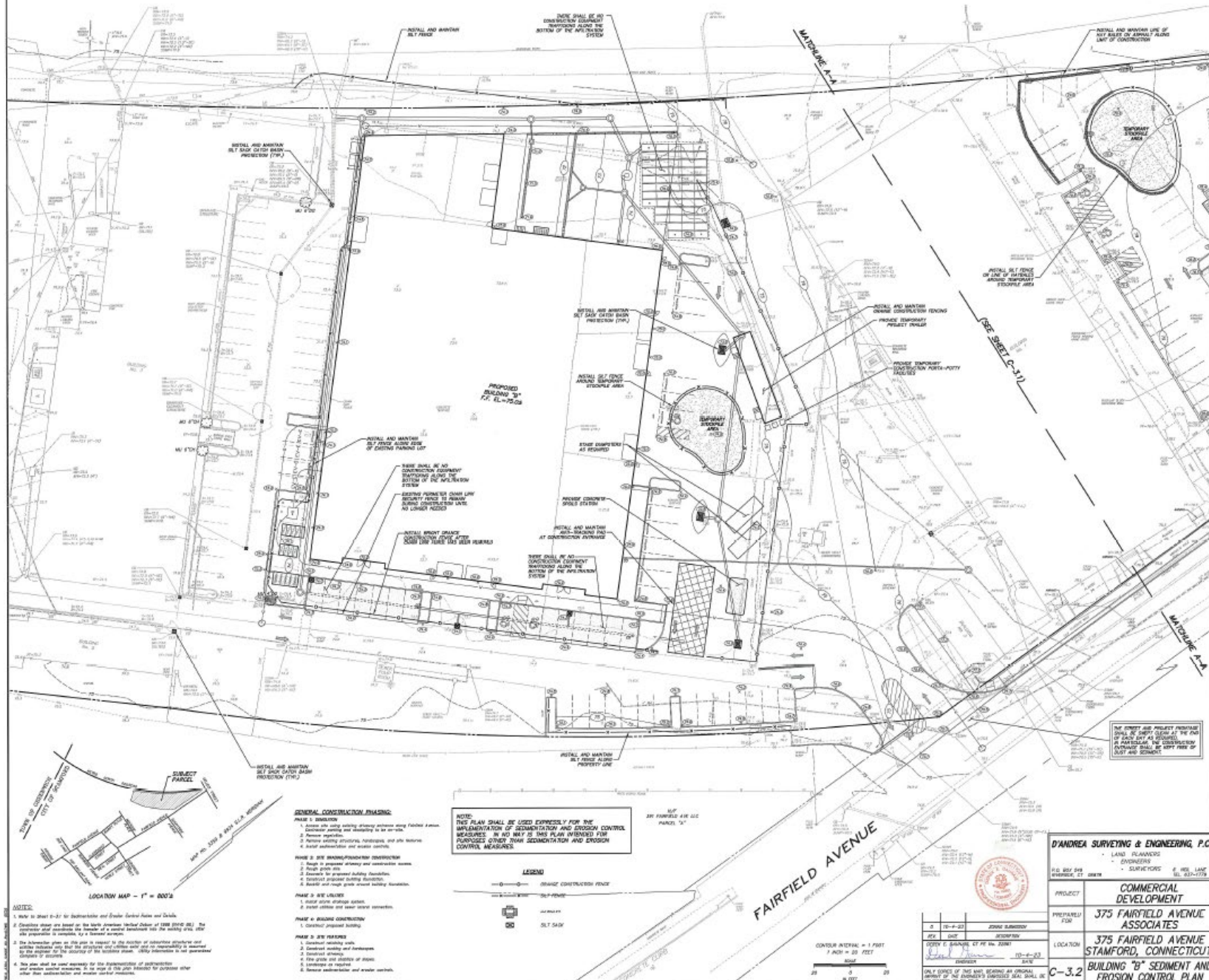
D'ANDREA SURVEYING & ENGINEERING, P.C.	
LAND PLANNERS	
ENGINEERS	
SURVEYORS & M.S. L.S. REG. 0700	
PROJECT: COMMERCIAL DEVELOPMENT	
PREPARED FOR: 375 FAIRFIELD AVENUE ASSOCIATES	
LOCATION: 375 FAIRFIELD AVENUE STAMFORD, CONNECTICUT	
DATE: 03-04-23	
C-3.1	

