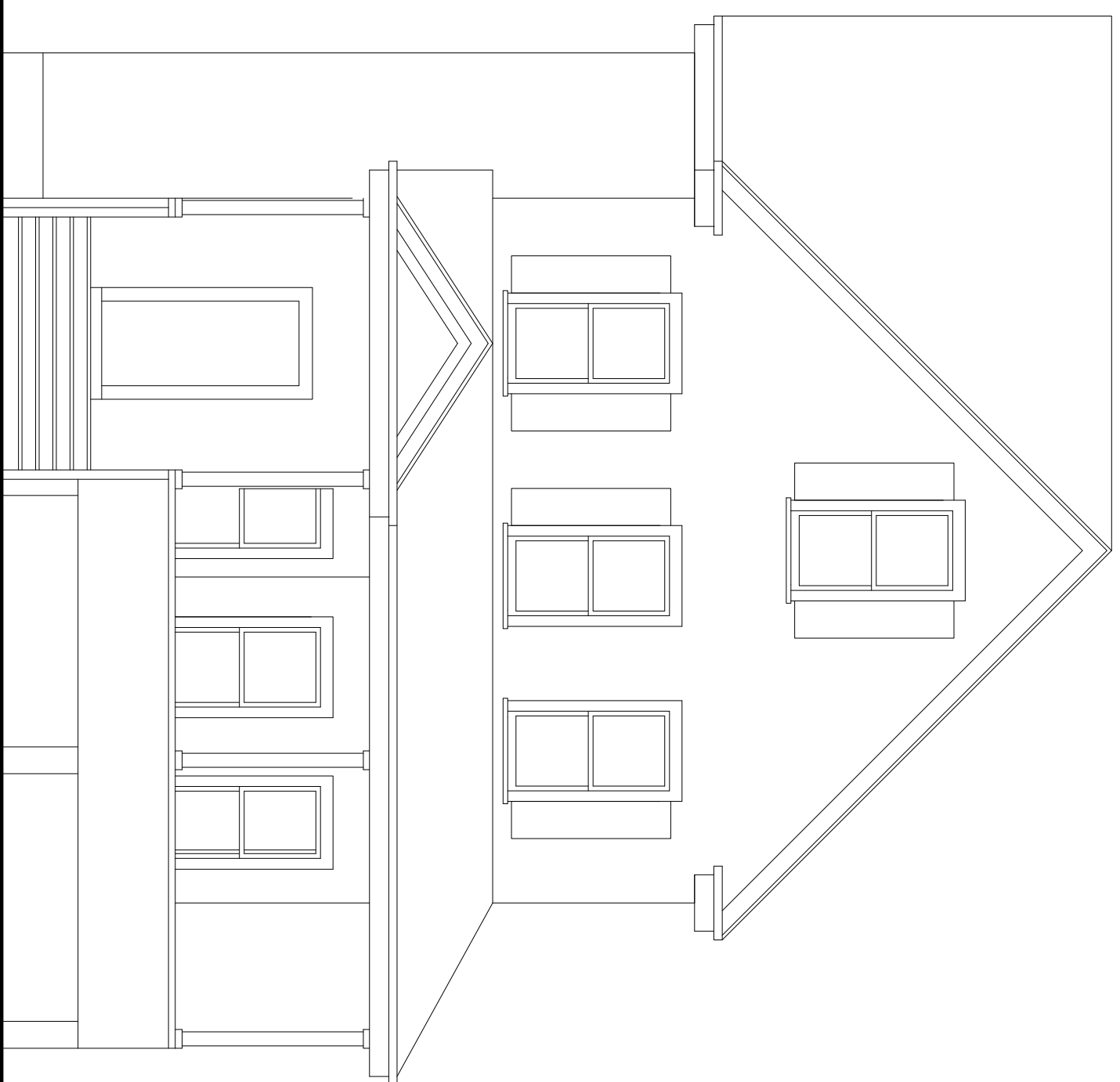




5th STREET ELEVATION



SITE STATISTICS:

EXISTING HISTORIC HOUSE – RESIDENTIAL DWELLING UNIT 5 – 2 BRM GROSS AREA PRIOR TO DEMOLITION OF NON-HISTORIC REAR ENTRY ADDITION: 3630 S.F.

TOTAL GROSS LIVING AREA WITHOUT DEMOLISHED PORTION: 1930 S.F. BASEMENT AND ATTIC ARE NOT INCLUDED IN AREA ABOVE. 998 S.F. ATTIC GROSS AREA IS. 572 S.F.

TOTAL GROSS AREA REMAINING AFTER DEMOLITION OF REAR ADDITION INCLUDING BASEMENT AND ATTIC AREAS: 3502 S.F.

NEW CONSTRUCTION: 2 TWO-FAMILY DWELLINGS, 4 DWELLING UNITS

EACH DWELLING UNIT LIVING AREAS	GROSS	NET
FIRST FLOOR (GARAGE NOT INCLUDED):	81 S.F.	67 S.F.
SECOND FLOOR:	568 S.F.	517 S.F.
THIRD FLOOR:	568 S.F.	517 S.F.
FOURTH FLOOR:	405 S.F.	366 S.F.
TOTAL LIVING AREA PER UNIT	1622 S.F.	1467 S.F.
GARAGE AREA:	322 S.F.	285 S.F.
TOTAL GROSS AREA PER UNIT INCLUDING GARAGES:	1944 S.F.	1752 S.F.
TOTAL NEW CONSTRUCTION 4 D.U.'S	7776 S.F.	
GROSS AREA INCLUDING GARAGES:		
EXISTING BUILDING GROSS AREA:	3500 S.F.	
TOTAL DEVELOPMENT GROSS LIVING AREA:	11,276 S.F.	

APPLICABLE CODES:

Adopted and Referenced Publications

- 2021 International Existing Building Code
- 2021 International Plumbing Code
- 2021 International Mechanical Code
- 2021 International Energy Conservation Code
- 2020 NFPA 70, National Electrical Code, of the National Fire Protection Association Inc.
- 2021 International Residential Code

THE CHANGES FROM THE PREVIOUS PLAN, DATED 2/10/23:

1. HIP ROOF CONFIGURATION OF THE ADDITION IS NOW SIMILAR TO THE ROOF OF THE EXISTING HISTORIC HOUSE.
2. THE BUILDING HEIGHT IS NOW 37'-10" TO THE MIDDPOINT OF THE ROOF, VERSUS 45' TO THE TOP OF THE STAIRS' ROOFS IN THE 2/10/23 DESIGN.
3. BUILDING FACADE IS NOW THREE STORY HIGH WITH HIP ROOF AND DORMERS AT THE FOURTH FLOOR. THIS IS ONE STORY LESS THAN ON THE PREVIOUS DESIGN.
4. ROOF ACCESS IS ELIMINATED.
5. BAYS ARE REDUCED.
6. COLOR OF THE CENTRAL PROJECTING PORTION OF THE BUILDING IS NOW THE SAME AS THE EXISTING BUILDING, USING TWO COLOR SCHEME VISUALLY BREAKS THE MASS OF THE BUILDING.
7. DRIVEWAY UNDER THE BUILDING BETWEEN THE GARAGE DOORS IS NOW 28' WIDE VERSUS 20' WIDE OF THE PREVIOUS DESIGN.

