

MAYOR  
Caroline Simmons



CITY OF STAMFORD  
ZONING BOARD  
LAND USE BUREAU  
888 WASHINGTON BOULEVARD  
STAMFORD, CT 06904 -2152

DIRECTOR OF OPERATIONS  
Matthew Quiñones

Land Use Bureau Chief  
Ralph Blessing

Principal Planner  
Vineeta Mathur  
(203) 977-4716  
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Associate Planner  
Lindsey Cohen  
(203) 977-4388  
[lcohen@stamfordct.gov](mailto:lcohen@stamfordct.gov)

February 14, 2024

RECEIVED

Ms. Theresa Dell, Chair, Planning Board  
Land Use Bureau, City of Stamford  
888 Washington Blvd.  
Stamford, CT 06904

FEB 14 2024

PLANNING BOARD

**RE: 223-38 -800 Long Ridge Road LLC, 800 Long Ridge Road, Stamford, CT – Site and Architectural Plans and/or Requested Uses and Special Permit** - Applicant is proposing a redevelopment consisting of 354 apartments and approximately 9,394 square feet of commercial space along with associated landscaping and site improvements.



Dear Ms. Dell:

In accordance with Section C6-40-10 of the Charter of the City of Stamford, the above captioned Applications for a Site and Architectural Plans and/or Requested Uses and a Special Permit are hereby referred to the Planning Board of the City of Stamford for its advisory report.

A public hearing has not yet been scheduled. Referral comments should be filed with the Zoning Board Office by **March 20, 2024**.

If you have any questions, please feel free to contact me at (203) 977-4716.

Sincerely,

  
Vineeta Mathur  
Principal Planner 

January 26, 2024

**VIA HAND & ELECTRONIC DELIVERY**

Ms. Vineeta Mathur  
Principal Planner, Land Use Bureau  
City of Stamford  
888 Washington Boulevard  
Stamford, CT 06901  
[VMathur@StamfordCT.gov](mailto:VMathur@StamfordCT.gov)

**Re: Revised Application Materials  
800 Long Ridge Road, Stamford, CT (Parcel ID 003-7329)  
800 Long Ridge, LLC**

Dear Ms. Mathur:

Our firm represents 800 Long Ridge, LLC (the “Applicant”), the owner of the property located at 800 Long Ridge Road (the “Property”). As you know, on October 6, 2023, the Applicant submitted applications requesting Site Plan and Special Permit approvals (the “Application”) to facilitate the construction of two (2), four-story structures consisting of 354 units, as well as a 9,394± square foot commercial space on the Property, along with associated landscaping and site improvements. On November 3, 2023, the Applicant met with your office to discuss your feedback on the Application. The Applicant subsequently met with staff from the Transportation, Traffic & Parking Department and Environmental Protection Board to discuss matters related to sidewalks and other pedestrian improvements on and around the Property. The Applicant has revised its application materials in response to the comments it received at these meetings. Enclosed please find the following revised and new application materials:<sup>1</sup>

- Twenty-one (21) copies of the application forms and associated schedules to the Application, revised to January 26, 2024:
  - Schedule A – List of Plans & Reports;
  - Schedule B – Project Narrative;
  - Schedule C – Statement of Findings;
  - Schedule D – Legal Description of Property;

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<sup>1</sup>As noted in the enclosed materials, the number of proposed parking spaces has decreased from 628 to 618. A letter from Fuss & O’Neill will follow under separate cover that acknowledges this change and notes that it will not have an impact on the findings contained in the Traffic Study and Parking and Transportation Demand Management Plan.

- Schedule E – Zoning Data Charts (including breakdowns by building); and
- Schedule F – Existing Zoning Map and Aerial Photo of Property;
- Eight (8) full-size and thirteen (13) half-size copies of the following plans:
  - Architectural Plans prepared by EDI International, dated November 16, 2023, revised to January 18, 2024, with the plan titles listed on Schedule A;
  - Civil Plans prepared by Civil 1, Inc., dated October 3, 2023, revised to January 22, 2024, with the plan titles listed on Schedule A; and
  - Landscape Plan prepared by Environmental Land Solutions, LLC, dated October 3, 2023, revised to January 16, 2024, with the plan titles listed on Schedule A;
  - Landscape Rendering prepared by Environmental Land Solutions, LLC, dated October 3, 2023, revised to January 12, 2024, entitled “Landscape Plan;” and
  - Publicly Accessible Amenity Space Plan prepared by Environmental Land Solutions, LLC, dated November 8, 2023, revised to January 16, 2024, entitled “Publicly Accessible Amenity Space Plan;”
- Twenty-one (21) copies of the following revised documents:
  - Stamford Development Review Guidelines; and
  - Preliminary Affordability Plan;
- Twenty-one (21) copies of an exhibit comparing existing conditions to site renderings.

Please let me know if you have any questions or require additional materials. As always, thank you for your time and attention regarding this matter.

Very truly yours,



Lisa L. Feinberg

Enclosures.

cc: R. Blessing  
800 Long Ridge, LLC  
EDI International  
Civil 1, Inc.  
Fuss & O’Neill  
Environmental Land Solutions, LLC



**APPLICATION FOR APPROVAL OF SITE & ARCHITECTURAL PLANS AND / OR REQUESTED USES**

Complete, notarize, and forward **thirteen (13) hard copies and one (1) electronic copy in PDF format** to Clerk of the Zoning Board with a **\$1,000.00 Public Hearing Fee** and the required application filling fee (see **Fee Schedule below**), payable to the City of Stamford.

**NOTE:** Cost of required Public Hearing advertisements are payable by the Applicant and performance of required mailing to surrounding property owners is the sole responsibility of the applicant. **LAND RECORDS RECORDING FEE:** \$60.00 for First page - \$5.00 for each additional page)

**Fee Schedule –WITHOUT GDP**

Site Plans 20,000 sq. ft. or less of building area application fee –without GDP	\$460.00
Site Plans more than 20,000 sq. ft. of building area-application Fee –without GDP	\$460.00 + \$30 per 1,000 sq. ft. or portion thereof in excess of 20,000 sq. ft.

**Fee Schedule –WITH GDP**

Site Plans 20,000 sq. ft. or less of building area application fee –with GDP.	\$260.00
Site Plans more than 20,000 sq. ft. of building area-application Fee –with GDP.	\$260.00 + \$10 per 1,000 sq. ft. or portion thereof in excess of 20,000 sq. ft.

APPLICANT NAME (S): 800 Long Ridge, LLC  
c/o Agent: Lisa Feinberg, Carmody Torrance Sandak & Hennessey LLP, 1055 Washington Blvd., 4th Fl., Stamford, CT 06901  
APPLICANT ADDRESS: \_\_\_\_\_  
APPLICANT PHONE #: c/o Agent: (203) 425-4200

IS APPLICANT AN OWNER OF PROPERTY IN THE CITY OF STAMFORD? Yes  
LOCATION OF PROPERTY IN STAMFORD OWNED BY APPLICANT (S): 800 Long Ridge Road

ADDRESS OF SUBJECT PROPERTY: 800 Long Ridge Road (003-7329)  
PRESENT ZONING DISTRICT: C-D  
TITLE OF SITE PLANS & ARCHITECTURAL PLANS: Please attached Schedule A

REQUESTED USE: Please see attached Schedule B

LOCATION: (Give boundaries of land affected, distance from nearest intersecting streets, lot depths and Town Clerk's Block Number)  
Please see attached Schedule D

NAME AND ADDRESS OF OWNERS OF ALL PROPERTY INVOLVED IN REQUEST:

<u>NAME &amp; ADDRESS</u>	<u>LOCATION</u>
800 Long Ridge, LLC PO Box 4900, Dept. 201 Scottsdale, AZ 85261	800 Long Ridge Road Stamford, CT 06902

DOES ANY PORTION OF THE PREMISES AFFECTED BY THIS APPLICATION LIE WITHIN 500 FEET OF THE BORDER LINE WITH GREENWICH, DARIEN OR NEW CANAAN? No (If yes, notification must be sent to Town Clerk of neighboring community by registered mail within 7 days of receipt of application – PA 87-307).

DOES THE PROJECT RESULT IN THE CREATION OF 10 OR MORE UNITS OR 10,000 SF OR MORE IN FLOOR AREA OR DISTURBANCE OF 20,000 SF OR MORE IN LAND AREA, THROUGH NEW DEVELOPMENT, RECONSTRUCTION, ENLARGEMENT OR SUBSTANTIAL ALTERATIONS? Yes (If yes, then complete the Stamford Sustainability Scorecard per Section 15.F).



DATED AT STAMFORD, CONNECTICUT, THIS 6<sup>th</sup> DAY OF October 20 23

SIGNED: Lisa R. Feinberg

**NOTE: The application cannot be scheduled for public hearing until 35 days have elapsed from the date of referral to the Stamford Planning Board. If applicant wishes to withdraw the application, this must be done in writing, and be received by the Zoning Board at least three (3) working days prior to public hearing in order to provide sufficient time to publicize the withdrawal. Applications withdrawn less than three (3) days prior to a schedule hearing date will not be rescheduled within 90 days.**

STATE OF CONNECTICUT ss STAMFORD October 6 20 23  
 COUNTY OF FAIRFIELD

Personally appeared Lisa Feinberg, signer of the foregoing application, who made oath to the truth of the contents thereof, before me.

Daniel Chapple  
 Daniel Chapple - Notary Public - Commissioner of the Superior Court

**FOR OFFICE USE ONLY**

APPL. #: \_\_\_\_\_ Received in the office of the Zoning Board: Date: \_\_\_\_\_

By: \_\_\_\_\_



**APPLICATION FOR SPECIAL PERMIT**

Complete, notarize, and forward **thirteen (13) hard copies and (1) electronic copy in PDF format** to Clerk of the Zoning Board with a **\$1,000.00 Public Hearing Fee** and the required application filling fee (see **Fee Schedule below**), payable to the City of Stamford.

**NOTE:** Cost of required advertisements are payable by the Applicant and performance of required mailing to surrounding property owners is the sole responsibility of the applicant. **LAND RECORDS RECORDING FEE:** \$60.00 for First page - \$5.00 for each additional page)

**Fee Schedule**

Special Permit 20,000 sq. ft. or less	\$460.00
Special Permit more than 20,000 sq. ft.	\$460.00 + \$30 per 1,000 sq. ft. or portion thereof in excess of 20,000 sq. ft.

APPLICANT NAME (S): 800 Long Ridge, LLC

APPLICANT ADDRESS: c/o Agent: Lisa Feinberg, Carmody Torrance Sandak & Hennessey LLP, 1055 Washington Blvd., 4th Fl., Stamford, CT 06901

APPLICANT PHONE #: c/o Agent: (203) 425-4200

IS APPLICANT AN OWNER OF PROPERTY IN THE CITY OF STAMFORD? Yes

LOCATION OF PROPERTY IN STAMFORD OWNED BY APPLICANT (S): 800 Long Ridge Road

ADDRESS OF SUBJECT PROPERTY: 800 Long Ridge Road (003-7329)

PRESENT ZONING DISTRICT: C-D

TITLE OF SITE PLANS & ARCHITECTURAL PLANS: Please attached Schedule A

REQUESTED SPECIAL PERMIT: (Attach written statement describing request)  
Please see attached Schedule B

LOCATION: (Give boundaries of land affected, distance from nearest intersecting streets, lot depths and Town Clerk's Block Number)  
Please see attached Schedule D

NAME AND ADDRESS OF OWNERS OF ALL PROPERTY INVOLVED IN REQUEST:

<u>NAME &amp; ADDRESS</u>	<u>LOCATION</u>
800 Long Ridge, LLC PO Box 4900, Dept. 201 Scottsdale, AZ 85261	800 Long Ridge Road Stamford, CT 06902

DOES ANY PORTION OF THE PREMISES AFFECTED BY THIS APPLICATION LIE WITHIN 500 FEET OF THE BORDER LINE WITH GREENWICH, DARIEN OR NEW CANAAN? No (If yes, notification must be sent to Town Clerk of neighboring community by registered mail within 7 days of receipt of application – PA 87-307).

DOES THE PROJECT RESULT IN THE CREATION OF 10 OR MORE UNITS OR 10,000 SF OR MORE IN FLOOR AREA OR DISTURBANCE OF 20,000 SF OR MORE IN LAND AREA, THROUGH NEW DEVELOPMENT, RECONSTRUCTION, ENLARGEMENT OR SUBSTANTIAL ALTERATIONS? Yes (If yes, then complete the Stamford Sustainability Scorecard per Section 15.F).



DATED AT STAMFORD, CONNECTICUT, THIS 6<sup>th</sup> DAY OF October 20 23

SIGNED: Lisa Feinberg  
Lisa Feinberg

NOTE: Application cannot be scheduled for Public Hearing until 35 days have elapsed from the date of referral to the Stamford Planning Board. If applicant wishes to withdraw application, please notify the Zoning Board at least three (3) days prior to Public Hearing so that the Board may have sufficient time to publicize the withdrawal.

STATE OF CONNECTICUT ss STAMFORD October 6 20 23

COUNTY OF FAIRFIELD  
 Personally appeared Lisa Feinberg, signer of the foregoing application, who made oath to the truth of the contents thereof, before me.

Daniel Chapelle  
Daniel Chapelle Notary Public - Commissioner of the Superior Court

**FOR OFFICE USE ONLY**

APPL. #: \_\_\_\_\_ Received in the office of the Zoning Board: Date: \_\_\_\_\_

By: \_\_\_\_\_

Revised 09/02/2020

**Schedule A**  
**List of Plans & Reports**

- Architectural Plans prepared by EDI International, dated November 16, 2023, revised to January 18, 2024, titled:
  - “Z001 – Proposed Open Space;”
  - “Z002 – Site Plan;”
  - “A003 – Building 1 & 2, P1 Parking Level, Ground Level;”
  - “A004 – Building 1 & 2, 2nd to 4th Floor, Roof;”
  - “A005 – Building 3 & 4, P1 Parking Level, Ground Level;”
  - “A006 – Building 3 & 4, 2nd to 4th Floor, Roof;”
  - “A200 – Typical Building Elevations;”
  - “A201 – Typical Building Elevations;”
  - “A202 – Typical Building Elevations;”
  - “A203 – Façade Materials;”
  - “A301 – Building Sections;”
  - “A302 – Original 4 Story Building Mass, Proposed 4 Story Building Mass;”
  - “A303 – Proposed Condition, Existing Condition;”
  - “A400 – Color Renderings;”
  - “A401 – Color Renderings;”
  - “A402 – Color Renderings;” and
  - “A403 – Color Renderings;”
- Civil Plans prepared by Civil 1, Inc., dated October 3, 2023, revised to January 22, 2024, titled:
  - “Zoning Location Survey – Existing Conditions;”
  - “Zoning Location Survey – Proposed Conditions;”
  - “C1.1 – Overall Site Plan;”
  - “C1.2 – Site Plan;”
  - “C1.3 – Site Plan;”
  - “C1.4 – Site Plan;”
  - “C2.1 – Overall Grading & Drainage Plan;”
  - “C2.2 – Grading & Drainage Plan;”
  - “C2.3 – Grading & Drainage Plan;”
  - “C2.4 – Grading & Drainage Plan;”
  - “C3.1 – Overall Utility Plan;”
  - “C3.2 – Utility Plan;”
  - “C3.3 – Utility Plan;”
  - “C3.4 – Utility Plan;”
  - “C4.1 – Overall Erosion Control Plan;”
  - “C4.2 – Erosion Control Plan;”
  - “C4.3 – Erosion Control Plan;”
  - “C4.4 – Erosion Control Plan;”
  - “C5.1 – Driveway & Drainage Profiles;”
  - “C5.2 – Driveway & Drainage Profiles;”
  - “C5.3 – Driveway & Drainage Profiles;”
  - “C5.4 – Driveway & Drainage Profiles;”
  - “C5.5 – Walking Trail Profiles;”



## UPDATED 1.26.2024

- “C6.1 – Details;”
- “C6.2 – Details;”
- “C6.3 – Details;”
- “C6.4 – Details;” and
- “C7.1 – Project Notes & Erosion Control Narrative;”
- Landscape Plan prepared by Environmental Land Solutions, LLC, dated October 3, 2023, revised to January 16, 2024, titled:
  - “LP.1 – Landscape Plan;” and
  - “LP.2 – Landscape Plan;”
- Landscape Rendering prepared by Environmental Land Solutions, LLC, dated October 3, 2023, revised to January 12, 2024, titled “Landscape Plan;”
- Publicly Accessible Amenity Space Plan prepared by Environmental Land Solutions, LLC, dated November 8, 2023, revised to January 16, 2024, titled “Publicly Accessible Amenity Space Plan;”
- Drainage Study prepared by Civil 1, Inc., dated October 3, 2023, titled “Stormwater Management Report;”
- Traffic Study prepared by Fuss & O’Neill, dated September, 2023, titled “Traffic Impact Study;”
- Parking and Traffic Demand Management Plan prepared by Fuss & O’Neill, dated October 6, 2023;
- First submission of Stamford Sustainability Scorecard;
- Stamford Development Review Guidelines, revised to January 26, 2024;
- Preliminary Affordability Plan, revised to January 26, 2024; and
- Exhibit comparing existing conditions to site renderings.

**Schedule B**  
**Project Narrative**

800 Long Ridge, LLC (the “Applicant”) requests site plan and special permit approvals to facilitate the development of a mixed-use development at 800 Long Ridge Road (the “Property”).

**I. The Property & Existing Uses**

The Property is 25.26± acres and located in Master Plan Category 8 (Mixed-Use Campus) and the Designed Commercial (C-D) zone. It is generally bounded by Long Ridge Road to the east, commercial property in the C-D zone to the north, residential properties in the one family residence zone (RA-1) to the west, and Westhill High School and a mixed-use commercial property to the south. It is improved with a four-story, 300,000± square foot office building; a two-level, 512-space parking garage; stormwater management systems; and associated site improvements. There is one (1) signalized curb cut serving as the entrance and exit to the Property, and a paved driveway wraps around the Property and connects to the building, parking garage, and parking lots. The office building and parking garage are set back from Long Ridge Road and shielded from passersby due to an abundance of trees and changes in grade.

The existing office building was constructed in 1978 and has housed a variety of office tenants. Most notably, the building served as the corporate headquarters to the Xerox Corporation from 1996 until shortly after the Applicant purchased the Property in 2006. At its peak, Xerox employed about 600 people on the Property. The entire building is currently leased to GE Capital’s Energy Financial Services division, which vacated the building at the end of 2023. The building, however, is currently underutilized due to the rise in remote work and other shifts in the locations of GE Capital’s workforce.

Mature trees are located throughout the Property, including near its borders, and a steep grade change along the western edge of the Property separates it from its residential neighbors. Additionally, the Property has been improved with amenities designed to enhance the natural features of the site. For example, an artificial pond with two (2) fountains is located along the Property’s Long Ridge Road frontage, and walking trails are located behind the existing office building.

**II. Revision of C-D Regulations**

The Property, like many suburban office parks in Stamford constructed in the 1970s, has been underutilized for the past several years. The demand for suburban office space has dwindled as companies opt for more urban locations close to major public transportation hubs. The COVID-19 pandemic has only exacerbated this trend as companies have moved to remote and hybrid work models, thereby decreasing the need for physical office space. Accordingly, the market for office tenants at such office parks is almost nonexistent. The City acknowledges this trend and has expressed a preference for office space to be concentrated Downtown.<sup>1</sup>

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<sup>1</sup>See Master Plan page 69, Policy 3B.2.

During this same period, the demand for housing has continued to increase in Stamford and throughout the region at a rate that far outpaces supply. The City has recognized that market conditions favor the conversion of suburban office parks to uses for which there is more demand, such as multifamily housing. In 2021, the regulations for the C-D zone were amended to allow, via special permit approval, multifamily dwellings in large C-D districts. This text change served the dual purpose of facilitating the development of much-needed housing while allowing for the redevelopment of office parks that do not have a viable use in their current state. Additionally, such redevelopments will increase property tax revenue for the City.

### **III. Description of Proposed Development**

The Applicant proposes to construct two (2), four-story structures<sup>2</sup> consisting of 354 units, as well as a 9,394± square foot commercial space on the Property, along with associated landscaping and site improvements. The total footprint is approximately 152,800± square feet, which closely mimics the footprint of the existing building and parking structure.

The 354 proposed units will be spread across two (2) structures, both of which will be separated into two (2) sections. The first structure, depicted as Buildings 1 and 2 on the enclosed plans, will be connected by a lobby and parking underneath. The lobby will connect to an outdoor pool and pool deck. Buildings 1 and 2 will contain 87 units each, and each building will have its own terrace. Buildings 3 and 4 will contain 90 units each, also with their own terraces, and will be connected on the first floor and by parking underneath. In total, the proposed development will contain 186 one-bedroom units, 148 two-bedroom units, and 20 three-bedroom units. Each of the buildings will contain rooftop solar panels to increase the sustainability of the Property and promote the use of green energy.

The Below Market Rate (“BMR”) requirement for the proposed development is 10 percent (35.4 units). The Applicant proposes 35 BMR units onsite in a mix that is proportional to the market rate units in compliance with § 7.4 of the Zoning Regulations. These units will be provided at 50 percent of the Area Median Income. The fractional (0.4) unit will be satisfied with a fee-in-lieu payment.

The Applicant also proposes 9,394± square feet of commercial space within Building 1. Potential tenants include a day care center or a medical office use, but the decision will be made based on market demand. Thus, to maintain flexibility and increase the viability of the space, however, the Applicant requests the full mix of allowable nonresidential uses for this space.

Access to the Property will continue to be provided through the existing signalized curb cut along Long Ridge Road and site driveway, which provides ample circulation throughout the site. Parking will be provided both on existing surface lots and in garages underneath each building. A total of 618 parking spaces are proposed. A total of 65 of these spaces will be electric vehicle charging spaces. Additionally, 127 bicycle parking spaces (including 71 Class A and 56 Class B spaces) are proposed.

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<sup>2</sup>Although the buildings are identified as Buildings 1-4 on the site plan, Buildings 1 and 2 and Buildings 3 and 4 are connected internally.

As stated above, the proposed development is designed to mimic the footprint of the existing building and parking garage, which will allow the Applicant to maintain the existing natural features of the site and vast amount of open space. Additionally, due to the unique topography of the Property, the proposed development will be shielded from the street and surrounding properties.

Indoor and outdoor usable open space is proposed for tenants. Indoor fitness, child play areas, and tenant lounges and event spaces are proposed. Multiple courtyards, a pool, a pool deck, walking trails, outdoor child play areas, outdoor fitness, and walking trails are proposed.

Thoughtfully designed landscaping is proposed around the proposed structures and existing site driveway, including a mix of deciduous and evergreen trees, ornamental trees, shrubs, grasses, and flowering plants. Furthermore, in compliance with the newly adopted zoning regulations regarding publicly accessible amenity space, a network of trails is proposed along the eastern side of the Property. In total, 55,657± square feet (five percent of the total Property), will be publicly accessible amenity space. Additional parking spaces will be provided near the trail to serve the public, which will be clearly identified with appropriate signage. The existing walking path on the west side of the site will also be preserved for use by the residents.

Improvements to pedestrian access are also proposed in connection with the proposed development. A five-foot wide concrete sidewalk is proposed along the Long Ridge Road frontage north of the entrance to the Property, which the public can use to access the bus stop in front of 900 Long Ridge Road. A four-foot wide sidewalk is proposed along the accessway to the Property, which will connect the sidewalk on Long Ridge Road to the publicly accessible amenity space.<sup>3</sup> Moreover, the Applicant proposes to add a crosswalk across Long Ridge Road and construct a four-foot wide concrete sidewalk in front of the property located at 12 Loughran Avenue, which will connect an existing sidewalk ramp to a bus stop on the east side of Long Ridge Road. Signal improvements will also be made to improve pedestrian safety at this crosswalk. Lastly, due to the steep grade, presence of wetlands, and location of mature trees, utility poles, and guardrails along the remaining Long Ridge Road frontage, the Applicant proposes to pay a fee-in-lieu payment for the portion of the sidewalk it is required to construct in this area. The Applicant has worked with staff from the Land Use Bureau, Environmental Protection Board, and Traffic, Transportation, and Parking Department to develop these proposed improvements, which have been designed to provide the safest and most practicable pedestrian access to the Property.

#### **IV. Conformance of Site Plan with Stamford Master Plan**

The proposed development is in line with the goals of Stamford's Master Plan and the City's vision when it amended the C-D regulations. Master Plan Category 8 provides in relevant part: "This category is intended to provide for and protect low-density office parks . . . by allowing limited expansion and adaptive reuse of compatible office, research and development, residential,

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<sup>3</sup>A portion of the proposed sidewalk along the existing accessway will be located in a regulated area within 25' of wetlands. This portion of the sidewalk will be raised and constructed on existing pavement within the accessway. Accordingly, no new disturbance is proposed within the wetland. The Applicant has met with staff from the Environmental Protection Board and Land Use Bureau, who determined that the Applicant will not need approval from the Environmental Protection Board so long as there is no new disturbance.

government, educational and medical uses . . . . Such development may be permitted to locate on sites ‘suburban’ in nature, subject to approval of the Zoning Board, based on (1) compatibility with adjacent uses and residential areas, (2) superior design including landscape design to buffer this use from adjacent residential uses, (3) superior traffic management, (4) compliance with the goal of directing most commercial development to Downtown, and (5) compliance with design guidelines. Total floor area shall not exceed 0.4 FAR for property located adjacent to State highways.”

The proposed development is consistent with Master Plan Category 8, as it will remove excess office space in a suburban neighborhood and replace it with much needed housing and complementary nonresidential uses. The proposed development is designed in a manner that is appropriate in scale and compatible with adjacent residential uses. The site topography, existing open space with woods and mature trees, and thoughtfully arranged landscaping will buffer the proposed development from these uses. Moreover, the surrounding roadways will be able to accommodate the traffic generated by the proposed development, as it will generate fewer trips and better spread peak traffic than the existing office use of the Property.

The Master Plan’s first enumerated goal for growth management states: “Amend zoning to allow for redevelopment of office parks outside Downtown for mixed-use.”<sup>4</sup> As discussed above, the City implemented this policy when it amended the C-D regulations to make a greater number of parcels eligible to apply for special permit approval to permit mixed-use development. The proposed development is consistent with this goal, as well as the following Master Plan strategies and policies:

- 3C.3: Maintain the affordable housing stock to ensure that people who work in Stamford can afford to live in Stamford.
- 4E.4: Consider opportunities for mixed-use transit supportive redevelopment of underutilized office parks on High Ridge and Long Ridge Roads.
- 6A.1 Balance new development with preservation of existing residential communities.
- 6B: Preserve existing and create new affordable housing.
- 6C.2: Promote development of a variety of housing types.

## **V. Requested Approvals**

To facilitate this proposal, the Applicant requests the following approvals:

- (1) Final Site Plan Approval (“FSP”) pursuant to §§ 4.B.8.b. and 19.D. of the Zoning Regulations to develop the proposed buildings, parking structures, and associated site improvements on the Property.
- (2) Special Permit Approval pursuant to § 9.G.3. of the Zoning Regulations to permit the multifamily residential use of the Property.<sup>5</sup>

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<sup>4</sup>Master Plan Policy 1.3B.1, page 4.

<sup>5</sup>As detailed in Schedule C below, pursuant to § 12.K.5. of the Zoning Regulations, the Applicant requests Zoning Board approval to permit a five-foot wide sidewalk along the northern frontage of Long Ridge Road in lieu of the six-foot wide sidewalk required by the Zoning Regulations.

- (3) Special Permit Approval pursuant to § 12.K.4.a.(6)(a) of the Zoning Regulations to be exempt from the sidewalk requirements of § 12.K.1. for the Long Ridge Road frontage to the south of the entrance to the Property.

## **VI. Conclusion**

The Applicant seeks to redevelop the Property with a thoughtfully designed, mixed-use development that is consistent with footprint and scale of the existing structures on the site. The proposed development is consistent with the City's goal of replacing underperforming office buildings with uses that are in much higher demand, which in turn will increase the City's tax revenue. Furthermore, the proposed development will provide greatly needed housing supply, including affordable housing, without any visual impact to the surrounding area and providing publicly accessible amenity space at no cost to the public.

**Schedule C**  
**Statement of Findings**

The Applicant submits the proposal is consistent with the Site Plan standards (§ 19.D.4.) and Special Permit standards (§ 19.C.2.) of the Zoning Regulations as follows:

**a. Site Plan Standards**

*In reviewing site plans the Zoning Board shall take into consideration the purpose of these Regulations, including the purpose of the applicable zoning district and the goals and policies of the Stamford Master Plan, the public health, safety and general welfare and convenience of the general public and the maintenance of property values. In its review the Board may modify a site plan or condition an approval to the extent necessary to conform the site plan to the following standards and objectives:*

*(1) Safe, adequate and convenient vehicular traffic circulation, operation, parking and loading, and pedestrian circulation, both within and without the site.*

*(a) The number, locations and dimensions of all vehicular and pedestrian access drives and walkways, parking spaces, drop-off and loading areas, and provisions for handicapped access shall conform to the standards of Section 12 of these Regulations, to the adopted design criteria and engineering practices of the Dept. of Traffic and Parking, and all other applicable standards. Such areas shall be constructed of suitable hard surface materials and maintained in good condition.*

The number, locations, and dimensions of all vehicular and pedestrian access drives and walkways, parking spaces, drop-off and loading areas, and handicapped access conform to the standards of the C-D Zone and applicable provisions of Section 12 of the Zoning Regulations. The proposed development makes use of the existing signalized curb cut and access drive, and maintains the general configuration of existing parking lots on the Property. All proposed walkways, parking spaces, and internal drives are designed to provide safe and convenient access to each of the proposed buildings. The enclosed architectural plans prepared by EDI International provide parking details for the development. The Applicant will comply with the electric vehicle and bicycle parking requirements in Section 12 of the Zoning Regulations.

*(b) The number of vehicle access drives shall be minimized and shall be located and designed to provide safe and convenient turning movements and safe sightline as determined in accordance with the Geometric Highway Design Standards of the Conn. Dept. of Transportation.*

Vehicles will enter and exit the property through the existing access drive on Long Ridge Road. The existing traffic signals will remain.

- (c) Area streets and traffic controls shall be determined to have adequate capacity to service the site without causing undue congestion or hazardous conditions.*

The surrounding streets can adequately accommodate the traffic associated with the proposed use. For a more complete discussion of the traffic impact, please see the enclosed Traffic Impact Study prepared by Fuss & O'Neill.

- (2) The protection of environmental quality, landscaping of open space and harmony with existing development. The Board shall take into consideration the following features and standards:*

- (a) The location, height, design and materials of walls, fences, hedges and plantings shall be appropriate to the vicinity and shall suitably screen parking, loading, garbage collection facilities, outside storage areas, accessway drives, utility installations and other such features; such landscaping shall be appropriate to the general character of the vicinity and consider the proximity and nature of abutting uses and the level of use of adjoining public streets and walkways.*

The existing, dense foliage along the perimeter of the Property provides excellent screening for the improvements on the Property, and the proposed plantings are compatible with the surrounding area. They sufficiently screen parking, loading spaces, garbage collection facilities, accessway drives, and utility installations. The existing trees, along with the natural topography of the site, will be maintained in such a way that screens the proposed development from neighboring properties. For more details, please see the enclosed Landscape Plan prepared by Environmental Land Solutions, LLC.

- (b) All open space areas, exclusive of undisturbed natural areas, shall be suitably landscaped to the satisfaction of the Board.... In multi-family developments, open space shall be designed to provide functional outdoor living and play areas meeting the needs of intended residents.*

The Applicant proposes maintaining appropriate onsite landscaping and the existing open space on the Property, as detailed on the enclosed Landscape Plan prepared by Environmental Land Solutions, LLC. Approximately 64,653± square feet of usable open space will be provided. Terraces and balconies are proposed for recreation, swimming, and socializing throughout the site. Additionally, a network of trails is proposed on the eastern portion of the Property for use by both residents and the public.

- (c) Soil erosion, sediment and the release of excessive dust shall be controlled through implementation of suitable short term and long term controls in accordance with the standards and procedures of Section 15-B.*

Enclosed is a comprehensive Erosion Control Plan, prepared by Civil 1, Inc., which ensures the standards and procedures of § 15.B. of the Zoning Regulations are satisfied.



- (d) *Site development shall seek to preserve existing specimen trees, historic structures and other significant natural features of the site. Accordingly, the premature demolition and site clearance of prospective development sites is specifically discouraged and may be taken into consideration in subsequent site plan reviews.*

The proposed development has been designed to minimize disturbance to the existing specimen trees and natural features of the site, and additional landscaping is proposed. As stated above, the proposed buildings are designed to mimic the footprint of the existing structures on the site and the existing access drive is to remain.

- (e) *Artificial lighting, and site generated noise, odors, particles and other disturbances shall be controlled to avoid interference with the use and enjoyment of neighboring properties. The location, height, design and arrangement of outside lighting shall be consistent with safety such as to avoid glare on any other lot and to avoid hazards to traffic on any street.*

All proposed buildings are setback hundreds of feet from Long Ridge Road. Additionally, a steep change in grade and rows of mature trees along the western edge of the Property will shield the proposed buildings from abutting residential properties in much the same way that these conditions currently shield the office building and parking garage. All artificial lighting and site generated noise and other disturbances shall be controlled and will not interfere with the use and enjoyment of the neighboring properties. The location, height, design, and arrangement of outside lighting shall be consistent with the Light Ordinance and industry safety standards so as to avoid glare on any other lot or traffic hazards on the Property and along Long Ridge Road.

- (f) *Available public utilities shall be adequate in capacity to safely service the requirements of the site. Surface water drainage facilities shall be adequate to safely drain the site while minimizing the risk of downstream flooding and erosion. Where infrastructure capacity is judged not to be adequate the Board may accept a binding agreement to perform suitable improvements.*

The enclosed drainage plans and Stormwater Management Report prepared by Civil 1, Inc. demonstrate the adequacy and availability of public utilities for the Property. The plans and report detail the proposed stormwater improvements to the Property, which are designed in accordance with the City of Stamford Stormwater Drainage Manual and will not adversely impact adjacent or downstream properties or City-owned drainage facilities.

- (g) *Adequate provision shall be made for emergency vehicle access, fire lanes, and safe fire flows, upon the recommendation of the Fire Marshall and the public water utility.*

Emergency and first responders will be able to access the Property safely and conveniently.

- (h) *The arrangement, location, apparent bulk, architectural features, materials, texture and color of proposed buildings and structures shall establish an architectural character and overall site design compatible with the scale and general character of the vicinity.*

As stated previously, the footprint of the proposed buildings and parking areas are designed to mimic the existing site layout, and the scale of the proposed buildings will not be significantly different than the existing structures. The arrangement, location, and bulk of the proposed buildings are also in character with neighboring commercial and institutional uses. Additionally, the architectural features are compatible with the architectural character of the surrounding area. As depicted on the enclosed architectural plans prepared by EDI International, the proposed buildings will be constructed with composite siding, stone veneer, and textured panels. This blend of high-quality materials will make for an attractive new development.

- (i) *Building setbacks and the configuration of open space shall be appropriate to the existing structures on adjoining properties and established patterns of use of side and rear yard areas, and to the existing physical conditions of the site.*

The proposed development and site landscaping comply with the standards of the C-D Zone.

- (j) *No use shall be permitted that will cause or result in:*  
*-dissemination of dust, smoke, observable gas or fumes, odor, noise or vibration beyond the immediate site of the building in which such use is conducted, or*  
*-unusual hazard of fire or explosion or other physical hazard to any adjacent buildings,*  
*or*  
*-harmful discharge of liquid materials, or*  
*-unusual traffic hazard or congestion due to the type of vehicles required in the use or due to the manner in which traffic enters or leaves the site of the use.*

No nuisance or hazardous conditions are anticipated, consistent with the engineering materials provided herein.

- (k) *All buildings and grounds and other structures shall be maintained in good repair and in safe, clean and sanitary condition. All landscaping required pursuant to an approved site plan shall be installed to the satisfaction of the Director of Parks and Recreation and shall thereafter be maintained in accordance with an agreement to be made part of the application of record, which agreement shall be enforced by the Zoning Enforcement Officer, upon advice of the Director.*

The Applicant is amenable to a condition of approval requiring the execution of a Landscape Maintenance Agreement and a Drainage Maintenance Agreement prior to the issuance of a Certificate of Occupancy.

**b. Special Permit Standards**

*Special Permits shall be granted by the reviewing board only upon a finding that the proposed use or Structure or the proposed extension or alteration of an existing use or Structure is in accord with the public convenience and welfare after taking into account, where appropriate:*

- (1) the location and nature of the proposed site including its size and configuration, the proposed size, scale and arrangement of Structures, drives and Parking Areas and the proximity of existing dwellings and other Structures.*

The proposed development is appropriate for the Property, which is an existing office park located in Master Plan Category 8 (Mixed-Use Campus). The proposed size, scale, and arrangement of the building is consistent with the existing structures on the site, as well as neighboring properties in the C-D Zone and beyond. The layout of the proposed buildings is designed to mimic the existing site layout. Furthermore, the proposed setbacks and existing site topography will minimize any visual impacts to the surrounding neighborhood.

- (2) the nature and intensity of the proposed use in relation to its site and the surrounding area. Operations in connection with Special Permit uses shall not be injurious to the neighborhood, shall be in harmony with the general purpose and intent of these Regulations, and shall not be more objectionable to nearby properties by reason of noise, fumes, vibration, artificial lighting or other potential disturbances to the health, safety or peaceful enjoyment of property than the public necessity demands.*

The proposed use of the property will not be injurious to the surrounding neighborhood. Master Plan Category 8 encourages the conversion of suburban office parks to mixed-use developments that include residential use. Mixed-use developments with multifamily housing are less intense than similarly sized office uses. By designing buildings that are similar in scale and footprint to the existing office building and parking garage on the Property, the Applicant has proposed a development that minimizes the impact on the site and surrounding neighborhood. Accordingly, the proposed development is compatible with the neighborhood and in harmony with the intent of the Regulations.

- (3) the resulting traffic patterns, the adequacy of existing Streets to accommodate the traffic associated with the proposed use, the adequacy of proposed off-street parking and loading, and the extent to which proposed driveways may cause a safety hazard, or traffic nuisance.*

As detailed in the attached Traffic Impact Study prepared by Fuss & O'Neill, the proposed development will result in a substantial reduction in site generated traffic and will not have a significant impact on traffic operations. Specifically, compared to the existing office land use, the proposed development will respond in a substantial reduction in site generated traffic of 206 trips during the morning peak hour and 185 trips during the afternoon peak hour. Additionally, there will be an adequate amount of off-street parking and loading.

*(4) the nature of the surrounding area and the extent to which the proposed use or feature might impair its present and future Development.*

The proposed development will not impair the present or future development of the surrounding area, which includes an array of uses. Rather, it will improve the area by replacing an underutilized office park with uses that are in much greater demand in Stamford. The proposed development will better serve the City's needs by providing additional housing, including desperately needed affordable housing, and adding tax revenue.

*(5) the Master Plan of the City of Stamford and all statements of the purpose and intent of these regulations.*

The proposed development satisfies the goals of Master Plan Category 8, which provides for the "limited expansion and adaptive reuse of compatible office, research and development, residential, government, educational and medical uses[.]" It also complies with the following Master Plan Policy goals:

- 3C.3: Maintain the affordable housing stock to ensure that people who work in Stamford can afford to live in Stamford.
- 4E.4: Consider opportunities for mixed-use transit supportive redevelopment of underutilized office parks on High Ridge and Long Ridge Roads.
- 6A.1 Balance new development with preservation of existing residential communities.
- 6B: Preserve existing and create new affordable housing.
- 6C.2: Promote development of a variety of housing types.

Additionally, the proposed development complies with the intent of the C-D regulations, which recently were amended to permit multifamily residential use via special permit on a greater number of parcels in the C-D Zone. This amendment was made in accordance with the Master Plan's first enumerated goal for growth management, which states: "Amend zoning to allow for redevelopment of office parks outside Downtown for mixed-use."<sup>6</sup>

### **c. Sidewalks**

The Applicant requests Special Permit Approval pursuant to § 12.K.4.a.(6)(a) of the Zoning Regulations to be exempt from the sidewalk requirements of § 12.K.1. for the portion of the sidewalk that it is required to build on the frontage to the south of the Property's entrance. Specifically, the Applicant submits that the existing physical conditions do not allow for the construction of a sidewalk. As depicted on the enclosed engineering plans prepared by Civil 1 Engineering, there is a significant change in grade from Long Ridge Road down to the pond on the Property, which would necessitate extensive regrading and retaining walls to avoid grading into the pond or the wetlands surrounding the pond. Additionally, guardrails, utility poles, and mature trees are located

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<sup>6</sup>Master Plan Policy 1.3B.1, page 4.

within the area in which a sidewalk would be built. In order to construct a sidewalk, the Applicant would need to remove these trees, relocate the utility poles, and potentially remove the guardrails. Further, a slope easement and drainage easement exist on this portion of the Property. Accordingly, the Applicant submits that the fee-in-lieu will allow the City to construct sidewalks in areas that are safer, more practical, and provide a continuous pedestrian network.

Notably, because Long Ridge Road, also known as CT Route 104, is a state highway, the Applicant would also need approval from the Connecticut Department of Transportation to construct a sidewalk along the Property. Moreover, a large portion of the area on which a sidewalk would be located is in a regulated area within 25 feet of wetlands. Accordingly, any sidewalk proposed in this area would require EPB approval due to the impact on the wetlands on the Property. For all of these reasons, the Applicant submits that a fee-in-lieu payment is appropriate.<sup>7</sup>

Notwithstanding the fee-in-lieu, the Applicant proposes to provide a five-foot wide sidewalk along the Long Ridge Road frontage north of the entrance to the Property.<sup>8</sup> As previously noted, this sidewalk will connect the onsite publicly accessible amenity space to the bus stop on the west side of Long Ridge Road. The proposed sidewalk is five feet wide, rather than six feet, to align with the existing handicap curb ramp and sidewalks that were installed at the edge of Long Ridge Road.<sup>9</sup> Because this area is not heavily utilized by pedestrians, the Applicant submits that a five-foot wide sidewalk will adequately accommodate pedestrians and better align with existing conditions.

As stated in the Project Narrative, the Applicant has worked with staff from the Land Use Bureau, Environmental Protection Board, and Traffic, Transportation, and Parking Department to develop these proposed improvements, which have been designed to provide the safest and most practicable pedestrian access to the Property. The Applicant submits that its proposal presents the most appropriate solution under the Zoning Regulations given the existing physical conditions of the site.

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<sup>7</sup>The Applicant has had extensive discussions with the Traffic, Transportation, and Parking Department and the Land Use Bureau regarding this solution. Both departments were in agreement with this approach.

<sup>8</sup>A stone wall cuts down the property line, which is why the sidewalk does not extend to the northern edge of the site.

<sup>9</sup>Pursuant to § 12.K.5. of the Zoning Regulations, the Applicant requests Zoning Board approval to modify the requirement to provide a six-foot wide sidewalk and four-foot wide amenity strip between the sidewalk and the road.