2	20-P-23	ZONING SUBMISSION
3	20-P-23	REVISIONS
4	20-P-23	REVISIONS
5	20-P-23	REVISIONS



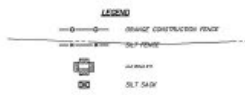
THE STREET AND PROJECT FRONTAGE SHALL BE KEPT CLEAR AT ALL TIMES. IN PARTICULAR, THE CONSTRUCTION FRONTAGE SHALL BE KEPT FREE OF DIRT AND DEBRIS.

P.L.P.
STATE OF CONNECTICUT
ACTING ASSESSOR



- GENERAL CONSTRUCTION PHASING:**
- PHASE 1 - DEMOLITION**
1. Remove all utility existing structures along building footprint.
 2. Remove existing structures and materials to be re-used.
 3. Remove existing structures, materials, and site contents.
 4. Perform existing structure, materials, and site contents.
 5. Perform foundation and utility work.
- PHASE 2 - SITE PREPARATION/FOUNDATION CONSTRUCTION**
1. Begin to construct utility and foundation systems.
 2. Place ground slab.
 3. Excavate for program building foundation.
 4. Install structural foundation systems.
 5. Install and rough grade around building foundation.
- PHASE 3 - SITE UTILITIES**
1. Install utility structures.
 2. Install utility and sewer service connections.
- PHASE 4 - BUILDING CONSTRUCTION**
1. Construct program building.
- PHASE 5 - SITE IMPROVEMENT**
1. Construct utility work.
 2. Construct utility and foundation.
 3. Construct drainage.
 4. Final site cleanup.
 5. Landscape in required.
 6. Remove foundation and utility materials.

NOTE:
THIS PLAN SHALL BE USED EXPRESSLY FOR THE IMPLEMENTATION OF SEDIMENTATION AND EROSION CONTROL MEASURES. IN NO WAY IS THIS PLAN INTENDED FOR PURPOSES OTHER THAN SEDIMENTATION AND EROSION CONTROL MEASURES.



CONTOUR INTERVAL = 1 FOOT
1 INCH = 33 FEET

THE PROPERTY PROJECT PROPOSED SHALL BE SUBJECT TO THE CITY OF STAMFORD, CONNECTICUT, AS PART OF THE CONSTRUCTION PERMIT. THE CITY SHALL BE SOFF FREE OF JUST AND SEIZURE.



D'ANDREA SURVEYING & ENGINEERING, P.C.
LAND PLANNERS
CONSTRUCTORS
SURVEYORS & M.S. LAND ENGINEERS, ET AL.

PROJECT: **COMMERCIAL DEVELOPMENT**

PREPARED FOR: **375 FAIRFIELD AVENUE ASSOCIATES**

LOCATION: **375 FAIRFIELD AVENUE STAMFORD, CONNECTICUT**

C-3.2 BUILDING "B" SEDIMENT AND EROSION CONTROL PLAN

DATE: 10-6-23
SCALE: AS SHOWN

NOTES:

1. Refer to sheet C-3.1 for Submittals and Detail Notes and Details.
2. Erosion control measures are based on the Storm Water Pollution Control Act of 1992 (SWMCA) and the Department of Environmental Protection's (DEP) 48 CFR 192.102. The contractor shall coordinate the location of a silt fence to prevent the silt from the building area from the adjacent street, to a silt fence.
3. The contractor shall be responsible for the location of sedimentation and erosion control measures. The contractor shall coordinate the location of a silt fence to prevent the silt from the building area from the adjacent street, to a silt fence.
4. The contractor shall be responsible for the implementation of sedimentation and erosion control measures. The contractor shall coordinate the location of a silt fence to prevent the silt from the building area from the adjacent street, to a silt fence.

