

December 11, 2023

Ralph G. Blessing
Land Use Bureau Chief
City of Stamford
888 Washington Blvd, 7th Floor
Stamford, CT 06901

**Re: Revised Application Materials – Appls. 223-39 & 223-40
1911 Summer Street, Stamford, Connecticut (the “Property”)**

Dear Mr. Blessing:

In response to feedback received from staff and the Historic Preservation Advisory Commission, enclosed please find the following updated materials related to above referenced applications:

1. Revised Architectural Drawings prepared by Elena Kalman dated December 6, 2023;
2. Revised Text Amendment dated December 11, 2023;
3. Turning Radius Exhibit dated December 1, 2023.

We look forward to presenting these materials to the reviewing commission and boards and kindly request that you distribute same to them in advance. Of course, if you should have any questions, please feel free to contact me.

Very truly yours,

Lisa Feinberg

Lisa L. Feinberg

Enc.

Schedule A – Proposed Regulation Amendment

Proposed text in *[bracketed, red italics]*.

7.3.C.3. Parking Standards

Parking for *Historic Structures* to be preserved shall be subject to approval by the Zoning Board based on the proposed use, the available information, and a determination that the proposed plan provides for adequate parking in the vicinity and that no adverse impact will be created. Notwithstanding the other applicable parking standards of these Regulations, the Zoning Board, in its sole discretion, may approve the following minimum parking standards:

- a. No less than 0.5 *Parking Spaces* per Dwelling Unit within *Master Plan* Categories 9, 11, and 16, or less where permitted by these Regulations, and no less than 1.0 *Parking Spaces* per Dwelling Unit in all other *Master Plan Categories*, or less where permitted; provided, however, that no on-site parking shall be required if the *Building* is within 1,000 feet of a public parking garage, as measured from the entrance of the *Building* to the garage entrance, as the crow flies, or if sufficient on-street parking is available, as determined by the City of Stamford Transportation, Traffic and Parking Bureau;
- b. No less than 0.5 *Parking Spaces* per 1,000 sf of *Gross Floor Area* for non-residential uses within *Master Plan Categories* 9, 11, and 16, or less where permitted by these Regulations, and no less than 1.0 *Parking Spaces* per 1,000 sf of *Gross Floor Area* for non-residential uses in all other *Master Plan Categories*, or less where permitted; provided, however, that no on-site parking shall be required for non-residential uses with a *Gross Floor Area* of 2,000 sf or less per establishment or if located within 1,000 feet of a public parking garage, as measured from the entrance of the *Building* to the garage entrance, as the crow flies, or if sufficient on-street parking is available, as determined by the City of Stamford Transportation, Traffic and Parking Bureau; and
- c. *[The Zoning Board may reduce or waive the development standards of Table 12.5 (Minimum Distances of Parking Areas from Lot Lines and Buildings) in order to facilitate the provision of on-site parking. All parking spaces or areas encroaching within the setbacks specified in Table 12.5 shall be constructed with pervious pavers. The Zoning Board may modify the dimensions of Parking Spaces exclusively used for residential uses, as defined by Section 12.A of these Regulations where the Transportation, Traffic and Parking Bureau finds that such modification would not reduce circulation or affect maneuverability of parking operations.]*

7.3.C.4. Development Standards

Historic Structures or *Sites* or lots where *Historic Structures* or *Sites* are located must meet the requirements for the underlying Zoning District. The Zoning Board may modify the development standards as follows:

a. Density (no changes proposed)

b. Setbacks

- 1) Rear and Side Yard setbacks may be reduced by up to fifty percent (50%) of the required setbacks, but to no less than the Light and Air requirement, as set forth in Subsection 7.3.C.4.e below. Front yard setbacks may be reduced by up to the setback of existing adjacent *Historic Buildings*. *[A Corner Lot where Historic Structures or Sites are located and utilized for residential purposes shall comply with the Front Yard setback standard on all Streets, but may reduce the setback on one (1) frontage to no less than 5' in a commercial district, or no less than 10' in a multifamily residential district, and shall comply with the Side Yard setback standard (as may be modified by this subsection) for all other yards. There shall be no Rear Yard requirement.]*

c. Height (no changes proposed)

d. Building Area (no changes proposed)

e. Light and Air (no changes proposed)

f. Minimum Size of Plot (no changes proposed)

g. Lot Coverage and Impervious Surface (no changes proposed)

h. Usable Open Space – Not less than seventy-five (75) square feet of Usable Open Space shall be provided per Dwelling Unit. Provided; however, the total amount and minimum dimensions of required Usable Open Space may modified as detailed below when the Zoning Board finds the modification supports contextual new Development and/or preservation of a Historic Structure or Historic Site:

- 1) The total amount of Usable Open Space may be reduced by up to twenty-five percent (25%); and*
- 2) Qualifying contiguous Usable Open Space must have a minimum dimension on each side of no less than fifteen (15) feet.*



5th STREET ELEVATION

SITE STATISTICS:

EXISTING HISTORIC HOUSE – RESIDENTIAL DWELLING UNIT 5 – 2 BRM
GROSS AREA PRIOR TO DEMOLITION OF NON-HISTORIC REAR ENTRY
ADDITION: 3630 S.F.