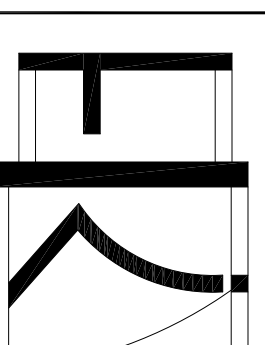
SIDING ON THE ADDITION: JAMES HARDIE PLANK, SMOOTH FINISH COLOR: DEEP OCEAN AND BOOTHBAY BLUE.
SHINGLES ON THE EXISTING HOUSE PAINTED: TO MATCH BOOTHBAY BLUE.
TRIM AND SOFFITS ON BOTH HOUSES: WHITE

DRAWING TITLE

COVER, CODE
AND NOTES

DRAWN BY: EK
CHECKED BY: EK
DATE: 12-6-23
SCALE: 1/4" = 1'-0"
PROJECT NAME: 11911 SUMNER ST
DRAWING NUMBER:

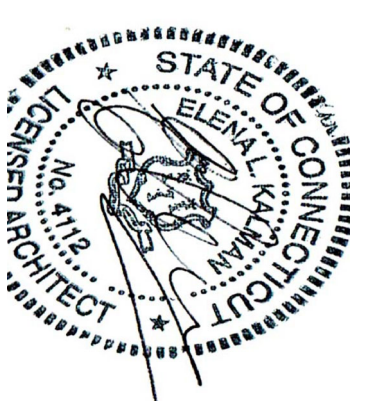
A-00

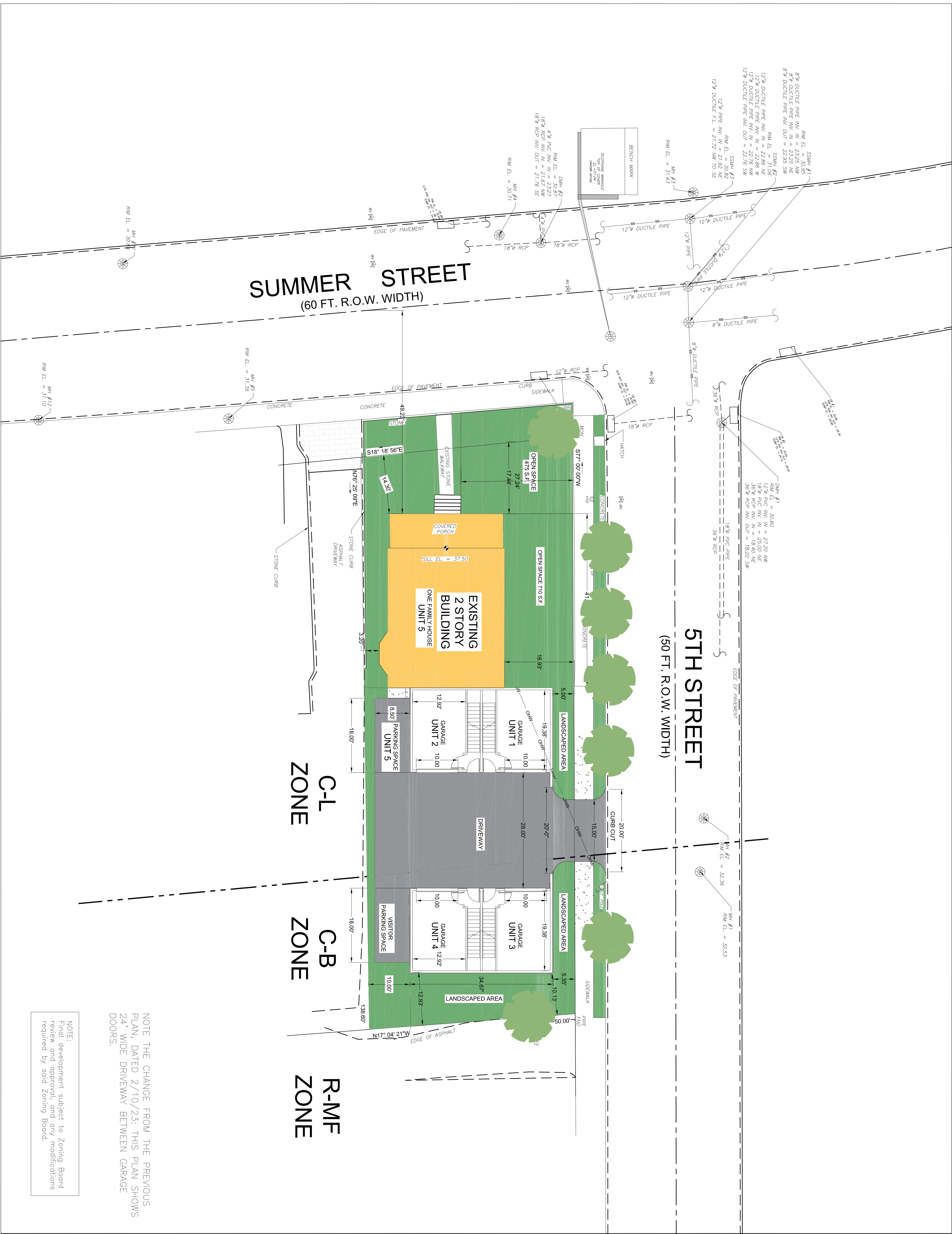


ELENA
KALMAN
ARCHITECT

AIA

89 WILD DUCK ROAD
SANDY BEACH, CT 06482
TEL (203) 529-0972
FAX (203) 329-7149





NOTE THE CHANGE FROM THE PREVIOUS PLAN, DATED 2/10/23: THIS PLAN SHOWS 24' WIDE DRIVEWAY BETWEEN GARAGE DOORS.

NOTE:
Final development subject to Zoning Board review and approval, and any modifications required by said Zoning Board.

NOTE:
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED HEREON ARE THE PROPERTY OF ELENA KALMAN ARCHITECT. NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ELENA KALMAN ARCHITECT.
WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THIS DRAWING. ANY SUCH VARIATIONS SHALL BE SUBMITTED TO THIS OFFICE FOR REVIEW BEFORE PROCEEDING WITH FABRICATION.

No.	Date	Revision

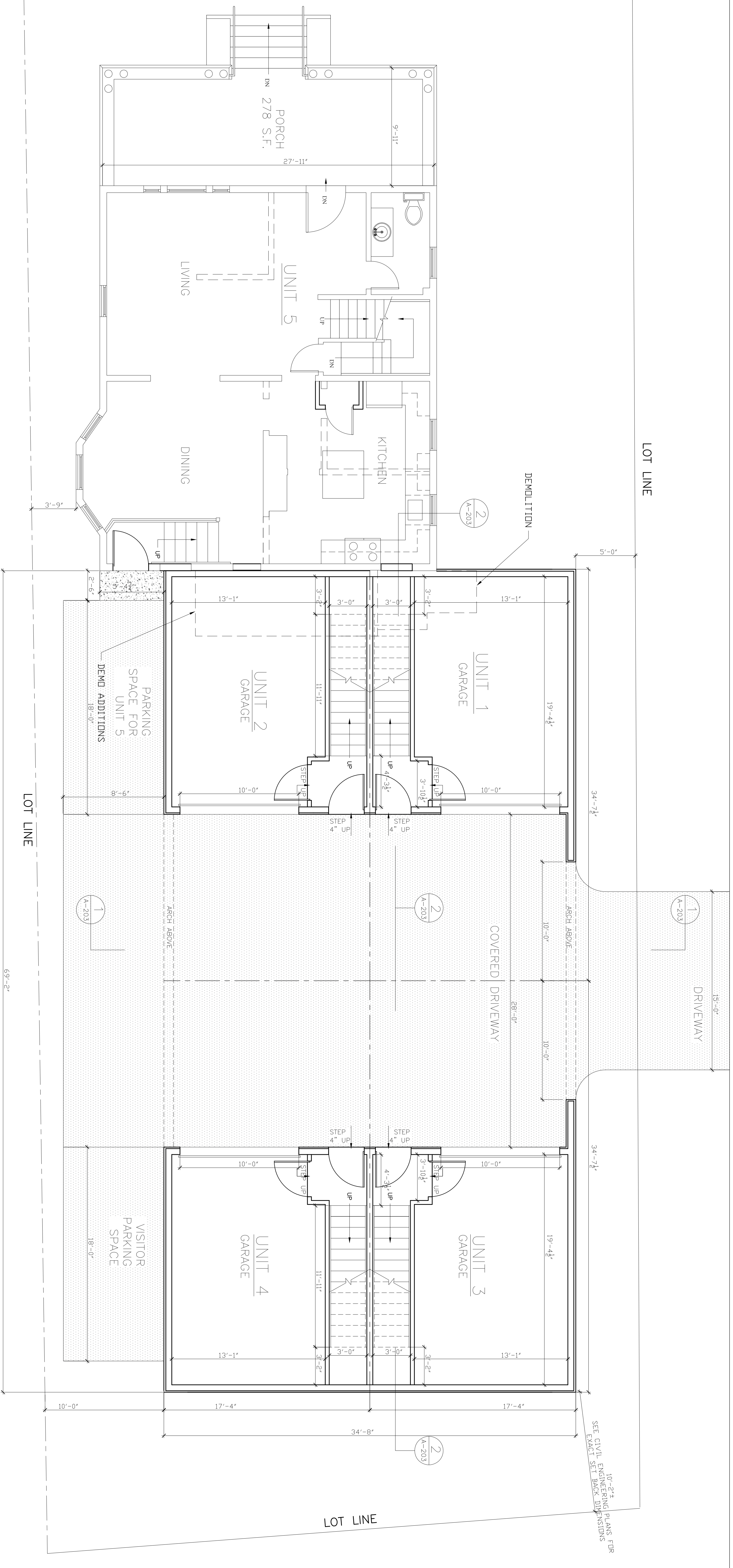
1911 SUMMER STREET, CT
STAMFORD, CT

ELENA KALMAN ARCHITECT
AIA
99 WILD DUCK ROAD
STAMFORD, CT 06902
TEL: (203) 329-7149
FAX: (203) 329-7149

DRAWING TITLE
SITE PLAN

DATE: 12-8-23
SCALE: 1"=20'