**Schedule D**  
**Legal Description of Property**

All that certain piece, parcel or tract of land, together with the buildings and improvements thereon, situated in the City of Stamford, County of Fairfield and State of Connecticut, containing in area 25.304 acres, shown and delineated on a certain map entitled, "Map of Property of Robert B. Kahan, Trustee Stamford, Conn", on file in the Office of the City and Town Clerk of said Stamford as Map Numbered 8927, reference thereto being had, and further described as follows:

Beginning on the westerly street line of Long Ridge Road at the southeasterly most corner of the parcel herein described. Thence South 84° 00' 25" West, 62.81 feet; thence North 87° 47' 35" West, 72.40 feet; thence South 87° 09' 25" West, 57.10 feet; thence South 86° 22' 25" West, 164.00 feet; thence North 86° 01' 35" West, 70.40 feet; thence South 86° 52' 25" West, 129.10 feet; thence South 12° 40' 00" East, 86.97 feet; thence South 17° 04' 00" East, 50.48 feet; thence South 03° 15' 20" East, 157.23 feet; thence South 03° 29' 55" East, 119.49 feet; thence South 01° 22' 15" East, 47.11 feet; thence South 12° 35' 15" East, 18.02 feet; thence South 04° 13' 55" East, 106.26 feet; thence North 84° 41' 00" West, 13.46 feet; thence North 89° 43' 10" West, 15.94 feet; thence South 78° 16' 00" West, 16.66 feet; thence South 89° 54' 10" West, 16.91 feet; thence South 85° 46' 40" West, 76.42 feet; thence North 78° 32' 20" West, 6.58 feet; thence South 85° 36' 10" West, 39.40 feet; thence North 87° 26' 30" West, 7.88 feet; thence South 85° 08' 50" West, 25.73 feet; thence South 89° 28' 50" West, 30.47 feet; thence South 77° 18' 40" West, 6.41 feet; thence North 85° 58' 40" West, 8.63 feet; thence South 87° 37' 00" West, 42.84 feet; thence South 86° 11' 20" West, 27.80 feet; thence South 87° 29' 00" West, 55.38 feet; thence North 08° 18' 30" West, 196.49 feet; thence North 06° 59' 00" West, 96.13 feet; thence North 02° 25' 00" West, 46.75 feet; thence North 11° 03' 00" West, 34.76 feet; thence North 00° 18' 00" West, 48.92 feet; thence North 07° 41' 00" West, 29.46 feet; thence North 02° 22' 00" East, 21.83 feet; thence North 17° 37' 00" West, 43.10 feet; thence North 26° 52' 00" West, 79.90 feet; thence North 35° 14' 00" West, 55.31 feet; thence North 29° 05' 00" West, 40.48 feet; thence North 35° 29' 00" West, 10.39 feet; thence North 04° 55' 00" West, 13.08 feet; thence North 45° 23' 00" West, 16.10 feet; thence North 21° 20' 00" West, 6.68 feet; thence North 40° 11' 00" East, 29.26 feet; thence North 29° 27' 00" East, 72.82 feet; thence North 32° 50' 00" East, 28.94 feet; thence North 08° 15' 00" West, 216.40 feet; thence North 07° 29' 20" West, 201.00 feet; thence North 12° 15' 30" West, 101.44 feet; thence North 10° 34' 00" West, 62.00 feet; thence North 09° 54' 00" West, 165.63 feet; thence South 81° 49' 00" East, 16.73 feet; thence South 77° 08' 00" East, 37.94 feet; thence South 71° 15' 40" East, 46.54 feet; thence South 77° 16' 00" East, 38.80 feet; thence South 81° 58' 30" East, 53.37 feet; thence South 79° 51' 00" East, 84.16 feet; thence South 76° 12' 00" East, 18.58 feet; thence South 78° 06' 40" East, 61.63 feet; thence South 80° 05' 43" East, 16.62 feet; thence South 88° 27' 23" East, 12.94 feet; thence South 81° 15' 33" East, 28.57 feet; thence South 80° 25' 23" East, 29.59 feet; thence South 87° 32' 43" East, 23.37 feet; thence North 88° 46' 27" East, 36.40 feet; thence North 88° 10' 47" East, 28.92 feet; thence North 87° 35' 27" East, 18.26 feet; thence South 86° 04' 53" East, 11.32 feet; thence North 80° 27' 57" East, 20.62 feet; thence North 88° 31' 57" East, 16.80 feet; thence North 85° 46' 27" East, 11.22 feet; thence South 83° 03' 03" East, 42.17 feet; thence South 79° 11' 33" East, 18.98 feet; thence South 89° 36' 53" East, 37.61 feet; thence North 74° 00' 37" East, 8.56 feet; thence North 87° 59' 07" East, 46.97 feet; thence South 77° 37' 33" East, 7.94 feet;

**UPDATED 1.26.2024**

thence North 89° 44' 27" East, 45.92 feet; thence South 88° 40' 23" East, 35.40 feet; thence South 81° 37' 03" East, 35.74 feet; thence North 89° 42' 27" East, 68.04 feet; thence South 88° 19' 03" East, 54.72 feet; thence North 89° 43' 27" East, 51.77 feet; thence South 03° 31' 14" West, 200.42 feet; thence along a non-tangent curve to the left having a central angle of 08°36'13", a radius of 1849.28, a length of 277.69 and a chord bearing and distance of South 00° 40' 50" East, 277.43 feet; thence along another non-tangent curve to the left having a central angle of 10° 42' 07", a radius of 1950.08 feet, a length of 364.24 feet and a chord bearing and distance of South 08° 58' 58" East, 363.71 feet; thence South 14° 20' 42" East, 0.79 feet to the point and place of beginning.

Being the same premises conveyed to Xerox Corporation by virtue of a Deed from Robert B. Kahan, dated July 22, 1974 and recorded with the Land Evidence Records for the City of Stamford, Connecticut in Volume 1423 at Page 166; less and except all of that certain parcel of land situated in the City of Stamford, County of Fairfield and State of Connecticut as described in a Deed from the Xerox Corporation to the State of Connecticut, said Deed dated September 27, 1976 and recorded with said Land Evidence Records for the City of Stamford, Connecticut in Volume 1588 at Page 139.

Together with any and all rights, privileges and easements appurtenant thereto that are owned by Grantor, including without limitation all of Grantor's right, title and interest, if any, in and to all minerals, oil, gas and other hydrocarbon substances on and under the Property, and all air rights, excess floor area rights and other development rights relating or appurtenant to the Property or the improvements thereon.

**END OF PROPERTY DESCRIPTION**

Schedule E  
Zoning Data Charts

**BREAKDOWN OF FULL DEVELOPMENT**

<b>Mixed-Use Residential Community – C-D Zone</b>			
	<b>Required/Allowed</b>	<b>Proposed</b>	<b>Notes</b>
<b>Lot Area</b>	15 acres	25.26 acres	Complies
<b>Building Coverage</b>	10%	9.51% (104,665 sf)*	Complies
<b>Lot Coverage</b>	35%	34.9%	Complies
<b>FAR</b>	0.40	0.389	Complies
<b>Density</b>	354 units (14 units / acre)	354 units (14 units / acre)	Complies
<b>BMR</b>	35.4 units (10% of 354)	35 units (10% of 354)**	Complies
<b>Building Stories</b>	4	4	Complies
<b>Building Height</b>	60'	47'-8"	Complies
<b>Street Line Setback</b>	50'	550'+	Complies
<b>All Other Setbacks</b>	50'	> 50'	Complies
<b>Single-Family Setback</b>	100'	100'	Complies
<b>Usable Open Space</b>	26,550 sf	64,653 sf	Complies
<b>PAAS</b>	55,016 sf (5%)	55,657 sf (5%)	Complies

\*Excludes amenity terrace.

\*\*The fractional (0.4) unit will be satisfied with a fee-in-lieu payment.



## BREAKDOWN BY BUILDING

**Total Lot Area:** 25.26 Acres (15 acres is minimum required)  
**Total Usable Open Space:** 64,653 sf (55,016 sf is minimum required)  
**Total Lot Coverage:** 34.9% (35% is maximum allowed)

### BUILDING 1

	Required/Allowed	Proposed	Notes
<b>Building Coverage</b>	10%	2.38% (26,189 sf)	Complies
<b>FAR</b>	0.40	0.104 (114,150 sf)	Complies
<b>Density</b>	354 units (14 units / acre)	87 units	Complies
<b>BMR</b>	8.7 units (10% of 87)	9 units*	Complies
<b>Building Stories</b>	4	4	Complies
<b>Building Height</b>	60'	47'-8"	Complies
<b>Street Line Setback</b>	50'	550'+	Complies
<b>All Other Setbacks</b>	50'	> 50'	Complies
<b>Single-Family Setback</b>	100'	> 100'	Complies

\*The breakdown and locations of the 35 total BMR units across the four (4) buildings are subject to change.

UNIT MIX – BUILDING 1			
Bedrooms	Average SF	Count	%
<b>1BR (Market)</b>	688	41	47.1
<b>2BR (Market)</b>	1,137	34	39.1
<b>3BR (Market)</b>	1,385	3	3.4
<b>1BR (BMR)</b>	688	5	5.7
<b>2BR (BMR)</b>	1,137	4	4.6
<b>3BR (BMR)</b>	1,385	0	0.0
<b>TOTAL</b>		<b>87</b>	

## BUILDING 2

<b>BUILDING 2</b>	<b>Required/Allowed</b>	<b>Proposed</b>	<b>Notes</b>
<b>Building Coverage</b>	10%	2.38% (26,192 sf)	Complies
<b>FAR</b>	0.40	0.095 (104,768 sf)	Complies
<b>Density</b>	354 units (14 units / acre)	87 units	Complies
<b>BMR</b>	8.7 units (10% of 87)	8 units*	Complies
<b>Building Stories</b>	4	4	Complies
<b>Building Height</b>	60'	47'-8"	Complies
<b>Street Line Setback</b>	50'	550'+	Complies
<b>All Other Setbacks</b>	50'	> 50'	Complies
<b>Single-Family Setback</b>	100'	> 100'	Complies

\*The breakdown and locations of the 35 total BMR units across the four (4) buildings are subject to change. A total of 35 BMR units will be provided where 35.4 are required. The fractional 0.4 will be satisfied with a fee-in-lieu payment.

<b>UNIT MIX – BUILDING 2</b>			
<b>Bedrooms</b>	<b>Average SF</b>	<b>Count</b>	<b>%</b>
<b>1BR (Market)</b>	688	42	48.3
<b>2BR (Market)</b>	1,137	34	39.1
<b>3BR (Market)</b>	1,385	3	3.4
<b>1BR (BMR)</b>	688	4	4.6
<b>2BR (BMR)</b>	1,137	4	4.6
<b>3BR (BMR)</b>	1,385	0	0.0
<b>TOTAL</b>		<b>87</b>	

### BUILDING 3

	Required/Allowed	Proposed	Notes
<b>Building Coverage</b>	10%	2.38% (26,142 sf)	Complies
<b>FAR</b>	0.40	0.095 (104,566 sf)	Complies
<b>Density</b>	354 units (14 units / acre)	90 units	Complies
<b>BMR</b>	9 units (10% of 90)	9 units*	Complies
<b>Building Stories</b>	4	4	Complies
<b>Building Height</b>	60'	47'-3"	Complies
<b>Street Line Setback</b>	50'	550'+	Complies
<b>All Other Setbacks</b>	50'	> 50'	Complies
<b>Single-Family Setback</b>	100'	100'	Complies

\*The breakdown and locations of the 35 total BMR units across the four (4) buildings are subject to change.

<b>UNIT MIX – BUILDING 3</b>			
Bedrooms	Average SF	Count	%
<b>1BR (Market)</b>	688	43	47.8
<b>2BR (Market)</b>	1,137	32	35.6
<b>3BR (Market)</b>	1,385	6	6.7
<b>1BR (BMR)</b>	688	4	4.4
<b>2BR (BMR)</b>	1,137	4	4.4
<b>3BR (BMR)</b>	1,385	1	1.1
<b>TOTAL</b>		<b>90</b>	

## BUILDING 4

	Required/Allowed	Proposed	Notes
<b>Building Coverage</b>	10%	2.38% (26,142 sf)	Complies
<b>FAR</b>	0.40	0.095 (104,566 sf)	Complies
<b>Density</b>	354 units (14 units / acre)	90 units	Complies
<b>BMR</b>	9 units (10% of 90)	9 units*	Complies
<b>Building Stories</b>	4	4	Complies
<b>Building Height</b>	60'	47'-3"	Complies
<b>Street Line Setback</b>	50'	550'+	Complies
<b>All Other Setbacks</b>	50'	> 50'	Complies
<b>Single-Family Setback</b>	100'	> 100'	Complies

\*The breakdown and locations of the 35 total BMR units across the four (4) buildings are subject to change.

<b>UNIT MIX – BUILDING 4</b>			
Bedrooms	Average SF	Count	%
<b>1BR (Market)</b>	688	42	46.7
<b>2BR (Market)</b>	1,137	33	36.7
<b>3BR (Market)</b>	1,385	6	6.7
<b>1BR (BMR)</b>	688	5	5.6
<b>2BR (BMR)</b>	1,137	3	3.3
<b>3BR (BMR)</b>	1,385	1	1.1
<b>TOTAL</b>		<b>90</b>	

<b>OVERALL UNIT BREAKDOWN</b>			
<b>Bedrooms</b>	<b>Average SF</b>	<b>Count</b>	<b>%</b>
<b>1BR (Market)</b>	688	168	47.5
<b>2BR (Market)</b>	1,137	133	37.6
<b>3BR (Market)</b>	1,385	18	5.1
<b>1BR (BMR)</b>	688	18	5.1
<b>2BR (BMR)</b>	1,137	15	4.2
<b>3BR (BMR)</b>	1,385	2	0.6
<b>TOTAL</b>		<b>354</b>	

<b>RESIDENTIAL FLOOR AREA</b>	
<b>Building 1</b>	104,756 sf
<b>Building 2</b>	104,768 sf
<b>Building 3</b>	104,566 sf
<b>Building 4</b>	104,566 sf
<b>TOTAL</b>	<b>418,656 sf</b>

<b>COMMERCIAL FLOOR AREA</b>	
<b>Building 1</b>	9,394 sf

<b>TOTAL FAR</b>	
<b>Lot Area</b>	1,100,325 sf
<b>Total Floor Area</b>	428,050 sf
<b>FAR</b>	<b>0.389</b>

## PARKING BREAKDOWN

### Vehicle Parking

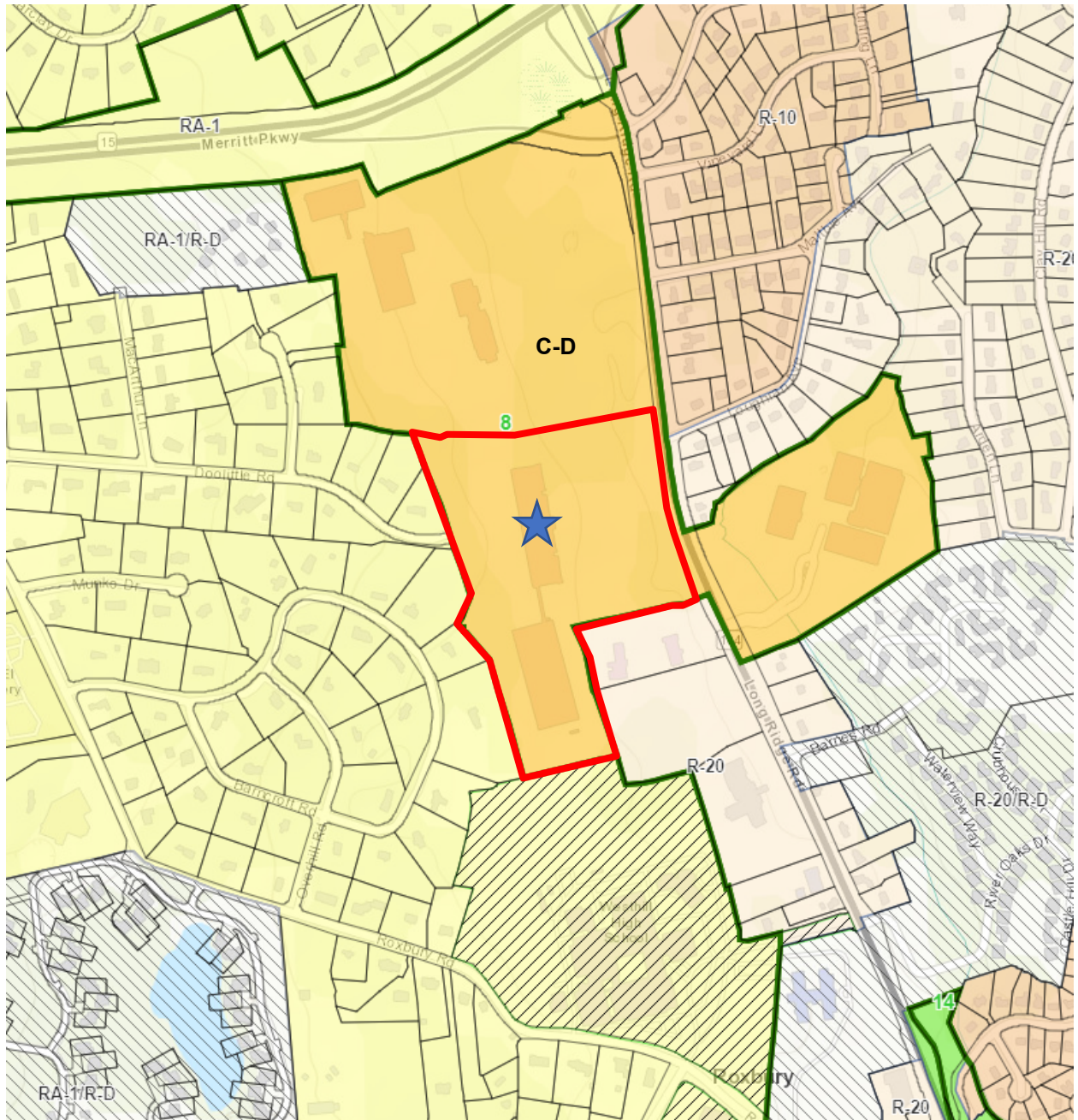
Residential	Number	Rate	Required	Provided
1BR (market)	168	1.50	252.00	-
2BR (market)	133	1.75	232.75	-
3BR (market)	18	2.00	36.00	-
1BR (BMR)	18	1.25	22.50	-
2BR (BMR)	15	1.50	22.50	-
3BR (BMR)	2	1.50	3.00	-
<b>Total:</b>	354	-	568.75	574
Commercial	Number	Rate	Required	Provided
	9,394 sf	4 / 1,000 sf	38	38
PAAS	Number	Rate	Required	Provided
	55,657 sf	1 / 10,000 sf	6	6
Total Spaces for All Uses			Required	Provided
			613	618
EV Spaces*	Number	Rate	Required	Provided
	618 total spaces	10% of # provided	62	65
<b>Total Indoor Spaces: 348</b>		<b>Total Outdoor Spaces: 270</b>		

\*The 65 EV spaces provided are included in the total parking count of 618 spaces.

### Bicycle Parking

	Class A Required	Class A Provided	Class B Required	Class B Provided	Notes
<b>Residential (354 Units)</b>	42 <i>(1 per 5 units for first 60 units, 1 per 10 units for remaining)</i>	68	36 <i>(1 per 10 units)</i>	48	Complies
<b>Commercial (9,394 sf)</b>	2 <i>(1 per 5,000 sf)</i>	3	5 <i>(1 per 2,000 sf)</i>	8	Complies
<b>Total:</b>	44	71	41	56	Complies

**Schedule F**  
**Existing Zoning Map and Aerial Photo of Property**







October 6, 2023

**VIA HAND & ELECTRONIC DELIVERY**

Ms. Lindsey Cohen  
Associate Planner, Land Use Bureau  
City of Stamford  
888 Washington Boulevard  
Stamford, CT 06901  
[LCohen@StamfordCT.gov](mailto:LCohen@StamfordCT.gov)

**Re: Request to be Heard by Planning Board  
Site Plan and Special Permit Application  
800 Long Ridge Road, Stamford, CT (Parcel ID 003-7329)  
800 Long Ridge, LLC**

Dear Ms. Cohen:

Our firm represents 800 Long Ridge, LLC (the “Applicant”), the owner of the property located at 800 Long Ridge Road (the “Property”). The Property is 25.26± acres and located in Master Plan Category 8 (Mixed-Use Campus) and the Designed Commercial (C-D) zone. It is generally bounded by Long Ridge Road to the east, commercial property in the C-D zone to the north, residential properties in the one family residence zone (RA-1) to the west, and Westhill High School and a mixed-use commercial property to the south. It is improved with a four-story, 300,000± square foot office building; a two-level, 512-space parking garage; and associated site improvements.

The Applicant requests Site Plan and Special Permit approvals to facilitate the construction of two (2), four-story structures consisting of 354 units, as well as a 9,394± square foot commercial space on the Property, along with associated landscaping and site improvements. The proposed buildings are generally located in the same place as the existing buildings, and the total proposed building footprint is approximately 152,800± square feet, which closely mimics the footprint of the existing building and parking structure.

Enclosed please find additional copies of the following application materials to provide to the Planning Board:

- Eight (8) copies of the following application form and associated schedules:
  - Application for Site Plan Approval;
  - Application for Special Permit Approval;
  - Schedule A – List of Plans;
  - Schedule B – Project Narrative;
  - Schedule C – Statement of Findings;
  - Schedule D – Legal Description of Property;
  - Schedule E – Zoning Data Chart; and
  - Schedule F – Existing Zoning Map and Aerial Photo of Property;
  
- Eight (8) reduced size copies of the following plans:
  - Architectural Plans prepared by EDI International, dated October 6, 2023, with the plan titles listed on Schedule A;
  - Civil Plans prepared by Civil 1, Inc., dated October 3, 2023, with the plan titles listed on Schedule A; and
  - Landscape Plan prepared by Environmental Land Solutions, LLC, dated October 3, 2023, entitled “Landscape Plan.”

I have also submitted electronic copies of the following materials:

- Drainage Study prepared by Civil 1, Inc., dated October 3, 2023, entitled “Stormwater Management Report;”
- Traffic Study prepared by Fuss & O’Neill, dated September, 2023, entitled “Traffic Impact Study;”
- Parking and Traffic Demand Management Plan prepared by Fuss & O’Neill, dated October 6, 2023; and

- The first submissions of the following plans:
  - Stamford Sustainability Scorecard;
  - Stamford Development Review Guidelines; and
  - Preliminary Affordability Plan.

We look forward to advice as to when the Planning Board will consider this proposal. At that time, I kindly ask that members of our development team and I be given an opportunity to briefly describe the proposal. Please contact me should you have any questions. As always, thank you for your time and attention regarding this matter.

Very truly yours,

*Lisa Feinberg*

Lisa L. Feinberg

Enclosures.

cc: R. Blessing  
800 Long Ridge, LLC  
EDI International  
Civil 1, Inc.  
Fuss & O'Neill  
Environmental Land Solutions, LLC



FUSS & O'NEILL

October 6, 2023

David Stein, Chair  
Stamford Zoning Board  
888 Washington Blvd  
Stamford, CT 06901

Re: Parking and Traffic Demand Management Plan  
Proposed Residential/Multi-Use Development  
800 Long Ridge Road  
Stamford, Connecticut  
Fuss & O'Neill Reference No. 20101217.A30

Dear Mr. Stein:

800 Long Ridge, LLC proposes to construct 354 apartment units and a 9,394 square foot supporting commercial use at 800 Long Ridge Road (State Route 104). The existing 300,000 square foot office building and parking garage on site will be demolished. The proposed change in use on site from office to residential will result in a substantial decrease in passenger car traffic demand from the site (206 fewer vehicle trips in the weekday morning peak hour of traffic and 185 fewer trips in the weekday afternoon peak hour) as discussed in Section 4.3 of the Traffic Impact Study.

### Transit Use

The site is located in excellent proximity to two CT Transit bus stops with shelters located on both the northbound and southbound sides of Route 104 just north of the 800 Long Ridge Road/Loughran Avenue intersection. CT Transit operates Route #336 on weekdays and Saturdays along Route 104 between Rock Rimmon Road to the north and Downtown Stamford and the Stamford Transportation Center to the south. Route #336 runs 30 buses each weekday (15 northbound and 15 southbound buses) and 4 buses on Saturdays (2 northbound, 2 southbound buses). Connections to other CT Transit bus routes and Metro North commuter rail service are available from the Stamford Transportation Center. The Center also serves Amtrak, Greyhound bus, and Peter Pan bus services.

In addition to the public transportation bus shelters located on Route 104, the site plan proposes a new school bus shelter and pull off area on the south side of the site driveway at the intersection with Route 104. This shelter and pull off area will facilitate easier access to public school bus service for residents of the site with school aged children.

146 Hartford Road  
Manchester, CT  
06040  
† 860.646.2469  
800.286.2469  
f 860.533.5143  
[www.fando.com](http://www.fando.com)

Connecticut  
Maine  
Massachusetts  
New Hampshire  
New York  
Rhode Island  
Vermont



David Stein, Chair

October 6, 2023

Page 2

### **Pedestrian Accommodations**

The site plan includes an extensive network of pedestrian walking paths that will not only serve a recreational purpose but also serve to provide dedicated walking routes to access the lower portion of the site driveway where the proposed school bus shelter and existing CT Transit bus stops can be accessed.

### **Bicycle Accommodations**

Bicycle parking and storage will be provided on site to further encourage alternative modes of travel from the site. In accordance with Zoning Regulations, a total of 44 Class "A" (inside) bicycle parking spaces will be provided on site to accommodate the 354 residential units and supporting commercial use. 36 Class "B" or outside bicycle parking spaces will be provided resulting in a total of 80 bicycle parking/storage spaces on site. Long Ridge Road currently provides shoulders that are greater than four feet wide along most of its length to facilitate bicycle traffic to and from the site.

### **Parking Management**

A total of 628 parking spaces will be provided on site with the following breakdown:

- 349 inside garage spaces
- 279 outdoor surface level spaces
- 38 of the 628 spaces will be reserved for the commercial use
- 584 of the 628 spaces will be reserved for the residential use
- 6 of the 628 spaces will be publicly accessible amenity spaces
- 63 parking spaces will be reserved for EV vehicles (10% of the required residential parking)

The 584 parking spaces provided on site for the residential use exceeds the total required by Zoning Regulations by 18 spaces while the 38 commercial spaces provided meets the Zoning Regulations. Given both the residential and commercial uses independently satisfy the parking regulations, no shared parking will be required on site.

The layout of the parking facilities proposed is provided on the site plans included with this development's Zoning applications. In addition, a tabulation of the parking required by land use versus the amount of parking provided by type is summarized in the Zoning Data Chart on the site plans.



David Stein, Chair

October 6, 2023

Page 3

All parking on site will be self-park and parking operations will be actively supervised by on site property management personnel. Residential parking on site will be gated and residents will be provided with fob access.

In addition, “Unbundled” parking is proposed at the site, meaning that residents will not automatically receive a parking space when they sign a lease. A separate charge for parking encourages residents to consider alternative methods of commuting besides single-occupant vehicle usage and serves as another important travel demand management measure.

Reporting will be submitted annually pursuant to Section 19.F.5 and 19.G.5 of the Zoning Regulations. If parking demand is not being met, alternate solutions will be explored. Similarly, if the transportation demand management goals of the regulations are not being met, the Applicant will submit proposals for increasing resident use of transportation means other than single occupancy vehicles.

Should you have any questions or need additional information, please contact me at 860-646-2469.

Sincerely,

Mark G. Vertucci, PE, PTOE

Vice President



FUSS & O'NEILL

January 29, 2024

David Stein, Chair  
Stamford Zoning Board  
888 Washington Blvd  
Stamford, CT 06901

Re: Site Plan Revisions – Supporting Traffic Letter  
Proposed Residential/Multi-Use Development  
800 Long Ridge Road  
Stamford, Connecticut  
Fuss & O'Neill Reference No. 20101217.A30

Dear Mr. Stein:

800 Long Ridge, LLC proposes to construct 354 apartment units and 9,394 square foot supporting commercial use with 618 parking spaces at 800 Long Ridge Road in Stamford, CT. This represents a slight decrease in parking from the initial proposal of 628 parking spaces. The number of units and commercial square footage remains unchanged.

A slight change to the residential unit breakdown (1 bedroom, 2 bedroom, and 3 bedroom) is proposed. However, this change does not impact the results of the traffic analysis presented in our Traffic Impact Study.

A total of ten parking spaces were removed in the updated site plan which may slightly reduce the number of vehicles onsite. The proposed modifications to site parking are as follows:

- 348 inside garage spaces
- 270 outdoor surface level spaces
- 38 of the 618 spaces will be reserved for the commercial use
- 574 of the 618 spaces will be reserved for the residential use
- 6 of the 618 spaces will be publicly accessible amenity spaces
- 65 parking spaces will be reserved for EV vehicles

The 574 parking spaces provided for the residential use represents a ten-space reduction from the 584 spaces depicted on the original site plan. The commercial space square footage and parking proposed (38 spaces) remains unchanged. The combined total parking of 618 spaces continues to exceed the total amount of parking required for the development by Zoning Regulations (613

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FUSS & O'NEILL

David Stein, Chair

January 29, 2024

Page 2

spaces). Given both the residential and commercial uses proposed on site both independently satisfy the parking regulations, no shared parking will be required on site.

The revised layout of the parking facilities proposed is provided on the updated site plans included with this development's Zoning applications.

In summary, minor site plan changes are proposed to modify the residential unit mix and slightly decrease the total number of residential parking spaces provided on site. These modifications have no impact on the findings of the Traffic Impact Study dated September 2023 and no impact on the conclusions of the Parking and Traffic Demand Management Plan dated October 6, 2023.

Should you have any questions or need additional information, please contact me at 860-646-2469.

Sincerely,

Mark G. Vertucci, PE, PTOE

Vice President



October \_\_, 2023

Vineeta Mathur  
Principal Planner, Land Use Bureau  
City of Stamford  
888 Washington Blvd.  
Stamford, CT 06901

**Re: 800 Long Ridge, LLC  
Land Use Applications  
800 Long Ridge Road (the "Property")**

Dear Ms. Mathur:

800 Long Ridge, LLC is the owner of the above-captioned Property. Please consider this letter as written confirmation that the undersigned has authorized the attorneys of Carmody Torrance Sandak & Hennessey, LLP, with offices located at 1055 Washington Boulevard, Stamford, Connecticut 06901, to file the enclosed land use applications with the City of Stamford on its behalf in connection with the Property. Thank you for your acknowledgement of said authority.

Sincerely,

800 Long Ridge, LLC

By: \_\_\_\_\_  
Duly Authorized

(S7526138)

## GENERAL NOTES

- BOUNDARY & TOPOGRAPHIC INFORMATION IS BASED UPON FIELD SURVEY CONDUCTED BY: ALL SEASONS LAND SURVEYING OF WALLINGFORD, CT. BEARINGS ARE BASED UPON ON THE CT STATE COORDINATE SYSTEM (N.A.D. - 83). ELEVATIONS ARE IN THE N.A.V.D. 88 DATUM.
- INFORMATION REGARDING THE LOCATION OF EXISTING UTILITIES HAS BEEN BASED UPON AVAILABLE INFORMATION AND MAY BE INCOMPLETE, AND WHERE SHOWN SHOULD BE CONSIDERED APPROXIMATE. THE LOCATION OF ALL EXISTING UTILITIES SHOULD BE CONFIRMED PRIOR TO BEGINNING CONSTRUCTION. CALL "CALL BEFORE YOU DIG", 1-800-922-4455. ALL UTILITY LOCATIONS THAT DO NOT MATCH THE VERTICAL OR HORIZONTAL CONTROL SHOWN ON THE PLANS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION.
- CIVIL 1 ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF MAPS AND DATA WHICH HAVE BEEN SUPPLIED BY OTHERS.
- ALL UTILITY SERVICES ARE TO BE UNDERGROUND. THE EXACT LOCATION AND SIZE OF ELECTRIC, TELEPHONE, CABLE TELEVISION AND GAS ARE TO BE DETERMINED BY THE RESPECTIVE UTILITY COMPANIES.
- ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING UTILITY LOCATIONS IN THE FIELD AND TAKING ALL NECESSARY STEPS TO PROTECT THEM FROM DAMAGE. ANY UTILITY THAT IS DAMAGED THROUGH THE NEGLIGENCE OF THE CONTRACTOR SHALL BE REPAIRED BY THE CONTROLLING UTILITY COMPANY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES AND STRUCTURES. THOSE OF WHICH HAVE BEEN DAMAGED SHALL BE PROMPTLY REPAIRED TO EXISTING OR BETTER CONDITION AT THE CONTRACTOR'S EXPENSE.
- SEDIMENT AND EROSION CONTROL MEASURES AS DEPICTED ON THESE PLANS AND DESCRIBED WITHIN THE SEDIMENT AND EROSION CONTROL NARRATIVE SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT COVER AND STABILIZATION IS ESTABLISHED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL CONFORM TO THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL CONNECTICUT - 2002, AND IN ALL CASES BEST MANAGEMENT PRACTICES SHALL PREVAIL.
- ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 6" TOPSOIL AND BE SEEDED WITH GRASS OR SODDED, AS SHOWN ON THE PLANS.
- ALL STORM DRAIN PIPE SHALL BE HDPE PR SDR-35 PVC UNLESS OTHERWISE INDICATED.
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS INDICATE FINISHED GRADE.
- ALL GRAVITY SANITARY SEWER PIPE SHALL BE PVC SDR-35 UNLESS OTHERWISE INDICATED.
- ALL CONSTRUCTION MATERIALS AND METHODS SHALL CONFORM TO THE CITY OF STAMFORD REQUIREMENTS AND TO THE APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, AND INCIDENTAL CONSTRUCTION, FORM 818 AND ADDENDUMS.
- THE PLANS REQUIRE A CONTRACTOR'S WORKING KNOWLEDGE OF LOCAL, MUNICIPAL, WATER AUTHORITY, AND STATE CODES FOR UTILITY SYSTEMS. ANY CONFLICTS BETWEEN MATERIALS AND LOCATIONS SHOWN, AND LOCAL REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE EXECUTION OF WORK. THE ENGINEER WILL NOT BE HELD LIABLE FOR COSTS INCURRED TO IMPLEMENT OR CORRECT WORK WHICH DOES NOT CONFORM TO LOCAL CODE.
- THE PROPOSED BUILDINGS ARE TO BE CONNECTED TO PUBLIC WATER AND SANITARY SEWER UTILIZING EXISTING LATERALS THAT ENTER INTO THE SITE.
- PRIOR TO CONSTRUCTION EXISTING ON-SITE UTILITIES THAT ARE TO REMAIN IN SERVICE SHALL BE INSPECTED AND REPLACED OR REPAIRED AS NEEDED.
- COMPLIANCE WITH THE PERMIT CONDITIONS IS THE RESPONSIBILITY OF BOTH THE CONTRACTOR AND THE PERMITTEE.
- THE PROPERTY OWNER MUST MAINTAIN (REPAIR/REPLACE WHEN NECESSARY) EROSION & SEDIMENT CONTROL MEASURES UNTIL ALL DEVELOPMENT ACTIVITY IS COMPLETED AND ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
- CATCH BASINS DAMAGED OR FILLED WITH DEBRIS DURING CONSTRUCTION SHALL BE REPLACED OR CLEANED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS REMINDED THAT TITLE 16 CHAPTER 293 OF THE CONNECTICUT GENERAL STATUTES REQUIRES NOTIFICATION TO UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. THE CONTRACTOR SHALL CALL 1-800-922-4455 AT LEAST 72 HOURS PRIOR TO EXCAVATION, BUT NO MORE THAN 30 DAYS IN ADVANCE.
- LINE AND GRADE FOR CONSTRUCTION LAYOUT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL UTILIZE A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF CONNECTICUT TO PERFORM CONSTRUCTION LAYOUT. THE CONTRACTOR SHALL SUBMIT THE NAME OF THE SURVEYOR TO THE ENGINEER AT LEAST 3 WEEKS PRIOR TO BEGINNING WORK.
- ANY PUBLIC OR PRIVATE PROPERTY DISTURBED AS A RESULT OF CONSTRUCTION OPERATIONS SHALL BE RESTORED AS QUICKLY AS POSSIBLE AND TO THE SATISFACTION OF THE ENGINEER.
- EACH LAYER OF MATERIAL USED FOR BACKFILL OR SUBGRADE SHALL BE COMPACTED UNTIL THE DRY DENSITY OF EACH LAYER IS AT LEAST 95% OF THE DRY DENSITY ACHIEVED BY THE AASHTO TEST T180, METHOD D FOR THAT SOIL. MAXIMUM LAYER THICKNESS NOT TO EXCEED 12".
- A STREET OPENING PERMIT IS REQUIRED FOR ANY WORK WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY.
- ALL WORK WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY SHALL BE CONSTRUCTED TO CITY OF STAMFORD REQUIREMENTS, THE STATE OF CONNECTICUT BASIC BUILDING CODE AND THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL.
- THE ENGINEERING BUREAU OF THE CITY OF STAMFORD SHALL BE NOTIFIED THREE DAYS PRIOR TO ANY COMMENCEMENT WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY.
- ALL RETAINING WALLS GREATER THAN FOUR (4) FEET ARE REQUIRED TO BE DESIGNED, AND INSPECTED DURING CONSTRUCTION BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT. CERTIFICATION OF THE RETAINING WALL SHALL BE REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY AND/OR BOND RELEASE.
- CERTIFICATION WILL BE REQUIRED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT THAT WORK HAS BEEN COMPLETED IN COMPLIANCE WITH THE APPROVED DRAWINGS.
- A FINAL LOCATION PLAN WILL BE REQUIRED BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF CONNECTICUT.
- FINAL PLANS SHALL CLEARLY SHOW THE LIMITS OF UTILITY EASEMENTS. EASEMENTS SHALL BE FILED ON THE CITY LAND RECORDS PRIOR TO ANY CERTIFICATE OF OCCUPANCY.
- FINAL PLANS SHALL CLEARLY SHOW THE LIMITS OF ANY PUBLIC ACCESS EASEMENT REQUIRED FOR SIDEWALKS. EASEMENT SHALL BE FILED ON THE CITY LAND RECORDS PRIOR TO ANY CERTIFICATE OF OCCUPANCY.

## NOTIFICATIONS:

- A PRE-CONSTRUCTION MEETING WITH BUILDING & LAND TECHNOLOGY PERSONNEL SHALL OCCUR PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES A MINIMUM OF 2 WEEKS BEFORE BEGINNING ANY WORK INVOLVING THEIR UTILITY.
- HAZARDOUS MATERIALS:
  - IT IS PREFERABLE THAT FUELING AND MAINTENANCE OF EQUIPMENT AND/OR VEHICLES OCCUR OFF-SITE IN A GARAGE OR OTHER SUITABLE AREA. IF OFF-SITE REFUELING AND/OR MAINTENANCE IS NOT FEASIBLE OR PRACTICAL, THESE ACTIVITIES SHALL OCCUR IN AN AREA WHERE SPILLAGE CAN BE CONTAINED AND REMOVED, NO LESS THAN 50 FEET FROM A WATERCOURSE. ABSORBENT SPILL BLANKET MATERIAL SHOULD BE PLACED NEXT TO THE REFUELING/MAINTENANCE ACTIVITY TO BE USED TO CONTAIN AND REMOVE ANY POTENTIAL SPILLAGE.
  - ALL FUEL, OIL, PAINT, OR OTHER HAZARDOUS MATERIALS SHALL BE STORED IN A SECONDARY CONTAINER AND REMOVED TO A LOCKED INDOOR AREA WITH AN IMPERVIOUS FLOOR DURING NONWORK HOURS.
  - AN AMPLE SUPPLY OF ABSORBENT SPILL RESPONSE MATERIAL (BOOMS, BLANKETS, ETC.) SHALL BE AVAILABLE AT CONSTRUCTION SITES AT ALL TIMES TO CLEAN UP POTENTIAL SPILLS OF HAZARDOUS MATERIALS SUCH AS GASOLINE AND OIL.
  - SPILLS OF HAZARDOUS MATERIALS SHALL BE REPORTED IMMEDIATELY TO: CT DEPARTMENT OF ENVIRONMENTAL PROTECTION OIL AND CHEMICAL SPILLS UNIT AT (860) 424-3338.

# 800 LONG RIDGE ROAD

## 800 LONG RIDGE ROAD, STAMFORD DESIGN DEVELOPMENT & PERMITTING SET NOT FOR CONSTRUCTION

**OWNER/APPLICANT**  
800 LONG RIDGE ROAD, LLC  
100 WASHINGTON BOULEVARD  
SUITE 200  
STAMFORD, CT 06902

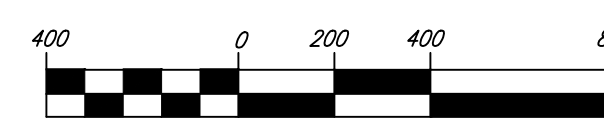
**ENGINEER**  
CIVIL 1  
43 SHERMAN HILL ROAD, SUITE D-101  
WOODBURY, CT 06798

**SURVEYOR**  
ALL SEASONS LAND SURVEYING  
31 WEST DAYTON HILL ROAD  
WALLINGFORD, CT 06492

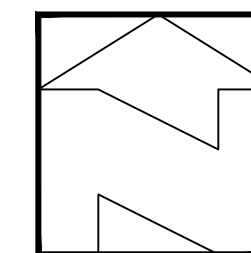
**ARCHITECT**  
EDI INTERNATIONAL  
54 EAST 12TH STREET  
8TH FLOOR  
NEW YORK, NY



## PROJECT SITE VICINITY MAP



1 inch = 400ft.