TOTAL GROSS LIVING AREA WITHOUT DEMOLISHED PORTION: 1930 S.F.
BASEMENT AND ATTIC ARE NOT INCLUDED IN AREA ABOVE
BASEMENT GROSS AREA IS: 998 S.F.
ATTIC GROSS AREA IS: 572 S.F.

TOTAL GROSS AREA REMAINING AFTER DEMOLITION OF REAR ADDITION
INCLUDING BASEMENT AND ATTIC AREAS: 3500 S.F.

NEW CONSTRUCTION: 2 TWO-FAMILY DWELLINGS: 4 DWELLING UNITS

EACH DWELLING UNIT LIVING AREAS	GROSS	NET
FIRST FLOOR (GARAGE NOT INCLUDED):	81 S.F.	67 S.F.
SECOND FLOOR:	568 S.F.	517 S.F.
THIRD FLOOR:	568 S.F.	517 S.F.
FOURTH FLOOR:	405 S.F.	366 S.F.
TOTAL LIVING AREA PER UNIT	1622 S.F.	1467 S.F.
GARAGE AREA:	322 S.F.	285 S.F.
TOTAL GROSS AREA PER UNIT INCLUDING GARAGES:	1944 S.F.	1752 S.F.
TOTAL NEW CONSTRUCTION 4 D.U.'S GROSS AREA INCLUDING GARAGES:	7776 S.F.	
EXISTING BUILDING GROSS AREA:	3500 S.F.	
TOTAL DEVELOPMENT GROSS LIVING AREA:	11,276 S.F.	

APPLICABLE CODES:

Adopted and Referenced Publications

- 2021 International Existing Building Code
- 2021 International Plumbing Code
- 2021 International Mechanical Code
- 2021 International Energy Conservation Code
- 2020 NFPA 70, National Electrical Code, of the National Fire Protection Association Inc.
- 2021 International Residential Code

THE CHANGES FROM THE PREVIOUS PLAN, DATED 2/10/23:

- HIP ROOF CONFIGURATION OF THE ADDITION IS NOW SIMILAR TO THE ROOF OF THE EXISTING HISTORIC HOUSE.
- THE BUILDING HEIGHT IS NOW 37’–10” TO THE MIDPOINT OF THE ROOF, VERSUS 45’ TO THE TOP OF THE STAIRS’ ROOFS IN THE 2/10/23 DESIGN.
- BUILDING FACADE IS NOW THREE STORY HIGH WITH HIP ROOF AND DORMERS AT THE FOURTH FLOOR. THIS IS ONE STORY LESS THAN ON THE PREVIOUS DESIGN.
- ROOF ACCESS IS ELIMINATED.
- BAYS ARE REDUCED.
- COLOR OF THE CENTRAL PROJECTING PORTION OF THE BUILDING IS NOW THE SAME AS THE EXISTING BUILDING. USING TWO COLOR SCHEME VISUALLY BREAKS THE MASS OF THE BUILDING.
- DRIVEWAY UNDER THE BUILDING BETWEEN THE GARAGE DOORS IS NOW 28’ WIDE VERSUS 20’ WIDE OF THE PREVIOUS DESIGN.

SIDING NOTE:
SIDING ON THE ADDITION: JAMES HARDIE PLANK,
SMOOTH FINISH COLOR: DEEP OCEAN AND
BOOTHBAY BLUE.
SHINGLES ON THE EXISTING HOUSE PAINTED:
TO MATCH BOOTHBAY BLUE.
TRIM AND SOFFITS ON BOTH HOUSES: WHITE

ER

ELENA
KALMAN
ARCHITECT

AIA

99 WILD DUCK ROAD
STAMFORD, CT, 06903
TEL (203) 329-3074
FAX (203) 329-7149

STATE OF CONNECTICUT

ELENA KALMAN

No. 4116

LICENSED ARCHITECT

DRAWING TITLE

COVER, CODE
AND NOTES

DRAWN BY

EK

CHECKED BY

EK

DATE

12-6-23

SCALE

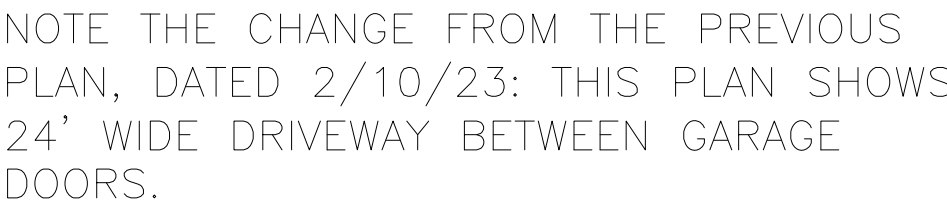
1/4" = 1'-0"

PROJECT NAME

11911 SUMMER ST

DRAWING NUMBER

A-00



NOTE:
Final development subject to Zoning Board
review and approval, and any modifications
required by said Zoning Board.

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND ARE THE PROPERTY OF ELENA KALMAN ARCHITECT. NO PARTS OF THESE DOCUMENTS WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIED PROJECT, NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF ELENA KALMAN ARCHITECT.

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR REVIEW BEFORE PROCEEDING WITH FABRICATION.