PROJECT NAME: EK 11911 SITE
DRAWING NUMBER: A-01



NOTE:
Final development subject to Zoning Board review and approval, and any modifications required by said Zoning Board.

NOTE:
ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE PROPERTY OF ELENA KALMAN ARCHITECT BEFORE CONSTRUCTION. ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS INDICATED ON THIS DRAWING SHALL BE USED AT THE WRITER'S PERMISSION OF ELENA KALMAN ARCHITECT.

No.	Date	Issue

1911 SUMMER STREET, CT STAMFORD, CT

ELENA KALMAN ARCHITECT

99 WILD DUCK ROAD
STAMFORD, CT 06907
TEL (203) 329-0972
FAX (203) 329-7149

AIA

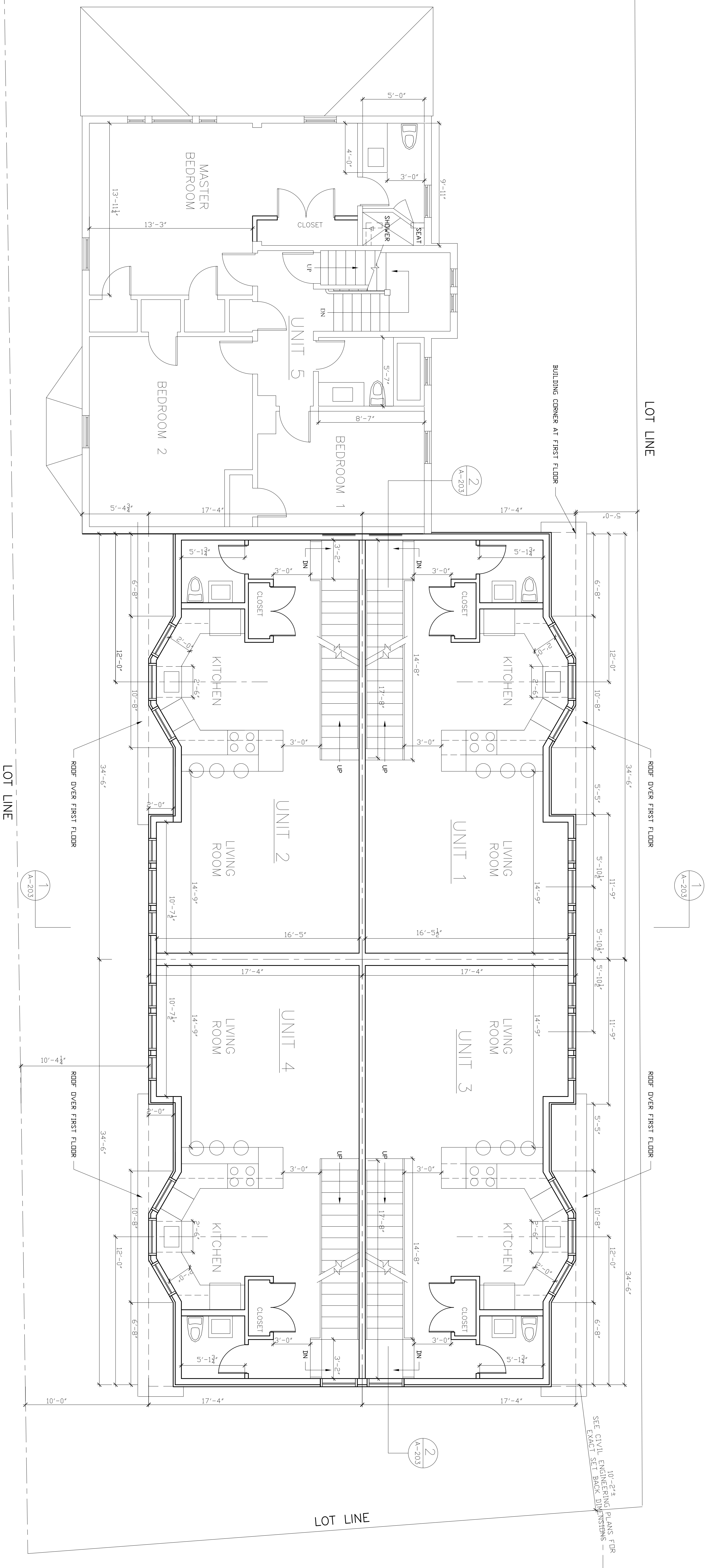
NOTE THE CHANGE FROM THE PREVIOUS PLAN, DATED 2/10/23: THIS PLAN SHOWS 24' WIDE DRIVEWAY BETWEEN GARAGE DOORS.

DRAWING TITLE

FIRST FLOOR PLAN

DESIGN BY: EK
CHECKED BY: EK
DATE: 12-6-23
SCALE: 1/4" = 1'-0"
PROJECT NAME: 1911 SUMMER ST
DRAWING NUMBER: **A-101**

SEE CIVIL ENGINEERING PLANS FOR EXACT SET BACK DIMENSIONS



NOTE:
Final development subject to Zoning Board review and approval, and any modifications required by said Zoning Board.

NOTE:
ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE PROPERTY OF ELENA KALMAN ARCHITECT BEFORE CONSTRUCTION. ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS INDICATED ON THIS DRAWING SHALL BE USED AT THE WRITTEN PERMISSION OF ELENA KALMAN ARCHITECT.