SHEET NUMBER	DESCRIPTION
-	ZONING LOCATION SURVEY - EXISTING CONDITIONS
-	ZONING LOCATION SURVEY - PROPOSED CONDITIONS
C 1.1	OVERALL SITE PLAN
C 1.2	SITE PLAN
C 1.3	SITE PLAN
C 1.4	SITE PLAN
C 2.1	OVERALL GRADING & DRAINAGE PLAN
C 2.2	GRADING & DRAINAGE PLAN
C 2.3	GRADING & DRAINAGE PLAN
C 2.4	GRADING & DRAINAGE PLAN
C 3.1	OVERALL UTILITY PLAN
C 3.2	UTILITY PLAN
C 3.3	UTILITY PLAN
C 3.4	UTILITY PLAN
C 4.1	OVERALL EROSION CONTROL PLAN
C 4.2	EROSION CONTROL PLAN
C 4.3	EROSION CONTROL PLAN
C 4.4	EROSION CONTROL PLAN
C 5.1	DRIVEWAY & DRAINAGE PROFILES
C 5.2	DRIVEWAY & DRAINAGE PROFILES
C 5.3	DRIVEWAY & DRAINAGE PROFILES
C 5.4	DRIVEWAY & DRAINAGE PROFILES
C 5.5	WALKING TRAIL PROFILES
C 6.1	DETAILS
C 6.2	DETAILS
C 6.3	DETAILS
C 6.4	DETAILS
C 7.1	PROJECT NOTES & EROSION CONTROL NARRATIVE

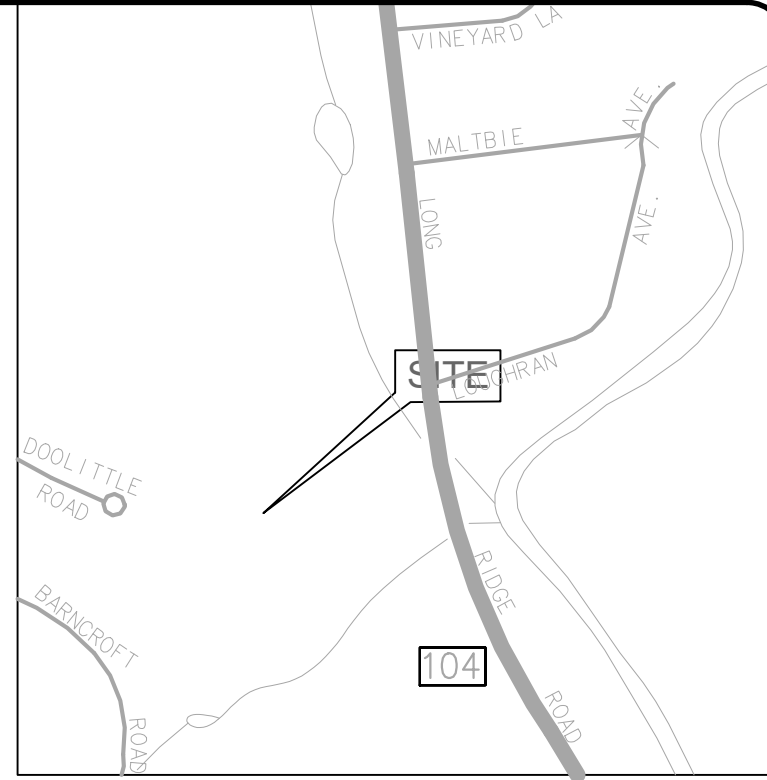


CORNERSTONE PROFESSIONAL PARK, SUITE D-101  
43 SHERMAN HILL ROAD  
WOODBURY, CONNECTICUT 06798  
(203) 266-0778

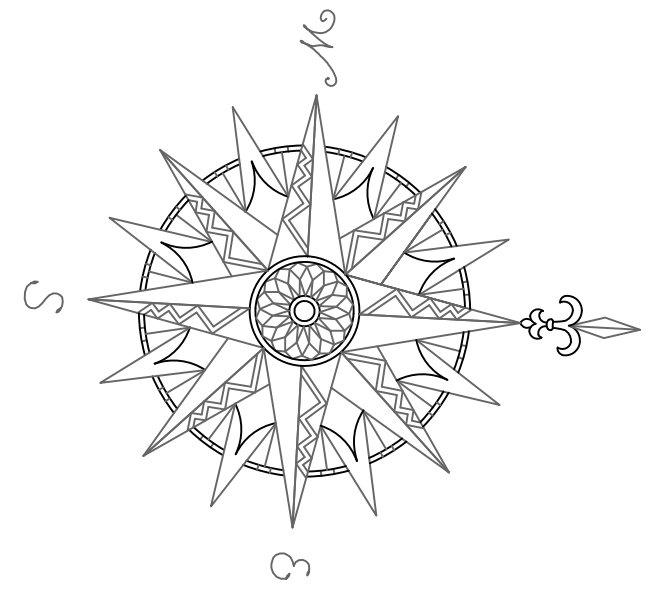
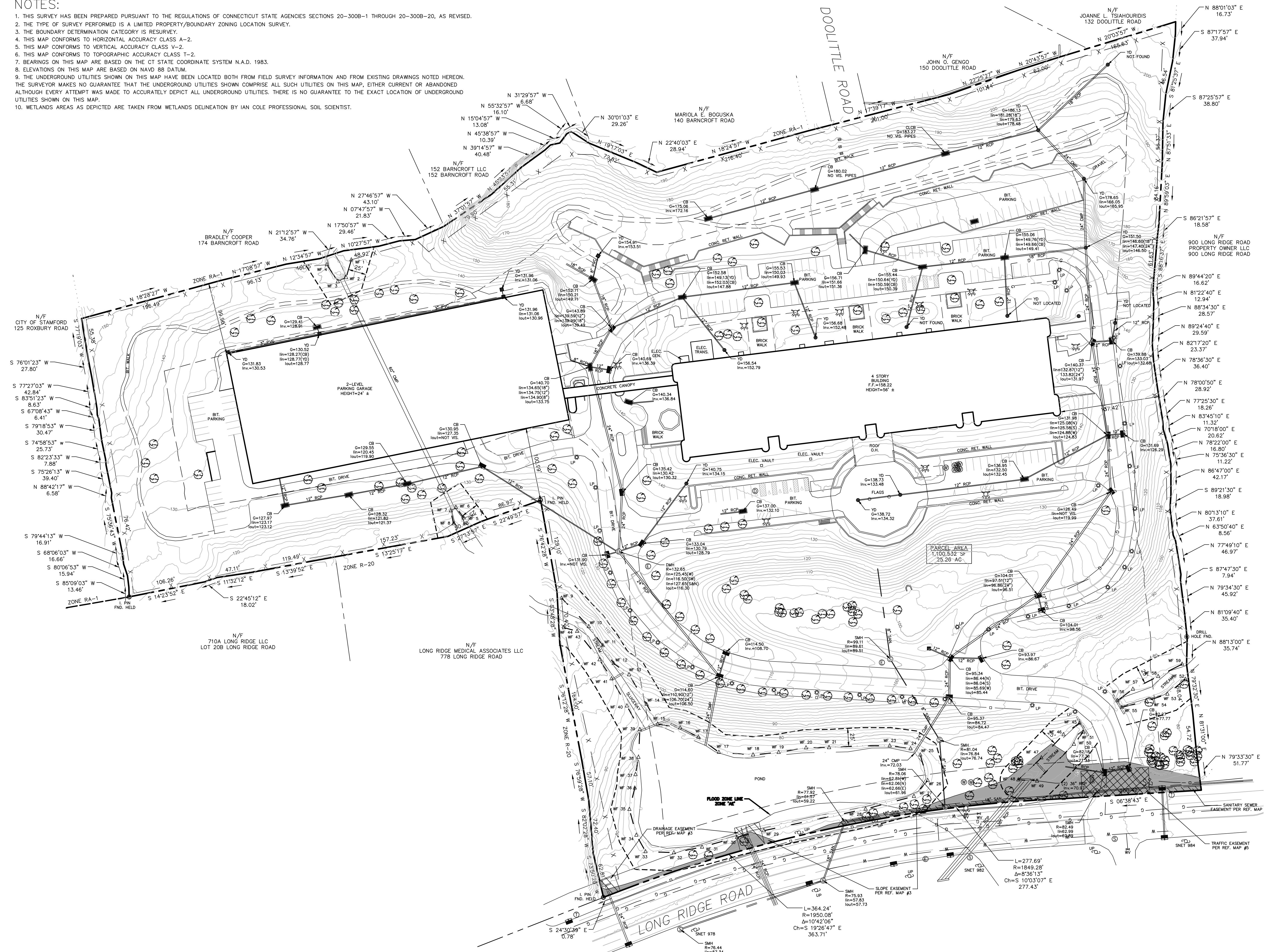
OCTOBER 3, 2023  
REVISED JANUARY 22, 2024

**NOTES:**

1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20, AS REVISED.
2. THE TYPE OF SURVEY PERFORMED IS A LIMITED PROPERTY/BOUNDARY ZONING LOCATION SURVEY.
3. THE BOUNDARY DETERMINATION CATEGORY IS RESURVEY.
4. THIS MAP CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.
5. THIS MAP CONFORMS TO VERTICAL ACCURACY CLASS V-2.
6. THIS MAP CONFORMS TO TOPOGRAPHIC ACCURACY CLASS T-2.
7. BEARINGS ON THIS MAP ARE BASED ON THE CT STATE COORDINATE SYSTEM N.A.D. 1983.
8. ELEVATIONS ON THIS MAP ARE BASED ON NAVD 88 DATUM.
9. THE UNDERGROUND UTILITIES SHOWN ON THIS MAP HAVE BEEN LOCATED BOTH FROM FIELD SURVEY INFORMATION AND FROM EXISTING DRAWINGS NOTED HEREON. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES ON THIS MAP, EITHER CURRENT OR ABANDONED. ALTHOUGH EVERY ATTEMPT WAS MADE TO ACCURATELY DEPICT ALL UNDERGROUND UTILITIES, THERE IS NO GUARANTEE TO THE EXACT LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS MAP.
10. WETLANDS AREAS AS DEPICTED ARE TAKEN FROM WETLANDS DELINEATION BY IAN COLE PROFESSIONAL SOIL SCIENTIST.



**LOCATION MAP**  
NTS



**STAMFORD ZONING TABLE (C-D (DESIGNED COMMERCIAL DISTRICT))**

STANDARDS	REQUIRED	EXISTING
MINIMUM LOT AREA	15 ACRES	25.26 AC
MAXIMUM BLDG. HEIGHT	4 STORIES/60'	4 STORIES/ 56' ±
BLDG. SETBACKS:		
STREET	50'	> 50'
SIDE/REAR YARD:	100'/50'*	99.96'
MAXIMUM BLDG. COVERAGE	10 %	13.7 %
MAXIMUM LOT COVERAGE	35 %	32.7 %

\* 4 STORY DEVELOPMENT  
\*\* 100' ADJACENT TO SINGLE FAMILY / 50' OTHER

**LEGEND**

	PROPERTY LINE
	BUILDING SETBACK LINE
	EXISTING CONTOUR
	TREE LINE
	WETLAND LINE
	EXISTING GATE RAIL
	WATER VALVE
	EXISTING METER BOX
	EXISTING STONE WALL
	EXISTING SANITARY SEWER MANHOLE
	EXISTING GAS LINE
	EXISTING STORM SEWER
	EXISTING ELECTRIC
	EXISTING FENCE
	EXISTING SITE LIGHT
	STORM DRAINAGE MANHOLE
	CATCH BASIN
	SANITARY SEWER MANHOLE
	TREE SYMBOLS
	UTILITY POLE
	SHELL HOLE
	DRAINAGE EASEMENT
	TRAFFIC EASEMENT
	SANITARY EASEMENT
	SLOPE EASEMENT
	50' WETLAND BUFFER

**ZONING LOCATION SURVEY  
EXISTING CONDITIONS SURVEY**  
PREPARED FOR  
**800 LONG RIDGE LLC**  
800 LONG RIDGE ROAD  
STAMFORD, CONNECTICUT

COPYRIGHT © 2023  
SCALE: 1" = 60' AUGUST 15, 2023  
REVISED: AUGUST 16, 2023 - GENERAL REVISIONS  
AUGUST 29, 2023 - GENERAL REVISIONS  
OCTOBER 3, 2023 - REVISE TOTAL COV. CALCS.  
PROJ. NO.: 0713



**ALL SEASONS**  
Land Surveying

LAND SURVEYING - LAND PLANNING  
44 Fair Street  
Wallingford, CT 06492  
1 John Street  
Millerton, NY 12546

Phone: (860) 274-5053  
dan@allseasonslandsurveying.com  
allseasonslandsurveying.com

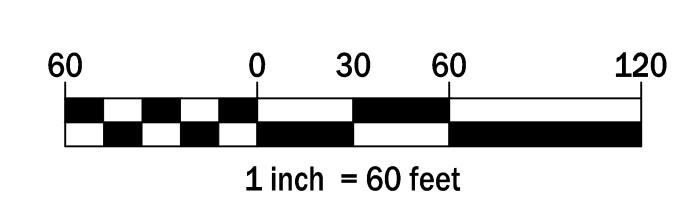
**MAP REFERENCES:**

1. "DATA ACCUMULATION PLAN PREPARED FOR 800 LONG RIDGE, LLC 824 LONG RIDGE ROAD (AKA 800) STAMFORD, CONNECTICUT" SCALE: 1"=80' JULY 24, 2008 BY: SPATH-BJORCKLUND ASSOCIATES S.L.R. #8927
2. "MAP OF PROPERTY OF ROBERT B. KAHAN, TRUSTEE STAMFORD, CONN." SCALE: 1"=100' MAR. 30, 1970 S.L.R. #8927
3. "TOWN OF STAMFORD MAP SHOWING LAND ACQUIRED FROM XEROX CORPORATION BY THE STATE OF CONNECTICUT ROUTE 104" SCALE: 1"=40' JUNE 1976 S.L.R. #8912
4. "MAP SHOWING SANITARY SEWER EASEMENT IN STAMFORD, CONNECTICUT THROUGH PROPERTY OF XEROX CORPORATION" SCALE: 1"=30' OCT. 21, 1976 S.L.R. #8978
5. "TOWN OF STAMFORD MAP SHOWING EASEMENT ACQUIRED FROM XEROX CORPORATION BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION ROUTE 104 LONG RIDGE ROAD AT XEROX DR. AND LOUGHAN AVENUE." SCALE: 1"=500M JULY 18, 1997 S.L.R. #12829

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND SURVEY ARE SUBSTANTIALLY CORRECT AS NOTED HEREON.

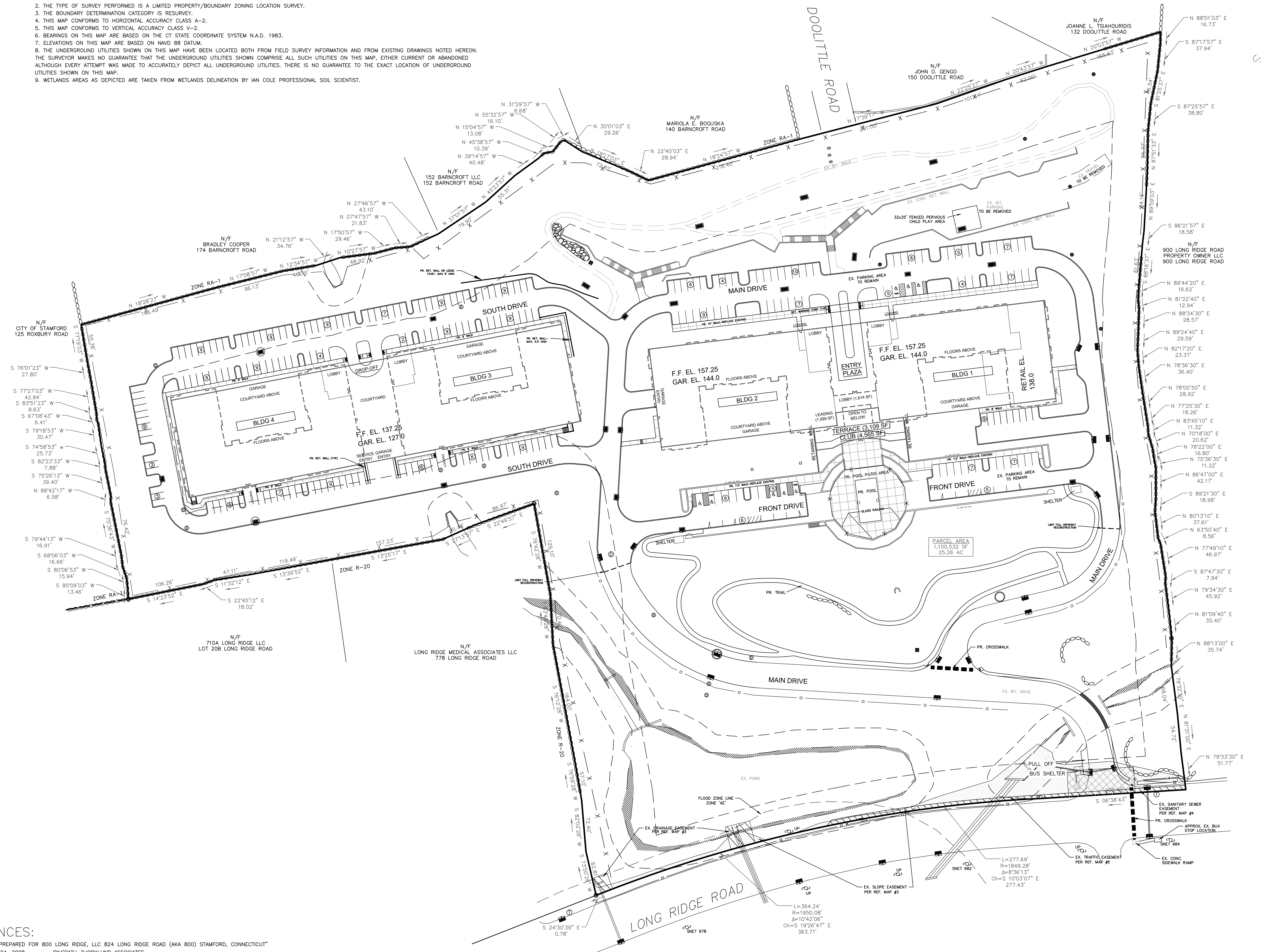
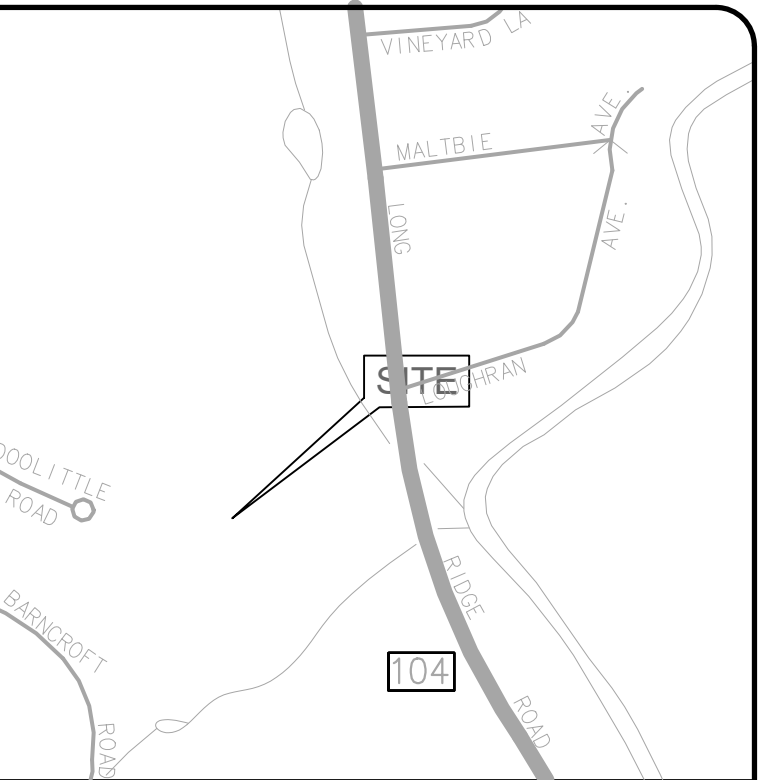
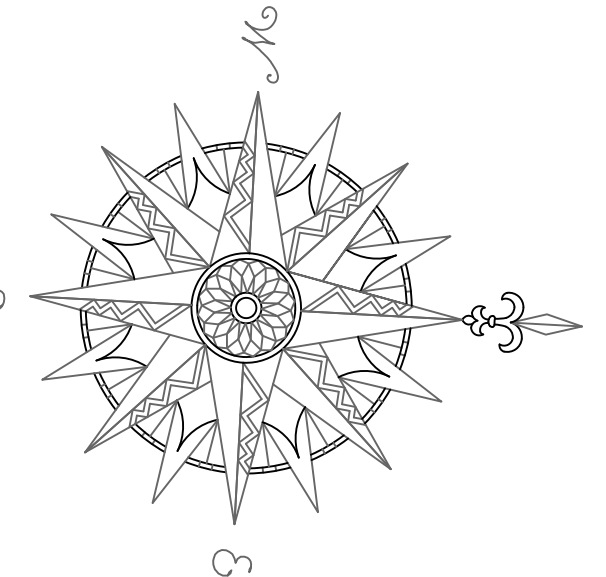
THIS MAP IS NOT VALID UNLESS IT BEARS THE LIVE SIGNATURE AND SEAL OF THE UNDERSIGNED LAND SURVEYOR.

DANIEL C. LAFERRIERE  
LICENSED LAND SURVEYOR, REG# 70492



**NOTES:**

1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20, AS REVISED.
2. THE TYPE OF SURVEY PERFORMED IS A LIMITED PROPERTY/BOUNDARY ZONING LOCATION SURVEY.
3. THE BOUNDARY DETERMINATION CATEGORY IS RESURVEY.
4. THIS MAP CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.
5. THIS MAP CONFORMS TO VERTICAL ACCURACY CLASS V-2.
6. BEARINGS ON THIS MAP ARE BASED ON THE CT STATE COORDINATE SYSTEM N.A.D. 1983.
7. ELEVATIONS ON THIS MAP ARE BASED ON NAVD 88 DATUM.
8. THE UNDERGROUND UTILITIES SHOWN ON THIS MAP HAVE BEEN LOCATED BOTH FROM FIELD SURVEY INFORMATION AND FROM EXISTING DRAWINGS NOTED HEREON. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES ON THIS MAP, EITHER CURRENT OR ABANDONED ALTHOUGH EVERY ATTEMPT WAS MADE TO ACCURATELY DEPICT ALL UNDERGROUND UTILITIES. THERE IS NO GUARANTEE TO THE EXACT LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS MAP.
9. WETLANDS AREAS AS DEPICTED ARE TAKEN FROM WETLANDS DELINEATION BY IAN COLE PROFESSIONAL SOIL SCIENTIST.



**LEGEND**

	PROPERTY LINE
	BUILD-TO LINE
	PROPOSED EDGE OF PAVEMENT
	EXISTING EDGE OF PAVEMENT TO REMAIN
	EXISTING & PROPOSED BIT. PAVEMENT
	CONCRETE SIDEWALK/PAVER AREA
	EXISTING STONE WALL
	PROPOSED DRAINAGE MANHOLE
	EXISTING DRAINAGE MANHOLE
	PROPOSED CATCH BASIN
	EXISTING CATCH BASIN
	WETLANDS
	25' WETLANDS REGULATED AREA
	UTILITY POLE
	DRILL HOLE
	IRON PIN
	DRAINAGE EASEMENT
	TRAFFIC EASEMENT
	SANITARY EASEMENT
	SLOPE EASEMENT

**ZONING LOCATION SURVEY  
PROPOSED CONDITIONS SURVEY**  
PREPARED FOR  
**800 LONG RIDGE LLC**  
800 LONG RIDGE ROAD  
STAMFORD, CONNECTICUT

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SCALE: 1" = 60'  
OCTOBER 6, 2023  
REVISED: JANUARY 3, 2024 - GENERAL REVISIONS  
REVISED: JANUARY 22, 2024 - GENERAL REVISIONS

PROJ. NO.: 0713



**LAND SURVEYING - LAND PLANNING**  
44 Fair Street  
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1 John Street  
Millerton, NY 12546  
Phone: (860) 274-5053  
dan@allseasonslandsurveying.com  
allseasonslandsurveying.com

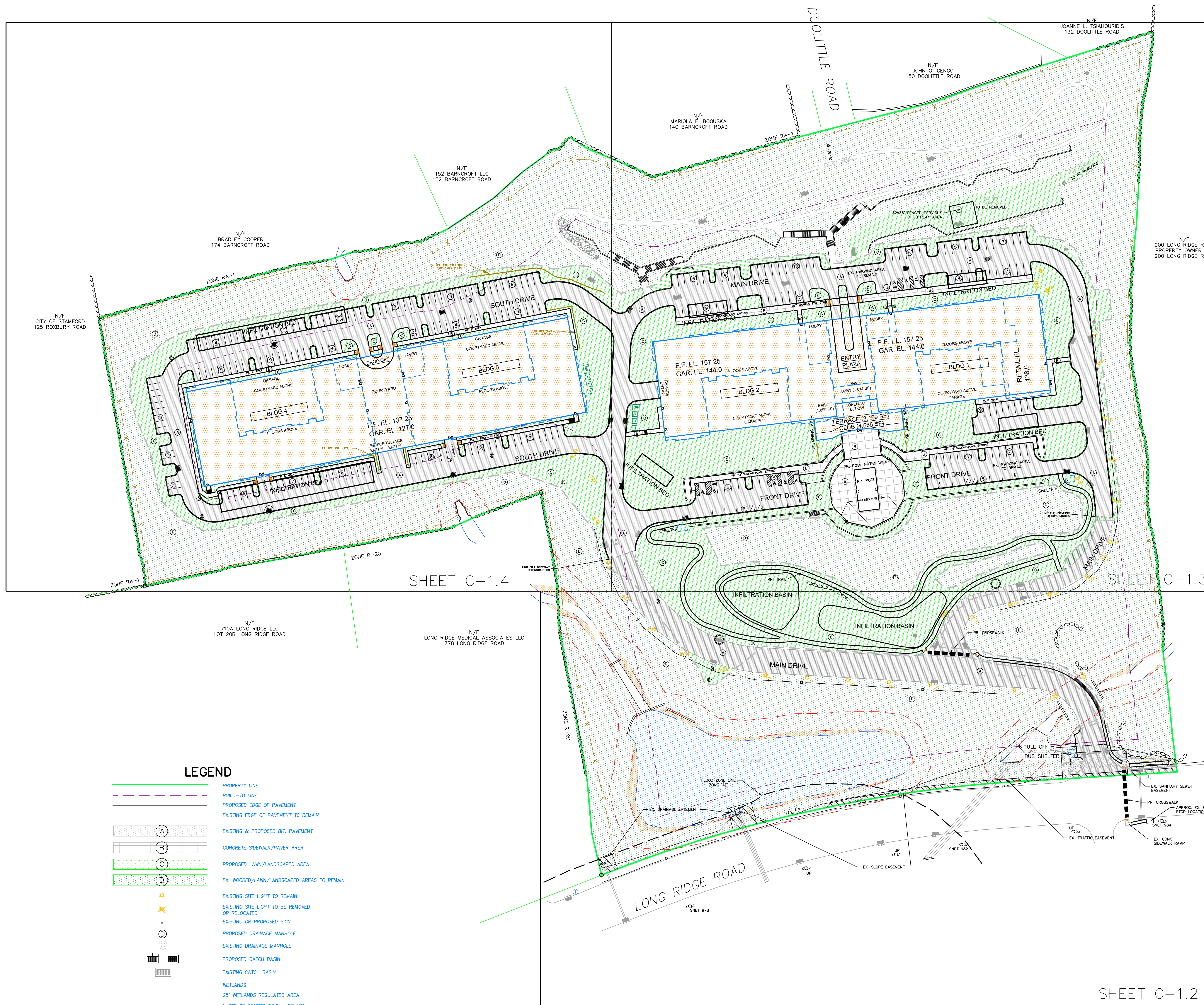
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1. "DATA ACCUMULATION PLAN PREPARED FOR 800 LONG RIDGE, LLC 824 LONG RIDGE ROAD (AKA 800) STAMFORD, CONNECTICUT" SCALE: 1"=80' JULY 24, 2008 BY: SPATH-BJORKLUND ASSOCIATES
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6. "ZONING LOCATION SURVEY - EXISTING CONDITIONS PREPARED FOR 800 LONG RIDGE LLC" SCALE: 1" = 60' AUGUST 15, 2023, REV. OCTOBER 3, 2023 BY: ALL SEASONS LAND SURVEYING

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND SURVEY ARE SUBSTANTIALLY CORRECT AS NOTED HEREON.  
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DANIEL C. LAFERRIERE  
LICENSED LAND SURVEYOR, REG# 70492

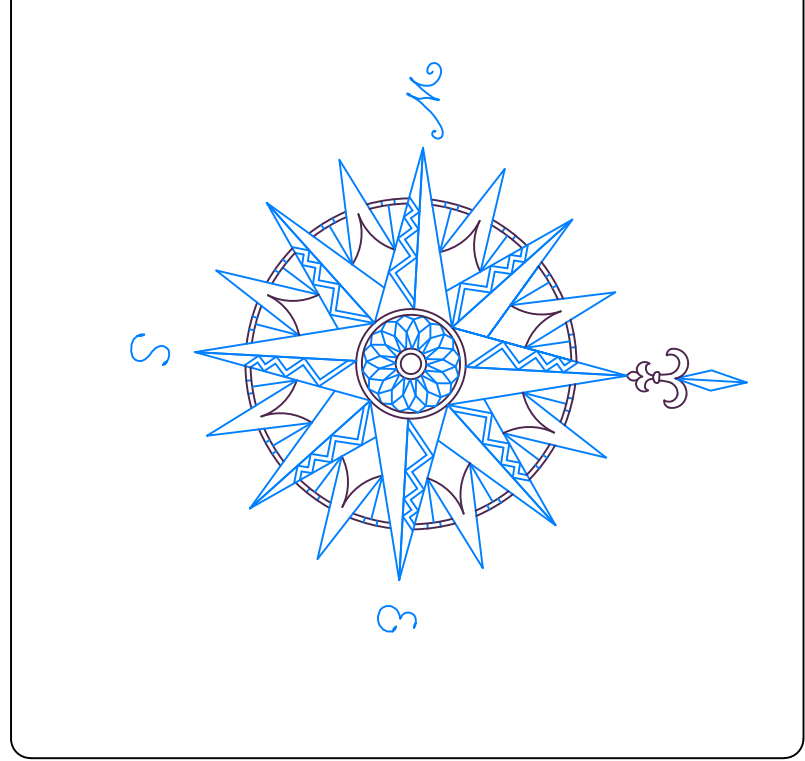




- LEGEND**
- PROPERTY LINE
  - BUILD-TO LINE
  - PROPOSED EDGE OF PAVEMENT
  - EXISTING EDGE OF PAVEMENT TO REMAIN
  - Ⓐ EXISTING & PROPOSED BIT PAVEMENT
  - Ⓑ CONCRETE SIDEWALK/PAVER AREA
  - Ⓒ PROPOSED LAWN/LANDSCAPED AREA
  - Ⓓ EX. WOODED/LAWN/LANDSCAPED AREAS TO REMAIN
  - ★ EXISTING SITE LIGHT TO REMAIN
  - ✘ EXISTING SITE LIGHT TO BE REMOVED OR RELOCATED
  - ⊕ EXISTING OR PROPOSED SIGN
  - Ⓧ PROPOSED DRAINAGE MANHOLE
  - Ⓨ EXISTING DRAINAGE MANHOLE
  - ☐ PROPOSED CATCH BASIN
  - ☐ EXISTING CATCH BASIN
  - WETLANDS
  - 25' WETLANDS REGULATED AREA
  - LIMITS OF CONSTRUCTION ACTIVITY

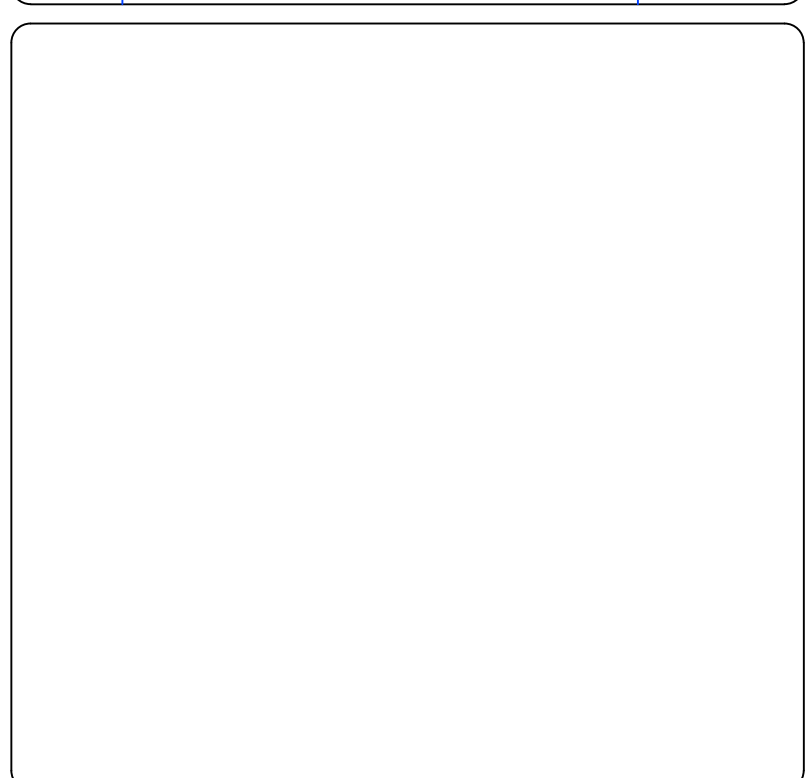
**NOTES:**

1. REFER TO LANDSCAPING PLAN PREPARED BY ENVIRONMENTAL LAND SOLUTIONS FOR DETAILED LIGHTING PLAN, LANDSCAPING PLAN AND COURTYARD AREA DETAILING.



NO.	REVISION	DATE
1	REVISED PER ARCHITECT & CLIENT	03 JAN 24
2	REVISED PER CLIENT	22 JAN 24

Previous Editions Obsolete



**800 LONG RIDGE ROAD, LLC**  
 100 WASHINGTON BLVD.  
 SUITE 200  
 STAMFORD, CT 06902

**OVERALL SITE PLAN**

**800 LONG RIDGE ROAD**

STAMFORD CONNECTICUT

**CIVIL 1**  
 CORNERSTONE PROFESSIONAL PARK, SUITE D-101  
 43 SHERMAN HILL ROAD  
 WOODBURY (203) 266-0778 CONNECTICUT

	DRAWN: BB SCALE: 1" = 60' DATE: 03 OCT 23 PROJ. NO.: 4084 CAD FILE NAME: 4084 DESIGNED BY:	APPROVED: CJ <b>C - 1.1</b>
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MATCH LINE SHEET C-1.4

MATCH LINE SHEET C-1.2

JOANNE L. TSIACHOURIDIS  
132 DOOLITTLE ROAD

N/F  
JOHN O. GENGO  
150 DOOLITTLE ROAD

N/F  
MARIOLA E. BOGUSKA  
140 BARNCROFT ROAD

### LEGEND

- PROPERTY LINE
- BUILD-TO LINE
- PROPOSED EDGE OF PAVEMENT
- EXISTING EDGE OF PAVEMENT TO REMAIN
- EXISTING & PROPOSED BIT. PAVEMENT
- CONCRETE SIDEWALK/PAVER AREA
- PROPOSED LAWN/LANDSCAPED AREA
- EX. WOODED/LAWN/LANDSCAPED AREAS TO REMAIN
- EXISTING SITE LIGHT TO REMAIN
- EXISTING SITE LIGHT TO BE REMOVED OR RELOCATED
- EXISTING OR PROPOSED SIGN
- PROPOSED DRAINAGE MANHOLE
- EXISTING DRAINAGE MANHOLE
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- METLANDS
- 25' METLANDS REGULATED AREA
- LIMITS OF CONSTRUCTION ACTIVITY

**NOTES:**  
1. REFER TO LANDSCAPING PLAN PREPARED BY ENVIRONMENTAL LAND SOLUTIONS FOR DETAILED LIGHTING PLAN, LANDSCAPING PLAN AND COURTYARD AREA DETAILING.

NO.	REVISION	DATE
1	REVISED PER ARCHITECT & CLIENT	03 JAN 24
2	REVISED PER CLIENT	22 JAN 24

Previous Editions Obsolete



N/F  
900 LONG RIDGE ROAD  
PROPERTY OWNER LLC  
900 LONG RIDGE ROAD

800 LONG RIDGE ROAD, LLC  
100 WASHINGTON BLVD.  
SUITE 200  
STAMFORD, CT 06902

**SITE PLAN**

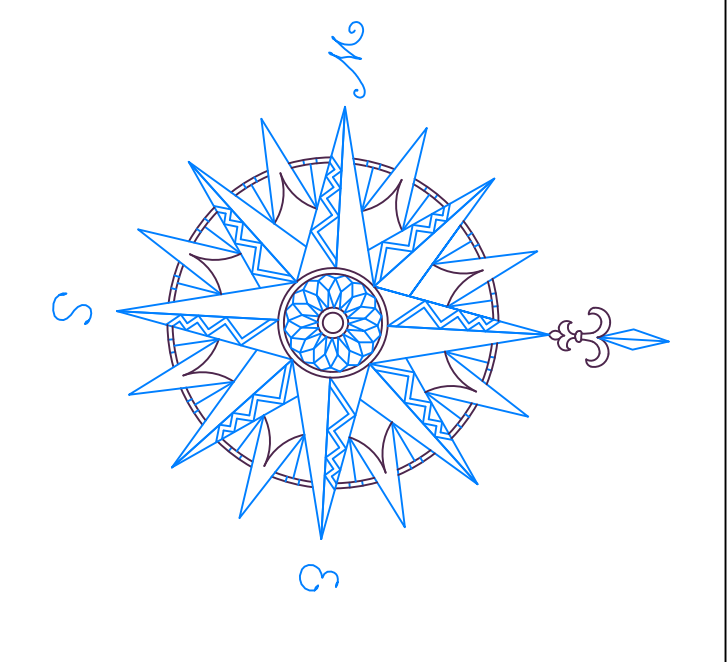
800 LONG RIDGE ROAD  
STAMFORD CONNECTICUT

CORNERSTONE PROFESSIONAL PARK, SUITE D-101  
43 SHERMAN HILL ROAD  
WOODBURY (203) 266-0778 CONNECTICUT

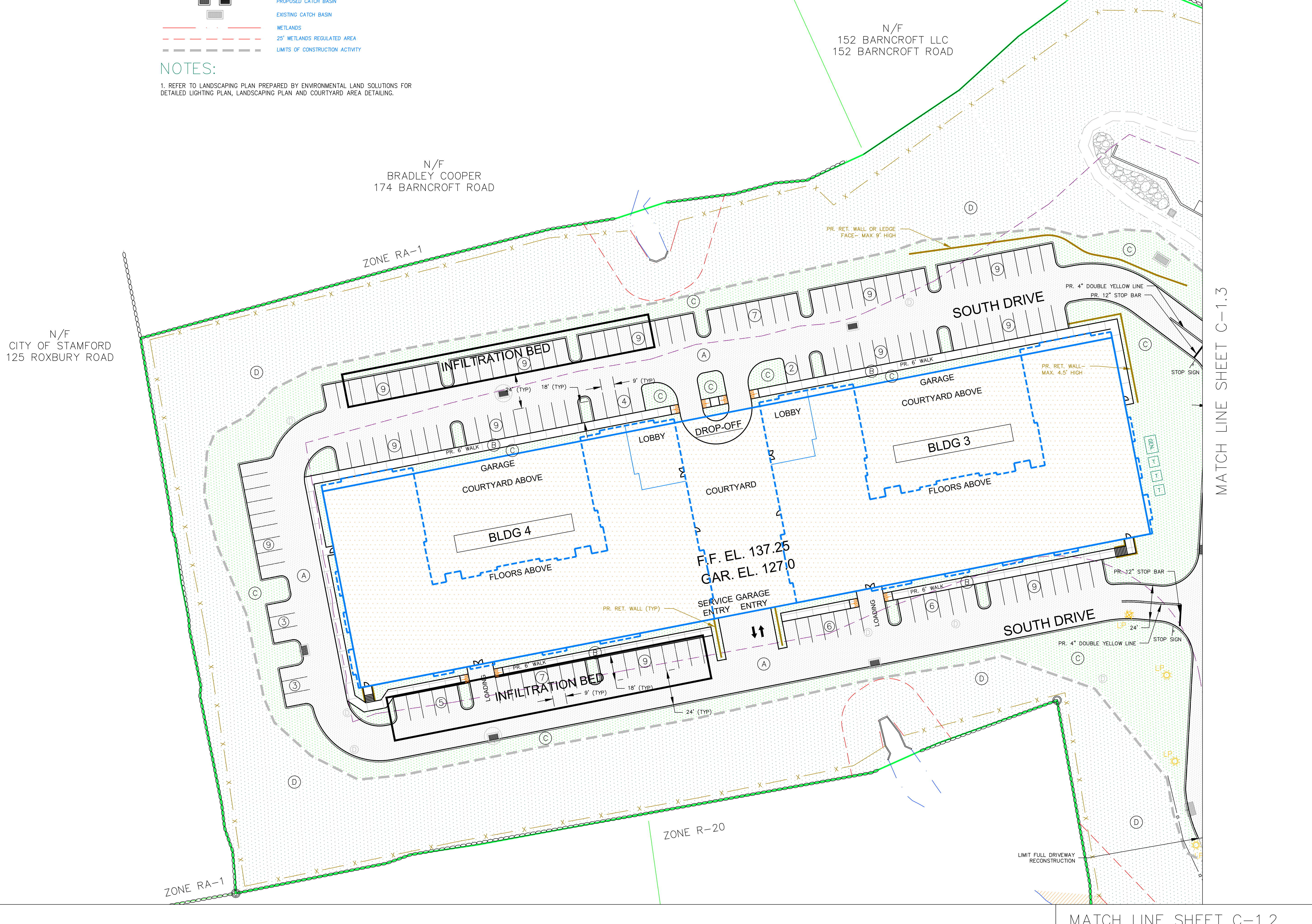
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PROFESSIONAL ENGINEER  
DRAWN: BB  
SCALE: 1" = 30'  
DATE: 03 OCT 23  
PROJ. NO.: 4084  
CALC. FILE NAME: 4084  
DESIGNED BY:

LEGEND	
	PROPERTY LINE
	BUILD-TO LINE
	PROPOSED EDGE OF PAVEMENT
	EXISTING EDGE OF PAVEMENT TO REMAIN
	EXISTING & PROPOSED BIT. PAVEMENT
	CONCRETE SIDEWALK/PAVER AREA
	PROPOSED LAWN/LANDSCAPED AREA
	EX. WOODED/LAWN/LANDSCAPED AREAS TO REMAIN
	EXISTING SITE LIGHT TO REMAIN
	EXISTING SITE LIGHT TO BE REMOVED OR RELOCATED
	EXISTING OR PROPOSED SIGN
	PROPOSED DRAINAGE MANHOLE
	EXISTING DRAINAGE MANHOLE
	PROPOSED CATCH BASIN
	EXISTING CATCH BASIN
	WETLANDS
	25' WETLANDS REGULATED AREA
	LIMITS OF CONSTRUCTION ACTIVITY

NOTES:  
1. REFER TO LANDSCAPING PLAN, PREPARED BY ENVIRONMENTAL LAND SOLUTIONS FOR DETAILED LIGHTING PLAN, LANDSCAPING PLAN AND COURTYARD AREA DETAILING.