	Date	Issue
No.	Date	Revision

1911 SUMMER
STREET,
STAMFORD, CT

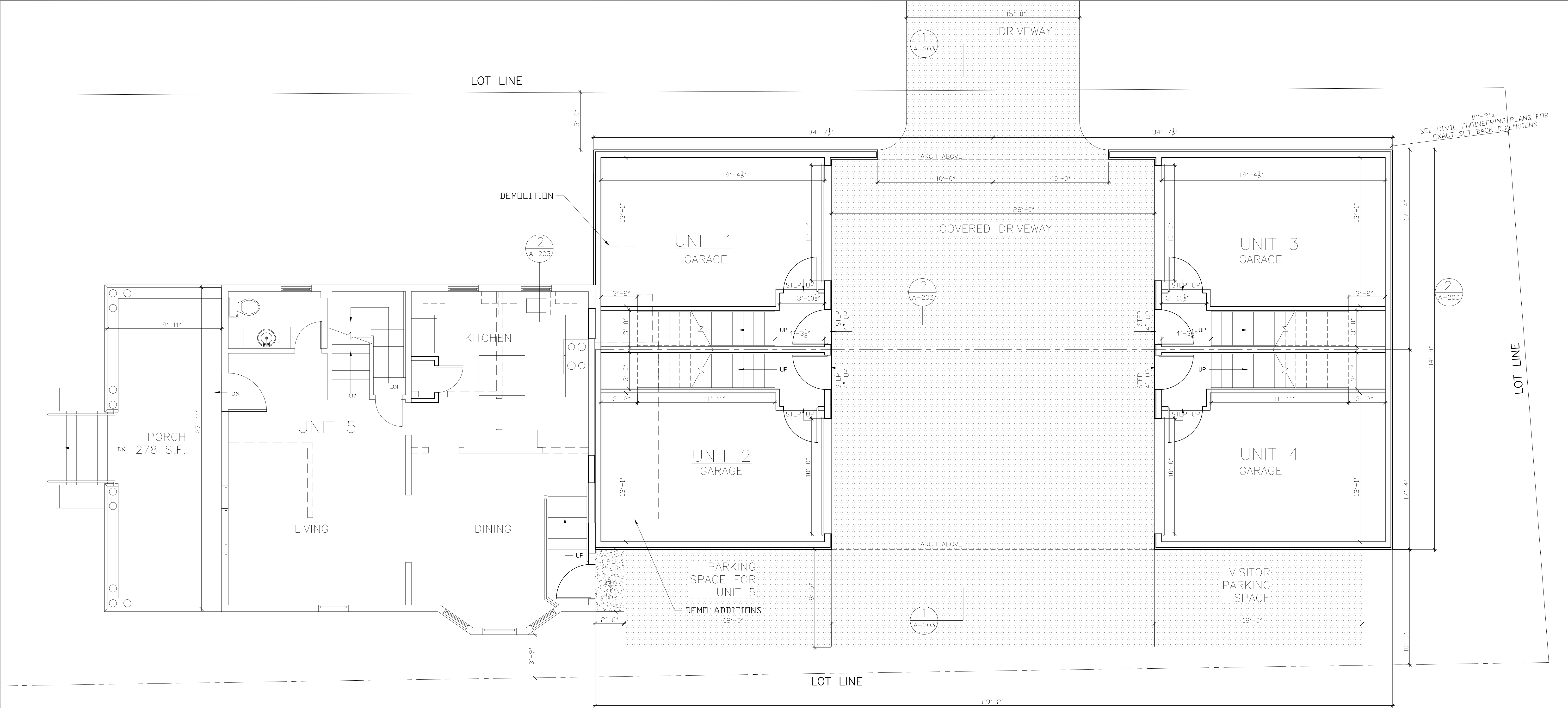


DRAWING TITLE

SITE PLAN

DRAWN BY	EK
CHECKED BY	EK
DATE:	12-6-23
SCALE	1"=20'
PROJECT NAME	EK 11911 SITE
DRAWING NUMBER	DRAWING NUMBER

A-01



NOTE THE CHANGE FROM THE PREVIOUS PLAN, DATED 2/10/23: THIS PLAN SHOWS 24' WIDE DRIVEWAY BETWEEN GARAGE DOORS.

NOTE:
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Date		Issue
No.	Date	Revision