NOTES:

- The purpose of this plan is only to highlight the Low Impact Development portions of the overall site plan. The plan shall not be used to city other than as shown on this plan.
- Distances shown are based on the North American Vertical Datum of 2008 (NAVD 88).
- Refer to Sheets C-1 through C-22 for a detailed depiction of the proposed site development and storm drainage improvements.
- Refer to Sheet C-41 for lot of site.

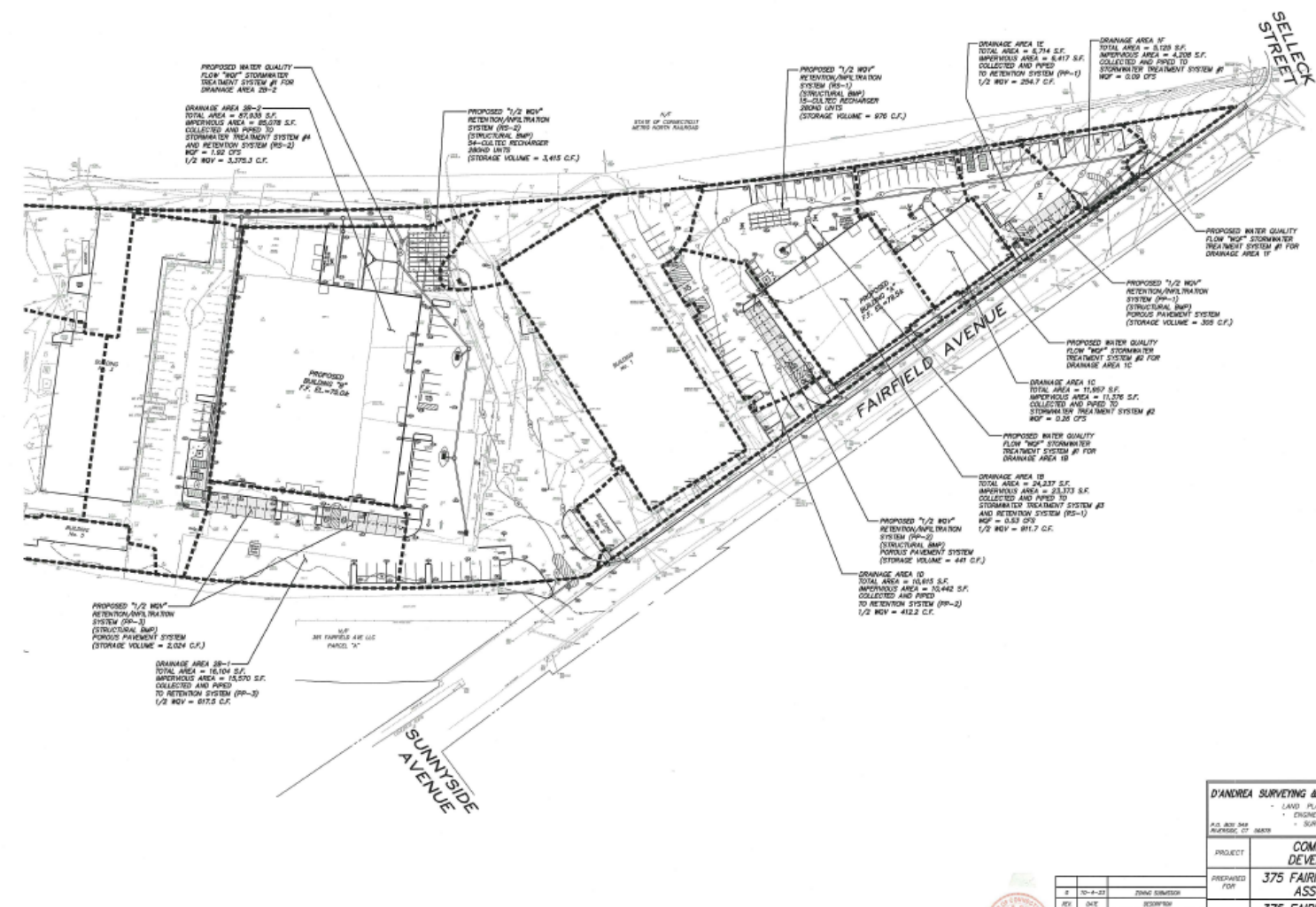
HYDROLOGIC SOIL GROUP SUMMARY
THE PROPERTY IS COMPOSED OF URBAN LAND (USO-3)