Date	Issue

No.	Date	Revision

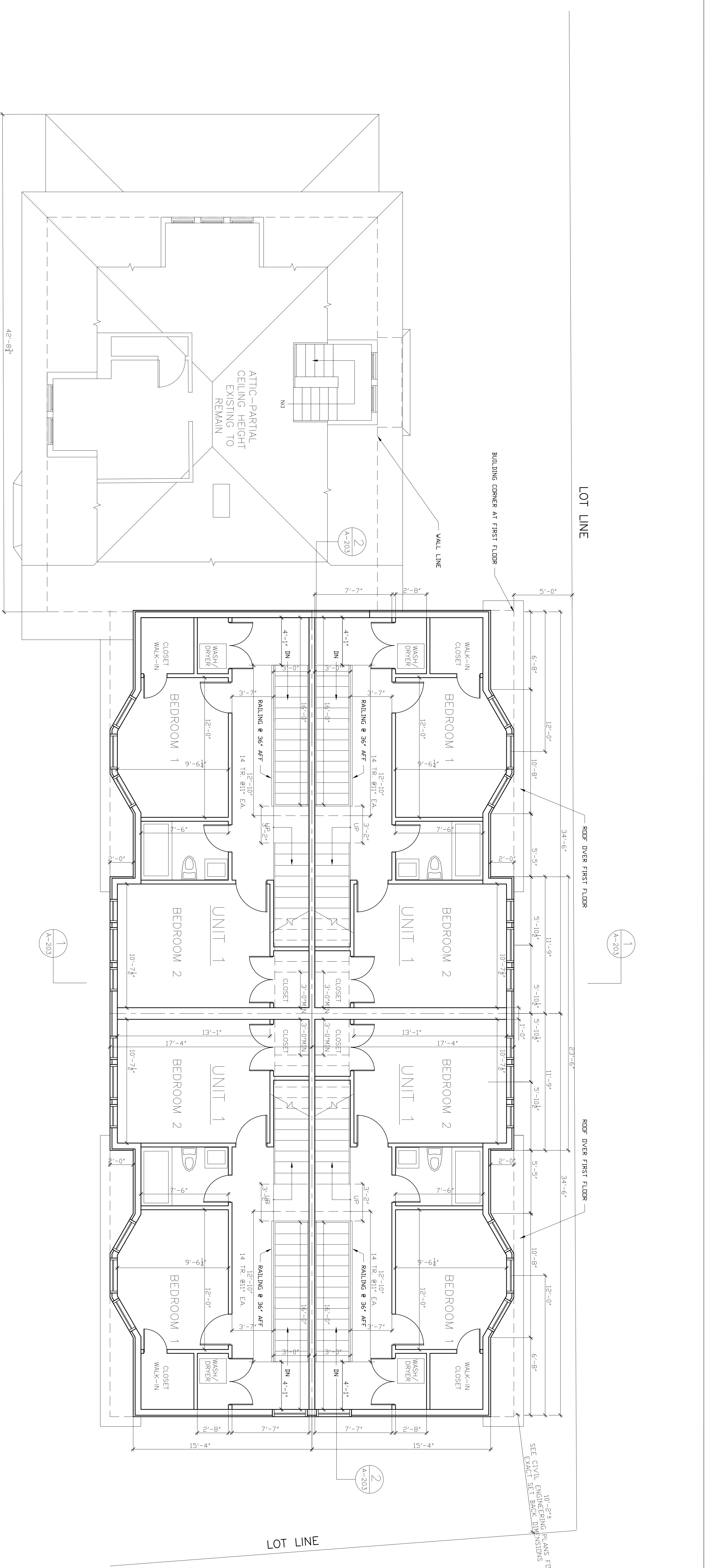
1911 SUMMER
STREET,
STAMFORD, CT

ELENA KALMAN ARCHITECT
99 WILD DUCK ROAD
STAMFORD, CT 06907
TEL (203) 329-8972
FAX (203) 329-7149

DRAWING TITLE

SECOND FLOOR PLAN

DESIGNED BY: EK
CHECKED BY: EK
DATE: 12-6-23
SCALE: 1/4" = 1'-0"
PROJECT NAME: 1911 SUMMER ST
DRAWING NUMBER: A-102



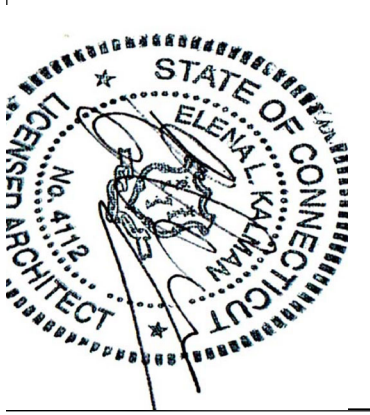
NOTE:
Final development subject to Zoning Board review and approval, and any modifications required by said Zoning Board.

NOTE:
ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE PROPERTY OF ELENA KALMAN ARCHITECT BEFORE CONSTRUCTION. ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS INDICATED ON THIS DRAWING SHALL BE USED AT THE WRITER'S PERMISSION OF ELENA KALMAN ARCHITECT.

No.	Date	Issue

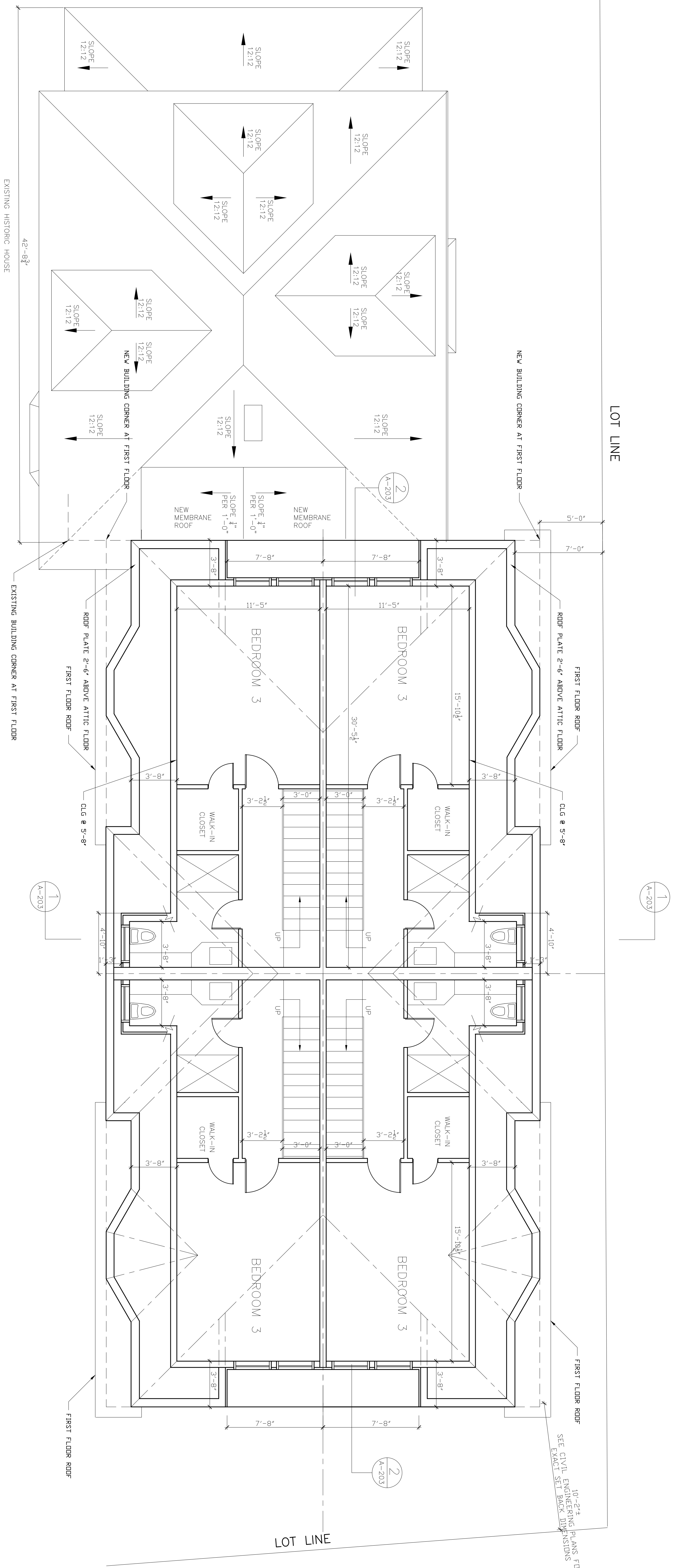
1911 SUMMER
STREET,
STAMFORD, CT

ELENA KALMAN ARCHITECT
AIA
99 WILD DUCK ROAD
STAMFORD, CT 06907
TEL (203) 329-0972
FAX (203) 329-7149



DRAWING TITLE
ATTIC/THIRD FLOOR PLAN

DESIGN BY: EK
CHECKED BY: EK
DATE: 12-6-23
SCALE: 1/4" = 1'-0"
PROJECT NAME: 1911 SUMMER ST
DRAWING NUMBER: **A-103**



NOTE:
Final development subject to Zoning Board review and approval, and any modifications required by said Zoning Board.

NOTE:
ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED ON THIS DRAWING ARE THE PROPERTY OF ELENA KALMAN ARCHITECT AND SHALL REMAIN HER PROPERTY. NO PART OF THIS DRAWING OR ANY INFORMATION CONTAINED HEREIN SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ELENA KALMAN ARCHITECT.
PRECEDENCE OVER SCALED DIMENSIONS: CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK IN THE FIELD AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THIS DRAWING. THE DIMENSIONS AND CONDITIONS SHOWN ON THIS DRAWING SHALL BE USED FOR REVIEW AND PROCEEDING WITH FABRICATION.