1911 SUMMER STREET,
STAMFORD, CT

ELK

ELENA KALMAN ARCHITECT

AIA

99 WILD DUCK ROAD
STAMFORD, CT, 06903
TEL (203) 329-3074
FAX (203) 329-7149

STATE OF CONNECTICUT

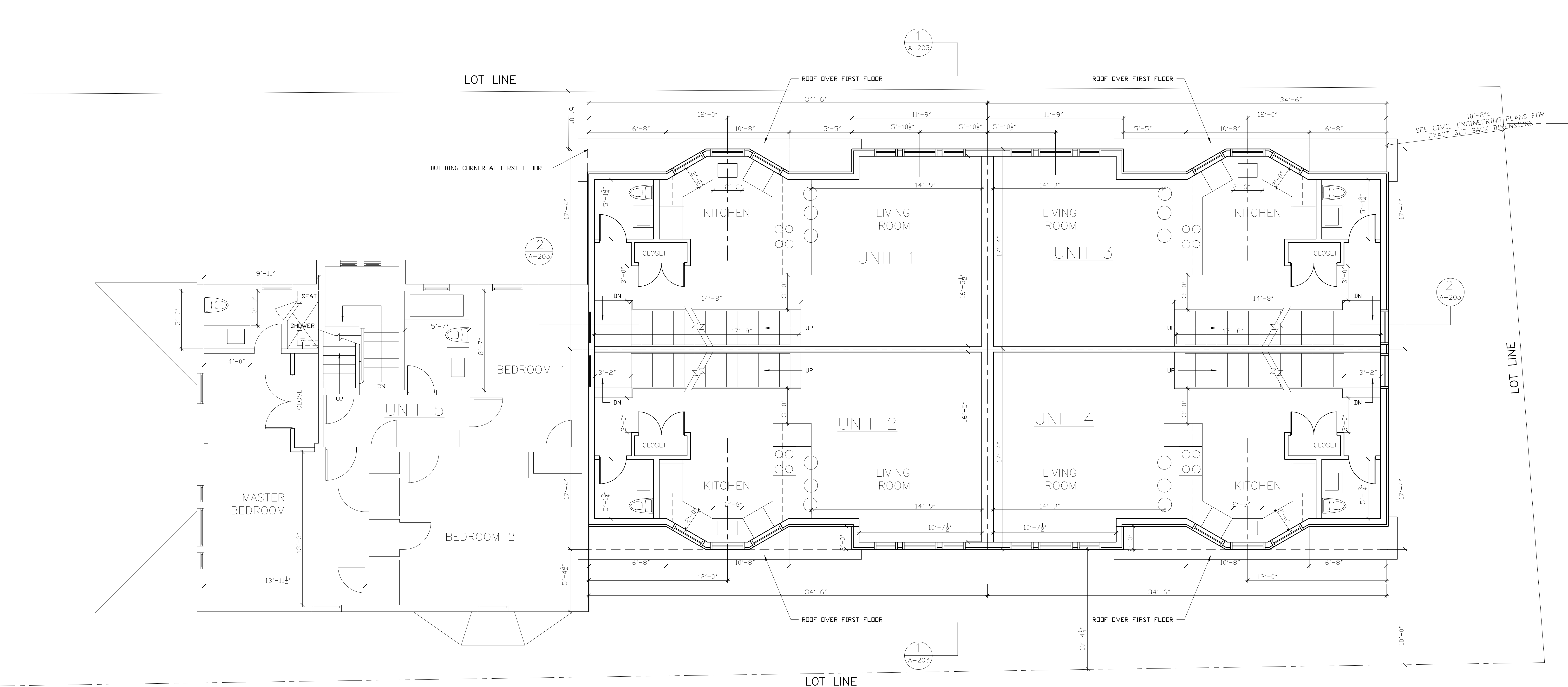
ELENA KALMAN

No. 4116

LICENSED ARCHITECT

DRAWING TITLE	
FIRST FLOOR PLAN	
DRAWN BY	EK
CHECKED BY	EK
DATE	12-6-23
SCALE	1/4" = 1'-0"
PROJECT NAME	11911 SUMMER ST
DRAWING NUMBER	

A-101



NOTE:
Final development subject to Zoning Board review and approval, and any modifications required by said Zoning Board.

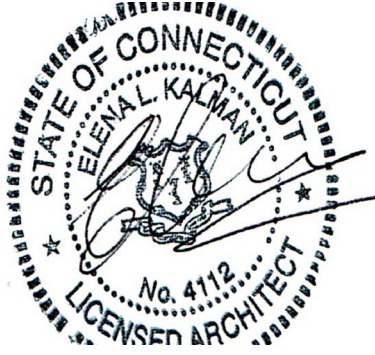
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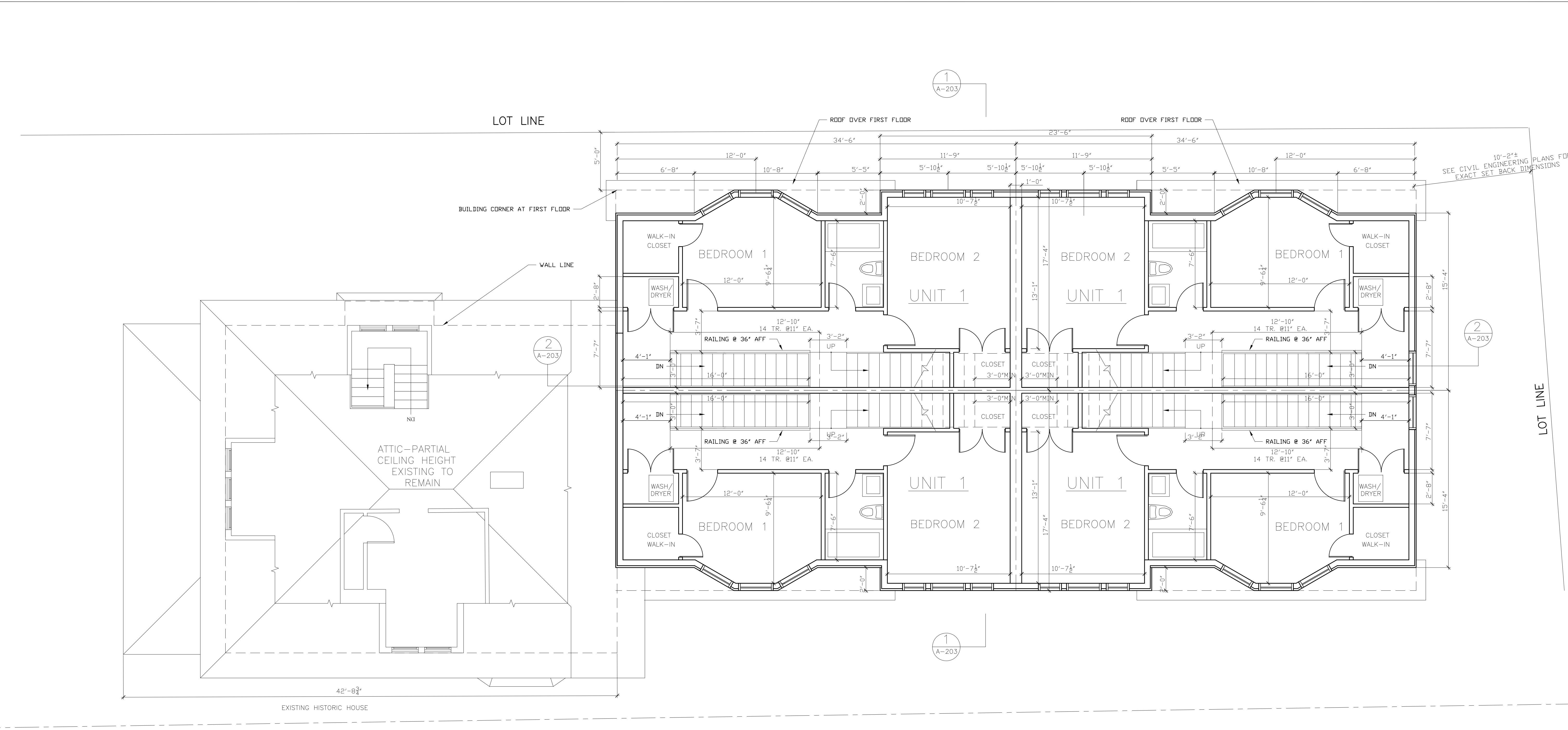
1911 SUMMER STREET,
STAMFORD, CT