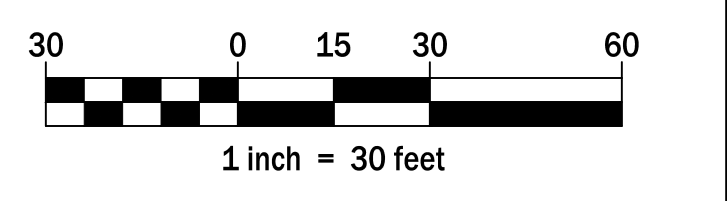


NO.	REVISION	DATE
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2	REVISED PER CLIENT	22 JAN 24



MATCH LINE SHEET C-1.3

MATCH LINE SHEET C-1.2



800 LONG RIDGE ROAD, LLC  
100 WASHINGTON BLVD.  
SUITE 200  
STAMFORD, CT 06902

SITE PLAN

800 LONG RIDGE ROAD

STAMFORD CONNECTICUT

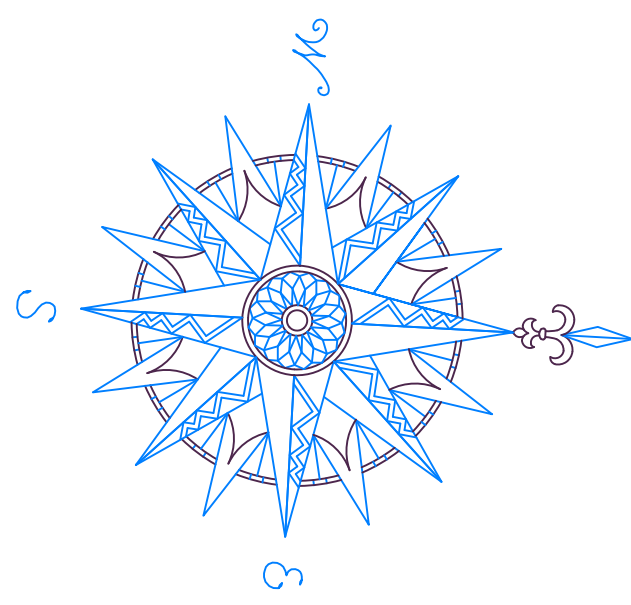
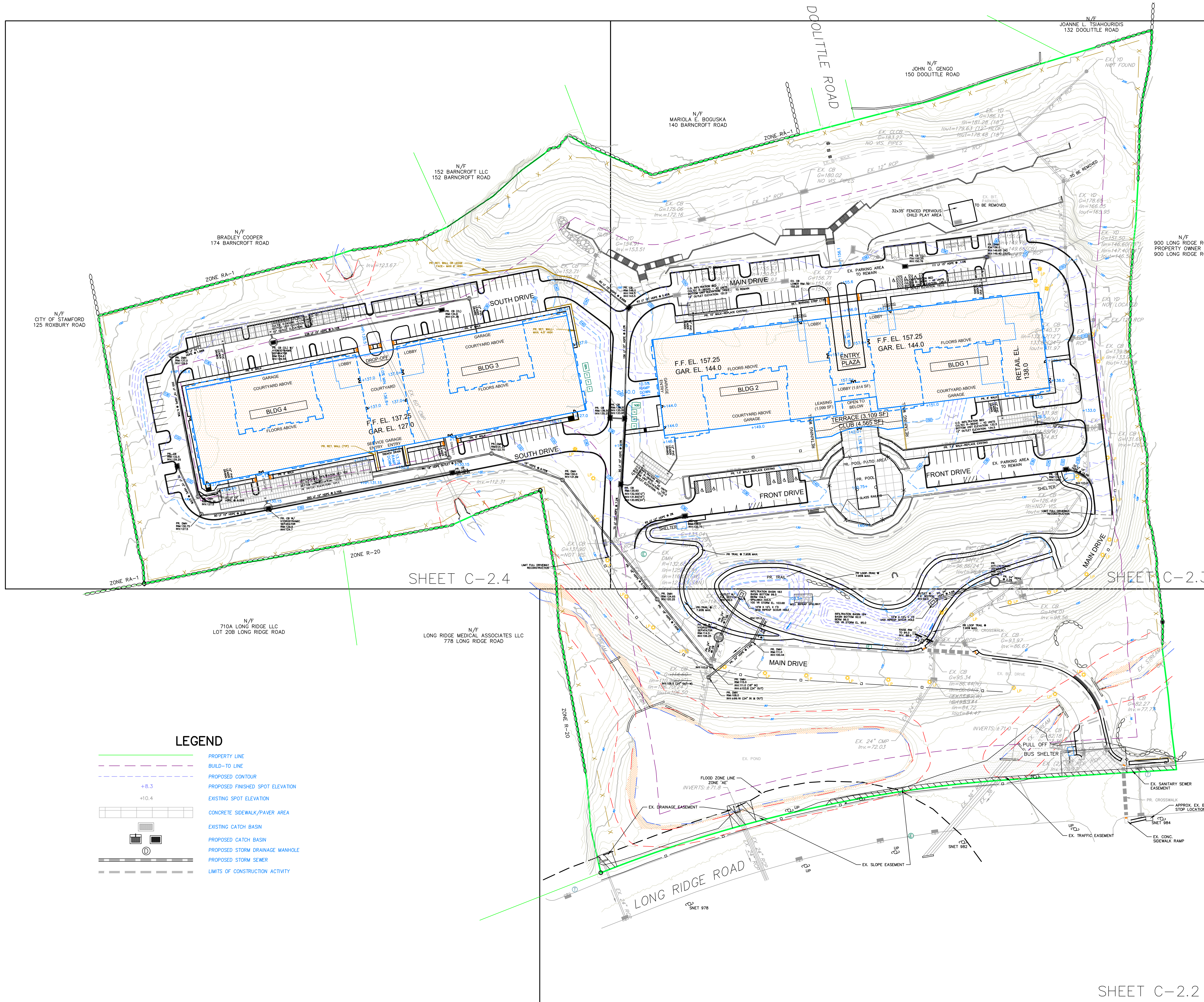


CORNERSTONE PROFESSIONAL PARK, SUITE D-101  
43 SHERMAN HILL ROAD  
WOODBURY (203) 266-0778 CONNECTICUT



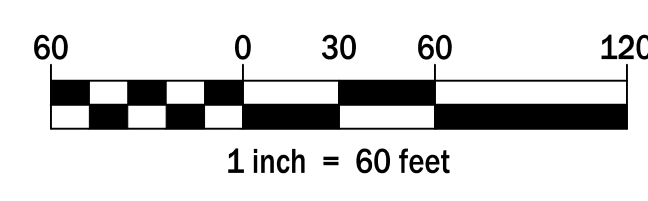
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CAD FILE NAME:	4084
DRAWING NO.:	





NO.	REVISION	DATE
1	REVISED PER ARCHITECT & CLIENT	03 JAN 24
2	REVISED PER CLIENT	22 JAN 24

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**LEGEND**

	PROPERTY LINE
	BUILD-TO LINE
	PROPOSED CONTOUR
+8.3	PROPOSED FINISHED SPOT ELEVATION
+10.4	EXISTING SPOT ELEVATION
	CONCRETE SIDEWALK/PAVER AREA
	EXISTING CATCH BASIN
	PROPOSED CATCH BASIN
	PROPOSED STORM DRAINAGE MANHOLE
	PROPOSED STORM SEWER
	LIMITS OF CONSTRUCTION ACTIVITY

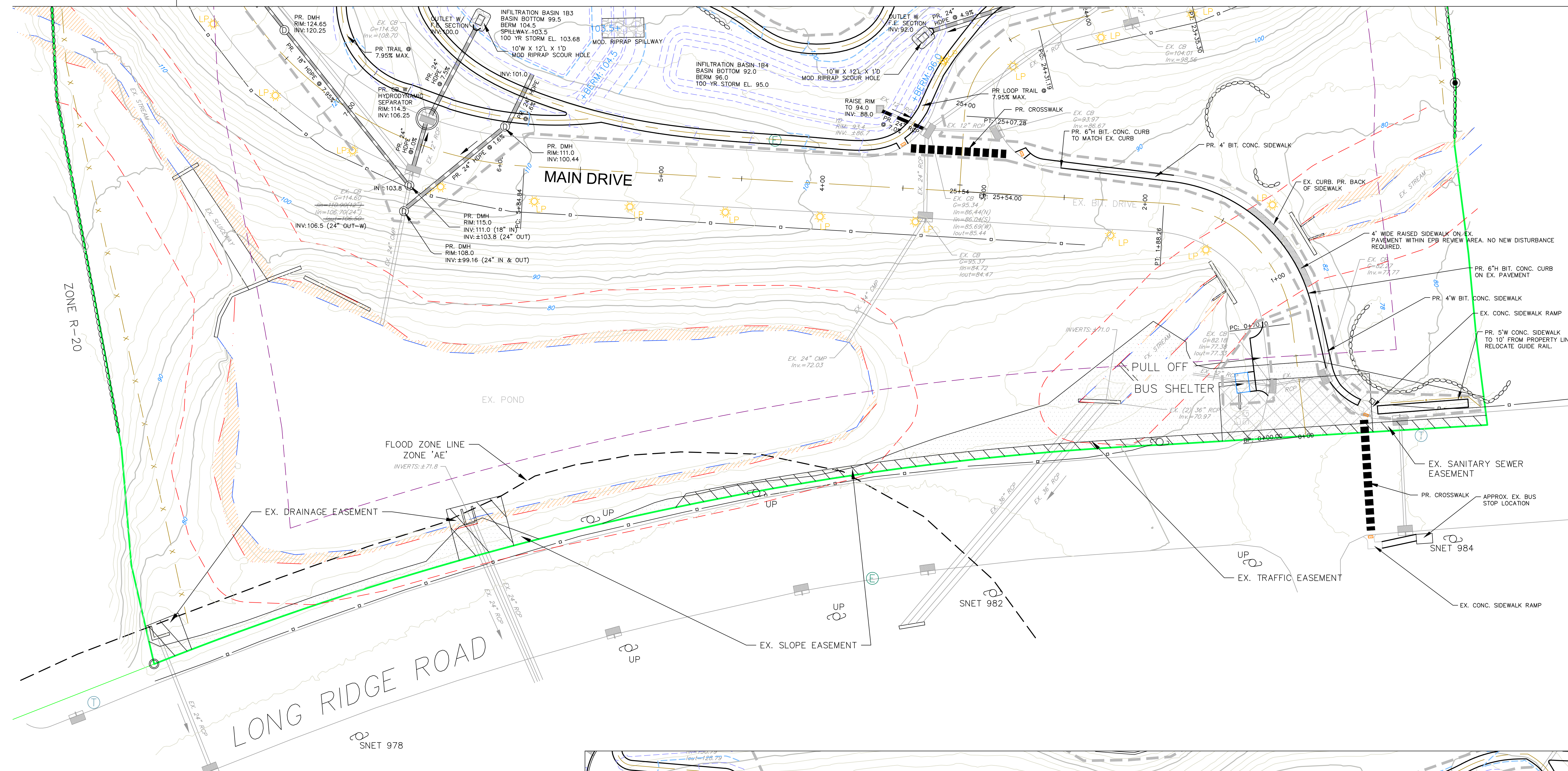
**800 LONG RIDGE ROAD, LLC**  
 100 WASHINGTON BLVD.  
 SUITE 200  
 STAMFORD, CT 06902

**OVERALL GRADING &  
 DRAINAGE PLAN**

**800 LONG RIDGE ROAD**  
 STAMFORD CONNECTICUT

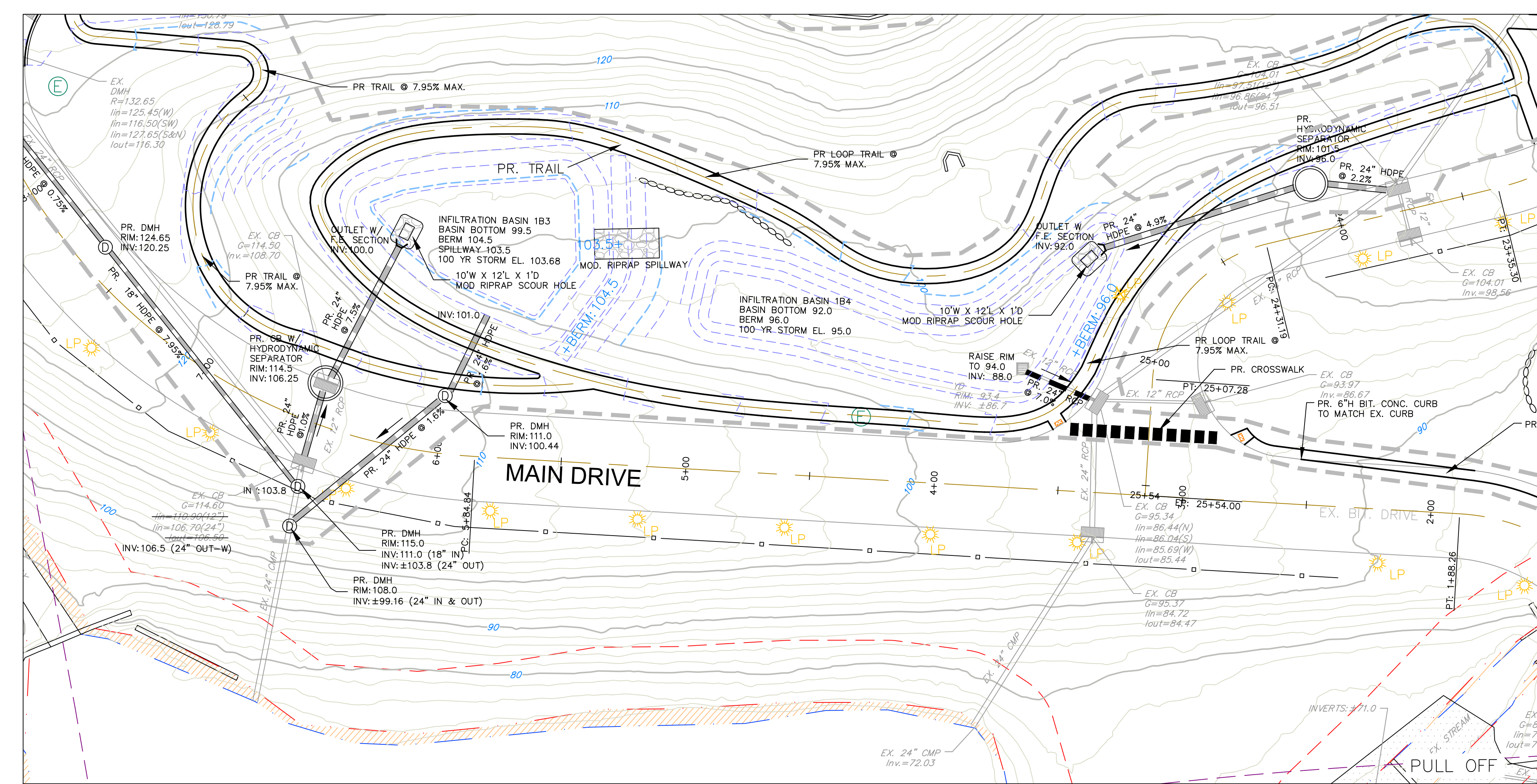
**CIVIL C1**  
 CORNERSTONE PROFESSIONAL PARK, SUITE D-101  
 43 SHERMAN HILL ROAD  
 WOODBURY (203) 266-0778 CONNECTICUT

	DATE: <b>03 OCT 23</b>	APPROVED BY
	SCALE: <b>1" = 60'</b>	DRAWN BY
	PROJECT NO.: <b>4084</b>	CHECKED BY
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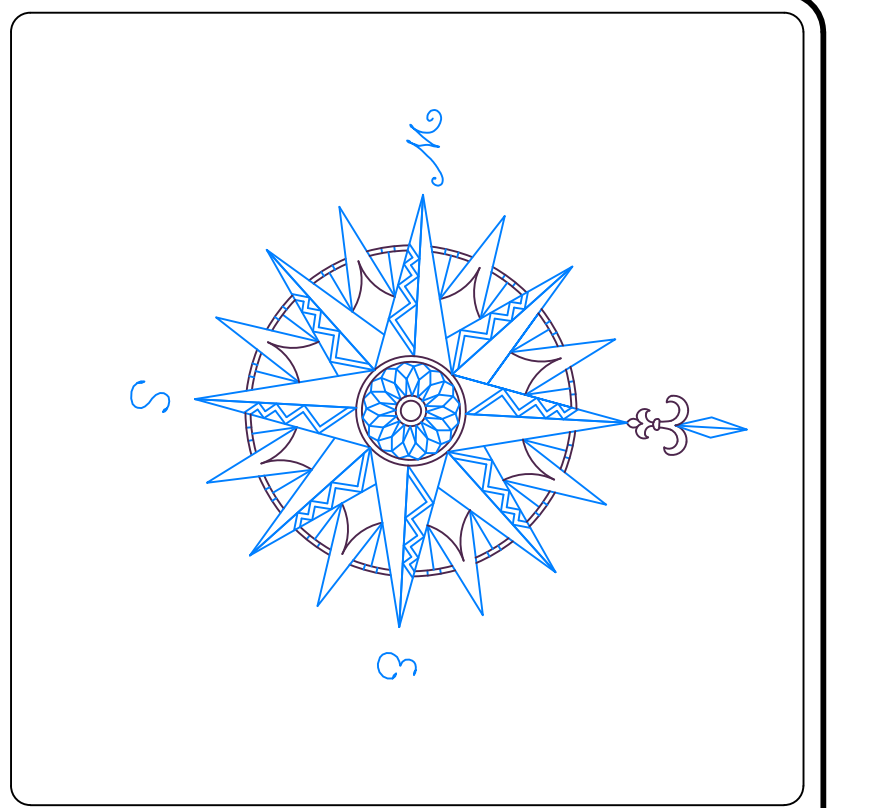


**LEGEND**

	PROPERTY LINE
	BUILD-TO LINE
	PROPOSED CONTOUR
	PROPOSED FINISHED SPOT ELEVATION
	EXISTING SPOT ELEVATION
	CONCRETE SIDEWALK/PAVER AREA
	EXISTING CATCH BASIN
	PROPOSED CATCH BASIN
	PROPOSED STORM DRAINAGE MANHOLE
	PROPOSED STORM SEWER
	LIMITS OF CONSTRUCTION ACTIVITY

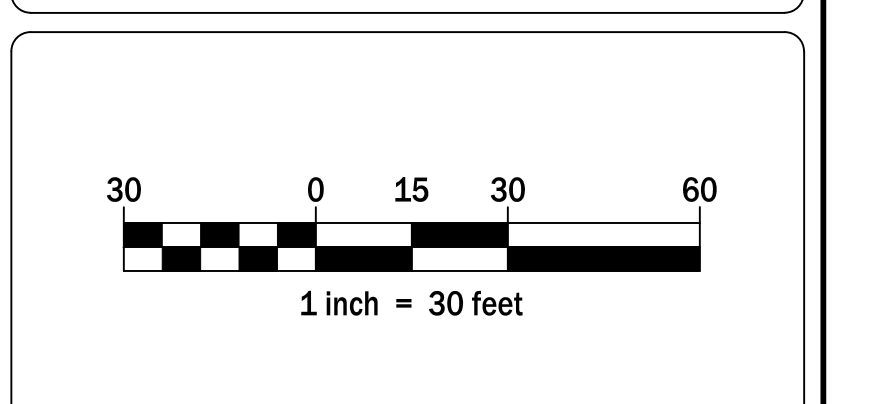


INfiltration BASIN AREA DETAIL  
1" = 30'



NO.	REVISION	DATE
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100 WASHINGTON BLVD.  
SUITE 200  
STAMFORD, CT 06902

**GRADING & DRAINAGE PLAN**

**800 LONG RIDGE ROAD**

STAMFORD CONNECTICUT

**CIVIL1**  
CORNERSTONE PROFESSIONAL PARK, SUITE D-101  
43 SHERMAN HILL ROAD  
WOODBURY (203) 266-0778 CONNECTICUT

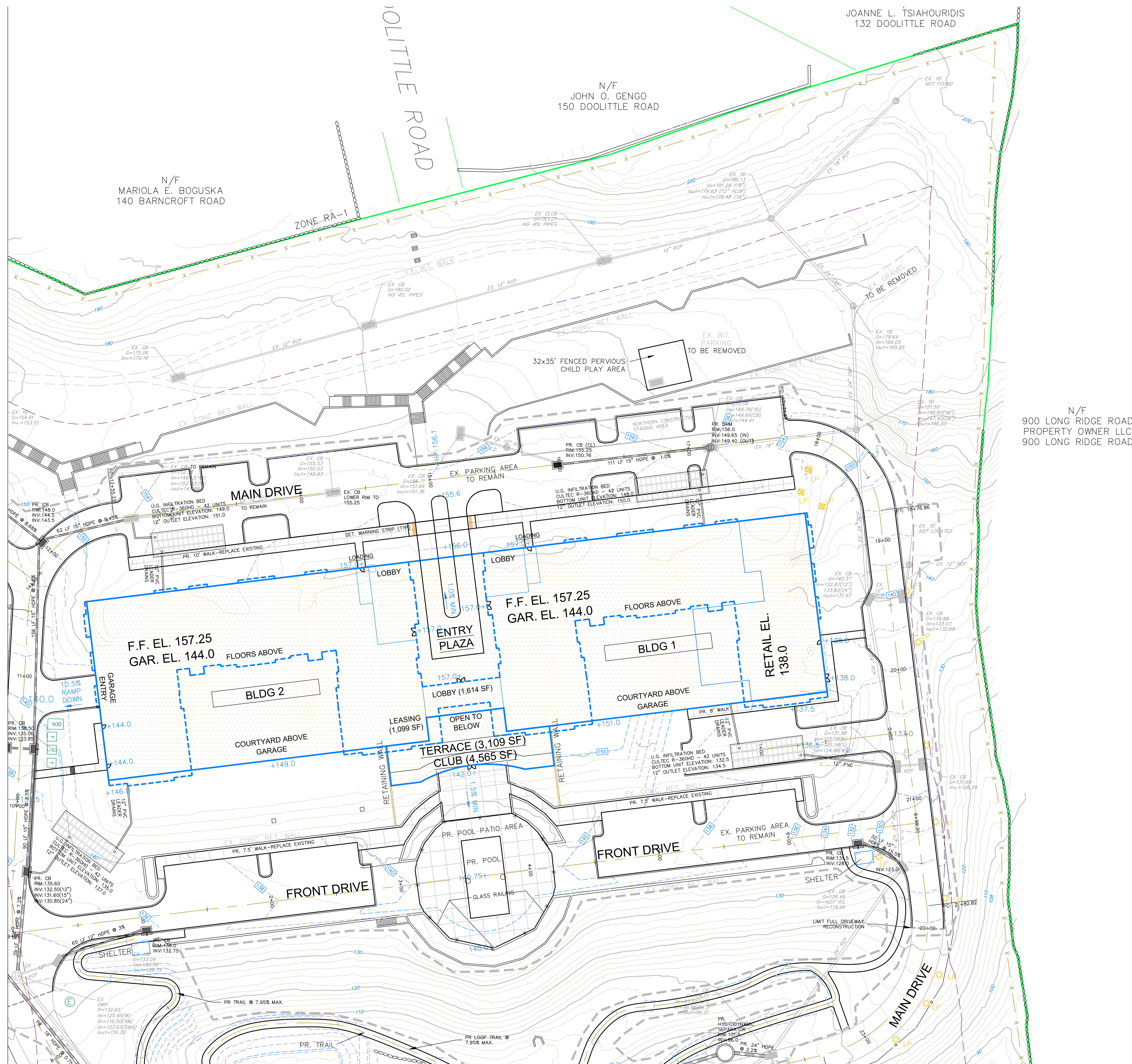
STATE OF CONNECTICUT  
REGISTERED PROFESSIONAL ENGINEER  
No. 4084  
JAMES J. O'NEILL  
C - 2.2

SCALE: 1" = 30'	APPROVED (CJ)
DATE: 03 OCT 23	
PROJECT NO.: 4084	
DRAWING NO.: 4084	

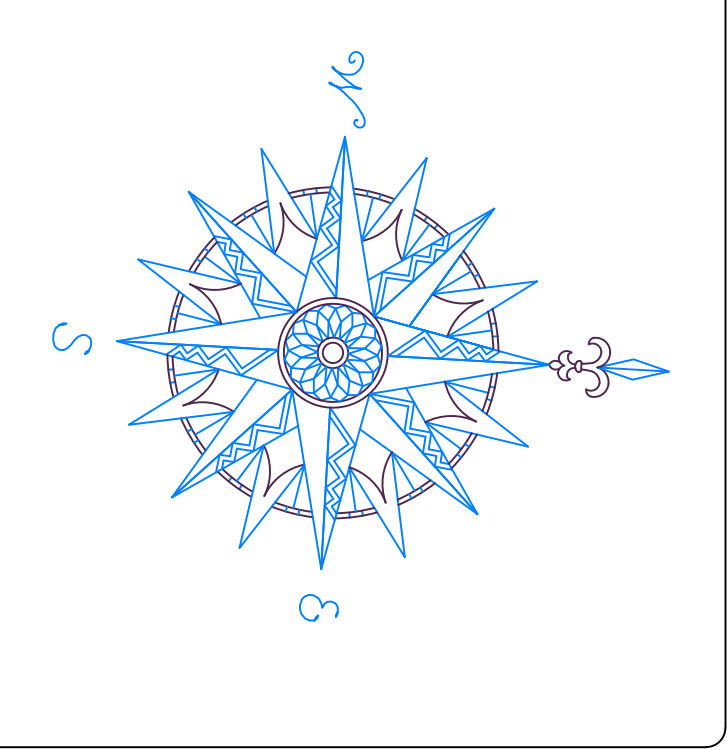
LEGEND

- PROPERTY LINE
- BUILD-TO LINE
- PROPOSED CONTOUR
- PROPOSED FINISHED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- CONCRETE SIDEWALK/PAVER AREA
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- PROPOSED STORM DRAINAGE MANHOLE
- PROPOSED STORM SEWER
- LIMITS OF CONSTRUCTION ACTIVITY

MATCH LINE SHEET C-2.4



MATCH LINE SHEET C-2.2



NO.	REVISION	DATE
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 SUITE 200  
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GRADING & DRAINAGE PLAN

800 LONG RIDGE ROAD

STAMFORD CONNECTICUT

**CIVIL1**  
 CORNERSTONE PROFESSIONAL PARK, SUITE D-101  
 43 SHERMAN HILL ROAD  
 WOODBURY (203) 266-0778 CONNECTICUT

STATE OF CONNECTICUT  
 REGISTERED PROFESSIONAL ENGINEER  
 LICENSE NO. 4084

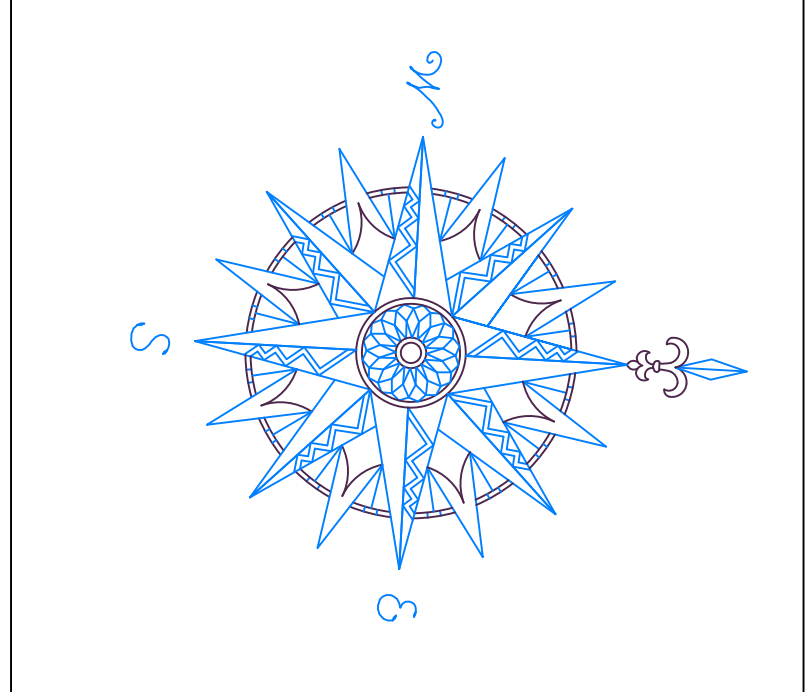
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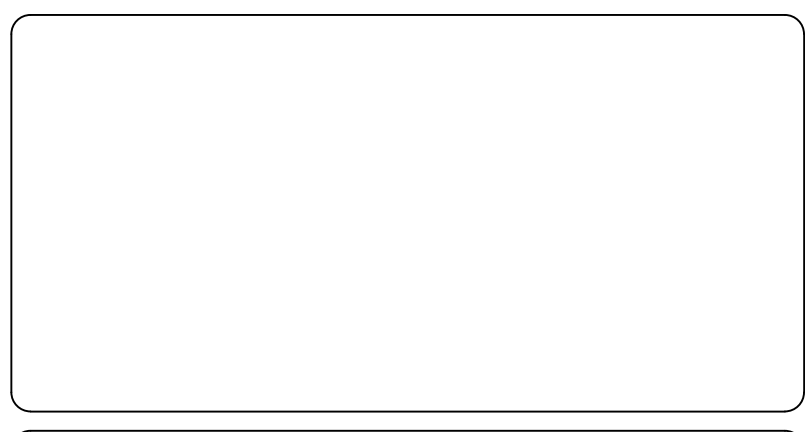
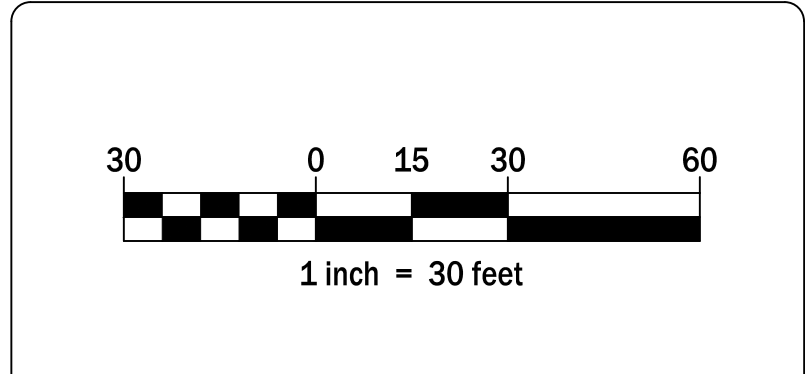
**C-2.3**

LEGEND

- PROPERTY LINE
- BUILD-TO LINE
- - - PROPOSED CONTOUR
- +6.3 PROPOSED FINISHED SPOT ELEVATION
- +10.4 EXISTING SPOT ELEVATION
- [Grid Pattern] CONCRETE SIDEWALK/PAVER AREA
- [Catching Basin Symbol] EXISTING CATCH BASIN
- [Catching Basin Symbol] PROPOSED CATCH BASIN
- [Manhole Symbol] PROPOSED STORM DRAINAGE MANHOLE
- [Sewer Line Symbol] PROPOSED STORM SEWER
- - - LIMITS OF CONSTRUCTION ACTIVITY



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**800 LONG RIDGE ROAD, LLC**  
**100 WASHINGTON BLVD.**  
**SUITE 200**  
**STAMFORD, CT 06902**

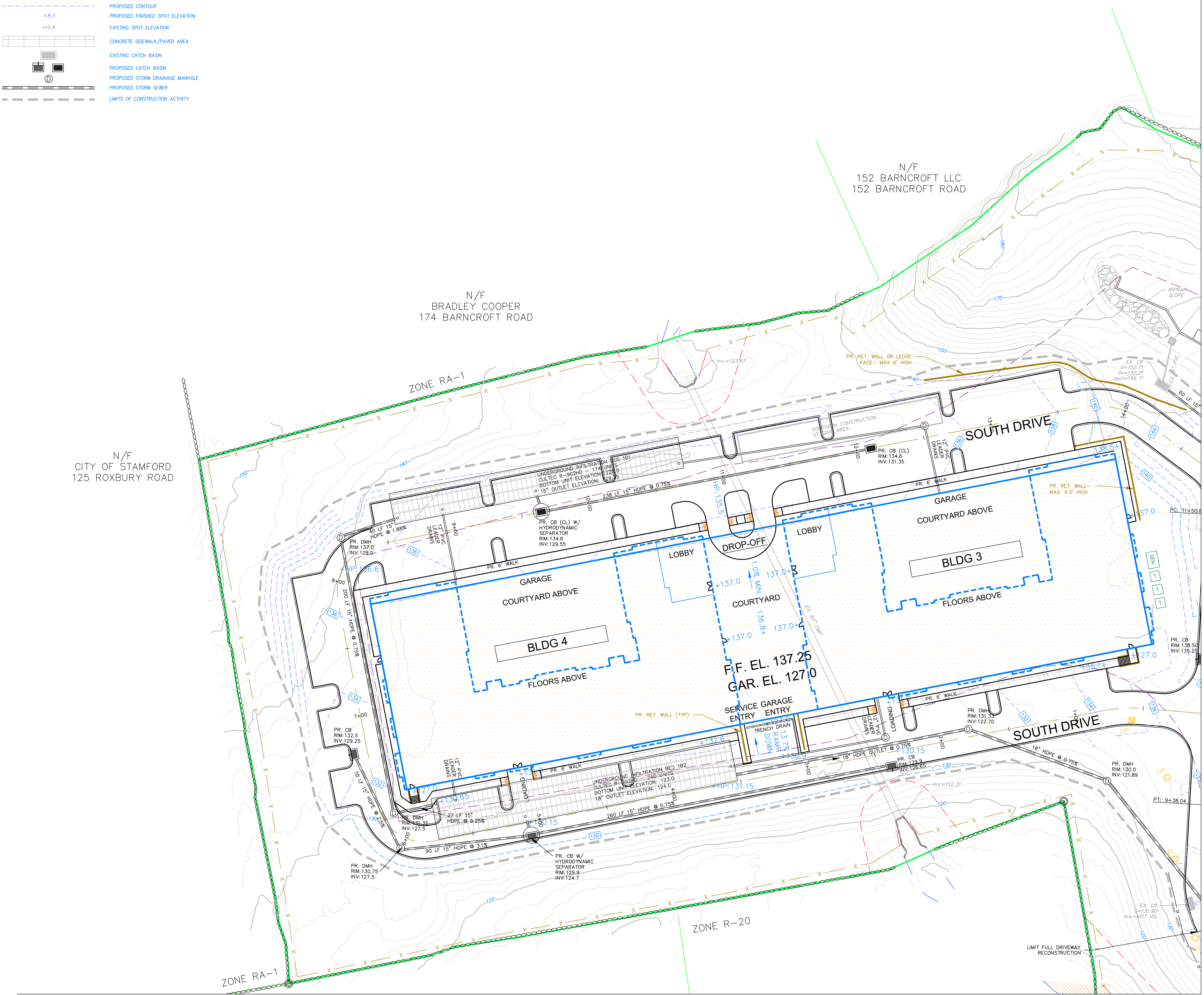
**GRADING & DRAINAGE PLAN**

**800 LONG RIDGE ROAD**

STAMFORD CONNECTICUT

**CIVIL****C1**  
 CORNERSTONE PROFESSIONAL PARK, SUITE D-101  
 43 SHERMAN HILL ROAD  
 WOODBURY (203) 266-0778 CONNECTICUT

	DATE: 03 OCT 23
	PROJ. NO.: 4084
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	DRAWING NO.: C - 2.4
	SCALE: 1" = 30'



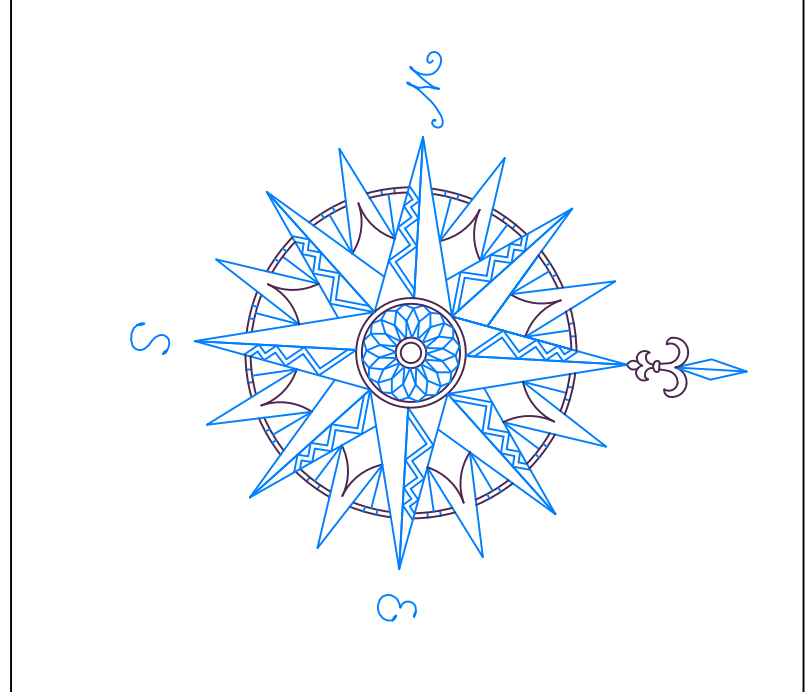
MATCH LINE SHEET C-2.3

MATCH LINE SHEET C-2.2

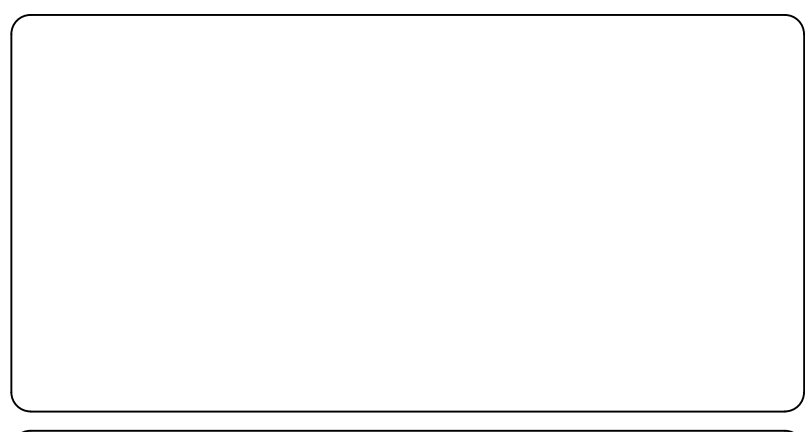
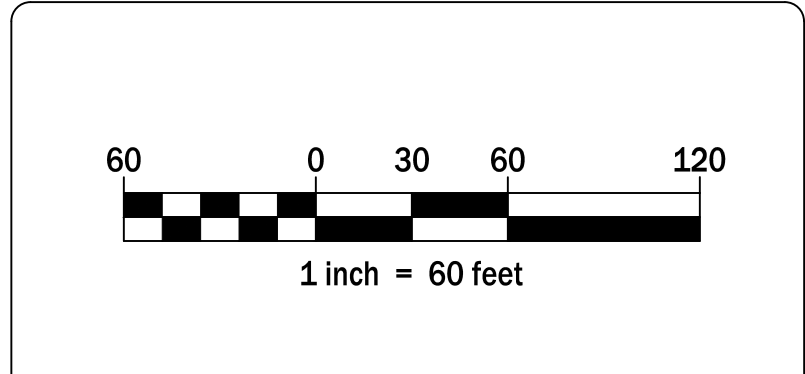
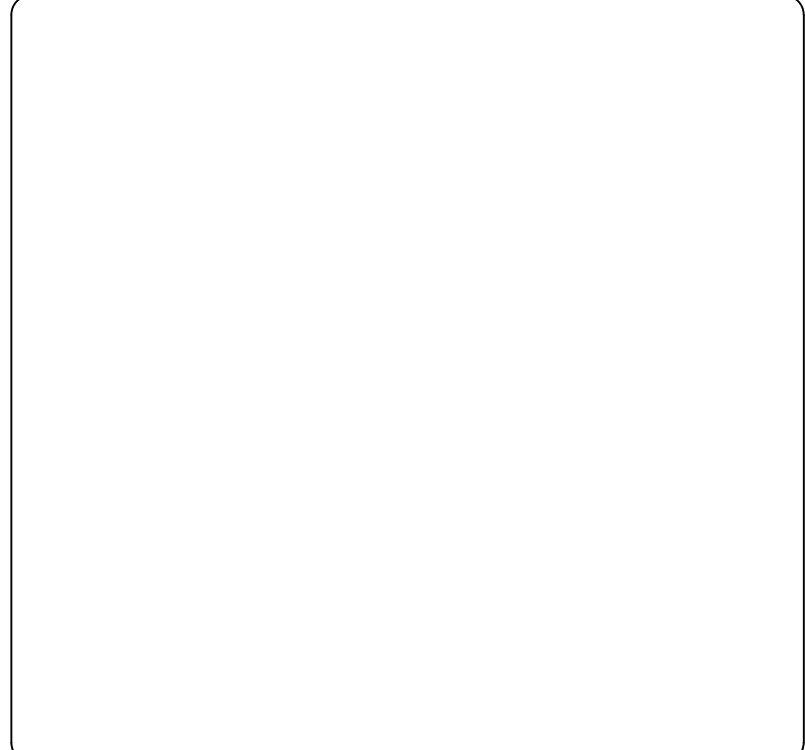


**LEGEND**

	PROPERTY LINE
	BUILD-TO LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING HYDRANT
	EXISTING WATER VALVE
	EXISTING WATER MAIN
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER MAIN
	PROPOSED SANITARY MANHOLE
	PROPOSED SANITARY SEWER LATERAL
	EXISTING GAS VALVE
	EXISTING GAS LINE
	PROPOSED GAS LINE
	EXISTING CATCH BASIN
	EXISTING STORM SEWER
	PROPOSED CATCH BASIN
	PROPOSED STORM DRAINAGE MANHOLE
	PROPOSED STORM SEWER
	EXISTING SITE LIGHT



NO.	REVISION	DATE
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2	REVISED PER CLIENT	22 JAN 24
Previous Editions Obsolete		



800 LONG RIDGE ROAD, LLC  
 100 WASHINGTON BLVD.  
 SUITE 200  
 STAMFORD, CT 06902

OVERALL UTILITY PLAN

800 LONG RIDGE ROAD

STAMFORD CONNECTICUT



	DRAWN: BB SCALE: 1" = 60' DATE: 03 OCT 23 PROJ. NO.: 4084 CAD FILE NAME: 4084 DESIGNED BY:
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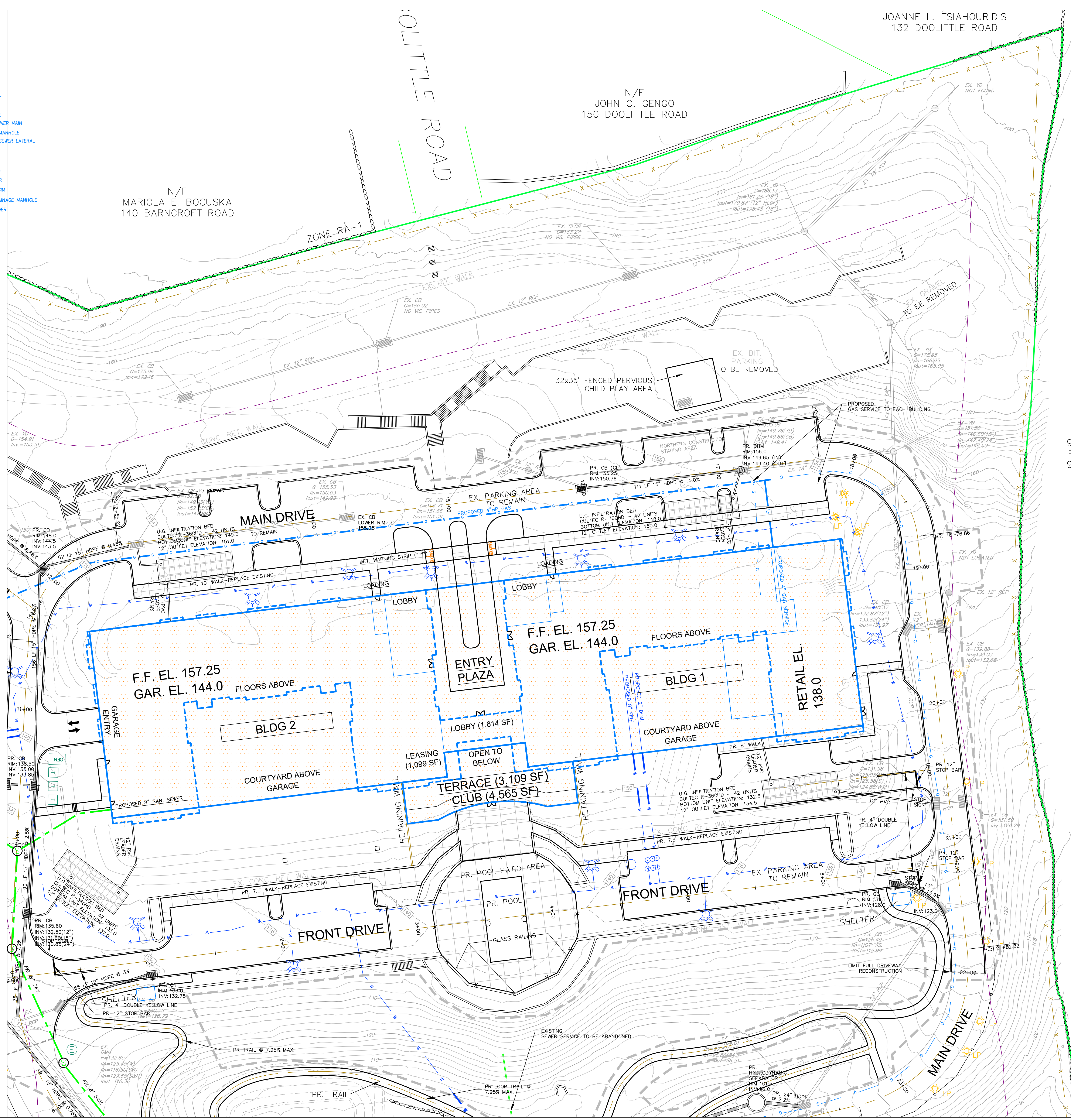
C - 3.1



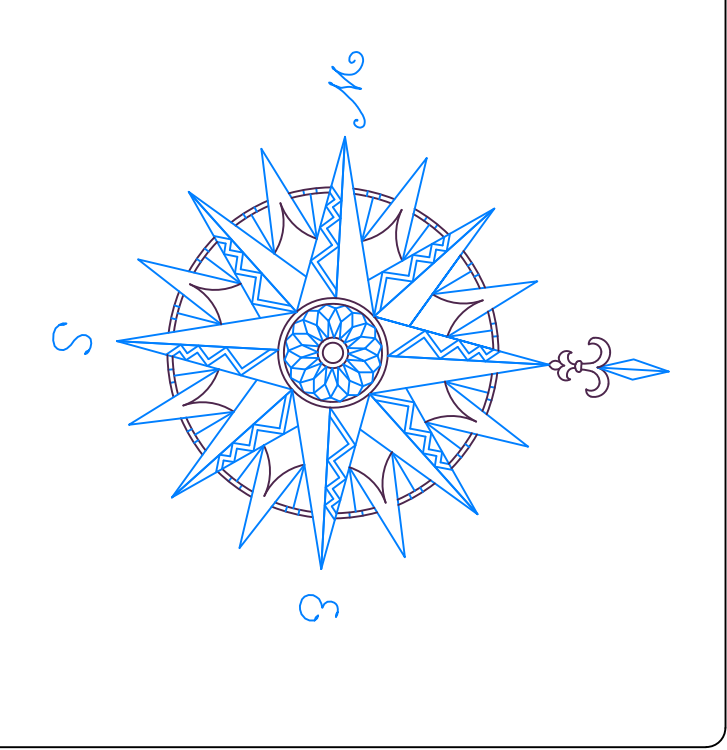
**LEGEND**

	PROPERTY LINE
	BUILD-TO LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING HYDRANT
	EXISTING WATER VALVE
	EXISTING WATER MAIN
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER MAIN
	PROPOSED SANITARY MANHOLE
	PROPOSED SANITARY SEWER LATERAL
	EXISTING GAS VALVE
	EXISTING GAS LINE
	PROPOSED GAS LINE
	EXISTING CATCH BASIN
	EXISTING STORM SEWER
	PROPOSED CATCH BASIN
	PROPOSED STORM DRAINAGE MANHOLE
	PROPOSED STORM SEWER
	EXISTING SITE LIGHT

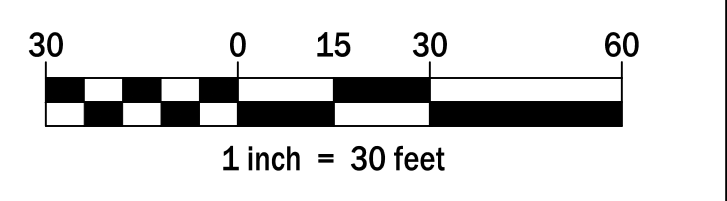
MATCH LINE SHEET C-3.4



MATCH LINE SHEET C-3.2



NO.	REVISION	DATE
1	REVISED PER ARCHITECT & CLIENT	03 JAN 24
2	REVISED PER CLIENT	22 JAN 24
Previous Editions Obsolete		