SOIL INFORMATION DERIVED FROM THE NATION'S HYDROLOGIC CORRELATION SERVICE (NCHS)

TOTAL SITE AREA	408,703 SQ.FT.
DISTURBED AREA	170,240 SQ.FT.
PRE-DEVELOPMENT IMPERVIOUS AREA	396,183 SQ.FT.
POST-DEVELOPMENT IMPERVIOUS AREA	388,070 SQ.FT.
REQUIRED 1/2 RVP*	5,506.3 CUBIC FEET
PROVIDED RET. VOL.	7,161 CUBIC FEET

* The required 1/2 RVP has been calculated for the proposed development drainage areas being collected by the proposed stormwater retention/recharge systems (see Table C-1, C-2, C-3, C-4, C-5, C-6, C-7, C-8, C-9, C-10, C-11, C-12, C-13, C-14, C-15, C-16, C-17, C-18, C-19, C-20, C-21, & C-22).

BLOCK No. 35
TOTAL AREA = 9.3816 ACRES
"M-C" ZONING DISTRICT



SEELET

D'ANDREA SURVEYING & ENGINEERING, P.C.
LAND PLANNERS
ENGINEERS
SURVEYORS & V.L.L. LAND

PROJECT: **COMMERCIAL DEVELOPMENT**
375 FAIRFIELD AVENUE ASSOCIATES

PREPARED FOR: **375 FAIRFIELD AVENUE ASSOCIATES**
STAMFORD, CONNECTICUT

LOGO SIGN: **LOW IMPACT DEVELOPMENT PLAN**

DATE: 10-4-23

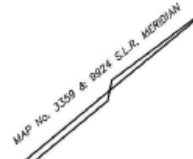
SCALE: 1" = 40 FEET



BLOCK No. 35
TOTAL AREA = 9.3816 ACRES
"M-G" ZONING DISTRICT



LOCATION MAP - 1" = 1000'