ER
ELENA KALMAN
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AIA
99 WILD DUCK ROAD
STAMFORD, CT, 06903
TEL (203) 329-3074
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DRAWING TITLE	
SECOND FLOOR PLAN	
DRAWN BY	EK
CHECKED BY	EK
DATE	12-6-23
SCALE	1/4" = 1'-0"
PROJECT NAME	11911 SUMMER ST
DRAWING NUMBER	

A-102



NOTE:
Final development subject to Zoning Board review and approval, and any modifications required by said Zoning Board.

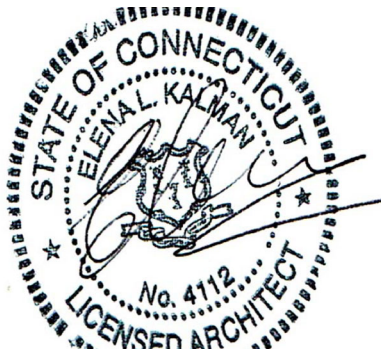
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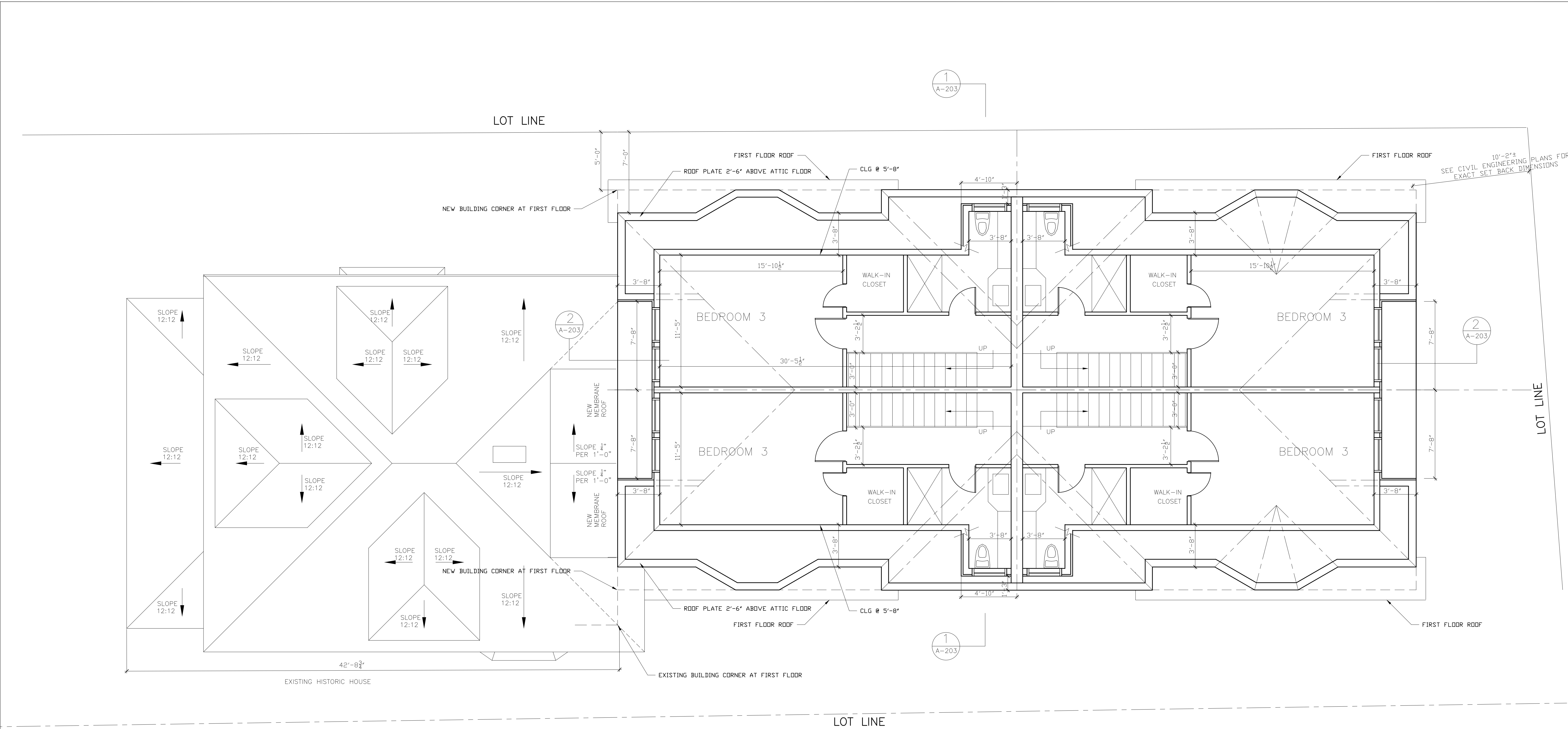
1911 SUMMER STREET,
STAMFORD, CT