800 LONG RIDGE ROAD, LLC  
100 WASHINGTON BLVD.  
SUITE 200  
STAMFORD, CT 06902

UTILITY PLAN

800 LONG RIDGE ROAD

STAMFORD CONNECTICUT



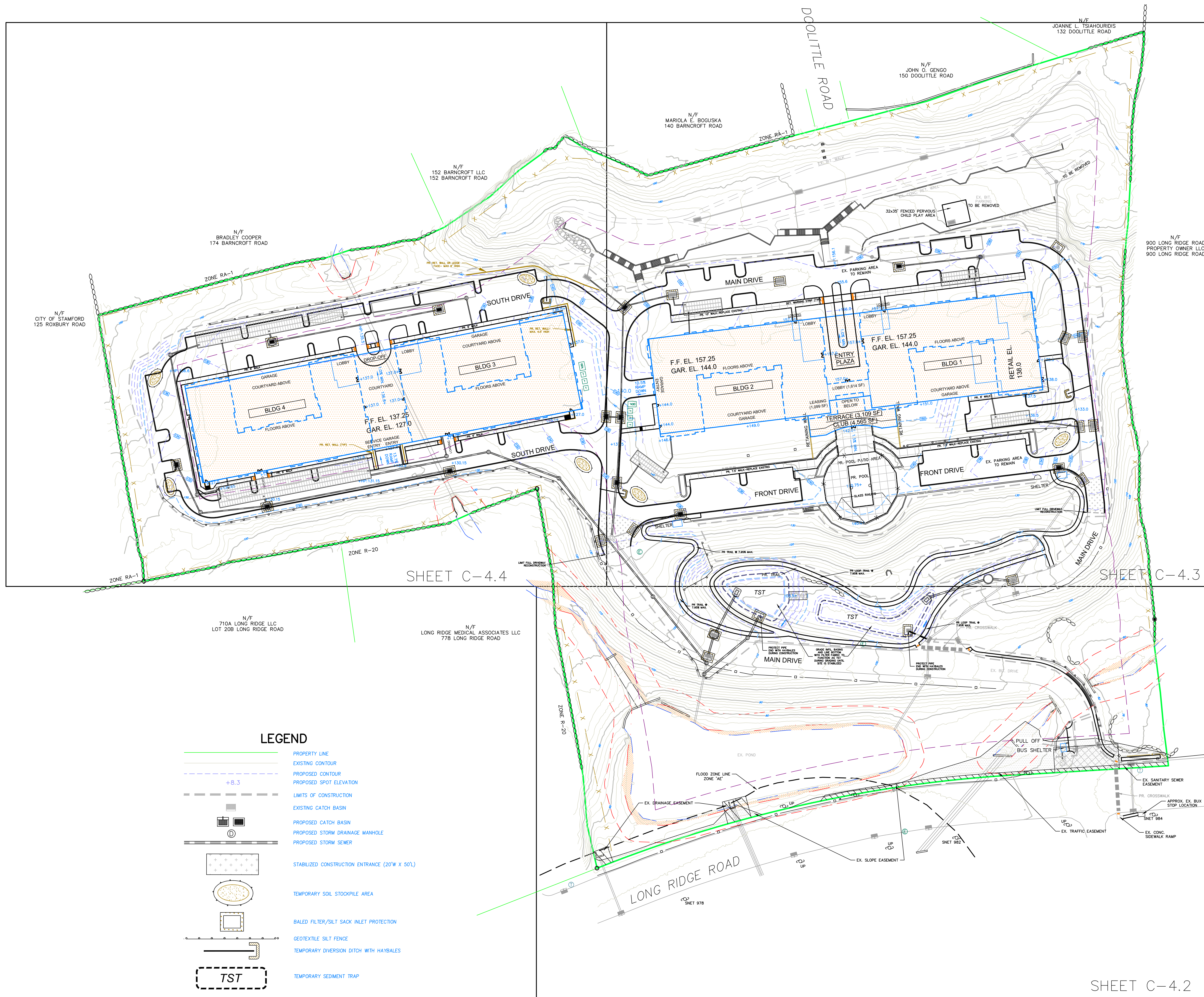
CORNERSTONE PROFESSIONAL PARK, SUITE D-101  
43 SHERMAN HILL ROAD  
WOODBURY (203) 266-0778 CONNECTICUT

STATE OF CONNECTICUT  
REGISTERED PROFESSIONAL ENGINEER  
NO. 10000  
CIVIL ENGINEER

SCALE: 1" = 30'  
DATE: 03 OCT 23  
PROJ. NO.: 4084  
SHEET FILE NAME: 4084  
DRAWING NO.: C-3.3

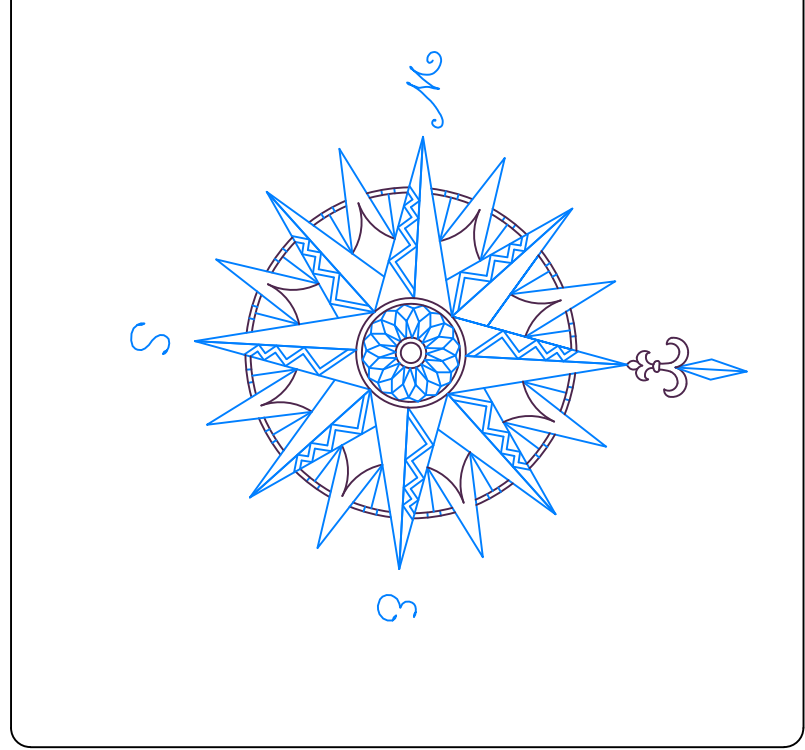






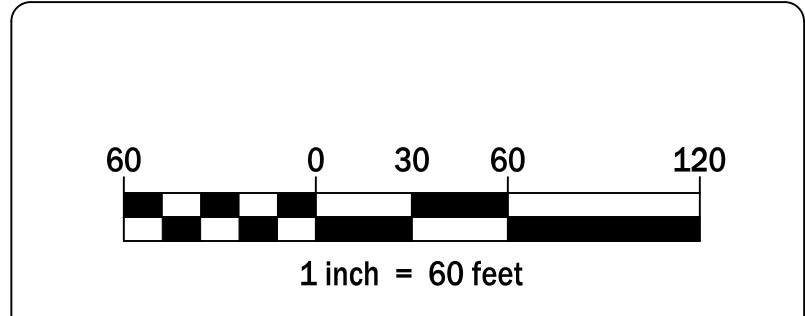
**LEGEND**

- PROPERTY LINE
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- +8.3 PROPOSED SPOT ELEVATION
- - - LIMITS OF CONSTRUCTION
- ☐ EXISTING CATCH BASIN
- ☐ PROPOSED CATCH BASIN
- ☐ PROPOSED STORM DRAINAGE MANHOLE
- ☐ PROPOSED STORM SEWER
- ▨ STABILIZED CONSTRUCTION ENTRANCE (20'W x 50')
- TEMPORARY SOIL STOCKPILE AREA
- ▭ BALED FILTER/SILT SACK INLET PROTECTION
- - - GEOTEXTILE SILT FENCE
- - - TEMPORARY DIVERSION DITCH WITH HAYBALES
- ☐ TST TEMPORARY SEDIMENT TRAP



NO.	REVISION	DATE
1	REVISED PER ARCHITECT & CLIENT	03 JAN 24
2	REVISED PER CLIENT	22 JAN 24

*Previous Editions Obsolete*



**800 LONG RIDGE ROAD, LLC**  
100 WASHINGTON BLVD.  
SUITE 200  
STAMFORD, CT 06902

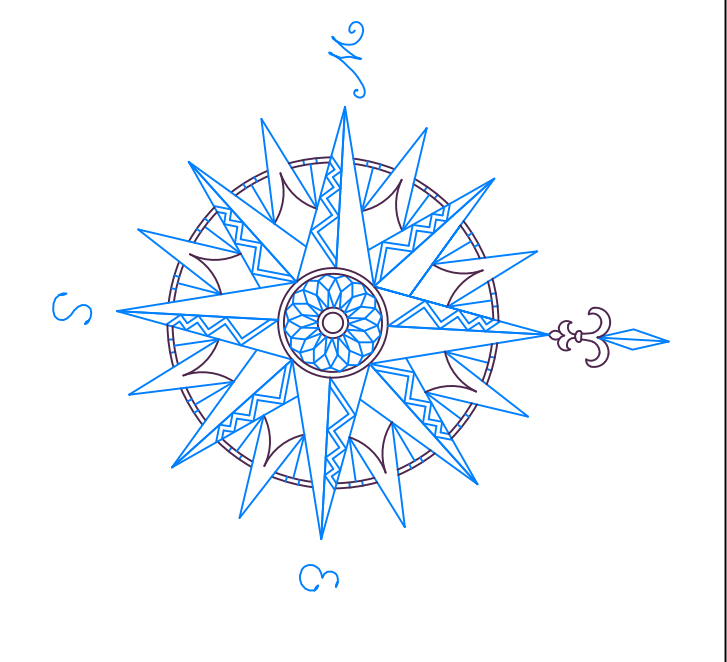
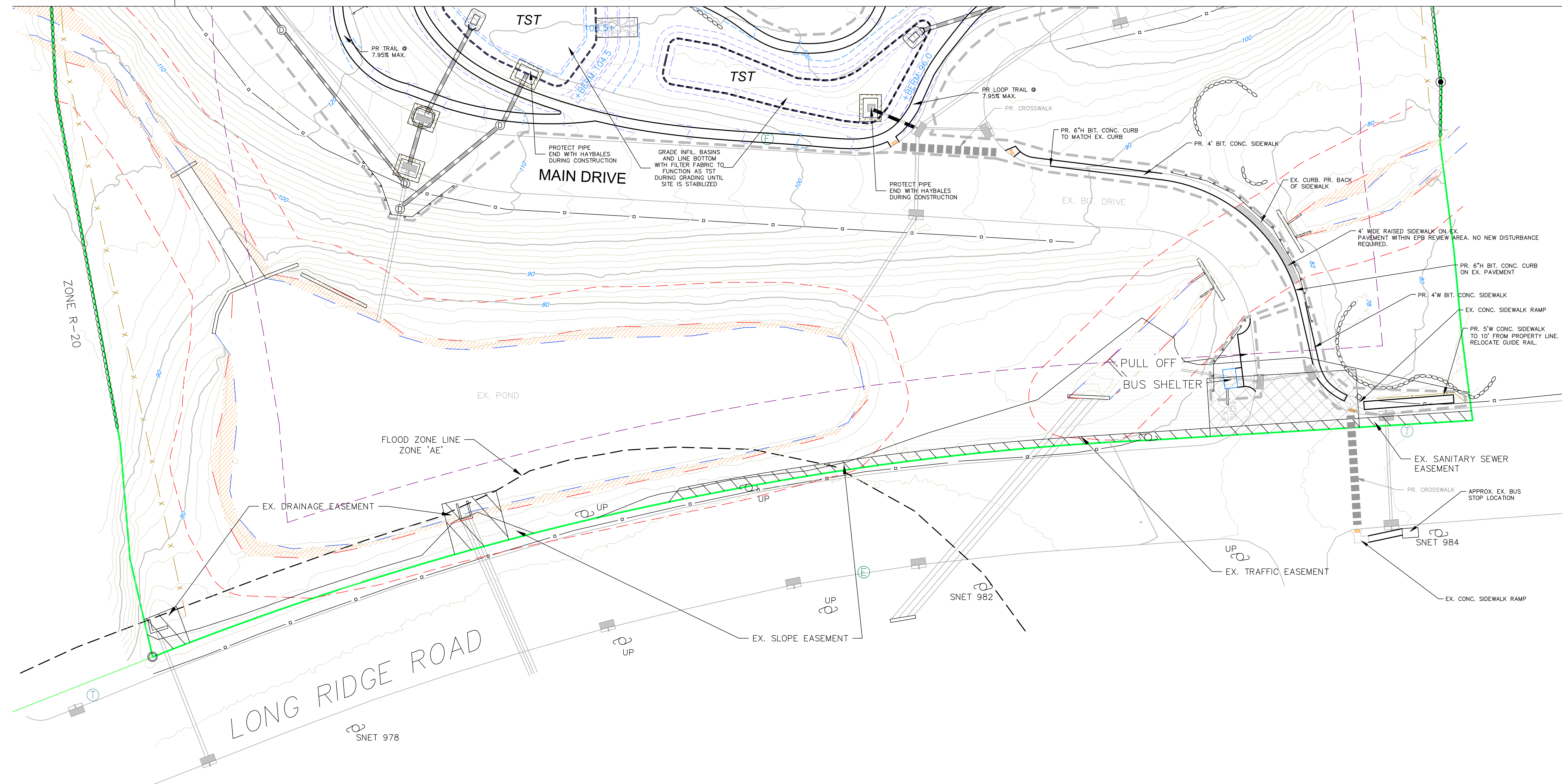
**OVERALL EROSION CONTROL PLAN**

**800 LONG RIDGE ROAD**

STAMFORD CONNECTICUT

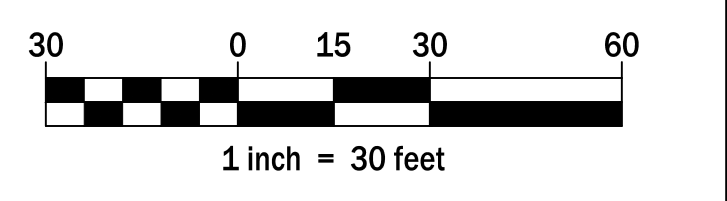
**CIVIL 1**  
CORNERSTONE PROFESSIONAL PARK, SUITE D-101  
43 SHERMAN HILL ROAD  
WOODBURY (203) 266-0778 CONNECTICUT

	DRAWN BY: BB	APPROVED BY: CJ
	SCALE: 1" = 60'	DATE: 03 OCT 23
	PROJ. NO.: 4084	DRAWING NO.: 4084
	<b>C - 4.1</b>	



NO.	REVISION	DATE
1	REVISED PER ARCHITECT & CLIENT	03 JAN 24

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**800 LONG RIDGE ROAD, LLC  
100 WASHINGTON BLVD.  
SUITE 200  
STAMFORD, CT 06902**

**EROSION CONTROL PLAN**

**800 LONG RIDGE ROAD**

STAMFORD CONNECTICUT

CORNERSTONE PROFESSIONAL PARK, SUITE D-101  
43 SHERMAN HILL ROAD  
WOODBURY (203) 266-0778 CONNECTICUT

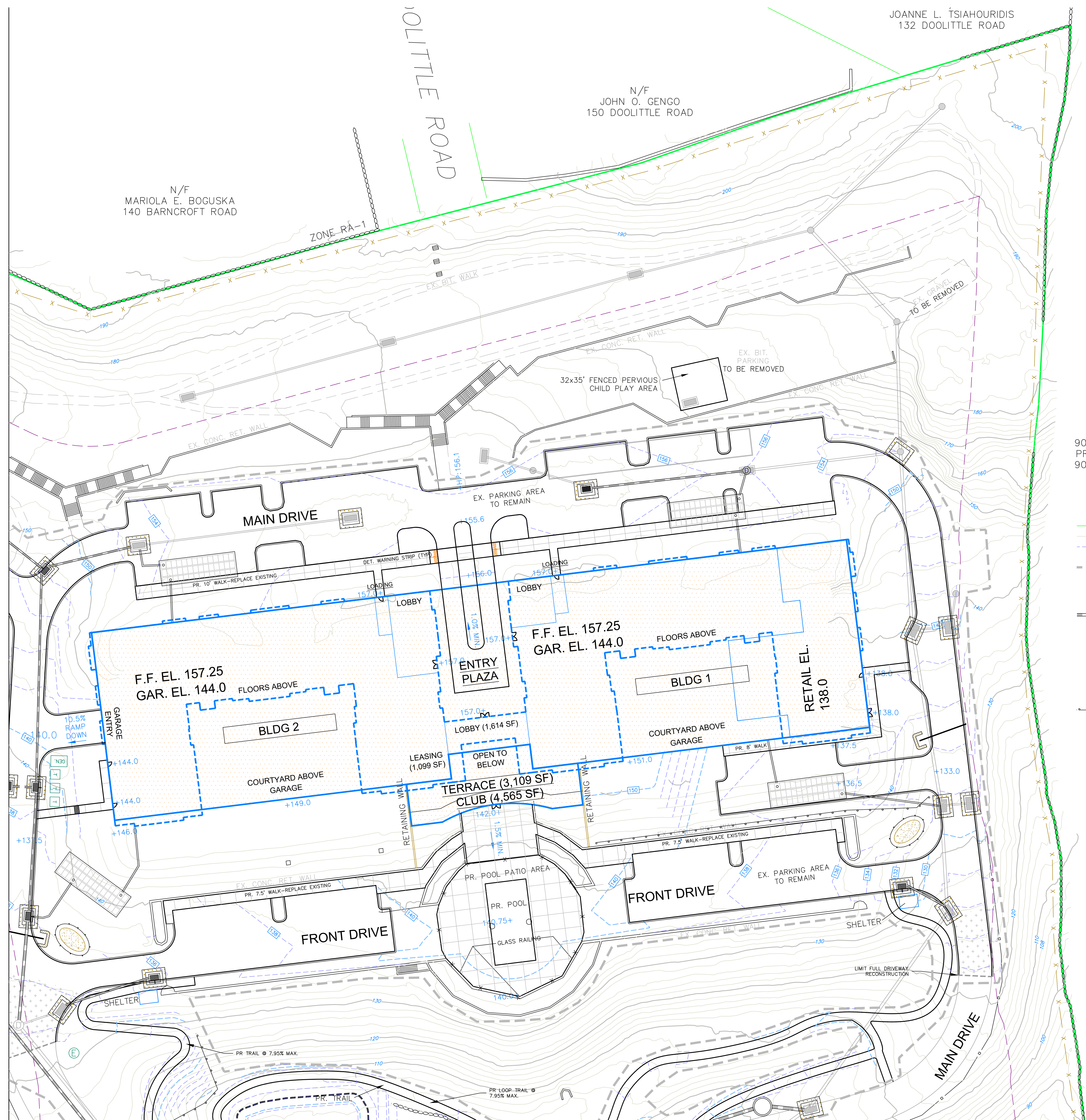
STATE OF CONNECTICUT  
PROFESSIONAL ENGINEER

SCALE: 1" = 30'  
DATE: 03 OCT 23  
PROJ. NO.: 4084  
SHEET FILE NAME: 4084  
DRAWING NO.: **C - 4.2**

**LEGEND**

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- +8.3 PROPOSED SPOT ELEVATION
- LIMITS OF CONSTRUCTION
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- PROPOSED STORM DRAINAGE MANHOLE
- PROPOSED STORM SEWER
- STABILIZED CONSTRUCTION ENTRANCE (20'W X 5')
- TEMPORARY SOIL STOCKPILE AREA
- BALED FILTER/SILT SACK INLET PROTECTION
- GEOTEXTILE SILT FENCE
- TEMPORARY DIVERSION DITCH WITH HAYBALES
- TEMPORARY SEDIMENT TRAP

MATCH LINE SHEET C-4.4

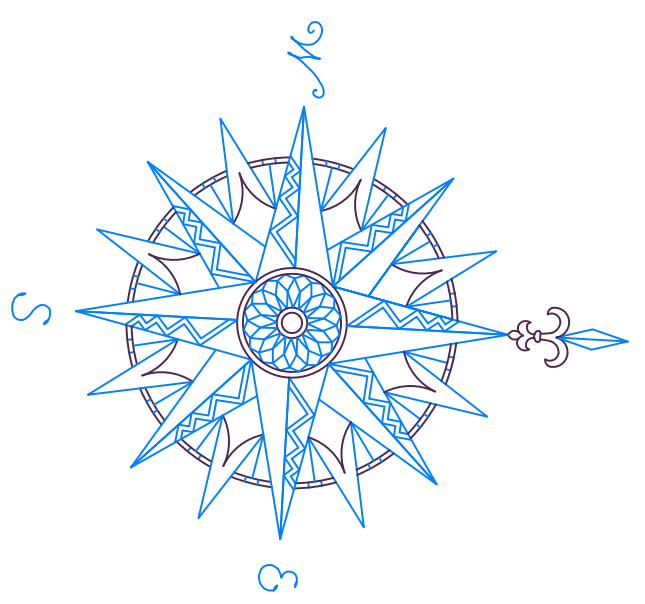


N/F MARIOLA E. BOGUSKA  
140 BARNCROFT ROAD

N/F JOHN O. GENGO  
150 DOOLITTLE ROAD

JOANNE L. TSIAHOURIDIS  
132 DOOLITTLE ROAD

N/F 900 LONG RIDGE ROAD  
PROPERTY OWNER LLC  
900 LONG RIDGE ROAD

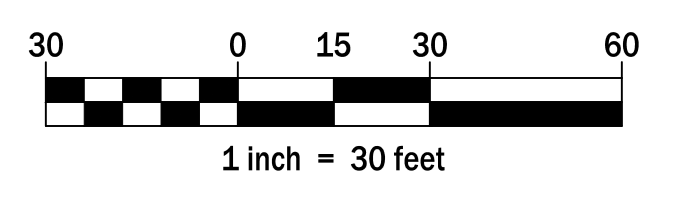


NO.	REVISION	DATE
1	REVISED PER ARCHITECT & CLIENT	03 JAN 24
2	REVISED PER CLIENT	22 JAN 24

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**LEGEND**

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- LIMITS OF CONSTRUCTION
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- PROPOSED STORM DRAINAGE MANHOLE
- PROPOSED STORM SEWER
- STABILIZED CONSTRUCTION ENTRANCE (20'W X 50')
- TEMPORARY SOIL STOCKPILE AREA
- BALED FILTER/SILT SACK INLET PROTECTION
- GEOTEXTILE SILT FENCE
- TEMPORARY DIVERSION DITCH WITH HAYBALES
- TEMPORARY SEDIMENT TRAP



**800 LONG RIDGE ROAD, LLC**  
100 WASHINGTON BLVD.  
SUITE 200  
STAMFORD, CT 06902

**EROSION CONTROL PLAN**

**800 LONG RIDGE ROAD**

STAMFORD CONNECTICUT



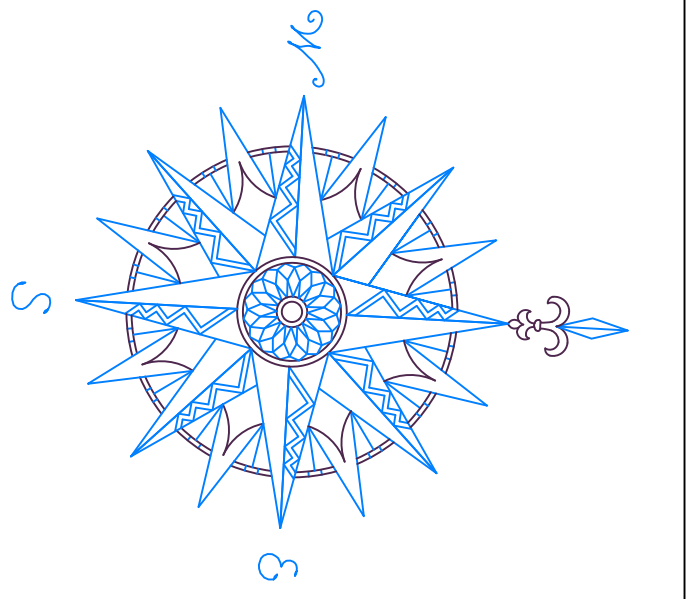
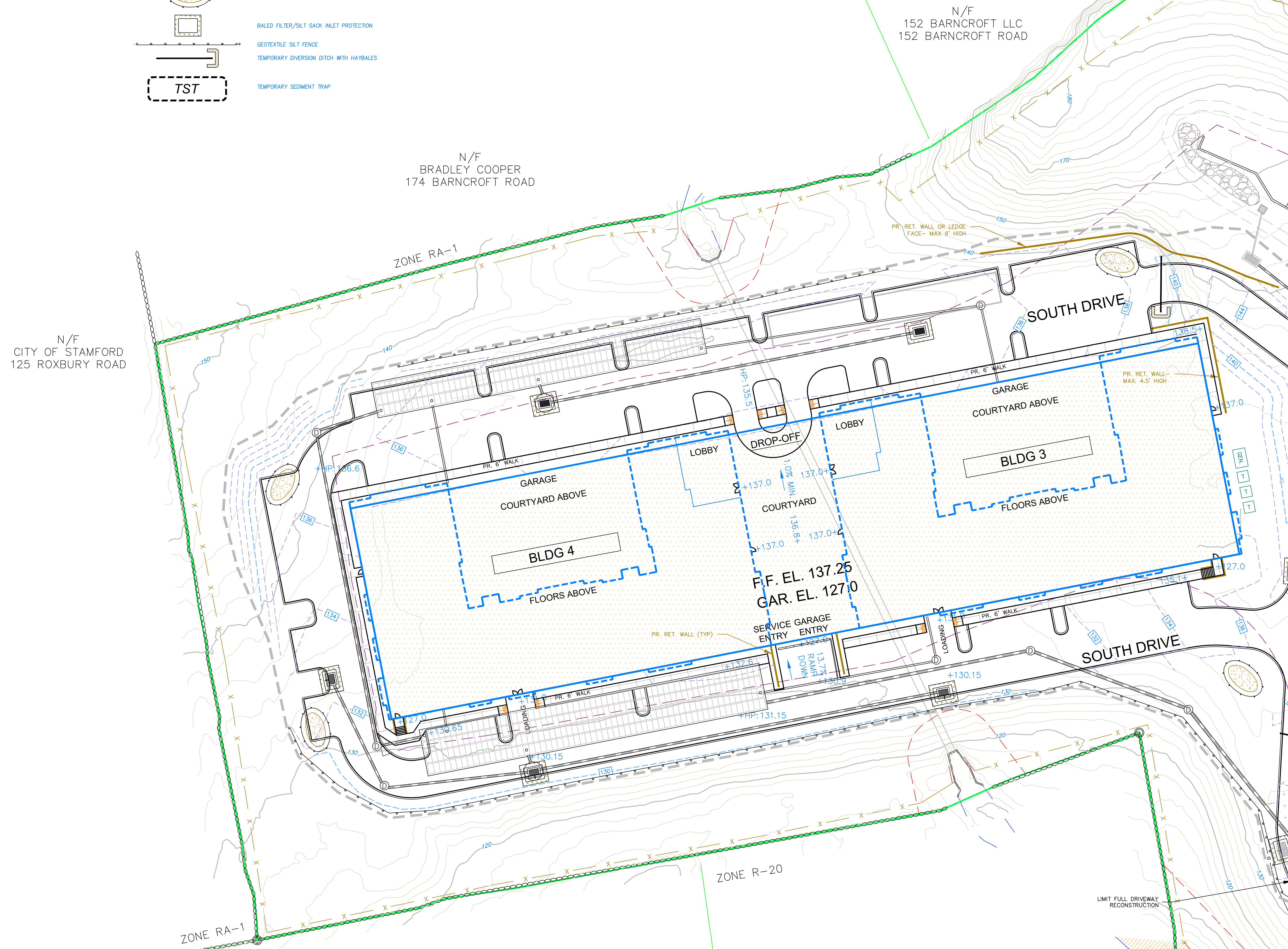
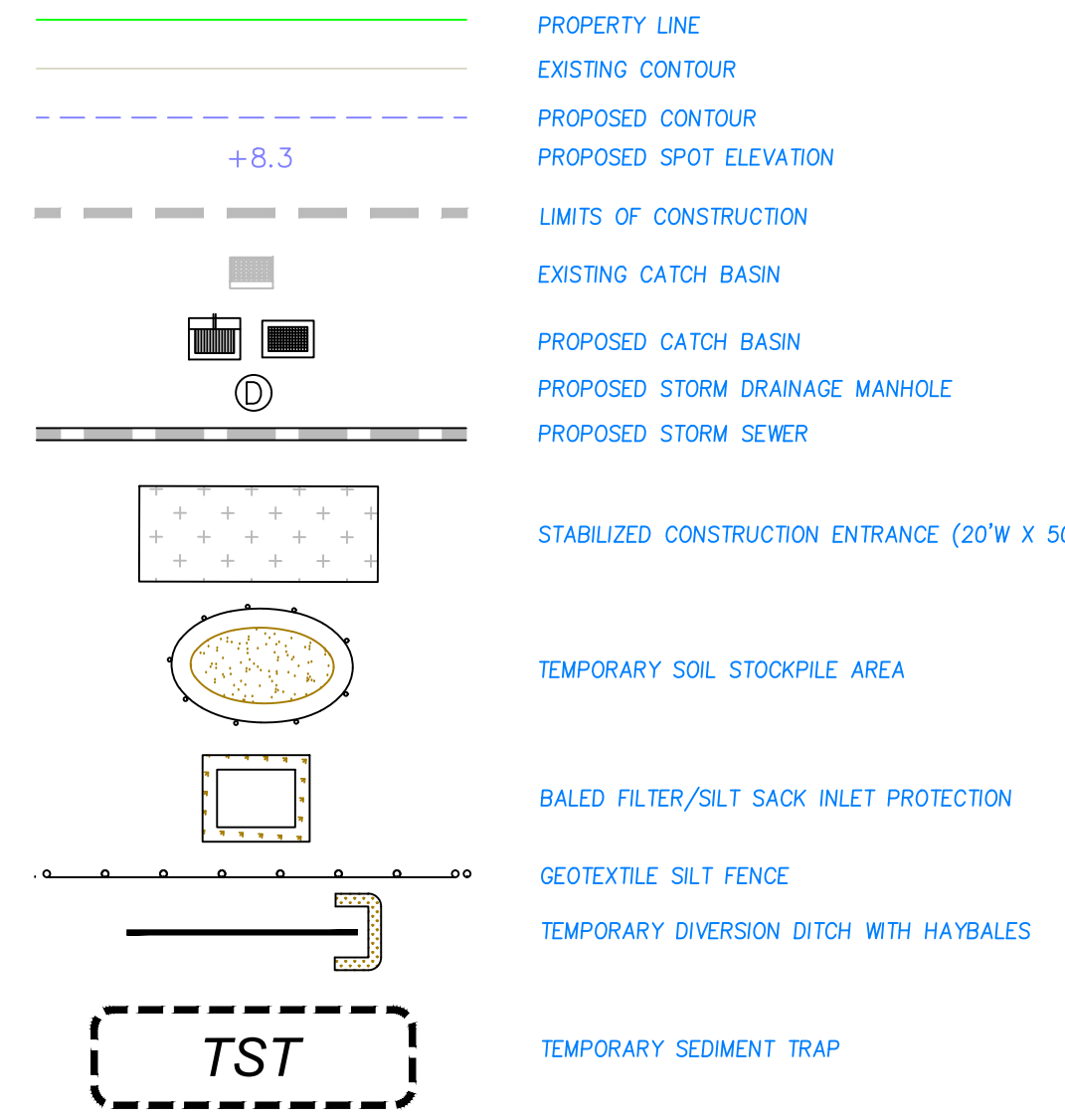
CORNERSTONE PROFESSIONAL PARK, SUITE D-101  
43 SHERMAN HILL ROAD  
WOODBURY (203) 266-0778 CONNECTICUT



DRAWN: BB	APPROVED: CJ
SCALE: 1" = 30'	DATE: 03 OCT 23
PROJ. NO.: 4084	CLIENT FILE NAME: 4084
DRAWING NO.: C-4.3	

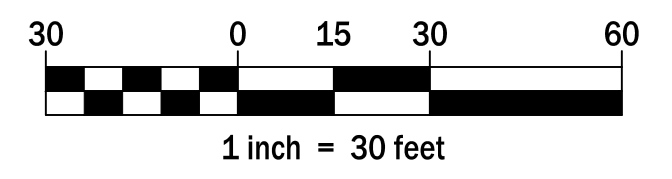
MATCH LINE SHEET C-4.2

**LEGEND**



NO.	REVISION	DATE
1	REVISED PER ARCHITECT & CLIENT	03 JAN 24
2	REVISED PER CLIENT	22 JAN 24

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800 LONG RIDGE ROAD, LLC  
100 WASHINGTON BLVD.  
SUITE 200  
STAMFORD, CT 06902

EROSION CONTROL PLAN

800 LONG RIDGE ROAD

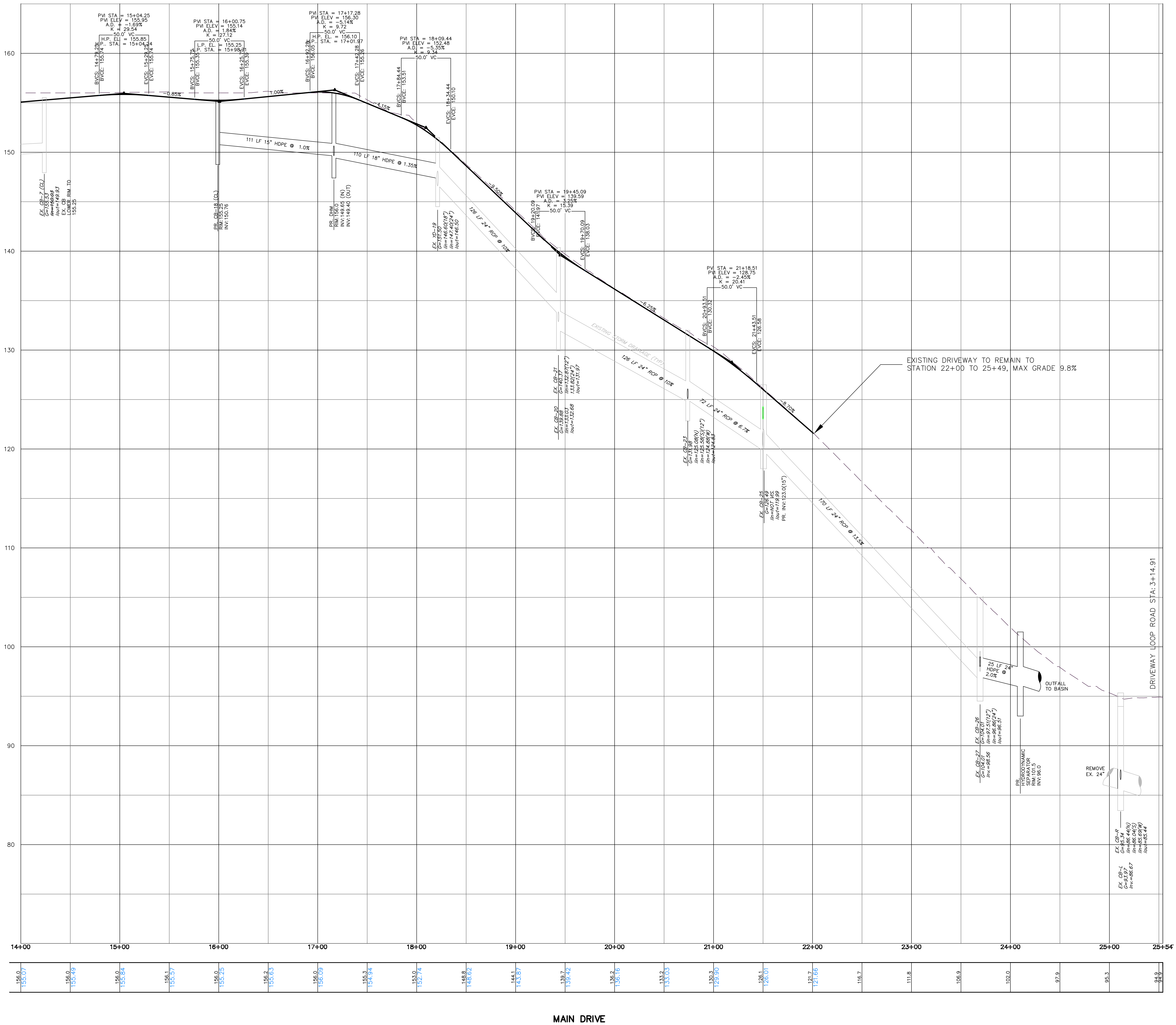
STAMFORD CONNECTICUT

CORNERSTONE PROFESSIONAL PARK, SUITE D-101  
43 SHERMAN HILL ROAD  
WOODBURY (203) 266-0778 CONNECTICUT

STATE OF CONNECTICUT  
CIVIL ENGINEERING  
LICENSE NO. 4084

SCALE: 1" = 30'  
DATE: 03 OCT 23  
PROJECT NO.: 4084  
CADD FILE NAME: 4084  
DRAWING NO.: C-4.4





NO.	REVISION	DATE

Previous Editions Obsolete

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800 LONG RIDGE ROAD, LLC  
 100 WASHINGTON BLVD.  
 SUITE 200  
 STAMFORD, CT 06902

**DRIVEWAY & DRAINAGE PROFILES**

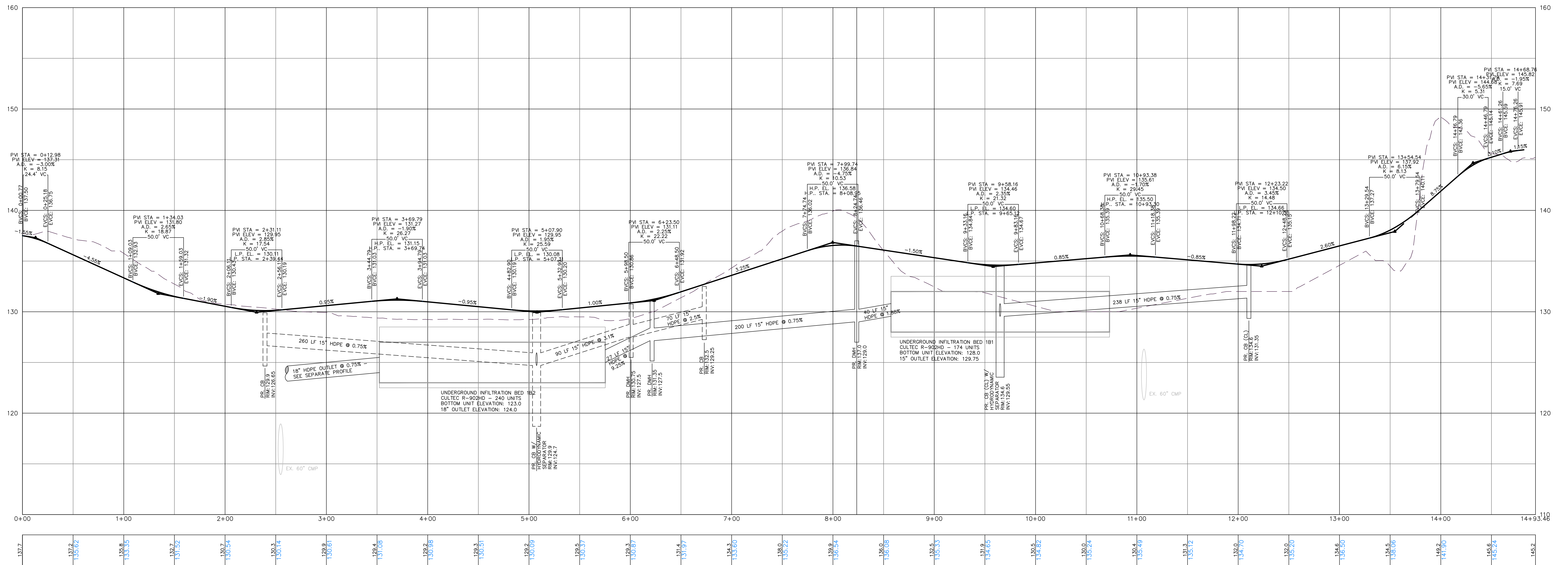
**800 LONG RIDGE ROAD**

STAMFORD CONNECTICUT

CORNERSTONE PROFESSIONAL PARK, SUITE D-101  
 43 SHERMAN HILL ROAD  
 WOODBURY (203) 266-0778 CONNECTICUT

STATE OF CONNECTICUT  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 18840  
 CIVIL ENGINEER

DRWM: BB APPROVED: CJ  
 SCALE: 1" = 40' HOR.  
 1" = 4' VER.  
 DATE: 03 OCT 23  
 PROJ: 4084  
 CAD FILE NAME: 4084  
 DRAWING NO.: **C - 5.2**



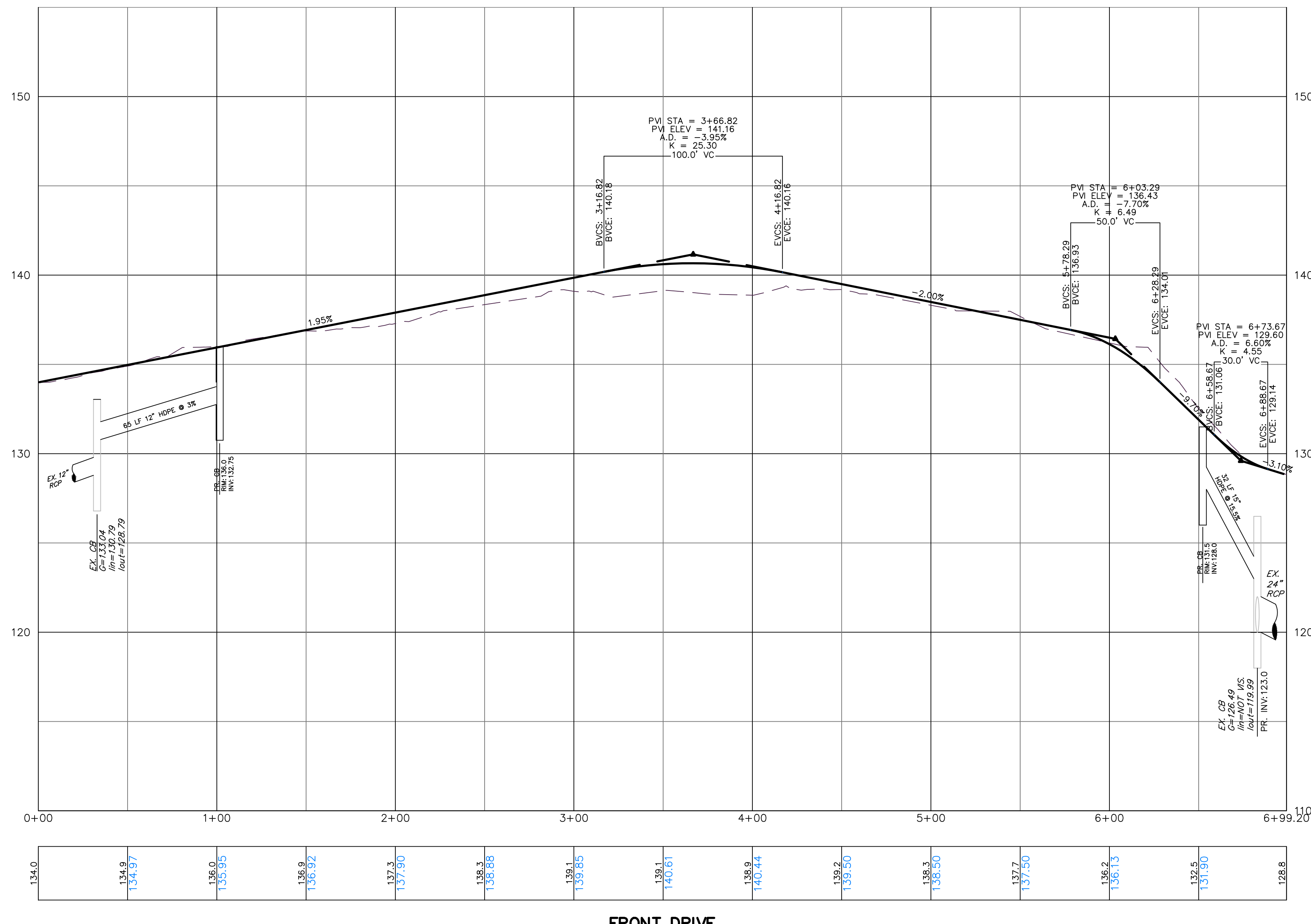
SOUTH DRIVE

NO.	REVISION	DATE

<p><b>800 LONG RIDGE ROAD, LLC</b> 100 WASHINGTON BLVD. SUITE 200 STAMFORD, CT 06902</p>	<p><b>800 LONG RIDGE ROAD</b></p> <p>STAMFORD CONNECTICUT</p>	<p><b>DRIVEWAY &amp; DRAINAGE PROFILES</b></p>	<p style="text-align: right;"><b>CIVIL C1</b></p> <p style="font-size: small;">CORNERSTONE PROFESSIONAL PARK, SUITE D-101 43 SHERMAN HILL ROAD WOODBURY CONNECTICUT (203) 266-0778</p>
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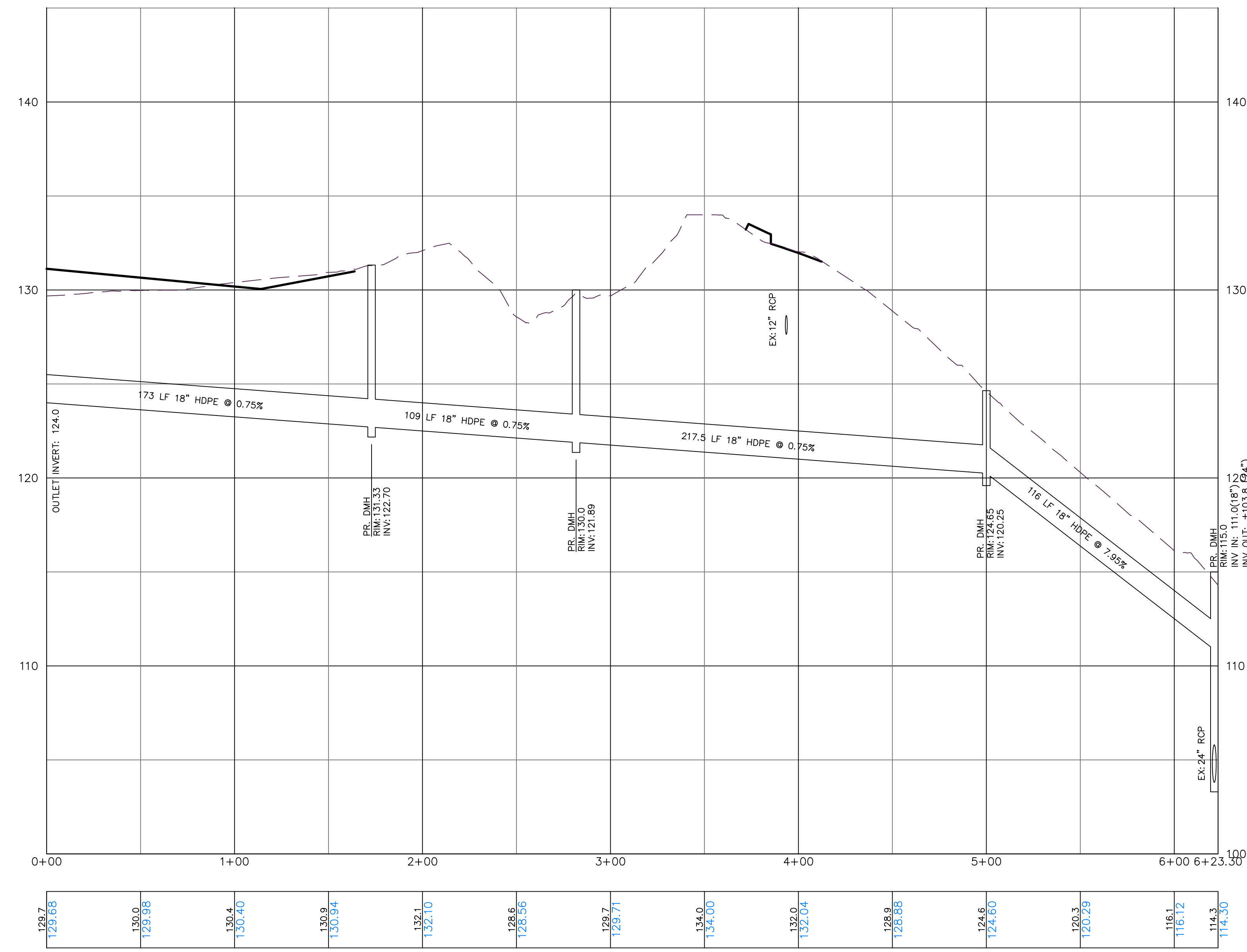
NO. BB	APPROVED: CJ
SCALE: 1" = 40' HOR, 1" = 4' VER	
DATE: 03 OCT 23	
PROJ. NO.: 4084	
DRAWN FILE NAME: 4084	
CHECKED FILE NAME:	