Date	Issue

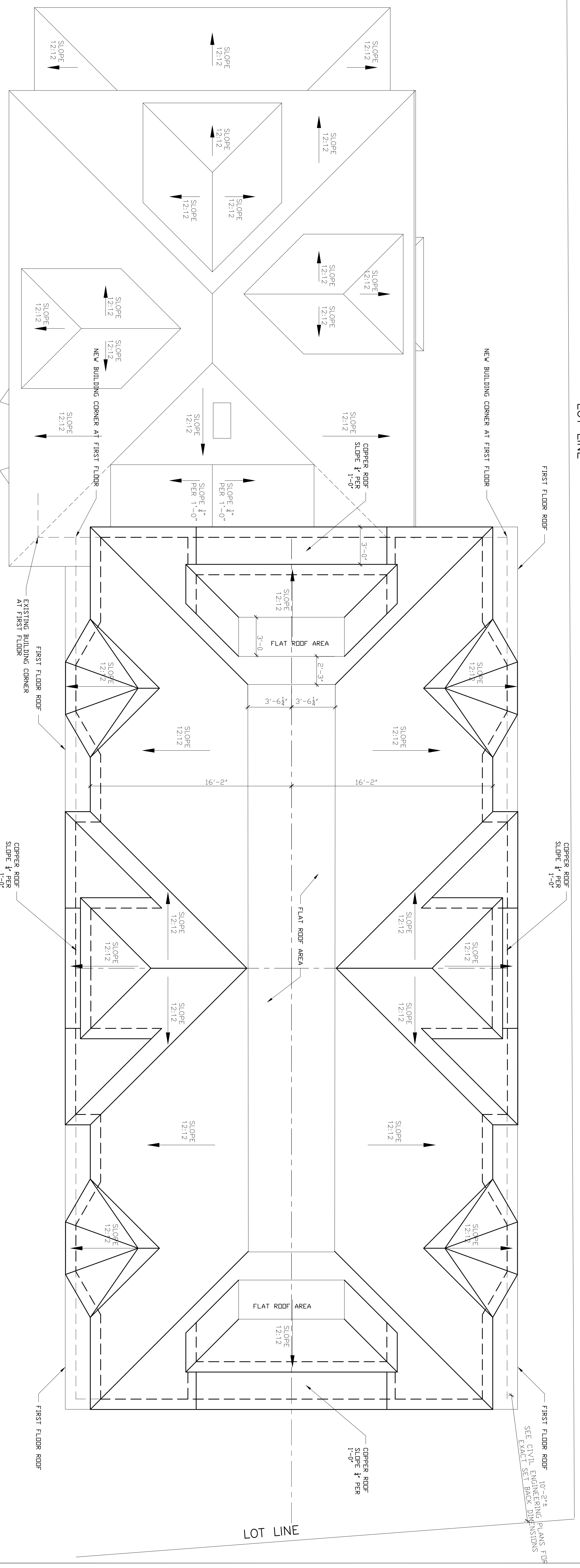
No.	Date	Revision

1911 SUMMER
STREET,
STAMFORD, CT

ELENA KALMAN ARCHITECT
99 WILD DUCK ROAD
STAMFORD, CT 06902
TEL (203) 329-8972
FAX (203) 329-7149

DRAWING TITLE
FOURTH FLOOR PLAN

DESIGN BY: EK
CHECKED BY: EK
DATE: 12-6-23
SCALE: 1/4" = 1'-0"
PROJECT NAME: 1911 SUMMER ST
DRAWING NUMBER: **A-104**



NOTE:
Final development subject to Zoning Board review and approval, and any modifications required by said Zoning Board.

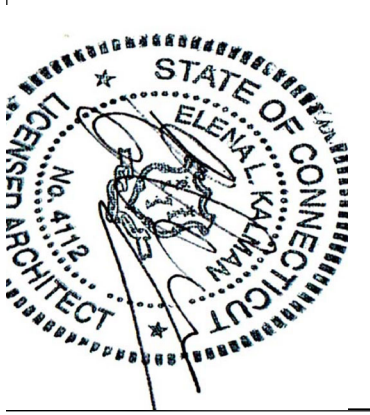
NOTE:
ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED ON THIS DRAWING WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND FOR THE PROJECT OF ELENA KALMAN ARCHITECT AND ARE THE PROPERTY OF ELENA KALMAN ARCHITECT. NO PART OF THIS DRAWING OR ANY INFORMATION CONTAINED HEREIN SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ELENA KALMAN ARCHITECT.

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE WILL BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SUBMITTED TO THIS OFFICE FOR REVIEW BEFORE PROCEEDING WITH FABRICATION.

No.	Date	Issue

1911 SUMMER STREET, STAMFORD, CT

EK
ELENA KALMAN ARCHITECT
99 WILD DUCK ROAD
STAMFORD, CT 06907
TEL (203) 329-8972
FAX (203) 329-7149



DRAWING TITLE

ROOF PLAN

DRAWN BY: EK
CHECKED BY: EK
DATE: 12-6-23
SCALE: 1/4" = 1'-0"
PROJECT NAME: 1911 SUMMER ST
DRAWING NUMBER:

A-105



**SUMMER STREET FACADE
(WESTERN)**

EASTERN FACADE

NOTE:
ON THE ADDITION, JAMES HARDE PLANK,
SHINGLES ON THE EXISTING HOUSE, PAINTED,
BENJAMIN MOORE, HC-199 PHILPSBURY BLUE.
TRIM AND SOFFITS ON BOTH HOUSES: WHITE

NOTE:
Final development subject to Zoning Board
review and approval, and any modifications
required by said Zoning Board.

NOTE:
ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED
HEREIN ARE THE PROPERTY OF ELENA KALMAN ARCHITECT
AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE
WHERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND
FOR THE PROJECT AND SITE WHERE CREATED, EVOLVED AND
IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED
OR DISCLOSED TO ANY PURPOSE, WHATSOEVER WITHOUT
THE WRITTEN PERMISSION OF ELENA KALMAN ARCHITECT
WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE
PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL
VERIFY ALL DIMENSIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED
OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS
SUBMITTED TO THIS OFFICE FOR REVIEW BEFORE PROCEEDING
WITH FABRICATION.

No.	Date	Issue

PROJECT NAME
**1911 SUMMER
STREET,
STAMFORD, CT**

DRAWING TITLE
**SUMMER STREET
FACADE
(WESTERN)
AND EASTERN
FACADE**

DRAWN BY: _____
CHECKED BY: _____
DATE: 12-6-23
SCALE: 1/4" = 1'-0"
PROJECT NAME: 1911 SUMMER ST
DRAWING NUMBER: **A-201**



FIFTH STREET ELEVATION –
ALTERNATE FACADE "D"

NOTE:
SIDING ON THE ADDITION: JAMES HARDIE PLANK.
SMOOTH FINISH COLOR: DEEP OCEAN.
SHINGLES ON THE EXISTING HOUSE PAINTED:
BENJAMIN MOORE, CC-99 PHILADELPHIA BLUE.
TRIM AND SORTIS ON BOTH HOUSES: WHITE.

NOTE:
Final development subject to Zoning Board
review and approval, and any modifications
required by said Zoning Board.

NOTE:
ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED
HEREIN ARE THE PROPERTY OF ELENA KALMAN ARCHITECT
AND ARE NOT TO BE REPRODUCED, COPIED, OR
REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN
PERMISSION OF ELENA KALMAN ARCHITECT.
WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE
PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL
VERIFY ALL DIMENSIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED
OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS
SUBMITTED TO THIS OFFICE FOR REVIEW BEFORE PROCEEDING
WITH FABRICATION.