ELK
ELENA KALMAN
ARCHITECT
AIA
99 WILD DUCK ROAD
STAMFORD, CT, 06903
TEL (203) 329-3074
FAX (203) 329-7149



DRAWING TITLE	
ATTIC/THIRD FLOOR PLAN	
DRAWN BY	EK
CHECKED BY	EK
DATE	12-6-23
SCALE	1/4" = 1'-0"
PROJECT NAME	11911 SUMMER ST
DRAWING NUMBER	

A-103



NOTE:
Final development subject to Zoning Board review and approval, and any modifications required by said Zoning Board.

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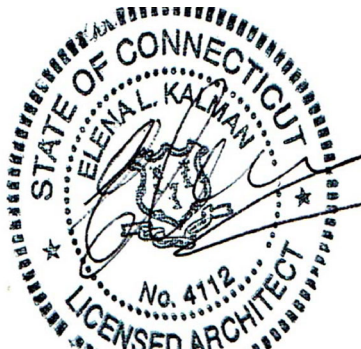
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No.	Date	Revision

1911 SUMMER STREET,
STAMFORD, CT

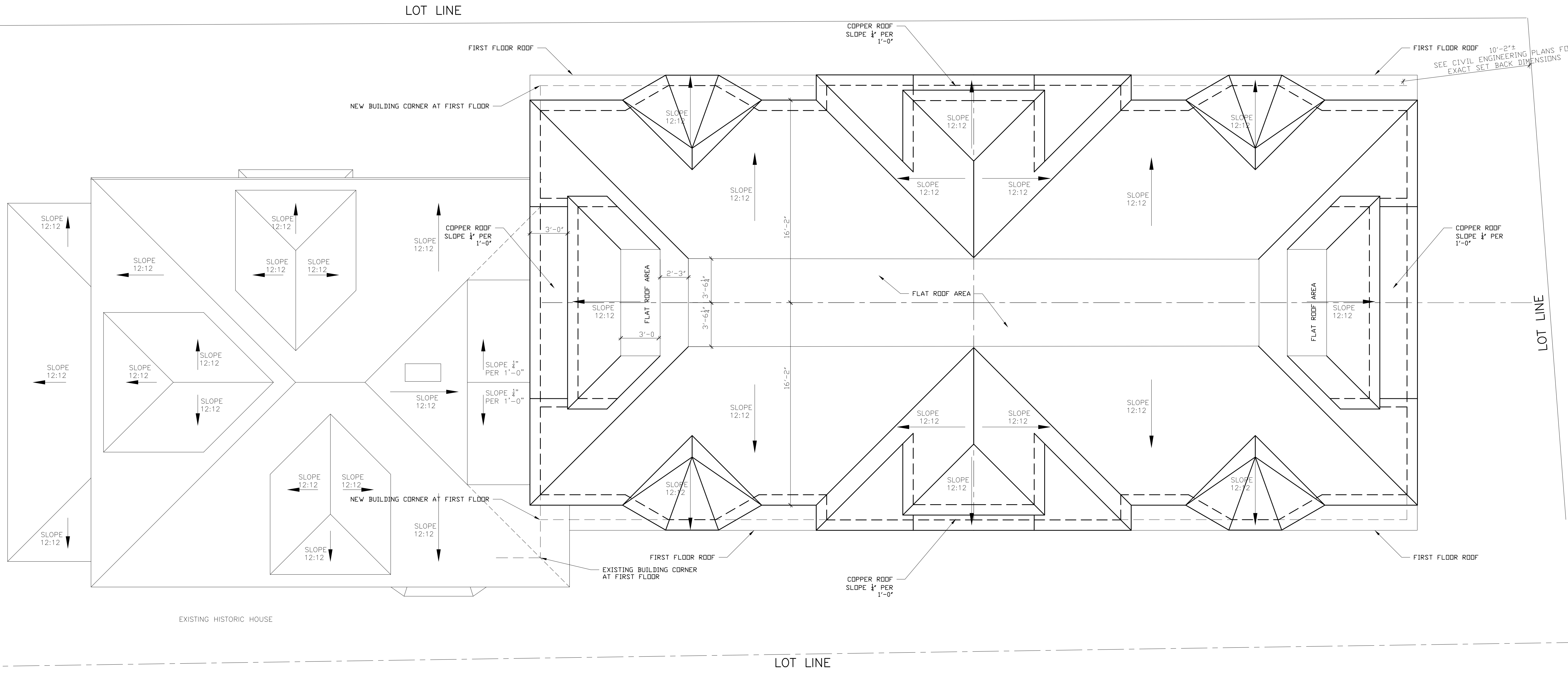
EK
ELENA KALMAN
ARCHITECT

AIA
99 WILD DUCK ROAD
STAMFORD, CT, 06903
TEL (203) 329-3074
FAX (203) 329-7149



DRAWING TITLE	
FOURTH FLOOR PLAN	
DRAWN BY	EK
CHECKED BY	EK
DATE	12-6-23
SCALE	1/4" = 1'-0"
PROJECT NAME	11911 SUMMER ST
DRAWING NUMBER	

A-104



NOTE:
Final development subject to Zoning Board review and approval, and any modifications required by said Zoning Board.

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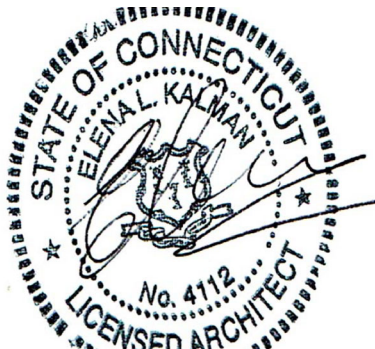
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Date		Issue
No.	Date	Revision

1911 SUMMER STREET,
STAMFORD, CT

ELK
ELENA
KALMAN
ARCHITECT

AIA
99 WILD DUCK ROAD
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TEL (203) 329-3074