GRADE PLANE ANALYSIS

3 Ft Envelope
G/S Line

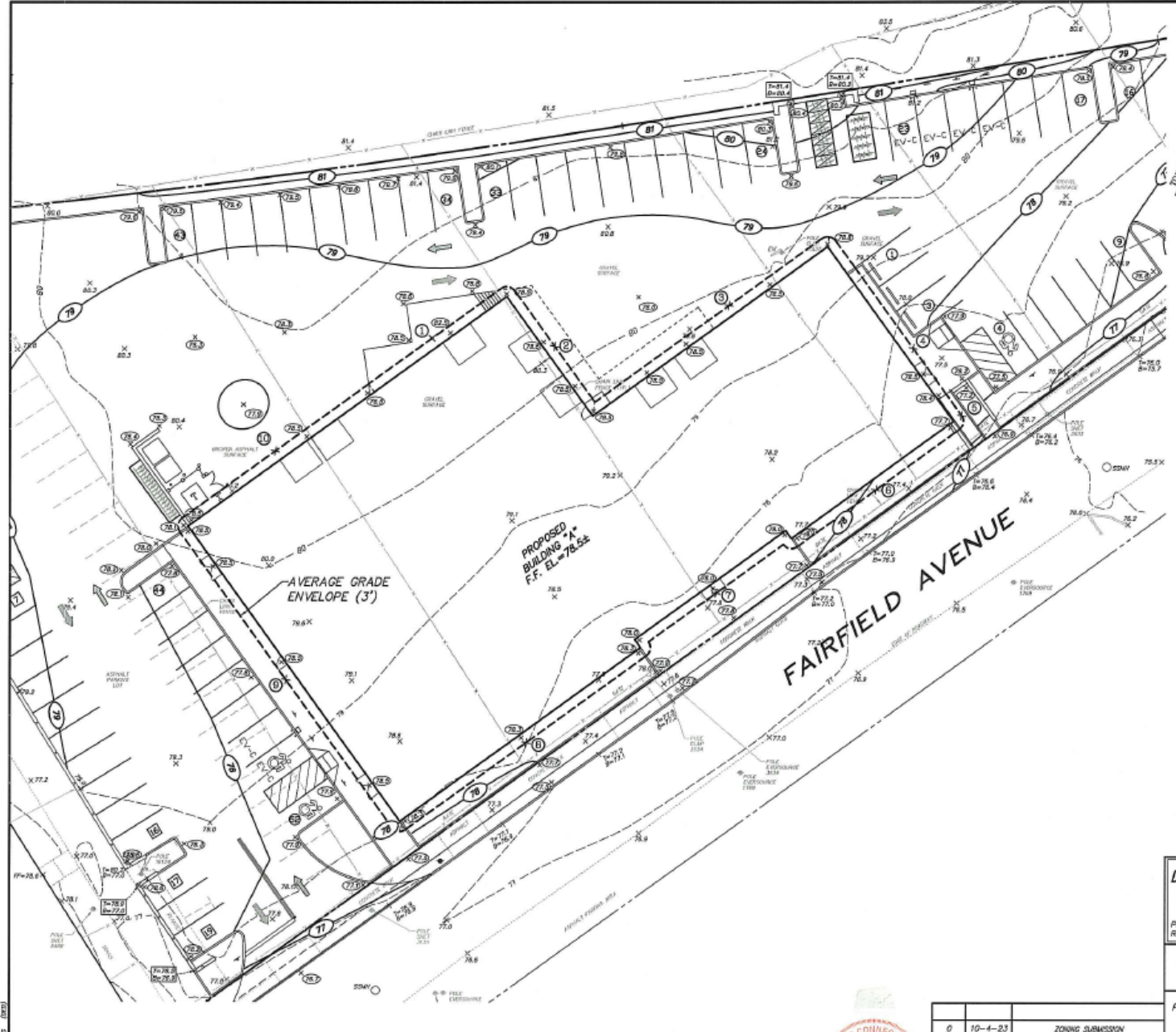
Segment	Length (ft) (L)	Average Grade (ft) (Z)	Length x Grade (L) x (Z)
1	41.5	82.5	3,423.8
2	53.5	78.4	4,194.4
3	85.5	78.4	6,700.4
4	59.3	78.4	4,649.7
5	14.5	77.7	1,134.4
6	56.4	77.9	4,389.4
7	59.5	77.9	4,635.1
8	89.2	78.2	6,975.4
9	113.9	78.4	8,929.8
10	73.9	78.4	5,793.8
Total	650.4		51,024.6
Average Grade:	---> (L*Z) / L		78.5

LEGEND

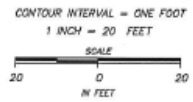
- 30 --- EXISTING CONTOUR
- x 30.0 EXISTING SPOT ELEVATION
- x 30.9 EXISTING TOP/BOTTOM SPOT ELEVATION
- 30 --- PROPOSED CONTOUR
- x 30.0 PROPOSED SPOT ELEVATION
- x 30.9 PROPOSED TOP/BOTTOM SPOT ELEVATION

D'ANDREA SURVEYING & ENGINEERING, P.C.
 LAND PLANNERS
 ENGINEERS
 SURVEYORS
 P.O. BOX 549
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 5 NEIL LANE
 TEL. 637-1779