C - 5.3



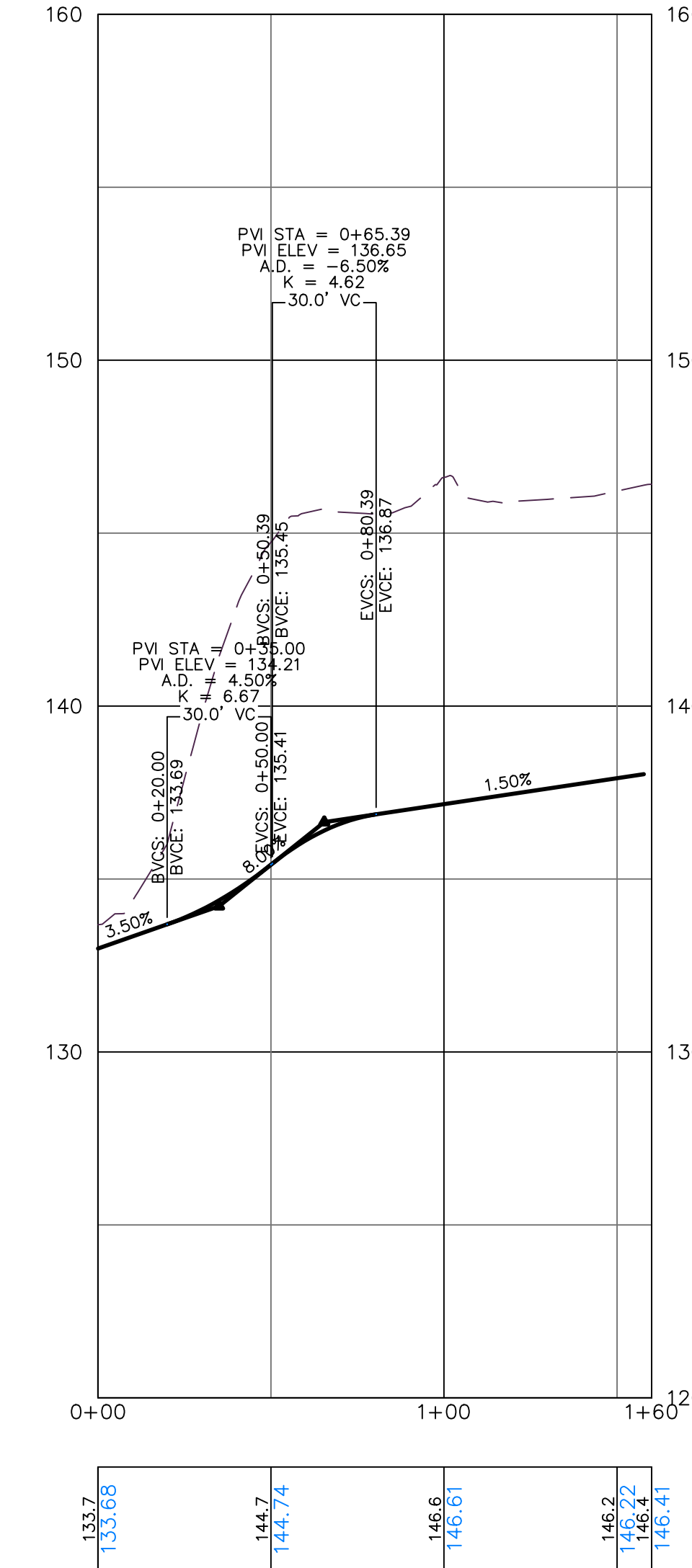
FRONT DRIVE

134.0	134.9	134.97	136.0	136.9	136.92	137.3	137.94	138.3	138.86	139.1	139.65	139.8	140.44	139.2	139.50	138.3	138.50	137.7	137.50	136.2	136.13	137.5	137.90	128.8
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INFILTRATOR 182 OUTLET

128.7	129.65	130.0	129.95	130.4	130.74	130.9	130.94	131.1	132.10	128.6	128.55	129.7	129.71	134.0	134.00	132.0	132.04	128.9	128.85	124.6	124.60	120.3	120.29	116.1	116.12	114.3	114.30
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RETAIL DRIVE

133.7	133.68	144.7	144.74	146.6	146.61	146.9	146.82	144.4	144.41
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NO.	REVISION	DATE

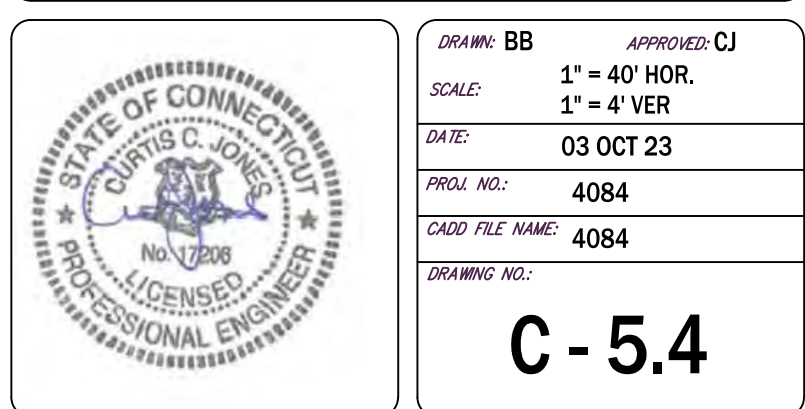
Previous Editions Obsolete

800 LONG RIDGE ROAD,  
100 WASHINGTON BLVD.,  
SUITE 200  
STAMFORD, CT 06902

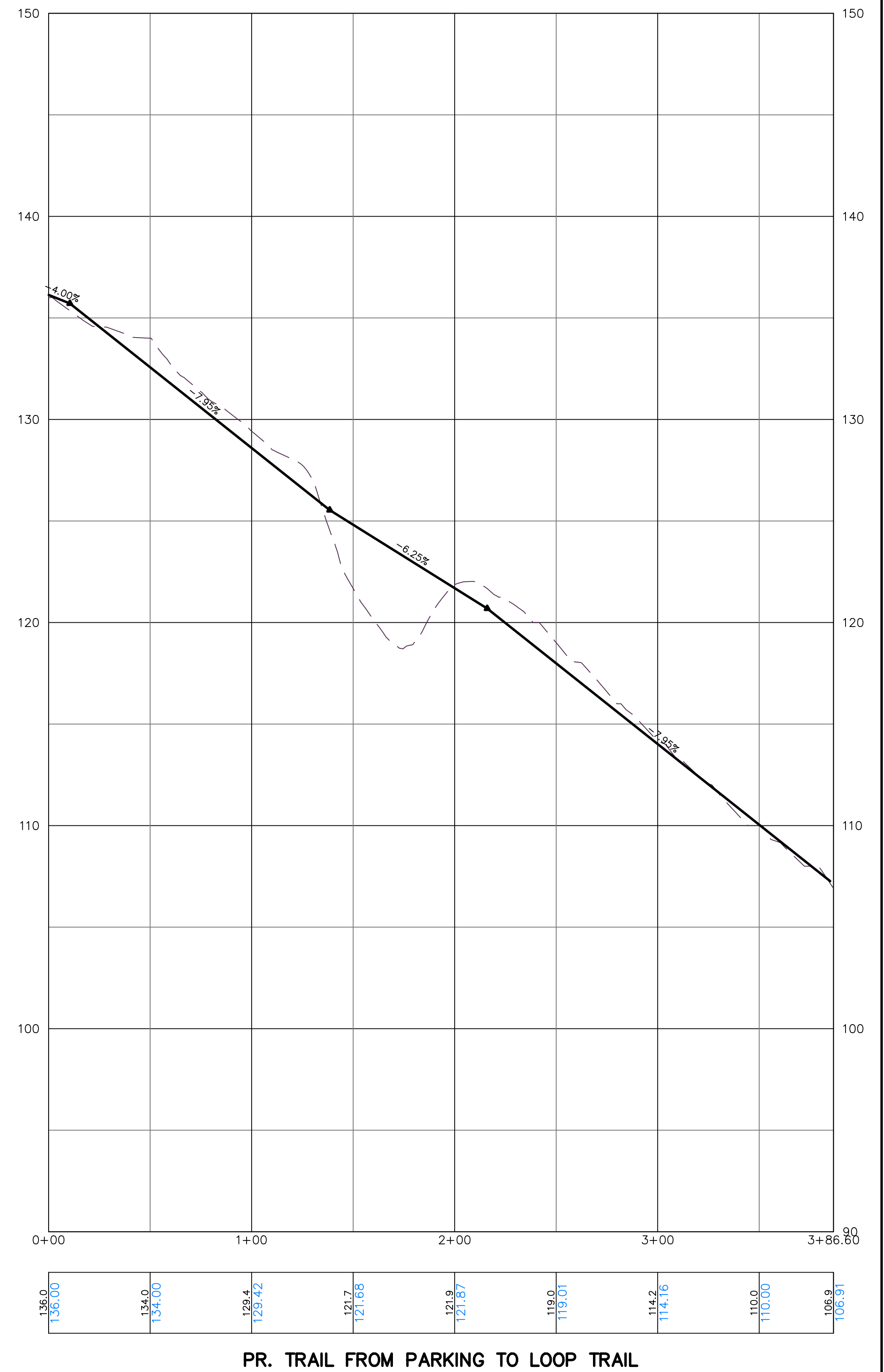
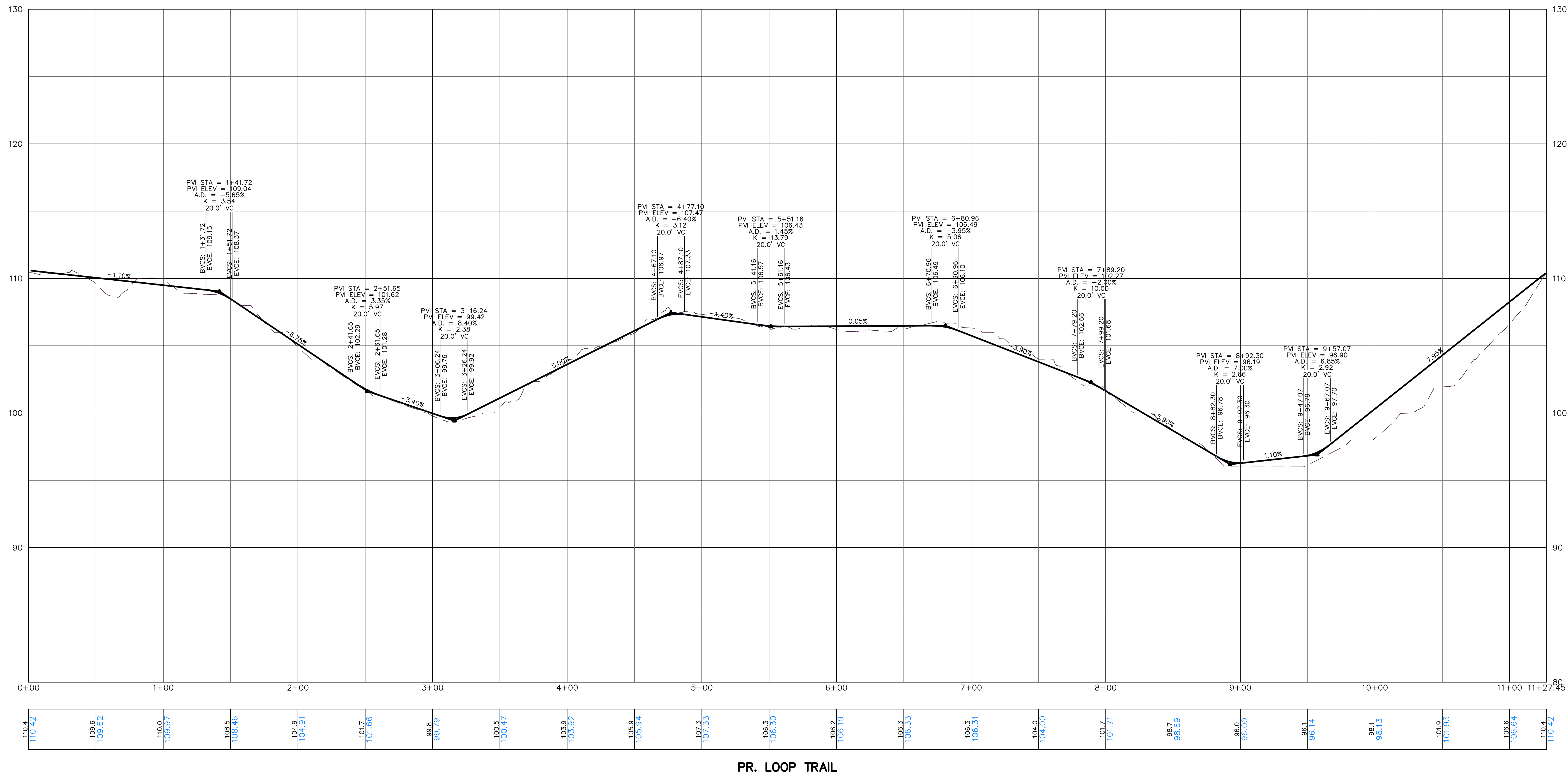
800 LONG RIDGE ROAD  
STAMFORD CONNECTICUT  
DRIVEWAY & DRAINAGE  
PROFILES

**CIVIL 1**  
CORNERSTONE PROFESSIONAL PARK, SUITE D-101  
43 SHERMAN HILL ROAD  
WOODBURY (203) 266-0778 CONNECTICUT

SCALE: 1" = 40' HOR.  
1" = 4' VER.  
DATE: 03 OCT 23  
PROJ. NO.: 4084  
DWG. FILE NAME: 4084  
DRAWING NO.: C-5.4



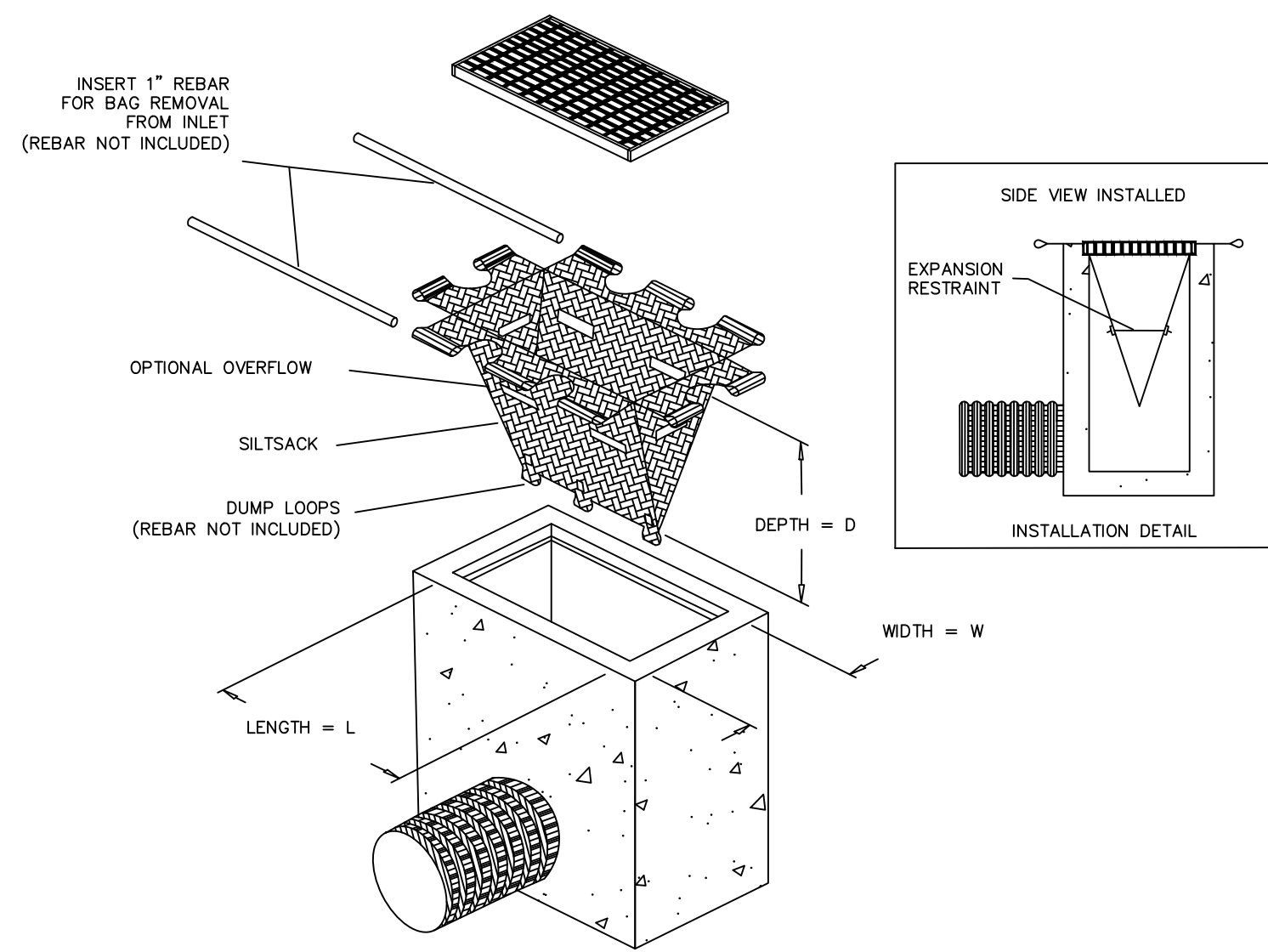




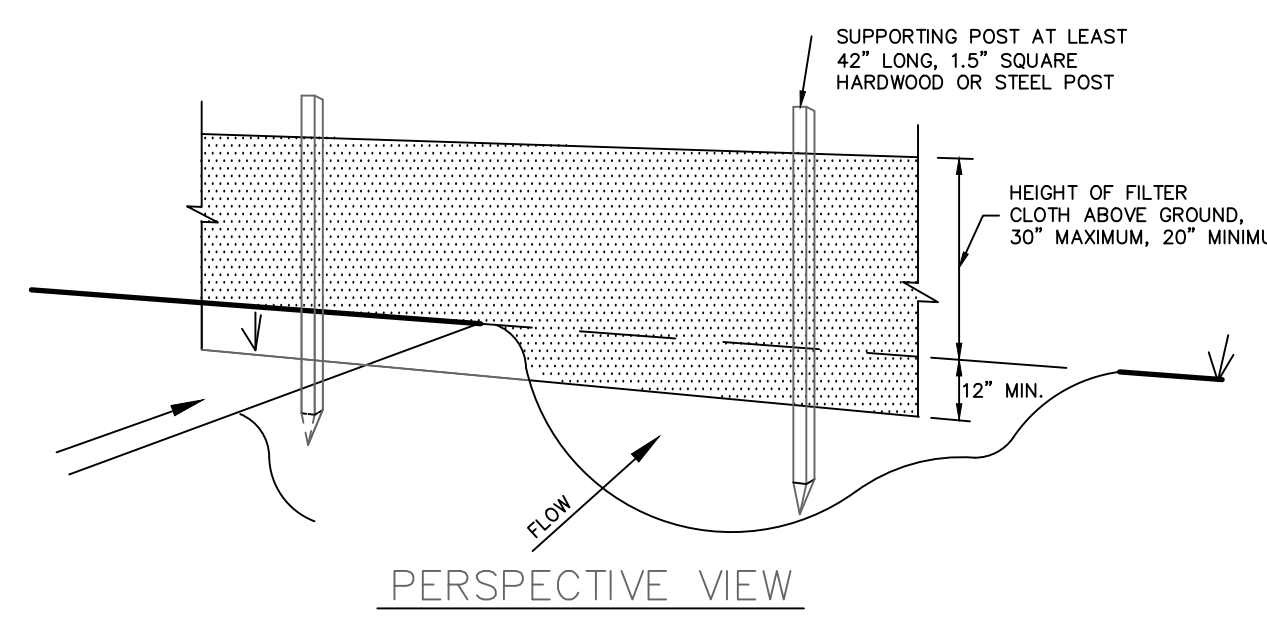
NO.	REVISION	DATE

<p><b>800 LONG RIDGE ROAD</b></p> <p>STAMFORD CONNECTICUT</p>		<p>CORNERSTONE PROFESSIONAL PARK, SUITE D-101 43 SHERMAN HILL ROAD WOODBURY (203) 266-0778</p>		
			<p>800 LONG RIDGE ROAD, LLC 100 WASHINGTON BLVD. SUITE 200 STAMFORD, CT 06902</p>	
			<p><b>WALKING TRAIL PROFILES</b></p>	
<p>800 LONG RIDGE ROAD, LLC 100 WASHINGTON BLVD. SUITE 200 STAMFORD, CT 06902</p>			<p>DRAWN: BB SCALE: 1" = 40' HOR., 1" = 4' VER. DATE: 03 OCT 23 PROJ. NO.: 4084 CADD FILE NAME: 4084 DRAWING NO.: <b>C - 5.5</b></p>	

*Previous Editions Obsolete*

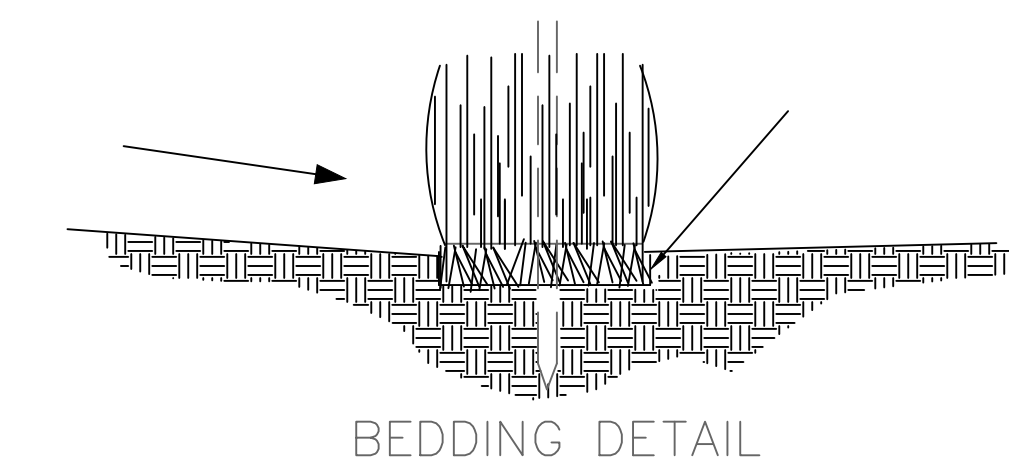


**SILT SACK DETAIL**  
N.T.S.

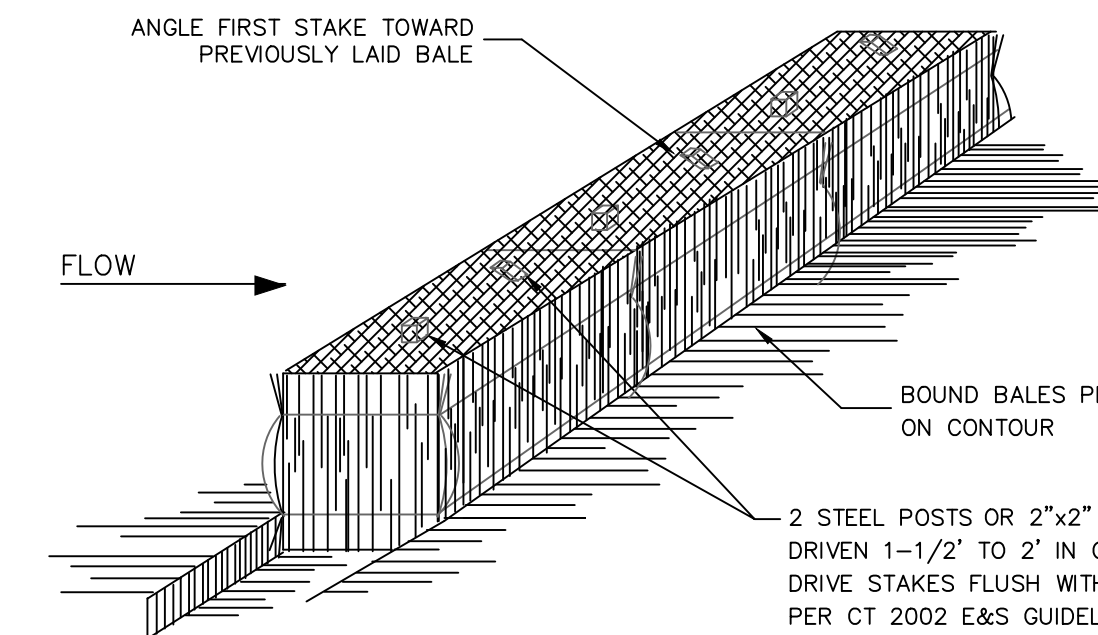


**SILT FENCE DETAIL**  
N.T.S.

- CONSTRUCTION NOTES FOR SILT FENCE**
- EXCAVATE A TRENCH A MINIMUM OF 6 INCHES DEEP AND 8 INCHES WIDE ON THE UP SIDE OF THE FENCE LOCATION.
  - DRIVE SUPPORT POSTS ON THE DOWN SLOPE SIDE OF THE TRENCH TO A DEPTH OF AT LEAST 12 INCHES INTO ORIGINAL GROUND.
  - STAPLE OR SECURE THE GEOTEXTILE TO THE SUPPORT POSTS PER MANUFACTURER'S INSTRUCTIONS SUCH THAT AT LEAST 6 INCHES OF GEOTEXTILE LIES WITHIN THE TRENCH.
  - BACKFILL THE TRENCH WITH TAMPED SOIL OR AGGREGATE OVER THE GEOTEXTILE.
- POSTS: 1.5" SQUARE HARDWOOD OR STEEL  
FILTER CLOTH: MIRAFI 100X, ENVROFENCE OR APPROVED EQUAL



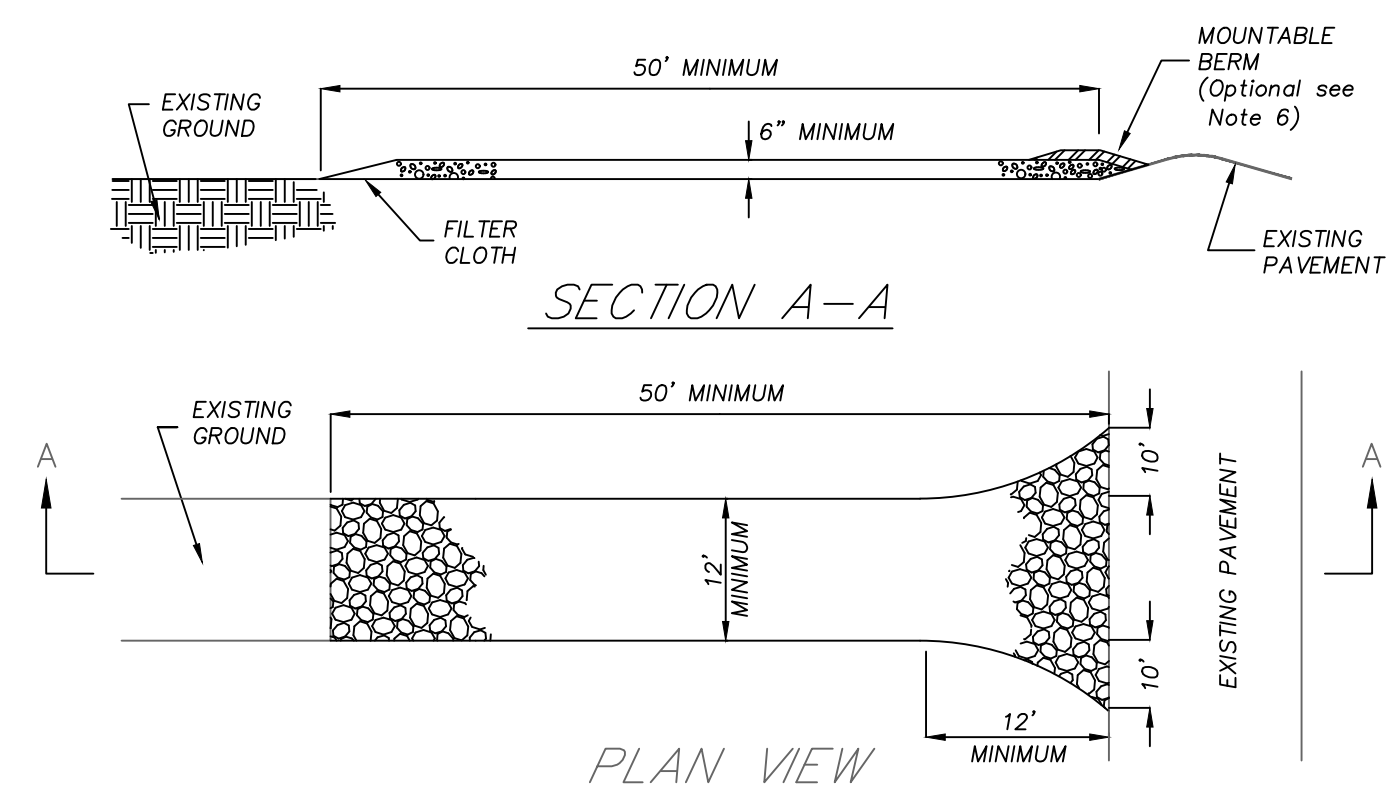
**BEDDING DETAIL**



**ANCHORING DETAIL**

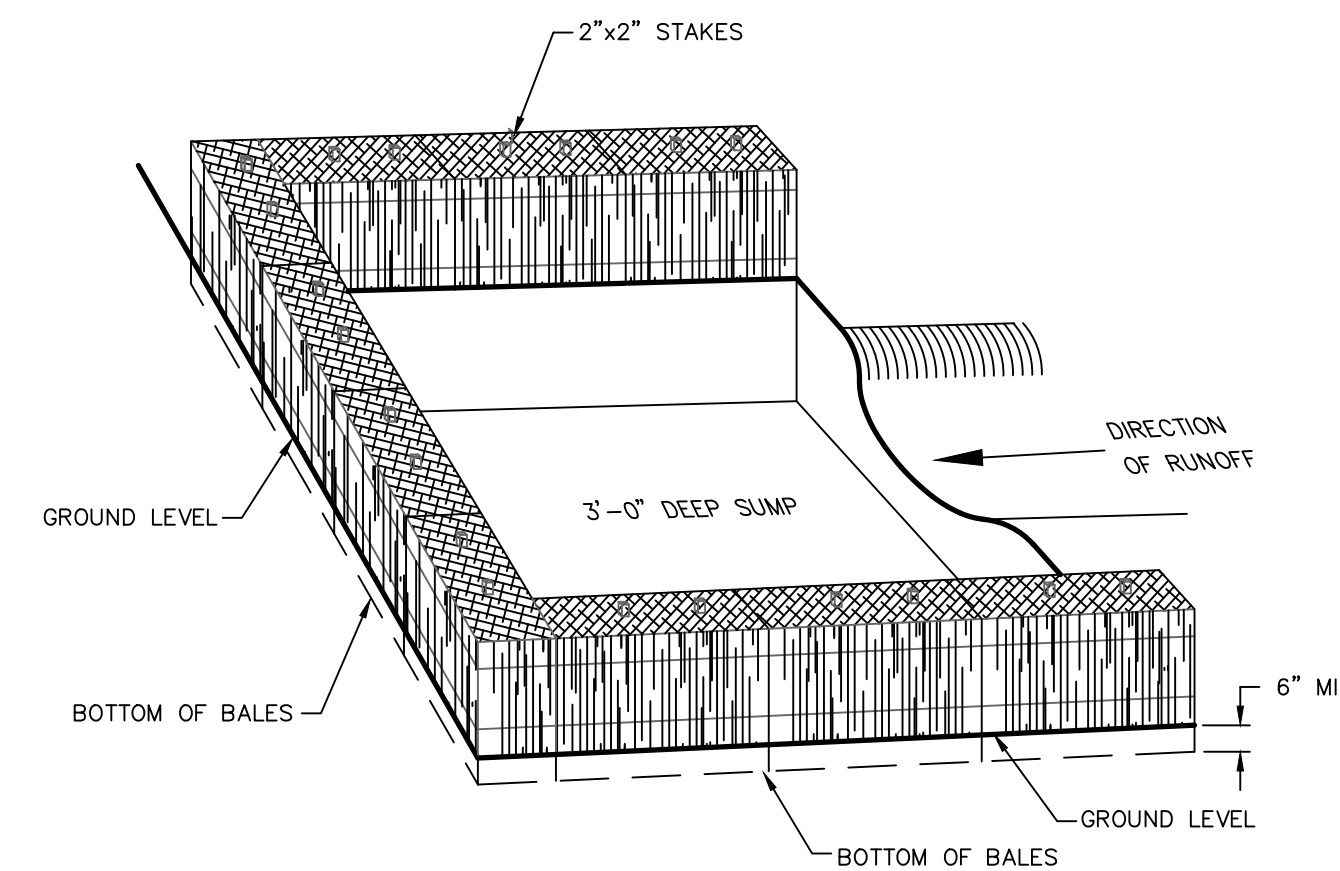
- NOTES:**
- BALES SHALL BE EITHER STRAW OR HAY.
  - BALES SHALL BE PLACED AT THE TOE OF SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
  - EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4 INCHES, AND PLACED SO THE BINDINGS ARE HORIZONTAL.
  - BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
  - INSPECTION SHALL BE FREQUENT, AND REPAIR AND/OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED TO MAINTAIN EFFECTIVENESS OF INSTALLATION.
  - BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

**STAKED HAY BALE BARRIER**  
N.T.S.



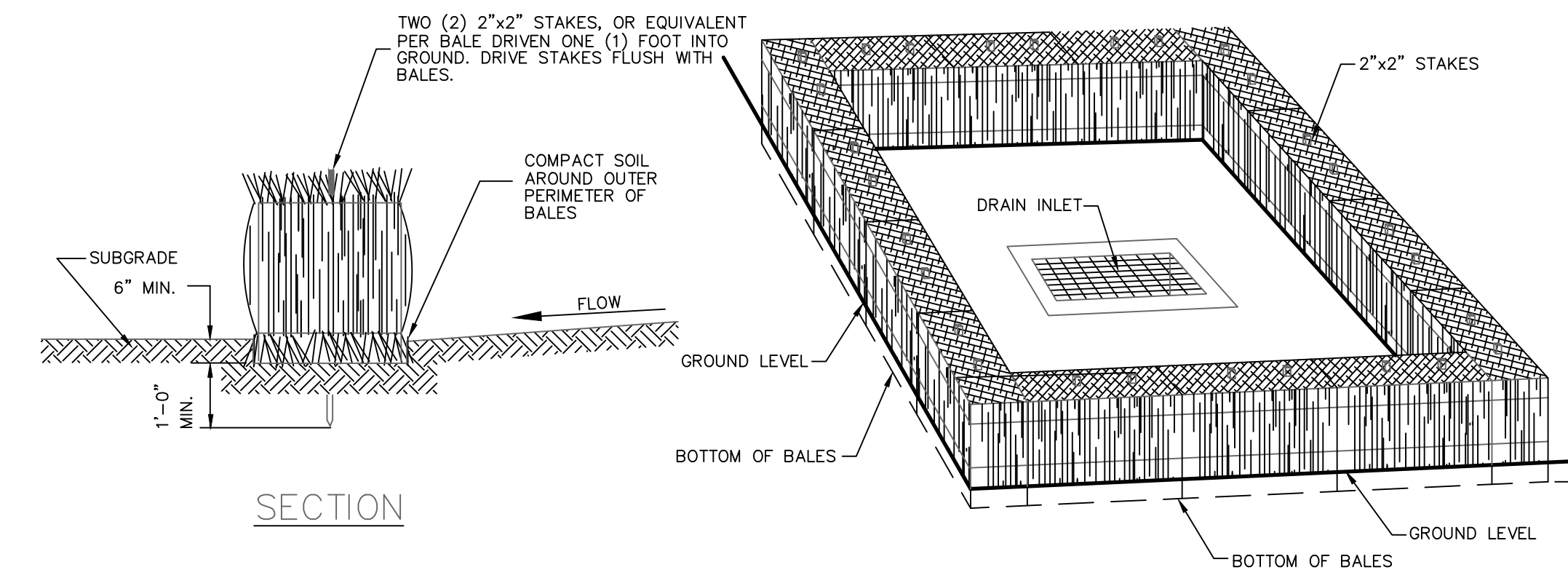
- NOTES:**
- STONE SIZE - USE 1" - 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
  - THICKNESS - NOT LESS THAN SIX (6) INCHES.
  - WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.
  - FILTER CLOTH - TO BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
  - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DRIPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**STABILIZED CONSTRUCTION ENTRANCE**



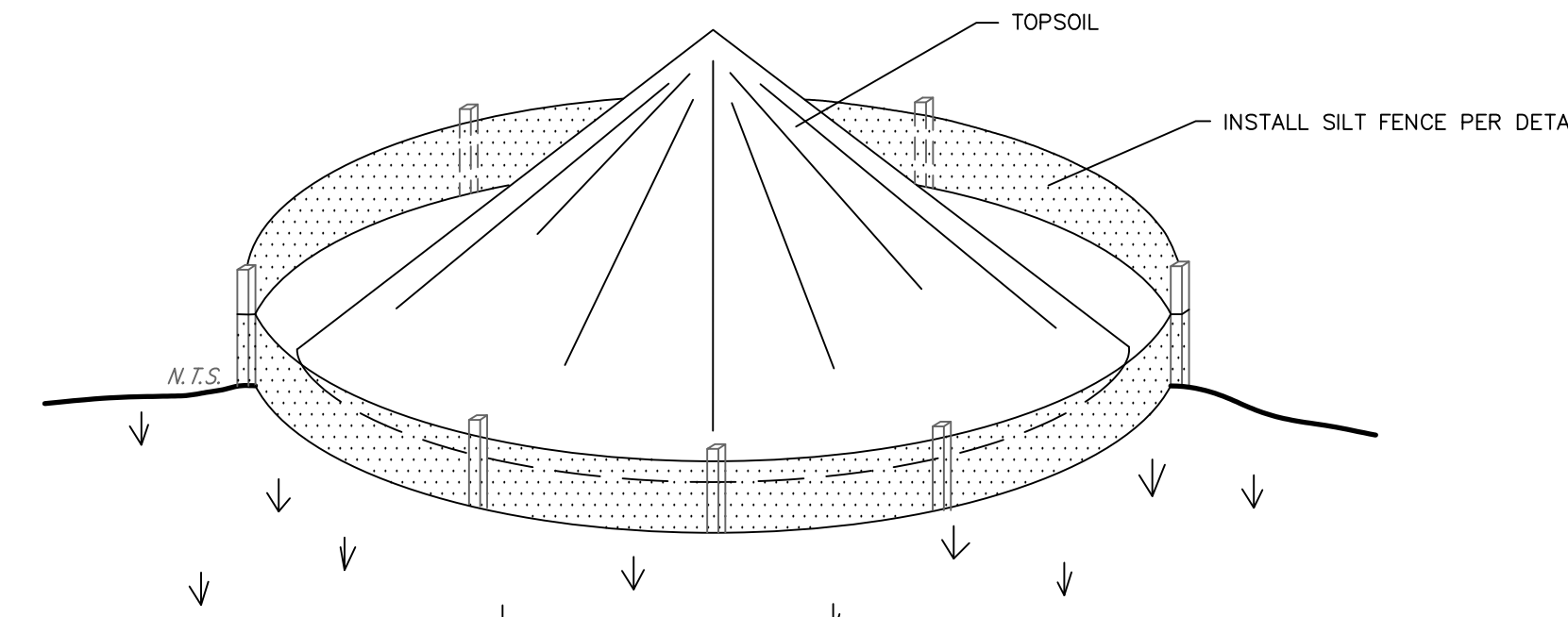
- NOTES:**
- ALL BALES ARE TO BE TIGHTLY BUTTED TOGETHER.
  - BALES SHALL BE EITHER STRAW OR HAY.
  - PROVIDE FREQUENT INSPECTION AND MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AND REPLACE CLOGGED BALES TO RESTORE EFFECTIVENESS OF INSTALLATION.

**TEMPORARY DIVERSION DITCH WITH HAY BALE TRAP**



- NOTES:**
- ALL BALES ARE TO BE TIGHTLY BUTTED TOGETHER.
  - BALES SHALL BE EITHER STRAW OR HAY.
  - PROVIDE FREQUENT INSPECTION AND MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AND REPLACE CLOGGED BALES TO RESTORE EFFECTIVENESS OF INSTALLATION.

**BALED FILTER**



- STOCKPILE MANAGEMENT PER 2002 CT GUIDELINES FOR E & S CONTROL:
- LOCATE STOCKPILE SO THAT NATURAL DRAINAGE IS NOT OBSTRUCTED.
  - DIVERT RUNOFF WATER AWAY FROM OR AROUND THE STOCKPILE.
  - INSTALL A GEOTEXTILE SILT FENCE OR HAY BALE BARRIER AROUND THE STOCKPILE AREA APPROXIMATELY 10 FEET FROM PROPOSED TOE OF THE SLOPE.
  - THE SIDE SLOPES OF STOCKPILED MATERIAL SHOULD BE NO STEEPER THAN 2:1.
  - STOCKPILES THAT ARE NOT TO BE USED WITHIN 90 DAYS NEED TO BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE.
  - AFTER STOCKPILE HAS BEEN REMOVED, THE SITE SHOULD BE GRADED AND PERMANENTLY STABILIZED.