No.	Date	Issue

ELENA KALMAN ARCHITECT

99 WILD DUCK ROAD
WILMINGTON, CT 06497
TEL: (203) 239-8272
WWW.KALMANDESIGN.COM

AIA

PROJECT NAME
1911 SUMMER
STREET,
STAMFORD, CT

DRAWING TITLE
FIFTH STREET
FACADE
(NORTHERN)

SCALE: 1/4" = 1'-0"

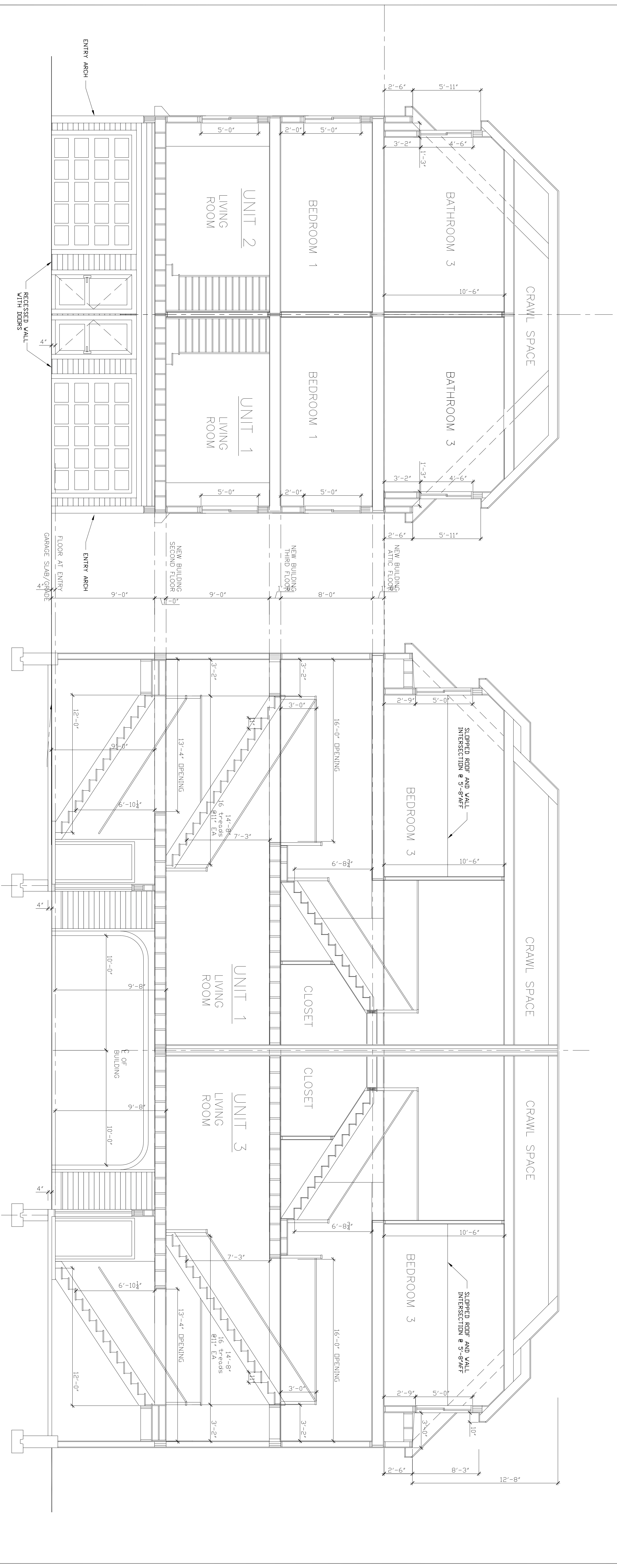
PROJECT NAME: 1911 SUMMER ST

DRAWING NUMBER: **A-202**

DATE: 12-6-23

CHECKED BY: BK

DESIGN BY: BK



1 BUILDING CROSS SECTION AND ENTRY ELEVATION
A-203

2 BUILDING LONGITUDINAL SECTION
A-203

NOTE:
Final development subject to Zoning Board review and approval, and any modifications required by said Zoning Board.

NOTE:
ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED HEREIN ARE THE PROPERTY OF ELENA KALMAN ARCHITECT AND ARE NOT TO BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF ELENA KALMAN ARCHITECT. WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SUBMITTED TO THIS OFFICE FOR REVIEW BEFORE PROCEEDING WITH FABRICATION.

No.	Date	Issue

ELENA KALMAN ARCHITECT

99 WILD DUCK ROAD
1911 SUMMER STREET
STAMFORD, CT 06907
TEL: (203) 329-8272
WWW.KALMANDESIGN.COM

PROJECT NAME
1911 SUMMER STREET, STAMFORD, CT

DRAWING TITLE
BUILDING SECTIONS AND ENTRY ELEVATION

SCALE: 1/4" = 1'-0"

DATE: 12-6-23

PROJECT NAME: 1911 SUMMER ST

DRAWING NUMBER: A-203

Lisa L. Feinberg
Partner
Direct: 203-252-2677
Fax: 203-325-8608
LFeinberg@carmodylaw.com

1055 Washington Blvd
Stamford, CT 06901

December 11, 2023

Ralph G. Blessing
Land Use Bureau Chief
City of Stamford
888 Washington Blvd, 7th Floor
Stamford, CT 06901

**Re: Revised Application Materials – Appls. 223-39 & 223-40
1911 Summer Street, Stamford, Connecticut (the “Property”)**

Dear Mr. Blessing:

In response to feedback received from staff and the Historic Preservation Advisory Commission, enclosed please find the following updated materials related to above referenced applications:

1. Revised Architectural Drawings prepared by Elena Kalman dated December 6, 2023;
2. Revised Text Amendment dated December 11, 2023;
3. Turning Radius Exhibit dated December 1, 2023.

We look forward to presenting these materials to the reviewing commission and boards and kindly request that you distribute same to them in advance. Of course, if you should have any questions, please feel free to contact me.

Very truly yours,

Lisa Feinberg

Lisa L. Feinberg

Enc.

Schedule A – Proposed Regulation Amendment

Proposed text in *[bracketed, red italics]*.

7.3.C.3. Parking Standards

Parking for *Historic Structures* to be preserved shall be subject to approval by the Zoning Board based on the proposed use, the available information, and a determination that the proposed plan provides for adequate parking in the vicinity and that no adverse impact will be created. Notwithstanding the other applicable parking standards of these Regulations, the Zoning Board, in its sole discretion, may approve the following minimum parking standards:

- a. No less than 0.5 *Parking Spaces* per Dwelling Unit within *Master Plan* Categories 9, 11, and 16, or less where permitted by these Regulations, and no less than 1.0 *Parking Spaces* per Dwelling Unit in all other *Master Plan Categories*, or less where permitted; provided, however, that no on-site parking shall be required if the *Building* is within 1,000 feet of a public parking garage, as measured from the entrance of the *Building* to the garage entrance, as the crow flies, or if sufficient on-street parking is available, as determined by the City of Stamford Transportation, Traffic and Parking Bureau;
- b. No less than 0.5 *Parking Spaces* per 1,000 sf of *Gross Floor Area* for non-residential uses within *Master Plan Categories* 9, 11, and 16, or less where permitted by these Regulations, and no less than 1.0 *Parking Spaces* per 1,000 sf of *Gross Floor Area* for non-residential uses in all other *Master Plan Categories*, or less where permitted; provided, however, that no on-site parking shall be required for non-residential uses with a *Gross Floor Area* of 2,000 sf or less per establishment or if located within 1,000 feet of a public parking garage, as measured from the entrance of the *Building* to the garage entrance, as the crow flies, or if sufficient on-street parking is available, as determined by the City of Stamford Transportation, Traffic and Parking Bureau; and
- c. *[The Zoning Board may reduce or waive the development standards of Table 12.5 (Minimum Distances of Parking Areas from Lot Lines and Buildings) in order to facilitate the provision of on-site parking. All parking spaces or areas encroaching within the setbacks specified in Table 12.5 shall be constructed with pervious pavers. The Zoning Board may modify the dimensions of Parking Spaces exclusively used for residential uses, as defined by Section 12.A of these Regulations where the Transportation, Traffic and Parking Bureau finds that such modification would not reduce circulation or affect maneuverability of parking operations.]*

7.3.C.4. Development Standards

Historic Structures or *Sites* or lots where *Historic Structures* or *Sites* are located must meet the requirements for the underlying Zoning District. The Zoning Board may modify the development standards as follows:

a. Density (no changes proposed)

b. Setbacks

- 1) Rear and Side Yard setbacks may be reduced by up to fifty percent (50%) of the required setbacks, but to no less than the Light and Air requirement, as set forth in Subsection 7.3.C.4.e below. Front yard setbacks may be reduced by up to the setback of existing adjacent *Historic Buildings*. *[A Corner Lot where Historic Structures or Sites are located and utilized for residential purposes shall comply with the Front Yard setback standard on all Streets, but may reduce the setback on one (1) frontage to no less than 5' in a commercial district, or no less than 10' in a multifamily residential district, and shall comply with the Side Yard setback standard (as may be modified by this subsection) for all other yards. There shall be no Rear Yard requirement.]*

c. Height (no changes proposed)

d. Building Area (no changes proposed)

e. Light and Air (no changes proposed)