PROJECT	COMMERCIAL DEVELOPMENT
PREPARED FOR	375 FAIRFIELD AVENUE ASSOCIATES
LOCATION	375 FAIRFIELD AVENUE STAMFORD, CONNECTICUT
1 of 1	BUILDING "A" PROPOSED AVERAGE GRADE WORKSHEET



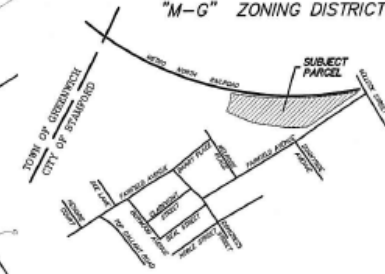
- NOTES:**
- The purpose of this plan is only for the calculation of the average grade for the proposed building. It shall not be used for any other aspect of construction.
 - Proposed grades were taken from the Site Grading Plan, Sheet C-1.1 of the Civil plan set.
 - Elevations shown are based on the North American Vertical Datum of 1988 (NAVD 88).



REV.	DATE	DESCRIPTION
0	10-4-23	ZONING SUBMISSION
Derek E. D'Andrea, PE No. 22881		
Derek E. D'Andrea		10-4-23
ENGINEER		DATE

ONLY COPIES OF THIS MAP BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

BLOCK No. 35
TOTAL AREA = 9.3816 ACRES
"M-G" ZONING DISTRICT



LOCATION MAP - 1" = 1000'

Map No. 3359 & 9924 S.L.R. MERIDIAN

GRADE PLANE ANALYSIS

3 Ft Envelope
 0/5 Line

Segment	Length (ft) (1)	Average Grade (ft) (2)	Length x Grade (1) x (2)
1	84.1	74.3	6,248.6
2	60.4	73.0	4,532.0
3	82.9	73.0	6,051.7
4	207.5	74.9	15,552.4
5	161.1	74.9	12,055.4
6	22.5	74.7	1,685.2
7	68.2	74.0	5,046.8
8	6.0	73.0	450.0
9	101.6	74.0	7,518.4
10	20.4	73.4	1,497.4
11	44.8	74.0	3,315.2
Total	853.6		63,826.1
Average Grade		$\frac{63,826.1}{853.6}$	74.4

LEGEND

- 30 --- EXISTING CONTOUR
- x 30.0 EXISTING SPOT ELEVATION
- x 30.0 EXISTING TOP/BOTTOM SPOT ELEVATION
- 30 --- PROPOSED CONTOUR
- x 30.0 PROPOSED SPOT ELEVATION
- x 30.0 PROPOSED TOP/BOTTOM SPOT ELEVATION

D'ANDREA SURVEYING & ENGINEERING, P.C.
 LAND PLANNERS
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PROJECT	COMMERCIAL DEVELOPMENT
PREPARED FOR	375 FAIRFIELD AVENUE ASSOCIATES
LOCATION	375 FAIRFIELD AVENUE STAMFORD, CONNECTICUT
1 OF 1	BUILDING "B" PROPOSED AVERAGE GRADE WORKSHEET



NOTES:

- The purpose of this plan is only for the calculation of the average grade for the proposed building. It shall not be used for any other aspect of construction.
- Proposed grades were taken from the Site Grading Plan, Sheet C-1.2 of the Civil plan set.
- Elevations shown are based on the North American Vertical Datum of 1988 (NAVD 88.)

CONTOUR INTERVAL - ONE FOOT
 1 INCH = 20 FEET
 SCALE
 20 0 20
 IN FEET



REV.	DATE	DESCRIPTION
0	10-4-23	ZONING SUBMISSION
DEREK E. DALANIS, CT. PE No. 22861		
<i>Derek E. Dalanis</i>		10-4-23
ENGINEER		DATE

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CARMODY 

TORRANCE | SANDAK | HENNESSEY_{LLP}