**TEMPORARY TOPSOIL STOCKPILE**

NO.	REVISION	DATE

Previous Editions Obsolete

800 LONG RIDGE ROAD, LLC  
100 WASHINGTON BLVD.  
SUITE 200  
STAMFORD, CT 06902

DETAILS

800 LONG RIDGE ROAD

STAMFORD CONNECTICUT

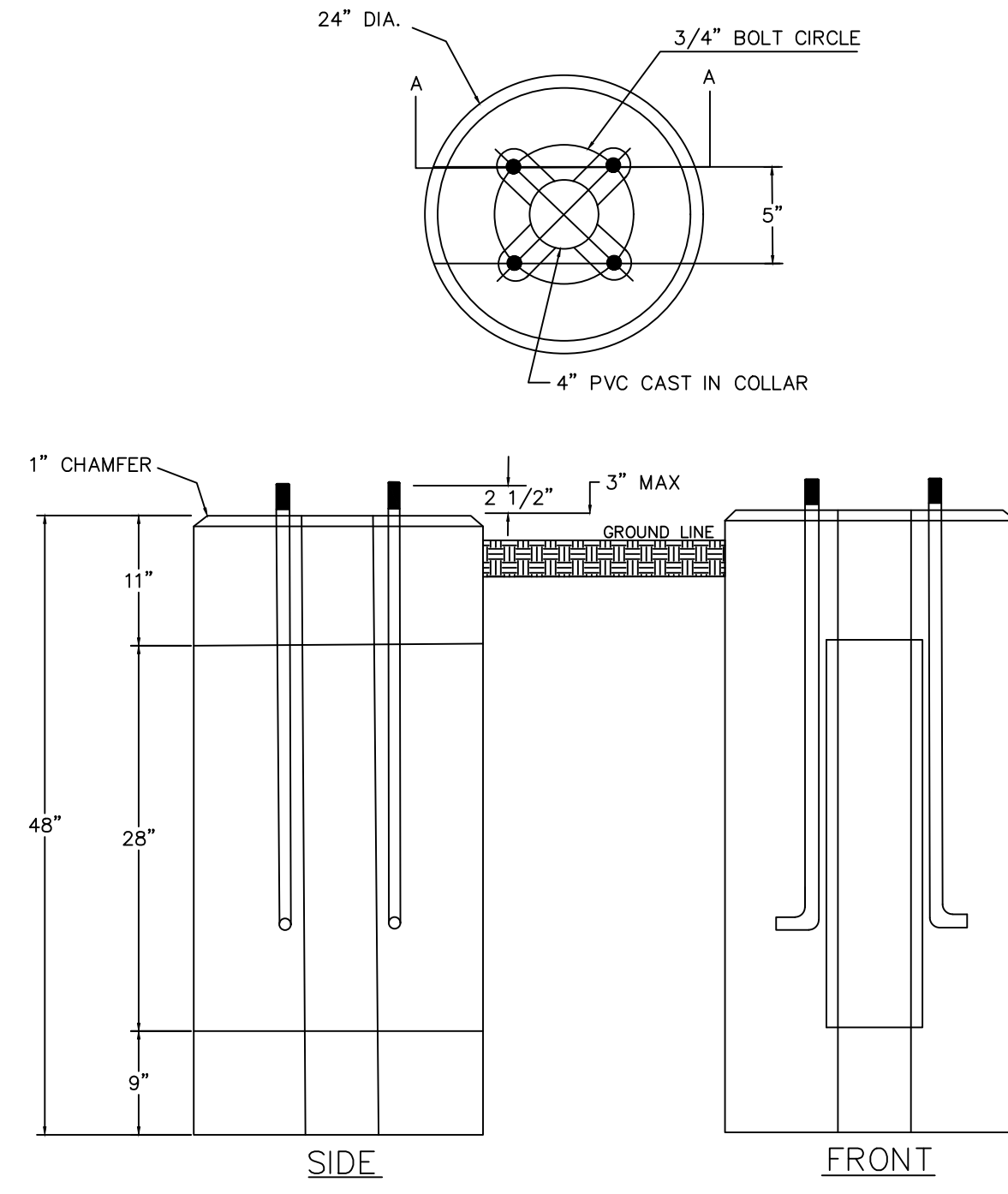
**CIVIL 1**

CORNERSTONE PROFESSIONAL PARK, SUITE D-101  
43 SHERMAN HILL ROAD  
WOODBURY (203) 266-0778 CONNECTICUT



SCALE: N.T.S.  
DATE: 03 OCT 23  
PROJ. NO.: 4084  
CADD FILE NAME: 4084  
DRAWING NO.: C-6.1



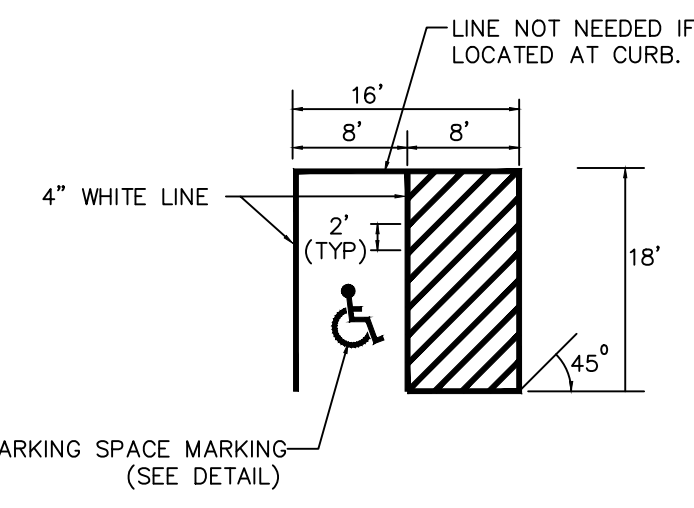


**DESIGN NOTES:**

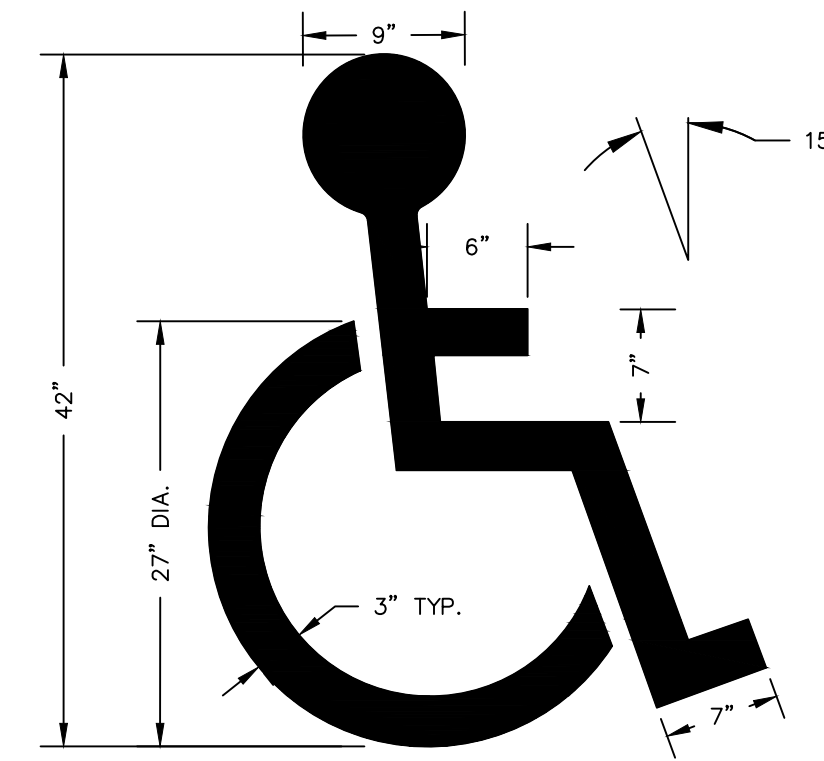
1. CONCRETE - 5,000 PSI, 28 DAYS
2. ANCHOR BOLTS TO BE STEEL PER ASTM A38 - 1987E1, 3/4" X 24" W/3" LEG, ROLLED THREADS PREFERRED, 4" THREAD W/GALVANIZED HEX NUT AND ROUND FLAT GALVANIZED WASHER, THREADED END TO BE GALVANIZED
3. THE 4" HANDHOLE AT CENTER OF BOLT CIRCLE PROJECTS INTO A 6" WIDE SLOT 28" HIGH THROUGH THE BASE CONCRETE WITHIN 3" OF THE TOP
4. MANUFACTURER'S IDENTIFICATION AND MONTH/YEAR WHEN MANUFACTURED SHALL BE LEGIBLY MARKED IN/ON CONCRETE WITHIN 3" OF THE TOP
5. NUSCO SC 0415436 SHALL BE WRITTEN ON SIDE OF BASE WITH AN INDELIBLE MARKER
6. PRODUCT AS MANUFACTURED BY ARROW CONCRETE PRODUCTS, MILFORD CT OR APPROVED EQUAL.

**LIGHT POLE BASE**

N.T.S.



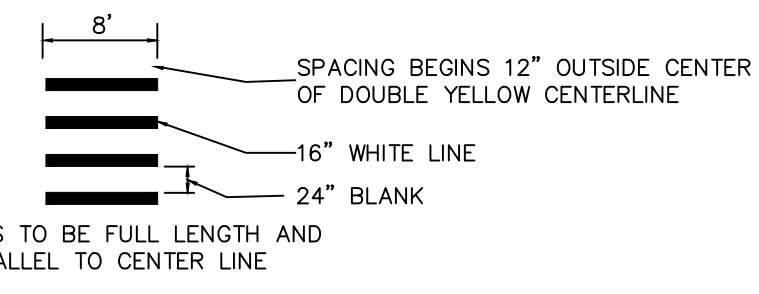
**HANDICAPPED PARKING STALL DETAIL (VAN ACCESSIBLE)**  
N.T.S.



**HANDICAPPED PARKING SPACE MARKING**

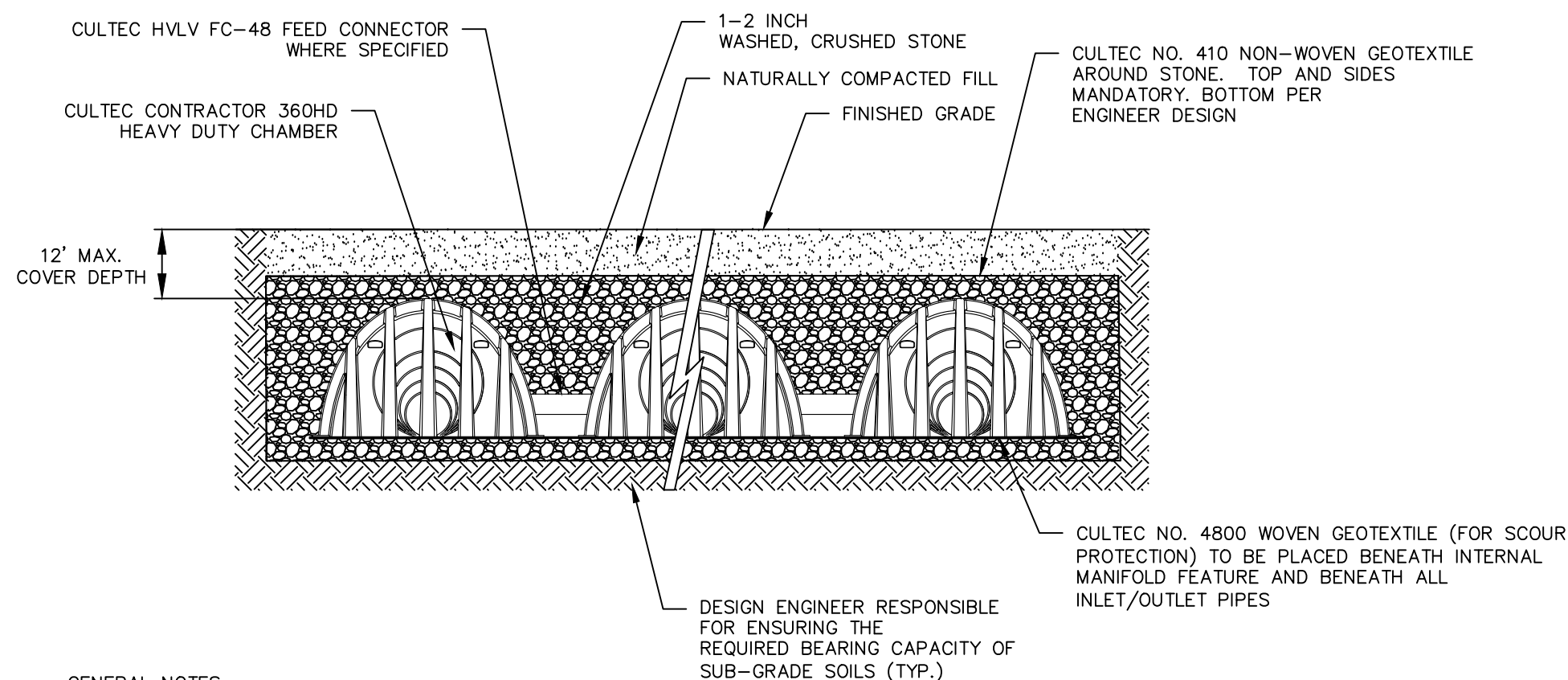
**STRIPING NOTES:**

1. STOP BARS TO BE 12" UNLESS OTHERWISE NOTED ON PLANS.
2. STOP BARS TO BE PLACED A MINIMUM OF 5' IN ADVANCE OF NEAREST EDGE OF CROSSWALK.
3. IN ABSENCE OF MARKED CROSSWALK THE STOP BAR SHALL BE PLACED AT DESIRED STOPPING POINT IN NO CASE MORE THAN 30' OR LESS THAN 5' FROM THE NEAREST EDGE OF THE INTERSECTION ROADWAY AND 90° TO CENTERLINE OF ROADWAY.
4. THE STOP BAR SHALL ORDINARILY BE PLACED IN LINE WITH THE STOP SIGN; HOWEVER, IF THE STOP SIGN CANNOT BE LOCATED EXACTLY WHERE VEHICLES ARE EXPECTED TO STOP, THE STOP BAR SHOULD BE PLACED AT THE STOPPING POINT.
5. STOP BARS (AND CENTERLINE, WHEN SIDE STREET WIDTHS ARE 16' OR MORE) TO BE PAINTED ON SIDE STREETS WITHIN LIMITS OF CONSTRUCTION, UNLESS OTHERWISE INDICATED, OR AS DIRECTED BY THE ENGINEER.
6. ALL STOP BAR AND CROSSWALK MARKINGS SHALL BE INSTALLED SO THAT THE EDGE OF THE PAVEMENT MARKING DOES NOT BUTT THE CURB. THE MARKINGS SHALL END TWELVE (12) INCHES FROM THE FACE OF CURB AND THE CUT LINE SHALL BE PARALLEL WITH THE CURB.
7. PAVEMENT MARKINGS SHALL BE PREFORMED PLASTIC UNLESS OTHERWISE DIRECTED BY THE ENGINEER.



**PEDESTRIAN CROSSWALK DETAIL**

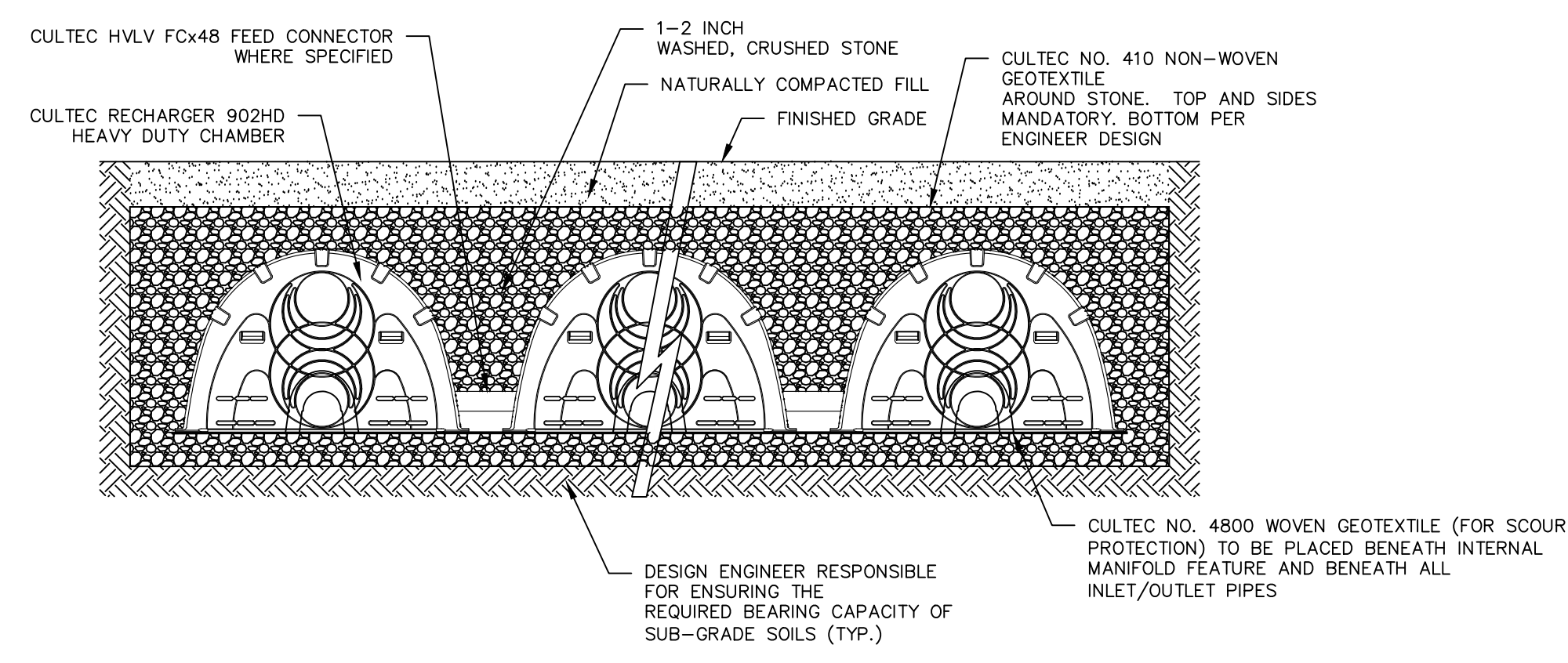
N.T.S.



- GENERAL NOTES:**
- RECHARGER 360HD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 15.199 CF/FT [1.58 M<sup>3</sup>] PER DESIGN UNIT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. MAXIMUM ALLOWED COVER ON TOP OF UNIT SHALL BE 12.0' [3.66 m]. THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS.
  - ALL RECHARGER 360HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

**CULTEC RECHARGER 360HD**

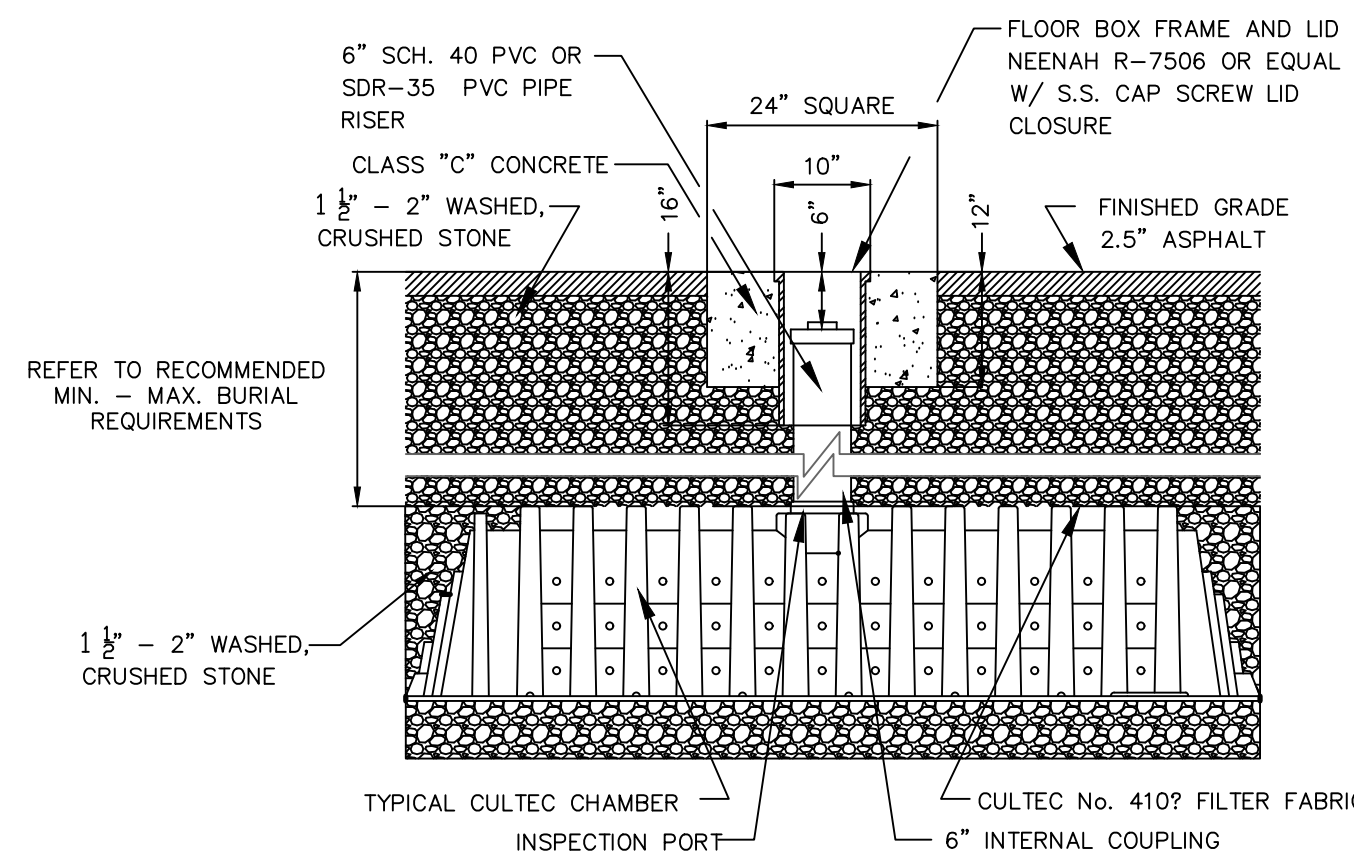
N.T.S.



- GENERAL NOTES:**
- RECHARGER 902HD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 27.06 CF/FT [2.81 M<sup>3</sup>] PER DESIGN UNIT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. MAXIMUM ALLOWED COVER ON TOP OF UNIT SHALL BE 8.3' [2.53 m]. THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS.
  - ALL RECHARGER 902HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

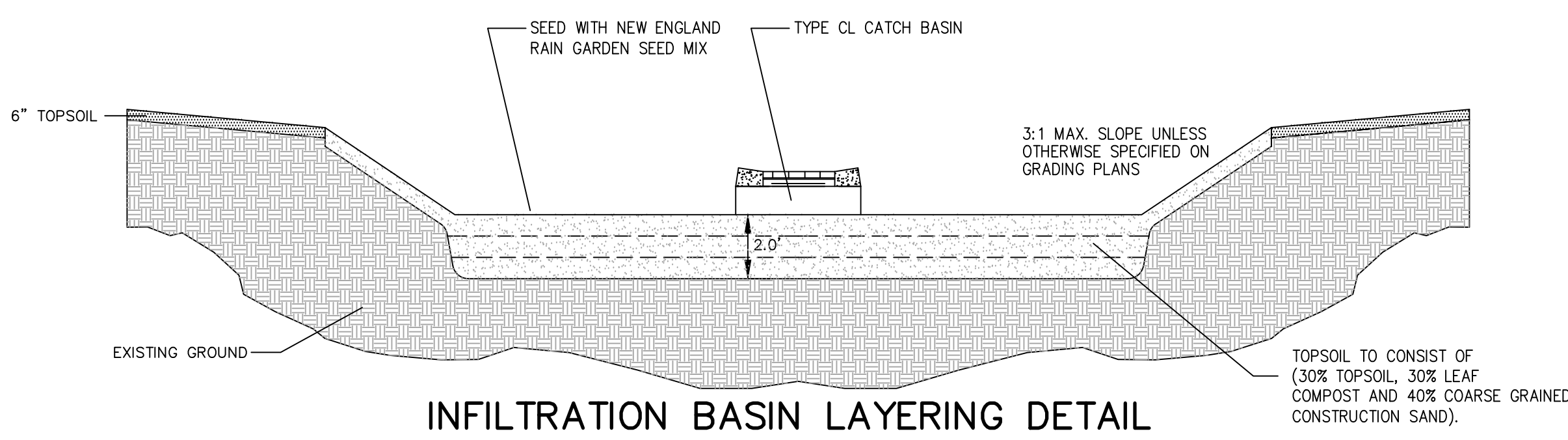
**CULTEC RECHARGER 902HD**

N.T.S.



**TYPICAL CULTEC INSPECTION PORT**

N.T.S.



**INFILTRATION BASIN LAYERING DETAIL**

N.T.S.

- NOTES:**
- EXCAVATE INFILTRATION BASIN AREAS TO PROPOSED INVERT DEPTHS AND SCARIFY EXISTING SOIL SURFACES, TAKING CARE NOT TO COMPACT THE IN-SITU MATERIALS.
  - PLACE TOPSOIL IN 8"-12" LIFTS. DO NOT COMPACT.
  - LIFTS MAY BE LIGHTLY WATERED TO ENCOURAGE NATURAL COMPACTION.
  - OVERFILL OF TOPSOIL IS REQUIRED TO ACCOMMODATE NATURAL SETTLEMENT TO PROPER GRADE.

NO.	REVISION	DATE

Previous Editions Obsolete

800 LONG RIDGE ROAD, LLC  
100 WASHINGTON BLVD.  
SUITE 200  
STAMFORD, CT 06902

**DETAILS**

800 LONG RIDGE ROAD

STAMFORD CONNECTICUT

**Civil 1**

CORNERSTONE PROFESSIONAL PARK, SUITE D-101  
43 SHERMAN HILL ROAD  
WOODBURY (203) 266-0778 CONNECTICUT

SCALE: N.T.S.

DATE: 03 OCT 23

PROJECT NO.: 4084

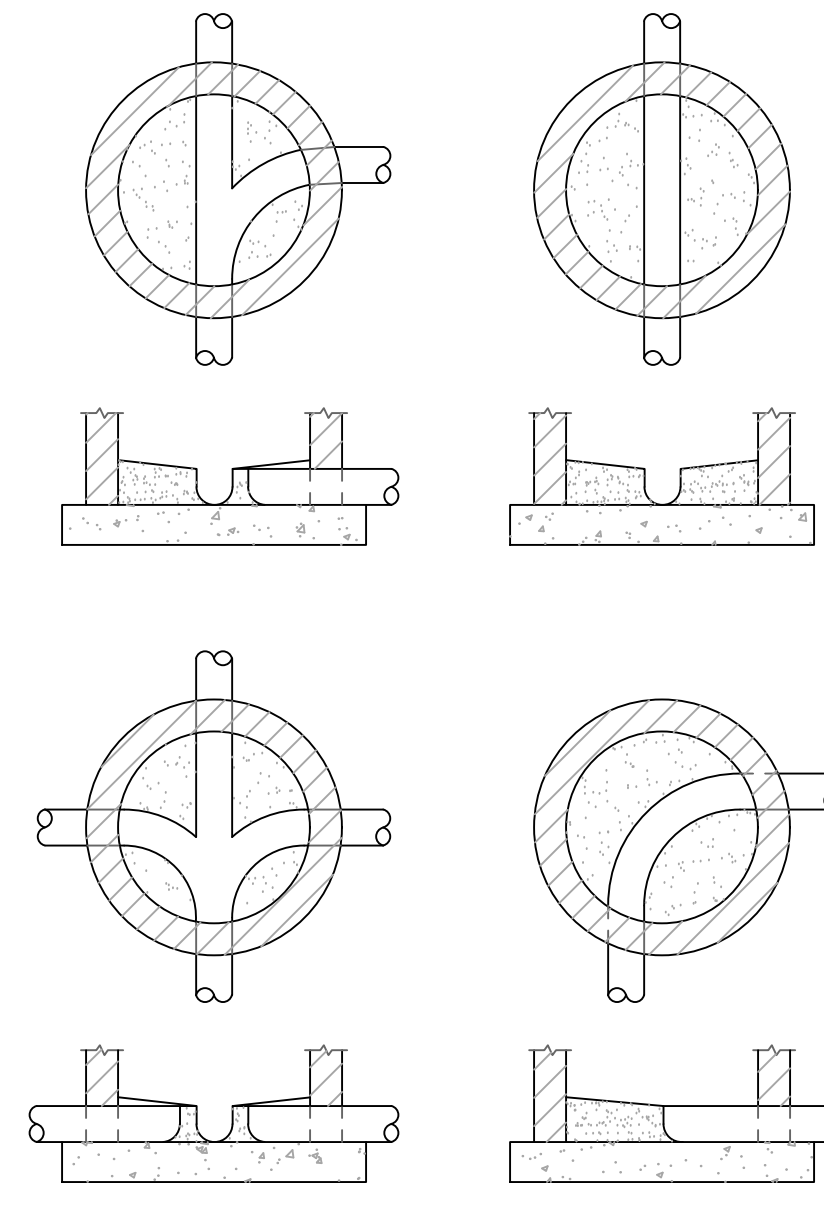
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DRAWING NO.: **C-6.3**

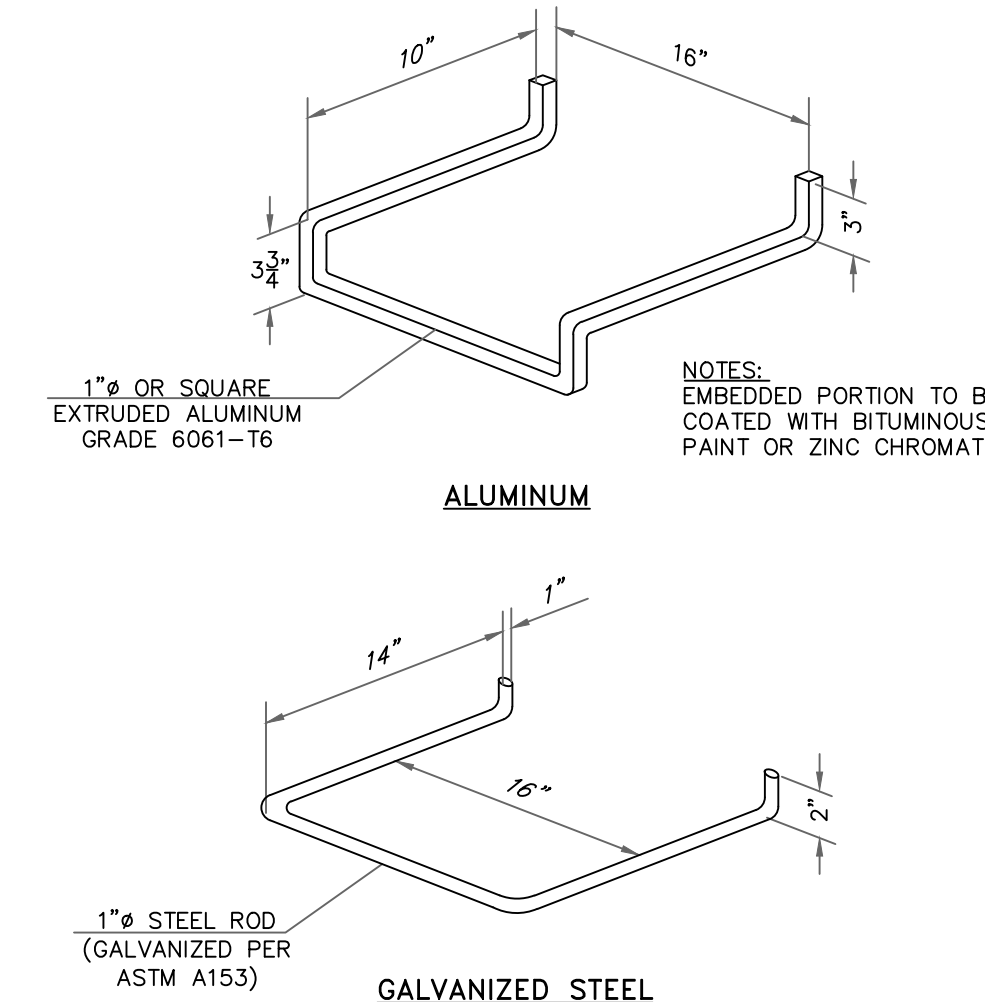
STATE OF CONNECTICUT PROFESSIONAL ENGINEER

**NOTES:**

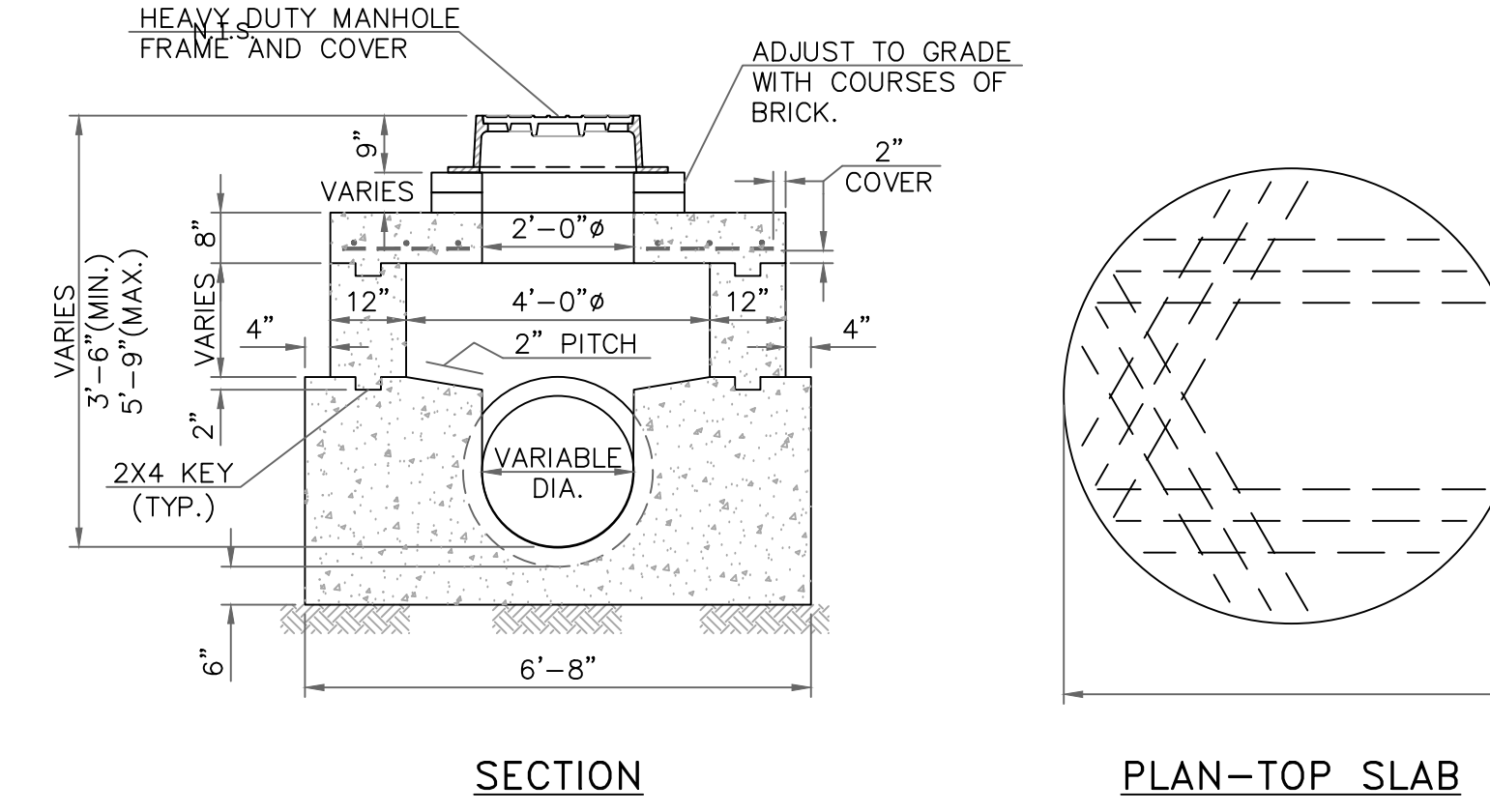
1. ALL PRECAST SECTIONS SHALL BE CONSTRUCTED OF REINFORCED CONCRETE, INCLUDING THE SUMP. REINFORCING SHALL CONFORM TO ASTM A615, GRADE 40 OR BETTER. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI.
2. COMPACTION AROUND ALL STRUCTURES TO BE HAND TAMPED IN ACCORDANCE WITH SECTION 2.05 OF CONNDOT STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, LATEST EDITION.
3. UNREINFORCED PIPES SHALL BE CUT FLUSH WITH INSIDE FACE OF C.B. WALL. REINFORCED PIPES SHALL BE CUT TO PROVIDE 1" RECESS INTO FACE OF C.B. WALL. CUT END SHALL THEN BE PATCHED WITH MORTAR FLUSH WITH WALL.
4. ALL UNUSED KNOCK-OUTS SHALL BE BRICKED UP WHERE DIRECTED BY THE ENGINEER.
5. TYPE "C" CATCH BASIN HEAVY DUTY FRAME AND GRATE TO BE CAMPBELL FOUNDRY CO. NO. 2617 OR ENGINEER APPROVED EQUAL.
6. TYPE "C-L" CATCH BASIN HEAVY DUTY FRAME AND GRATE TO BE CAMPBELL FOUNDRY CO. NO. 3408 OR ENGINEER APPROVED EQUAL.
7. FOR OUTLET PIPES 18" I.D. OR SMALLER C.B. TRAPS TO BE CAMPBELL FOUNDRY NO. 2564 OR ENGINEER APPROVED EQUAL. FOR LARGER PIPES, LARGER TRAPS SHALL BE USED, SUBJECT TO THE APPROVAL OF THE ENGINEER. TRAPS SHALL BE HUNG FROM TWO 1/2" SQUARE STAINLESS STEEL HANGER HOOKS EMBEDDED IN WALL OF C.B.
8. AS DIRECTED, THE CONTRACTOR SHALL ADHERE THE APPROPRIATE "DON'T DUMP" PLAQUE FURNISHED BY THE CITY, TO TOPS OF CATCH BASIN FRAMES, AS SHOWN. IN ADDITION TO THE PEEL AND STICK BACKING, CONTRACTOR SHALL BOND PLAQUE TO SUBSTRATE USING EXTERIOR GRADE CONSTRUCTION ADHESIVE. COST OF THIS SHALL BE INCLUDED IN THE COST OF CATCH BASIN WORK.
9. CASTINGS DESIGNATED AS "HEAVY DUTY" SHALL SAFELY WITHSTAND AASHTO HS20 HIGHWAY LOADING.
10. ALL STEEL TO BE STRUCTURAL GRADE CONFORMING TO ASTM A36.
11. CAST IRON SHALL CONFORM TO ASTM A48 CLASS 30.
12. SEAT OF MANHOLE FRAMES, EDGES AND BOTTOM OF COVERS SHALL BE MACHINED TO A TRUE SURFACE SO COVERS WILL NOT BIND OR ROCK ON FRAMES.
13. FIRST STEP FROM TOP OF MANHOLE SHALL BE SHORTENED SO AS TO EXTEND NOT MORE THAN 4" FROM WALL OF MANHOLE. ALL OTHER STEPS SHALL EXTEND 6" FROM WALL.
14. APPROVED CONCRETE BLOCK MAY BE USED IN LIEU OF BRICK IN THE CONSTRUCTION OF CATCH BASINS AND STORM MANHOLES.
15. WHERE SHOWN, STEEL ITEMS SHALL BE HOT-DIP GALVANIZED IN ACCORDANCE WITH ASTM A123 FOR STEEL SHAPES AND PLATES, OR ASTM A153 FOR HARDWARE.
16. REINFORCING STEEL SHALL CONFORM TO THE FOLLOWING: BAR REINFORCEMENT - ASTM A615, GRADE 60 WELDED WIRE FABRIC - ASTM A184, WELDED DEFORMED WIRE FABRIC - ASTM A497
17. UNREINFORCED PIPES SHALL BE CUT FLUSH WITH INSIDE FACE OF C.B. WALL. REINFORCED PIPES SHALL BE CUT TO PROVIDE 1" RECESS INTO FACE OF C.B. WALL. CUT END SHALL THEN BE PATCHED WITH MORTAR FLUSH WITH WALL.
18. ALL UNUSED KNOCK-OUTS SHALL BE BRICKED UP WHERE DIRECTED BY THE ENGINEER.



TYPICAL INVERTS  
N.T.S.



MANHOLE STEPS  
N.T.S.

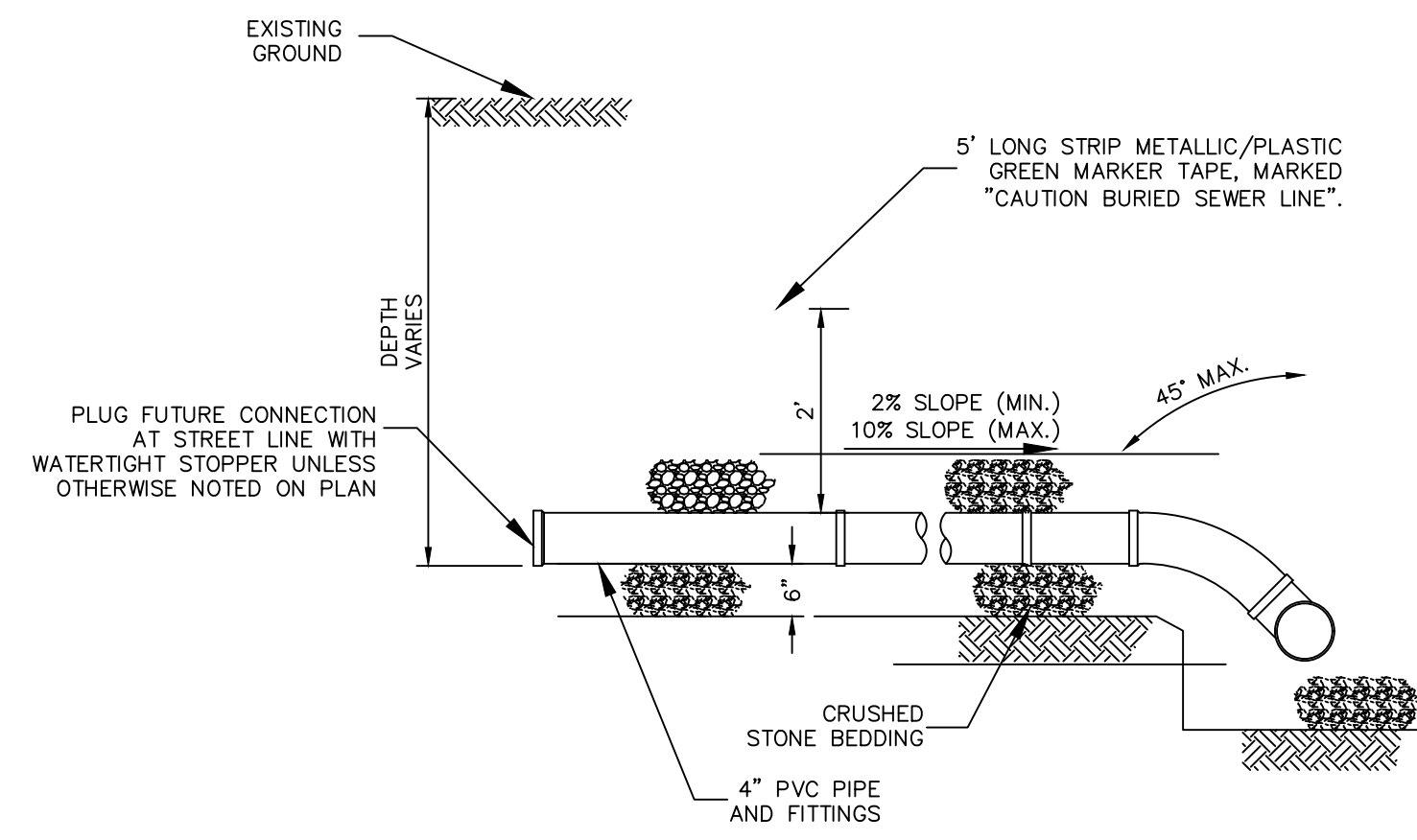


SECTION

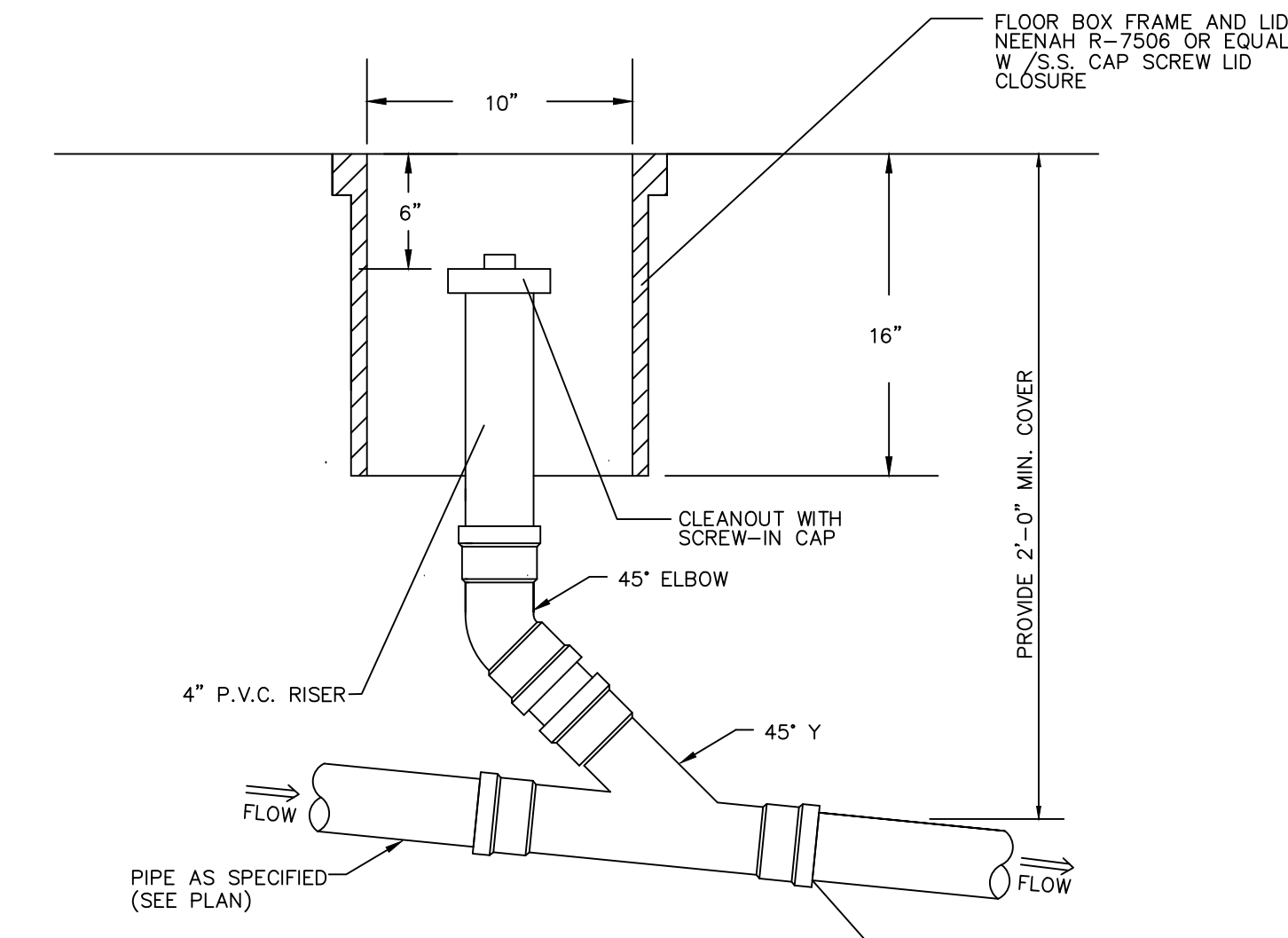
PLAN-TOP SLAB

NOTES  
1. ALL CONCRETE TO BE CLASS "A" CONCRETE.