FAX (203) 329-7149



DRAWING TITLE	
ROOF PLAN	
DRAWN BY	EK
CHECKED BY	EK
DATE	12-6-23
SCALE	1/4" = 1'-0"
PROJECT NAME	11911 SUMMER ST
DRAWING NUMBER	

A-105



SUMMER STREET FACADE
(WESTERN)

EASTERN FACADE

NOTE:
SIDING ON THE ADDITION: JAMES HARDIE PLANK,
SMOOTH FINISH COLOR: DEEP OCEAN.
SHINGLES ON THE EXISTING HOUSE PAINTED:
BENJAMIN MOORE, HC-159 PHILPSBURY BLUE.
TRIM AND SOFFITS ON BOTH HOUSES: WHITE

NOTE:
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Date Issue		
No.	Date	Revision

ELENA
KALMAN
ARCHITECT

AIA

99 WILD DUCK ROAD
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TEL: (203) 329-3074
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STATE OF CONNECTICUT
ELENA KALMAN
No. 4110
LICENSED ARCHITECT

PROJECT NAME

1911 SUMMER
STREET,
STAMFORD, CT

DRAWING TITLE

SUMMER STREET
FACADE
(WESTERN)
AND EASTERN
FACADE

DRAWN BY	EK
CHECKED BY	EK
DATE	12-6-23
SCALE	1/4" = 1'-0"
PROJECT NAME	11911 SUMMER ST
DRAWING NUMBER	

A-201



FIFTH STREET ELEVATION –
ALTERNATE FACADE "D"

NOTE:
SIDING ON THE ADDITION: JAMES HARDIE PLANK,
SMOOTH FINISH COLOR: DEEP OCEAN.
SHINGLES ON THE EXISTING HOUSE PAINTED:
BENJAMIN MOORE, HC-159 PHILPSBURY BLUE.
TRIM AND SOFFITS ON BOTH HOUSES: WHITE

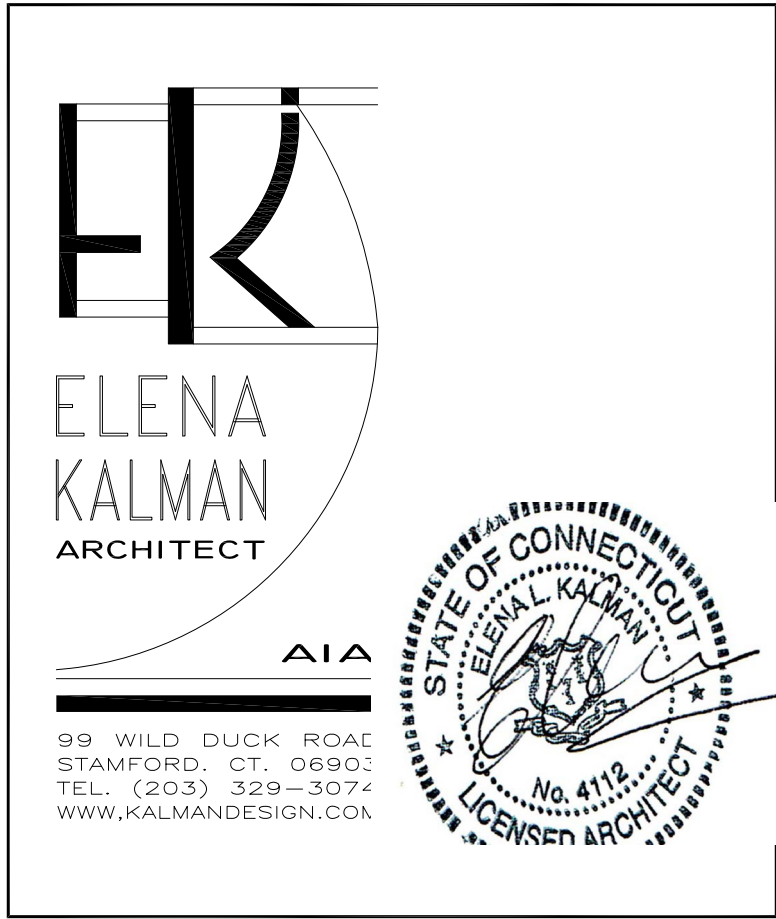
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No.	Date	Revision