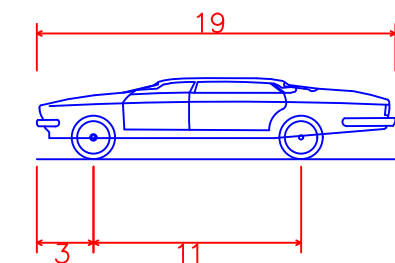
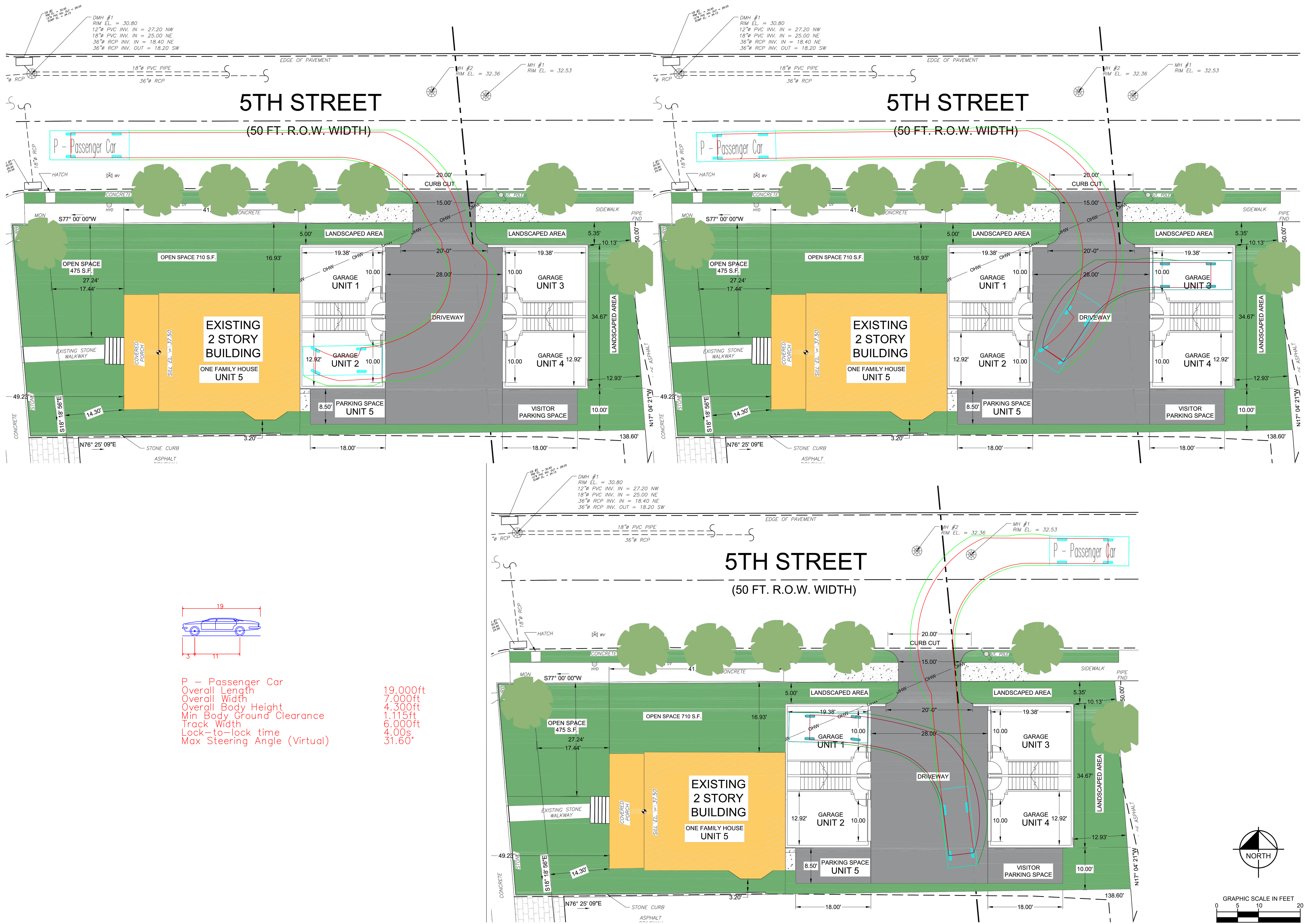
f. Minimum Size of Plot (no changes proposed)

g. Lot Coverage and Impervious Surface (no changes proposed)

h. Usable Open Space – Not less than seventy-five (75) square feet of Usable Open Space shall be provided per Dwelling Unit. Provided; however, the total amount and minimum dimensions of required Usable Open Space may modified as detailed below when the Zoning Board finds the modification supports contextual new Development and/or preservation of a Historic Structure or Historic Site:

- 1) *The total amount of Usable Open Space may be reduced by up to twenty-five percent (25%); and*
- 2) *Qualifying contiguous Usable Open Space must have a minimum dimension on each side of no less than fifteen (15) feet.*

Sawd Thursday, December 7, 2023 1:38:55 PM VERONICA.PREZCOSO Plotted Friday, December 8, 2023 1:53:39 PM Proznio, Veronica
This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse and improper reliance on this document without written authorization and adaptation by Kimley-Horn Engineering and Landscape Architecture of New York, P.C. shall be without liability to Kimley-Horn Engineering and Landscape Architecture of New York, P.C.

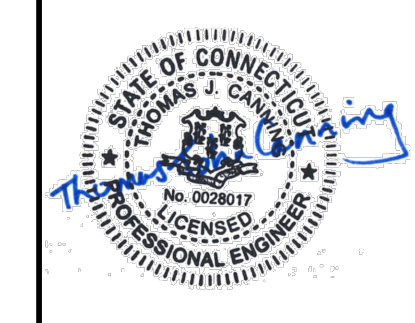


P - Passenger Car
 Overall Length 19.000ft
 Overall Width 7.000ft
 Overall Body Height 4.300ft
 Min Body Ground Clearance 1.115ft
 Track Width 6.000ft
 Lock-to-lock time 4.00s
 Max Steering Angle (Virtual) 31.60°

NO.	REVISIONS	DATE

NOT FOR CONSTRUCTION

Kimley-Horn
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.
 1 NORTH AVENUE, SUITE 605
 WHITE PLAINS, NY 10601
 PHONE: 914-389-9200
 WWW.KIMLEY-HORN.COM



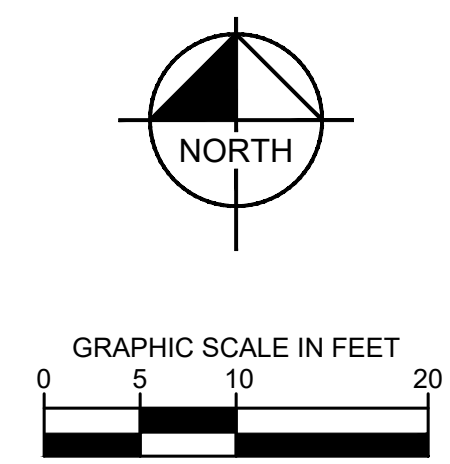
R/A PROJECT	112863000
DATE	12-01-2023
SCALE	AS SHOWN
DESIGNED BY	VP
DRAWN BY	VP
CHECKED BY	TJC

**PASSENGER CAR
 (GARAGE PARKING)
 TURNING PLAN**

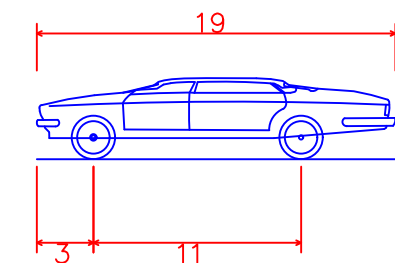
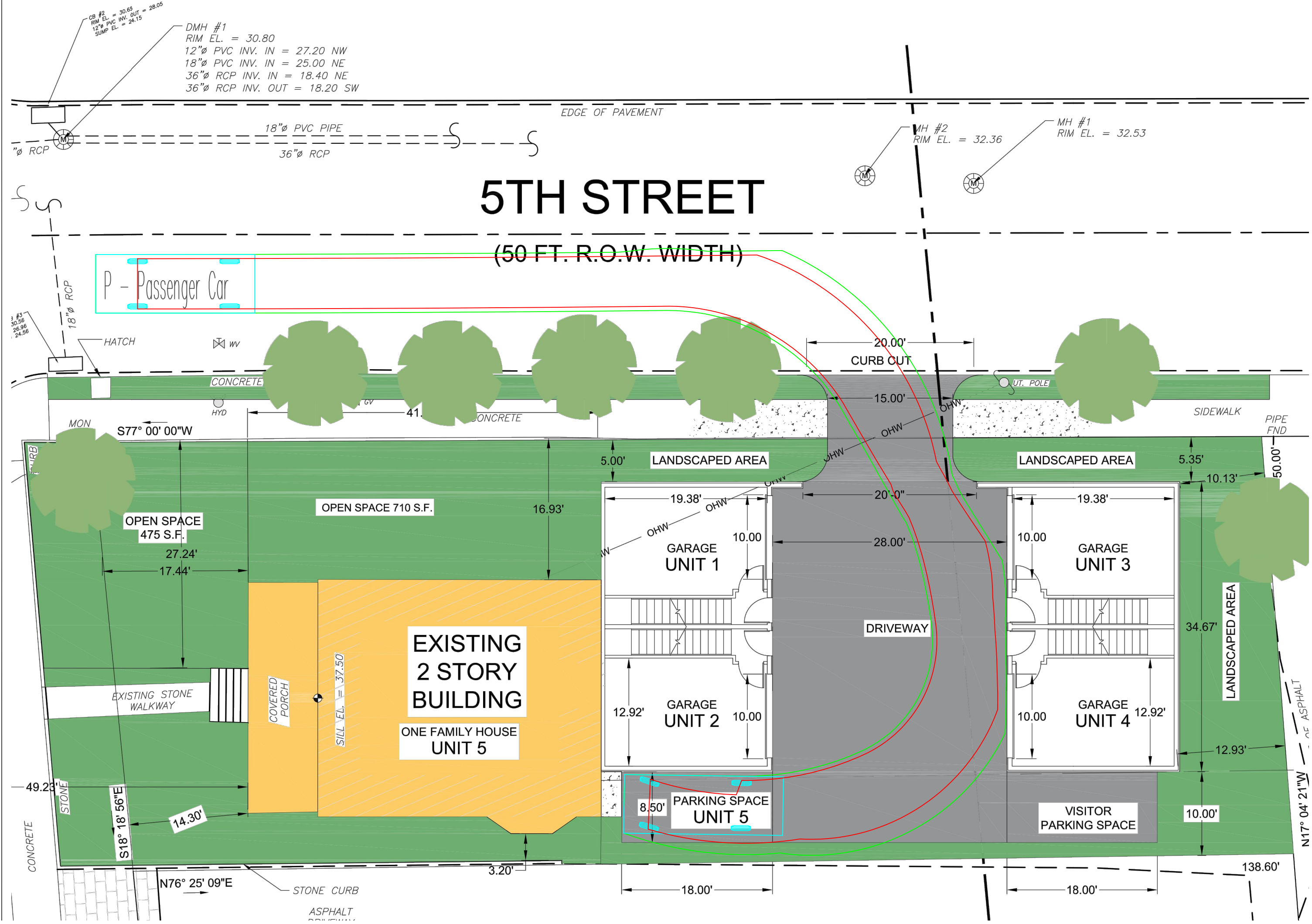
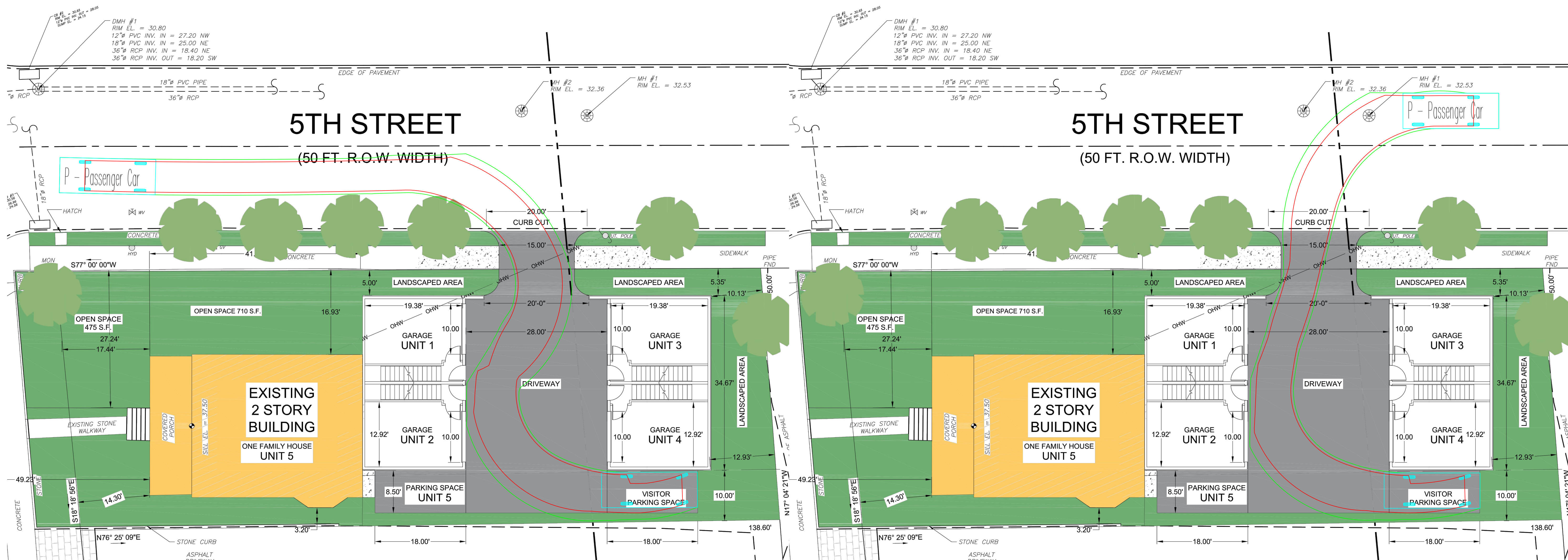
1911 SUMMER STREET
 1911 SUMMER STREET
 STAMFORD, CT 06905

CITY OF STAMFORD CONNECTICUT

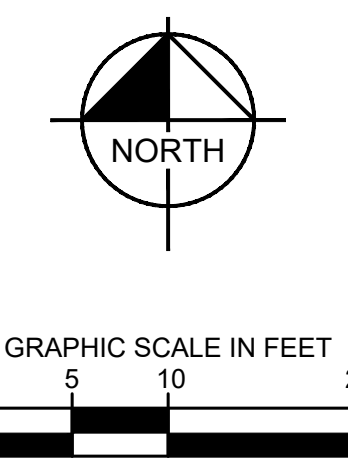
SHEET NUMBER
T-1.0



Sawd Thursday, December 7, 2023 1:38:55 PM VERONICA.PREZZI\SSD Plotted Friday, December 8, 2023 1:58:48 PM Proznio, Veronica
This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn Engineering and Landscape Architecture of New York, P.C. shall be without liability to Kimley-Horn Engineering and Landscape Architecture of New York, P.C.



P - Passenger Car
 Overall Length 19.000ft
 Overall Width 7.000ft
 Overall Body Height 4.300ft
 Min Body Ground Clearance 1.115ft
 Track Width 6.000ft
 Lock-to-lock time 4.00s
 Max Steering Angle (Virtual) 31.60°



NO.	REVISIONS	DATE

NOT FOR CONSTRUCTION

Kimley-Horn
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.
 1 NORTH AVENUE, SUITE 605
 WHITE PLAINS, NY 10611
 PHONE: 914-369-9200
 WWW.KIMLEY-HORN.COM



PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
RHA PROJECT 112863000	12-01-2023	AS SHOWN	VP	VP	TIC

PASSENGER CAR (OUTDOOR PARKING) TURNING PLAN

1911 SUMMER STREET
 1911 SUMMER STREET
 STAMFORD, CT 06905
 CITY OF STAMFORD CONNECTICUT
 SHEET NUMBER T-2.0