PROJECT NAME

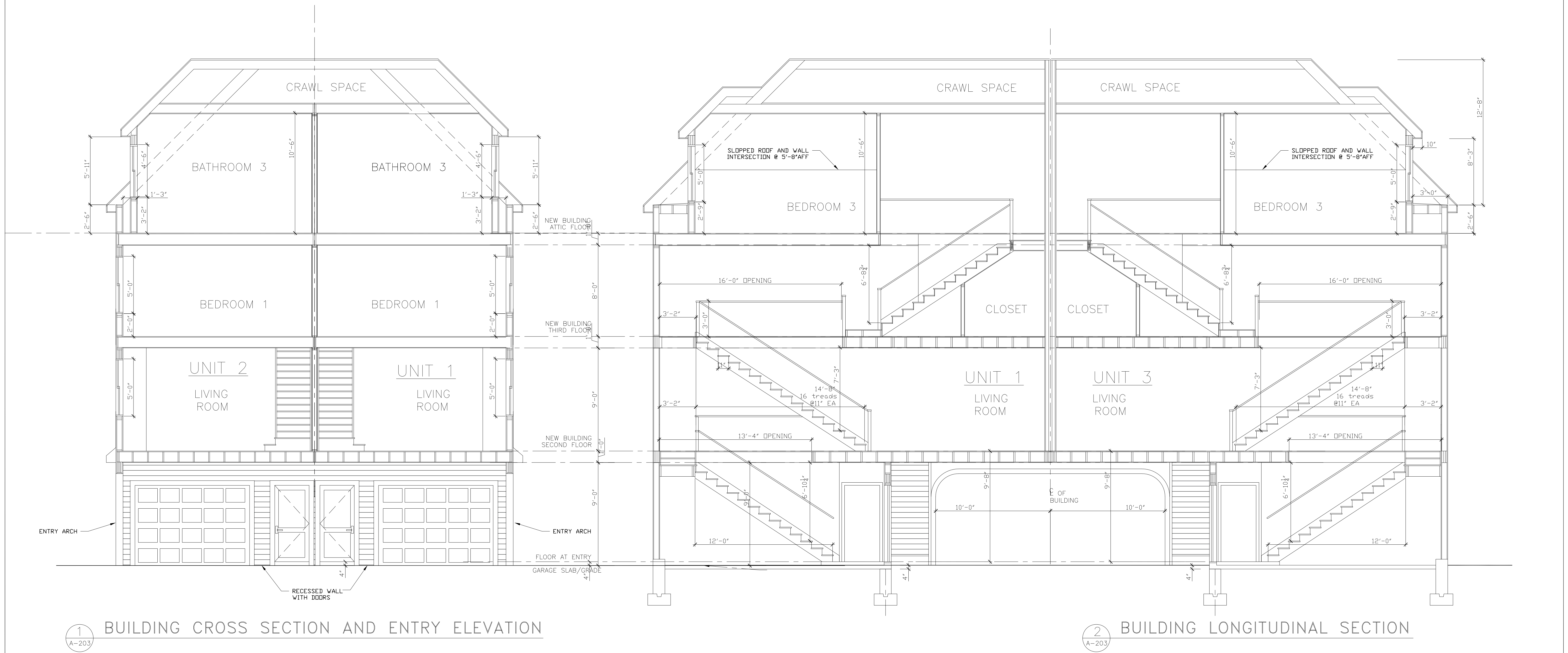
1911 SUMMER
STREET,
STAMFORD, CT

DRAWING TITLE

FIFTH STREET
FACADE
(NORTHERN)

DRAWN BY: EK
CHECKED BY: EK
DATE: 12-6-23
SCALE: 1/4" = 1'-0"
PROJECT NAME: 11911 SUMMER ST
DRAWING NUMBER

A-202



NOTE:
Final development subject to Zoning Board review and approval, and any modifications required by said Zoning Board.

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Date		Issue
No.	Date	Revision

ELENA KALMAN
ARCHITECT

99 WILD DUCK ROAD
STAMFORD, CT 06902
TEL: (203) 329-3074
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PROJECT NAME

1911 SUMMER STREET,
STAMFORD, CT

DRAWING TITLE

BUILDING SECTIONS AND ENTRY ELEVATION

DRAWN BY: EK
CHECKED BY: EK
DATE: 12-6-23
SCALE: 1/4" = 1'-0"
PROJECT NAME: 11911 SUMMER ST
DRAWING NUMBER: A-203