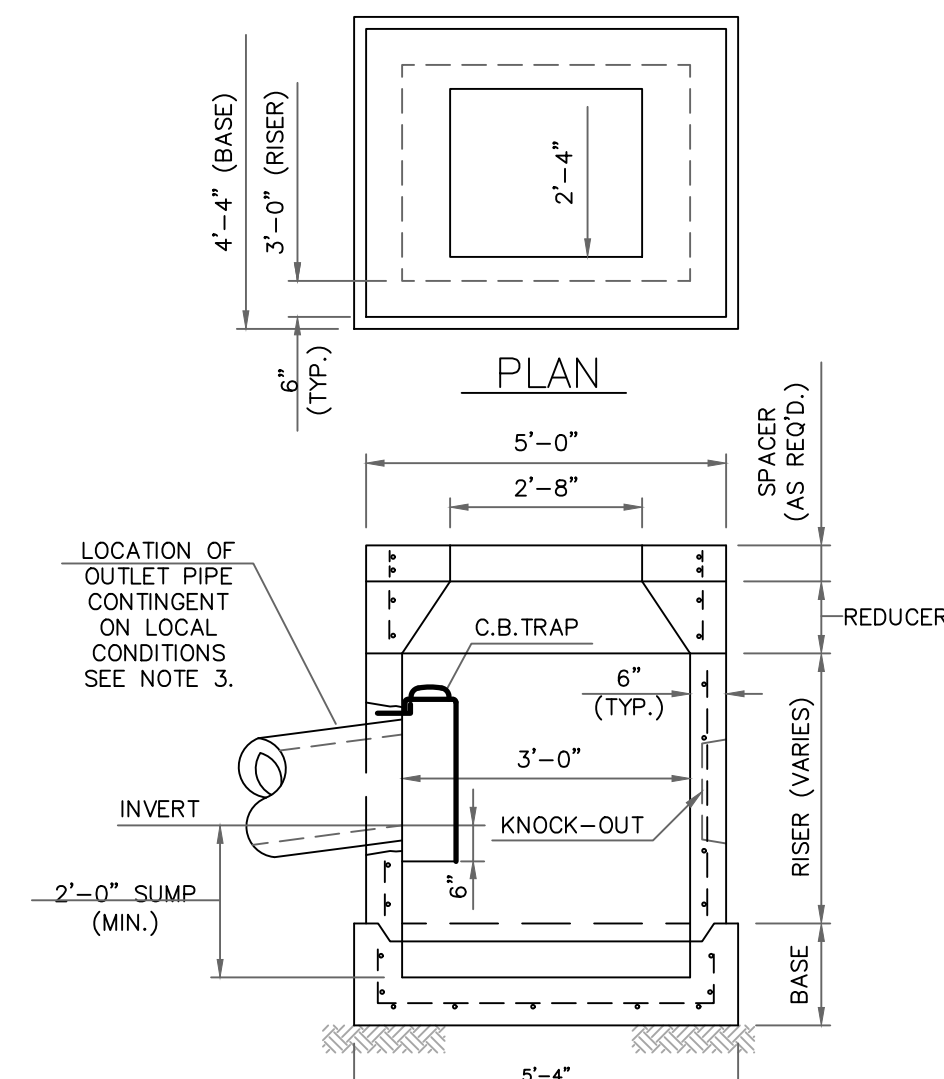
SHALLOW MANHOLE (SW-2)  
SCALE: 1/2" = 1'-0"



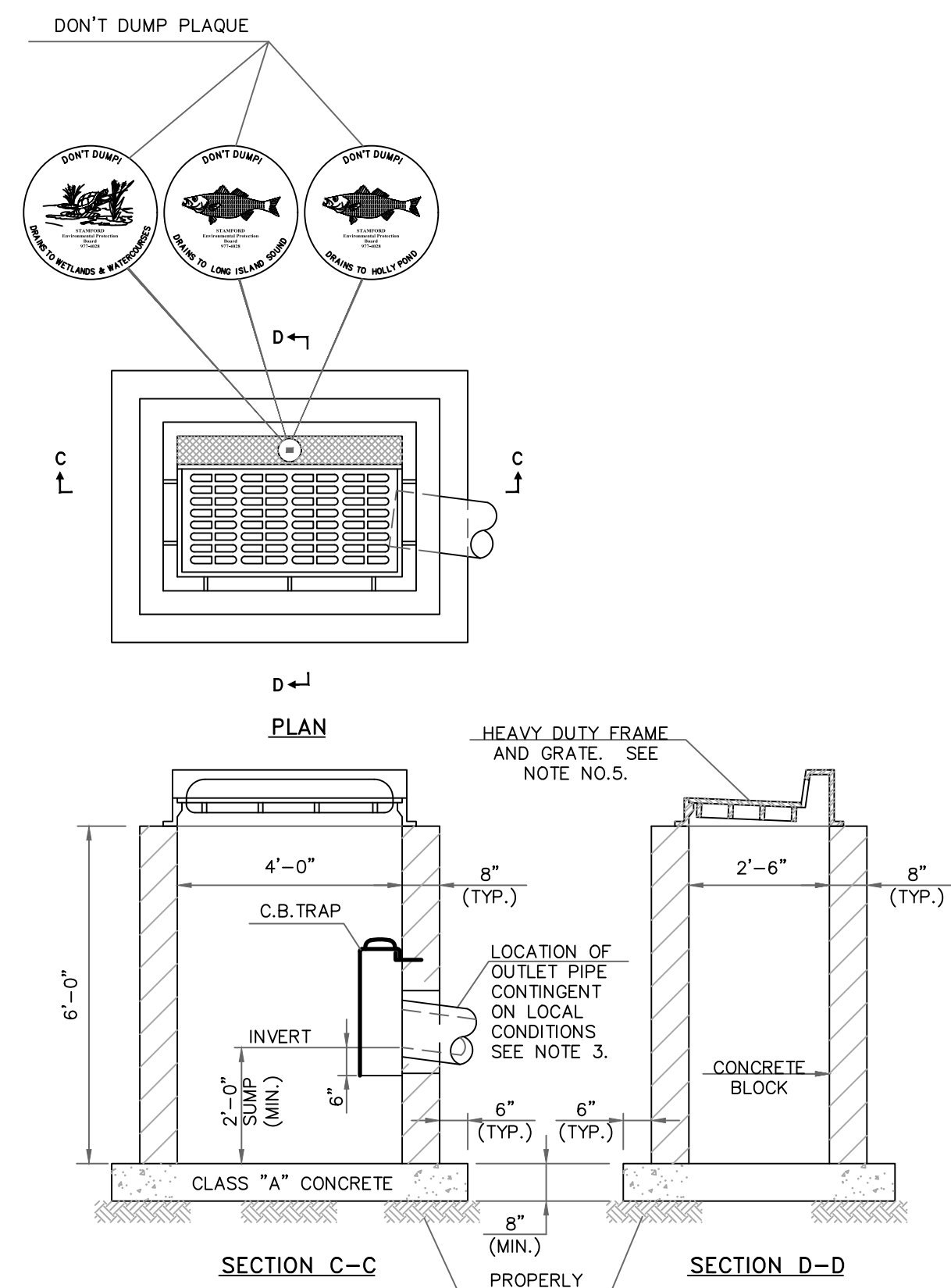
BUILDING SEWER LATERAL DETAIL



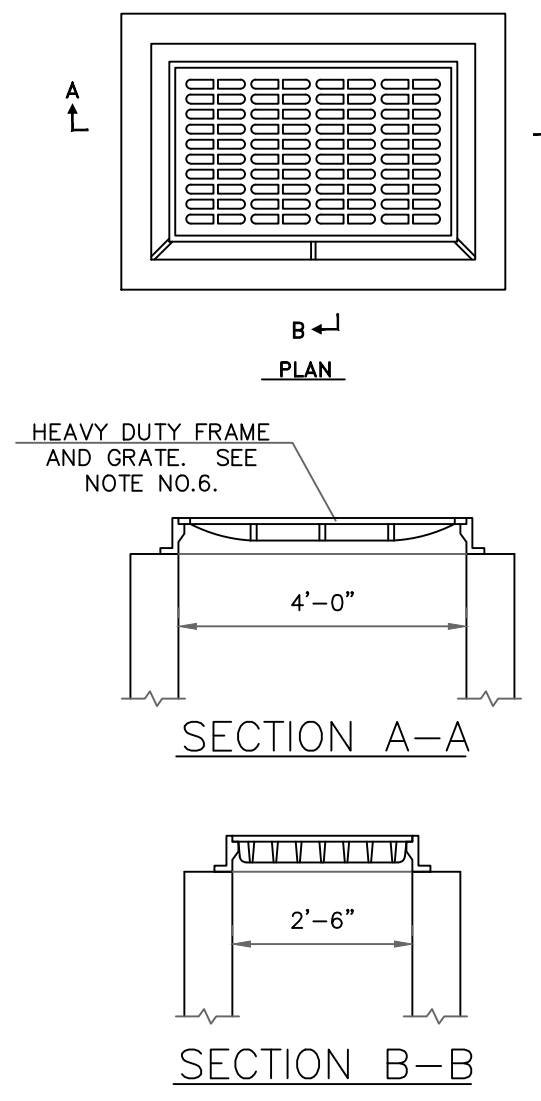
SANITARY SEWER CLEANOUT



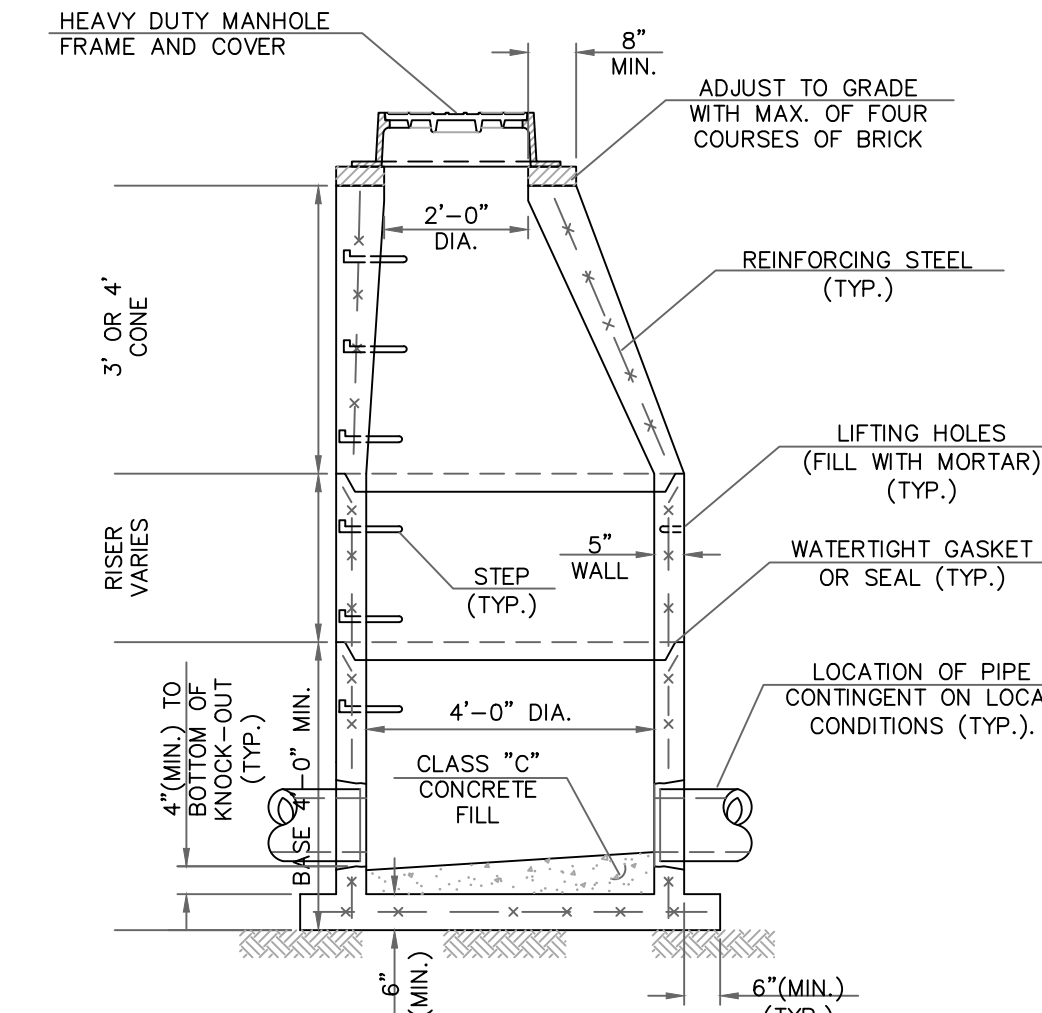
TYPICAL PRECAST CATCH BASIN (STANDARD)  
N.T.S.



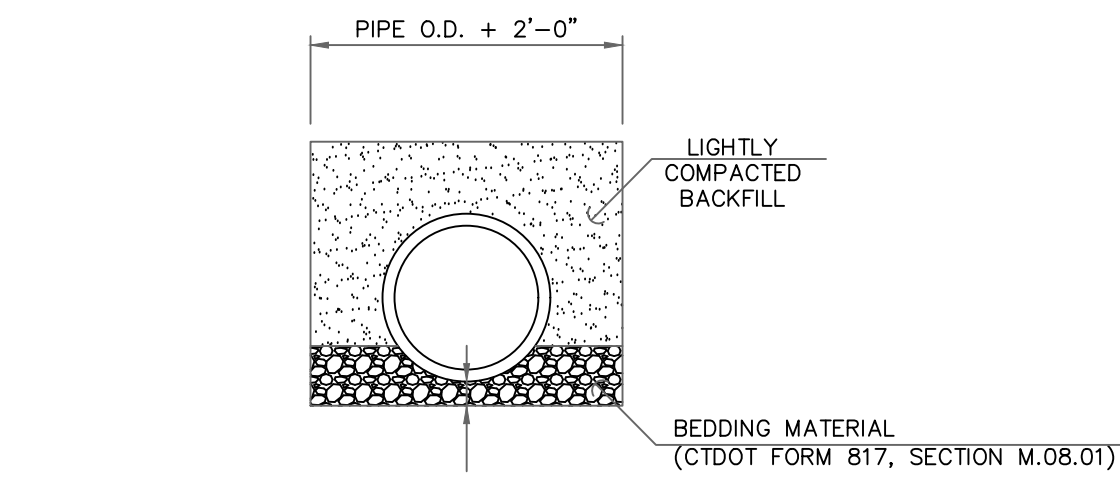
STANDARD CATCH BASIN (MASONRY)  
TYPE B-1 AND TYPE "C"  
N.T.S.



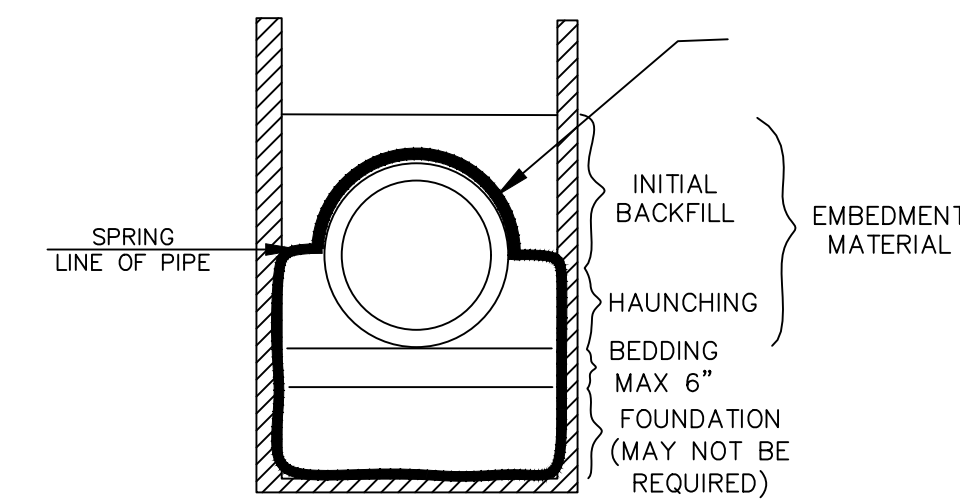
C-L CATCH BASIN  
FRAME AND GRATE  
N.T.S.



STANDARD MANHOLE  
(PRECAST CONCRETE UNITS)  
N.T.S.



BEDDING DETAIL FOR  
REINFORCED CONCRETE PIPES  
N.T.S.



BEDDING DETAIL FOR  
P.V.C. PIPE (SANITARY SEWER)  
N.T.S.

NO.	REVISION	DATE

Previous Editions Obsolete

**800 LONG RIDGE ROAD, LLC**  
100 WASHINGTON BLVD.  
SUITE 200  
STAMFORD, CT 06902

**DETAILS**

**800 LONG RIDGE ROAD**

STAMFORD CONNECTICUT

**CIVIL C1**  
CORNERSTONE PROFESSIONAL PARK, SUITE D-101  
43 SHERMAN HILL ROAD  
WOODBURY (203) 266-0778 CONNECTICUT

DATE:	03 OCT 23
PROJECT NO.:	4084
DRAWING FILE NAME:	4084
DRAWING NO.:	C-6.4

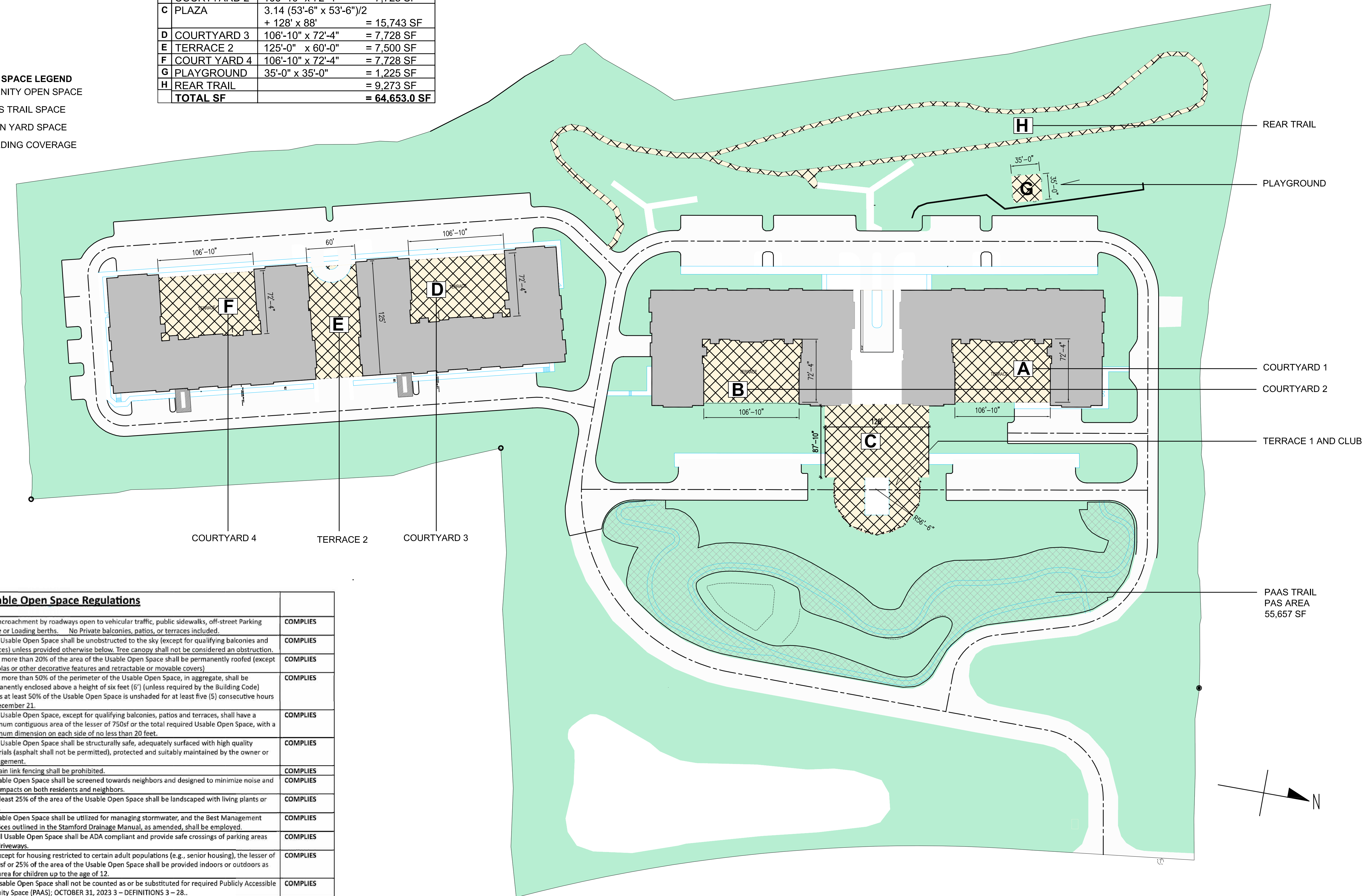


**OPEN SPACE CALCULATION**

#	AREA	CALCULATION
A	COURTYARD 1	106'-10" x 72'-4" = 7,728 SF
B	COURTYARD 2	106'-10" x 72'-4" = 7,728 SF
C	PLAZA	3.14 (53'-6" x 53'-6")/2 + 128' x 88' = 15,743 SF
D	COURTYARD 3	106'-10" x 72'-4" = 7,728 SF
E	TERRACE 2	125'-0" x 60'-0" = 7,500 SF
F	COURTYARD 4	106'-10" x 72'-4" = 7,728 SF
G	PLAYGROUND	35'-0" x 35'-0" = 1,225 SF
H	REAR TRAIL	= 9,273 SF
	<b>TOTAL SF</b>	<b>= 64,653.0 SF</b>

**PROPOSED OPEN SPACE LEGEND**

	AMENITY OPEN SPACE
	PAAS TRAIL SPACE
	OPEN YARD SPACE
	BUILDING COVERAGE

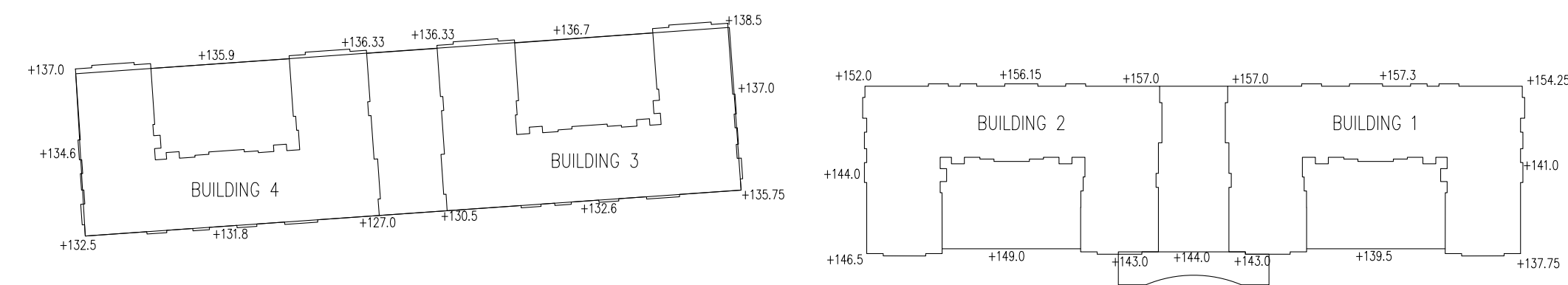


**Usable Open Space Regulations**

No encroachment by roadways open to vehicular traffic, public sidewalks, off-street Parking Space or Loading berths. No Private balconies, patios, or terraces included.	COMPLIES
1. All Usable Open Space shall be unobstructed to the sky (except for qualifying balconies and terraces) unless provided otherwise below. Tree canopy shall not be considered an obstruction.	COMPLIES
2. No more than 20% of the area of the Usable Open Space shall be permanently roofed (except pergolas or other decorative features and retractable or movable covers)	COMPLIES
3. No more than 50% of the perimeter of the Usable Open Space, in aggregate, shall be permanently enclosed above a height of six feet (6') (unless required by the Building Code) unless at least 50% of the Usable Open Space is unshaded for at least five (5) consecutive hours on December 21.	COMPLIES
4. All Usable Open Space, except for qualifying balconies, patios and terraces, shall have a minimum contiguous area of the lesser of 750sf or the total required Usable Open Space, with a minimum dimension on each side of no less than 20 feet.	COMPLIES
5. All Usable Open Space shall be structurally safe, adequately surfaced with high quality materials (asphalt shall not be permitted), protected and suitably maintained by the owner or management.	COMPLIES
6. Chain link fencing shall be prohibited.	COMPLIES
7. Usable Open Space shall be screened towards neighbors and designed to minimize noise and light impacts on both residents and neighbors.	COMPLIES
8. At least 25% of the area of the Usable Open Space shall be landscaped with living plants or grass.	COMPLIES
9. Usable Open Space shall be utilized for managing stormwater, and the Best Management Practices outlined in the Stamford Drainage Manual, as amended, shall be employed.	COMPLIES
10. All Usable Open Space shall be ADA compliant and provide safe crossings of parking areas and driveways.	COMPLIES
11. Except for housing restricted to certain adult populations (e.g., senior housing), the lesser of 1,000sf or 25% of the area of the Usable Open Space shall be provided indoors or outdoors as play area for children up to the age of 12.	COMPLIES
12. Usable Open Space shall not be counted as or be substituted for required Publicly Accessible Amenity Space (PAAS), OCTOBER 31, 2023 3 - DEFINITIONS 3 - 28..	COMPLIES
13. Publicly Accessible Amenity Space (PAAS) shall not be counted as or be substituted for required Usable Open Space.	COMPLIES
14. Within 500 feet of a publicly accessible park, up to 75% of Usable Open Space may be substituted with Indoor Amenity Space	COMPLIES. No indoor space included in calculation.
15. Sidewalks, including public sidewalks on private property, shall not be counted as Usable Open Space.	COMPLIES

**PROPOSED OPEN SPACE**

SCALE 1/64"=1'-0"



**AVERAGE GRADE CALCULATION**

**BUILDING 1 & 2:**  
 (152.0+156.15+157.0+157.3+154.25+141.0+137.75+139.5+143.0+144.0+143.0+149.0+146.5+144.0) / 15  
 = +148.1

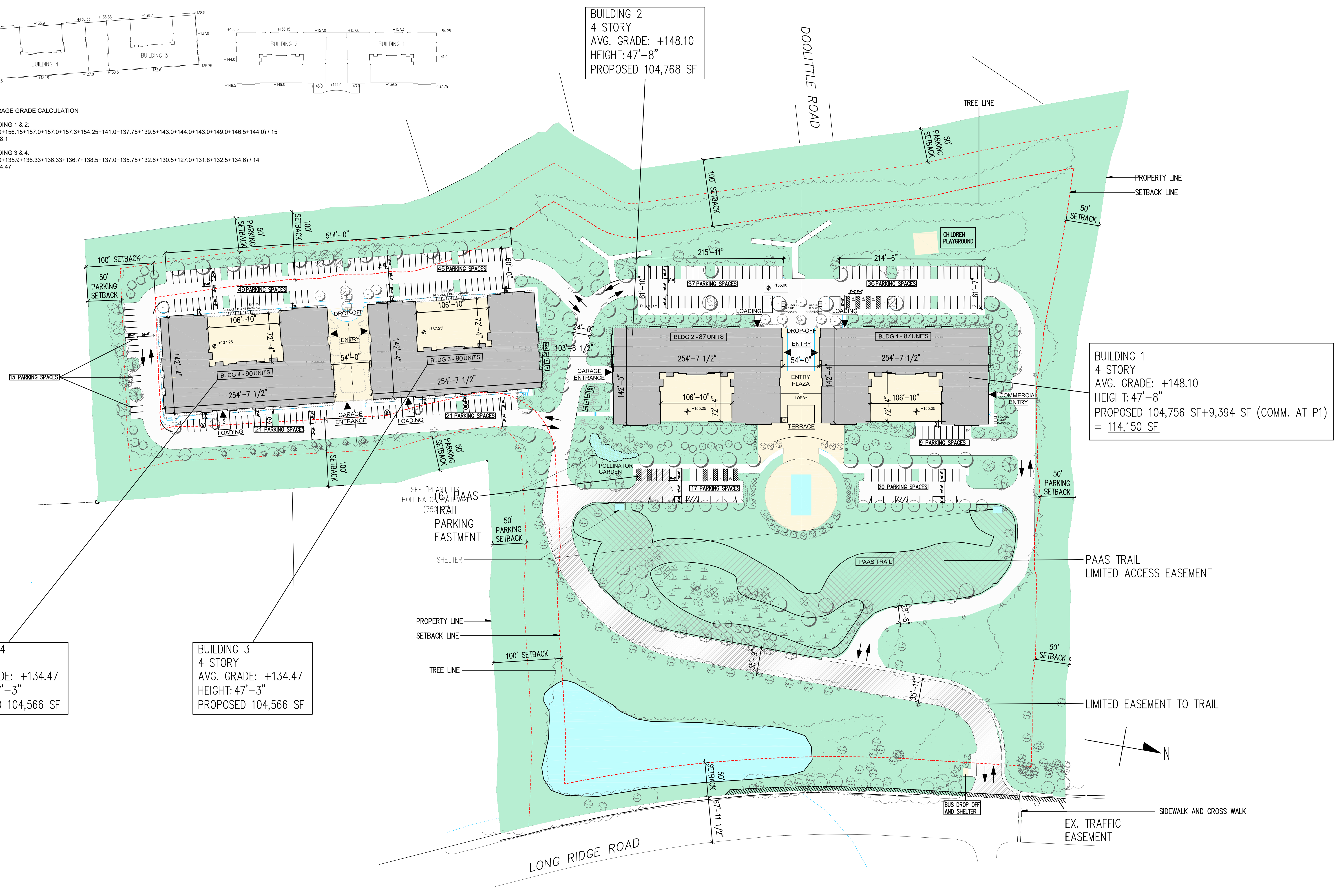
**BUILDING 3 & 4:**  
 (137.0+135.9+136.33+136.7+138.5+137.0+135.75+132.6+130.5+127.0+131.8+132.5+134.6) / 14  
 = +134.47

**BUILDING 2**  
 4 STORY  
 AVG. GRADE: +148.10  
 HEIGHT: 47'-8"  
 PROPOSED 104,768 SF

**BUILDING 1**  
 4 STORY  
 AVG. GRADE: +148.10  
 HEIGHT: 47'-8"  
 PROPOSED 104,756 SF+9,394 SF (COMM. AT P1)  
 = 114,150 SF

**BUILDING 4**  
 4 STORY  
 AVG. GRADE: +134.47  
 HEIGHT: 47'-3"  
 PROPOSED 104,566 SF

**BUILDING 3**  
 4 STORY  
 AVG. GRADE: +134.47  
 HEIGHT: 47'-3"  
 PROPOSED 104,566 SF

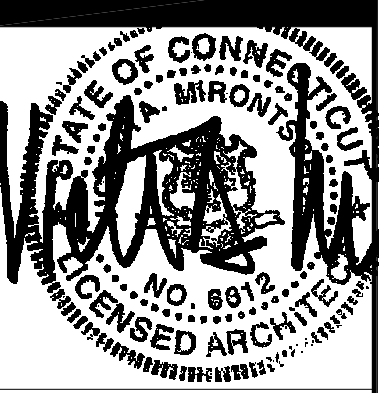


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 25 W 39th Street, 12th Floor  
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 www.EDI-International.com

OWNER:  
**CIVIL 1, INC.**  
 43 Sherman Hill Road, Suite D-101  
 Woodbury, CT 06798  
 Phone: 203-264-0778  
 Contact: BRIAN J. BAKER, P.E.  
 Email: bjb@civil1.com

**800 LONG RIDGE ROAD**  
**STAMFORD, CT**

**BLTI**  
 Building and Land Technology



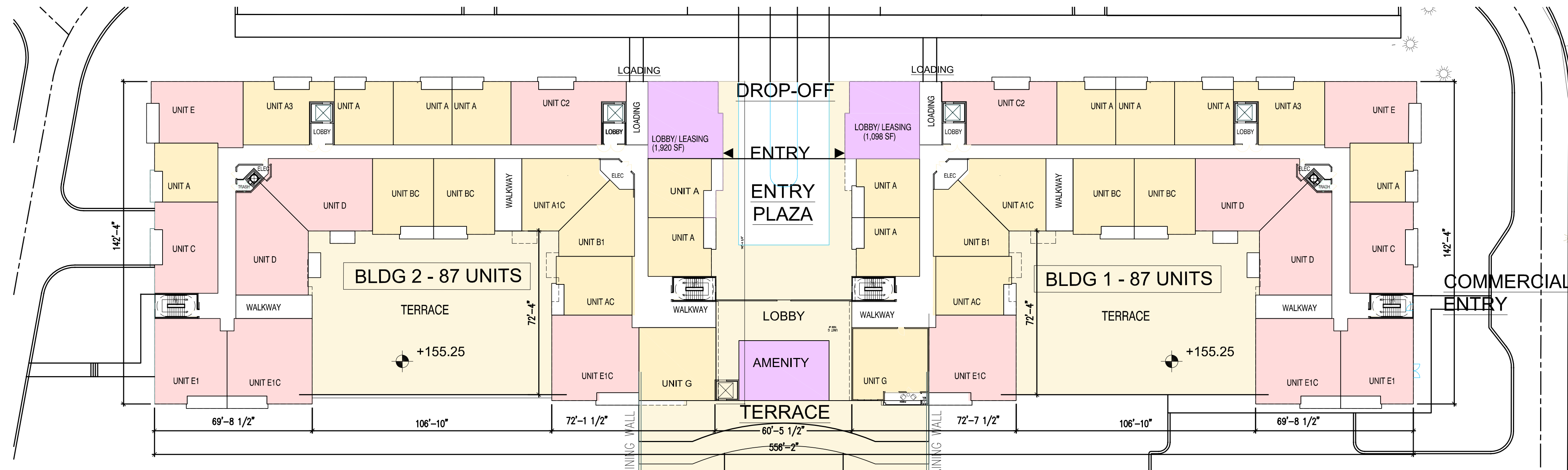
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NO.	DATE	ISSUE
1	01-18-2024	REISSUE r

PROJECT NO:  
 ISSUED: ZONING SET  
 ISSUED DATE: 11/16/2023  
 DRAWING TITLE  
**SITE PLAN**  
 DRAWING NUMBER  
**Z002**

**BLDG 1, 2, 3 & 4 - SITE PLAN**  
 SCALE 1/64"=1'-0"



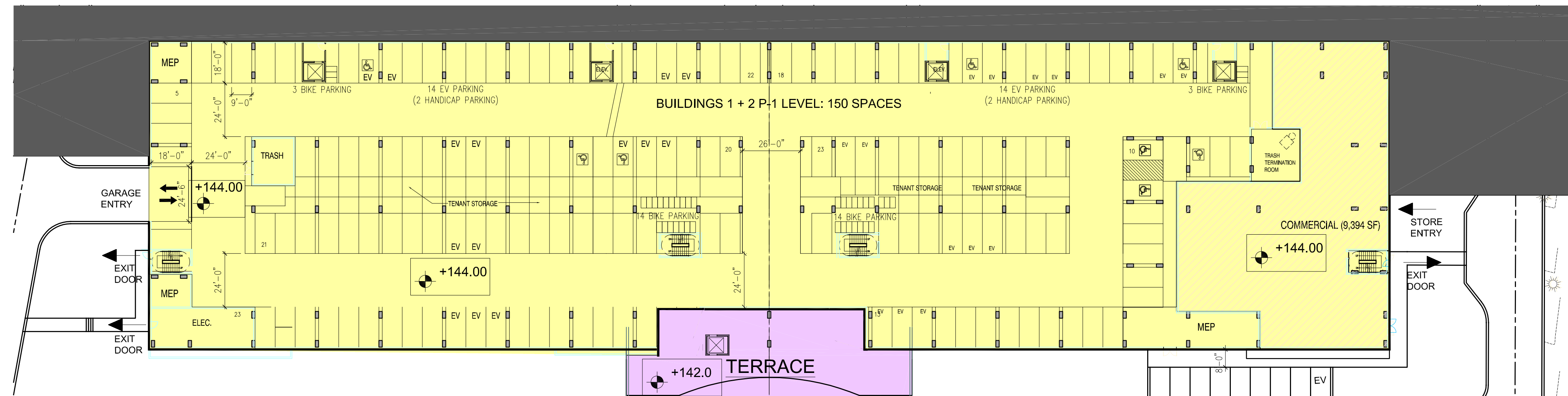


**LEGEND**

- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- 3 BEDROOM UNIT
- LOBBY/PUBLIC

**BLDG 1 & 2 - GROUND LEVEL**

SCALE 1/32"=1'-0"



**BLDG 1 & 2 - PARKING LEVEL**

SCALE 1/32"=1'-0"

**EDI**  
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800 LONG RIDGE ROAD  
STAMFORD, CT

**BLT**  
Building and Land Technology

STATE OF CONNECTICUT  
MIRONS  
No. 6612  
REGISTERED ARCHITECT

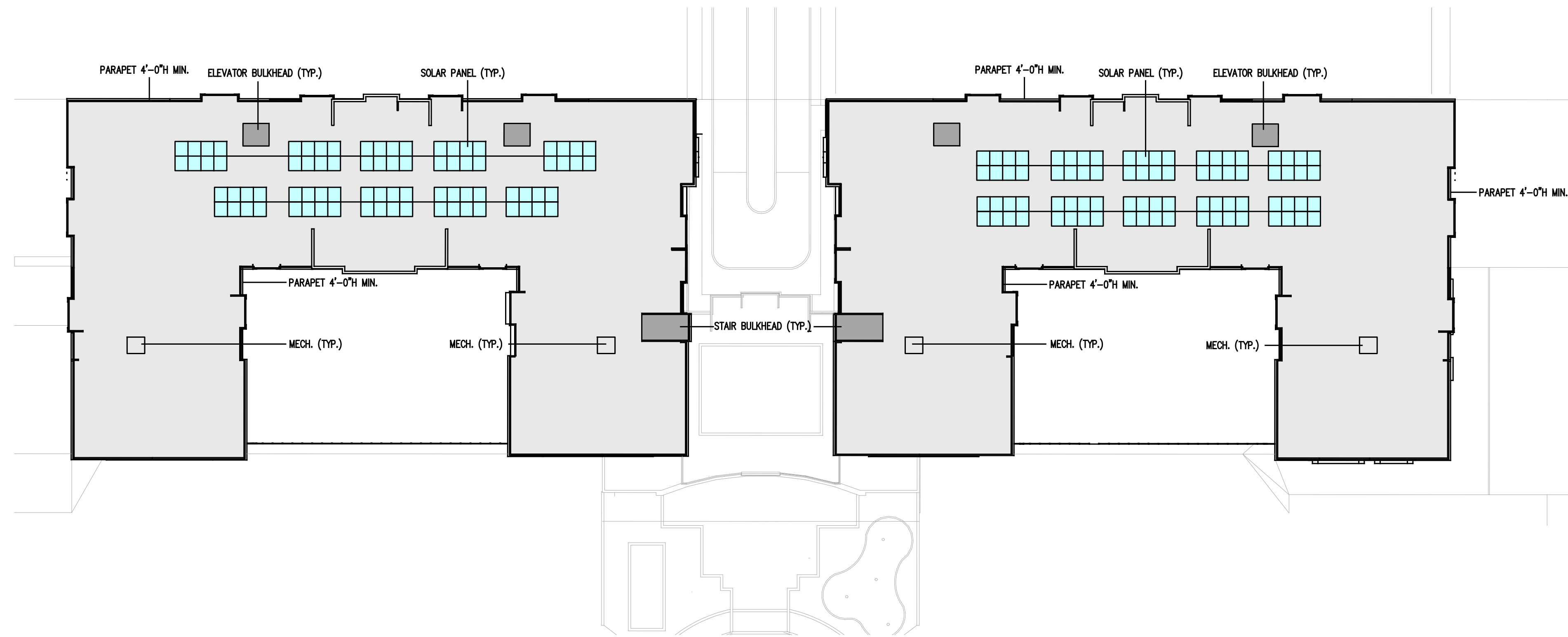
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NO.	DATE	ISSUE
01-18-2024	REISSUE	r

PROJECT NO:  
ISSUED: ZONING SET  
ISSUED DATE: 11/16/2023

DRAWING TITLE  
BUILDING 1 & 2  
P1 PARKING LEVEL  
GROUND LEVEL  
DRAWING NUMBER

**A003**



- LEGEND**
- 1 BEDROOM UNIT
  - 2 BEDROOM UNIT
  - 3 BEDROOM UNIT
  - LOBBY/PUBLIC

**BLDG 1 & 2 - ROOF PLAN**

SCALE 1/32"=1'-0"



**BLDG 1 & 2 - 2ND TO 4TH FLOOR PLAN**

SCALE 1/32"=1'-0"

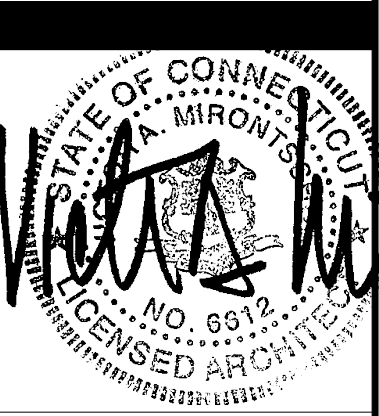
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Fax:  
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Email: brian@civil.com

800 LONG RIDGE ROAD  
STAMFORD, CT

**BLT**  
Building and Land Technology



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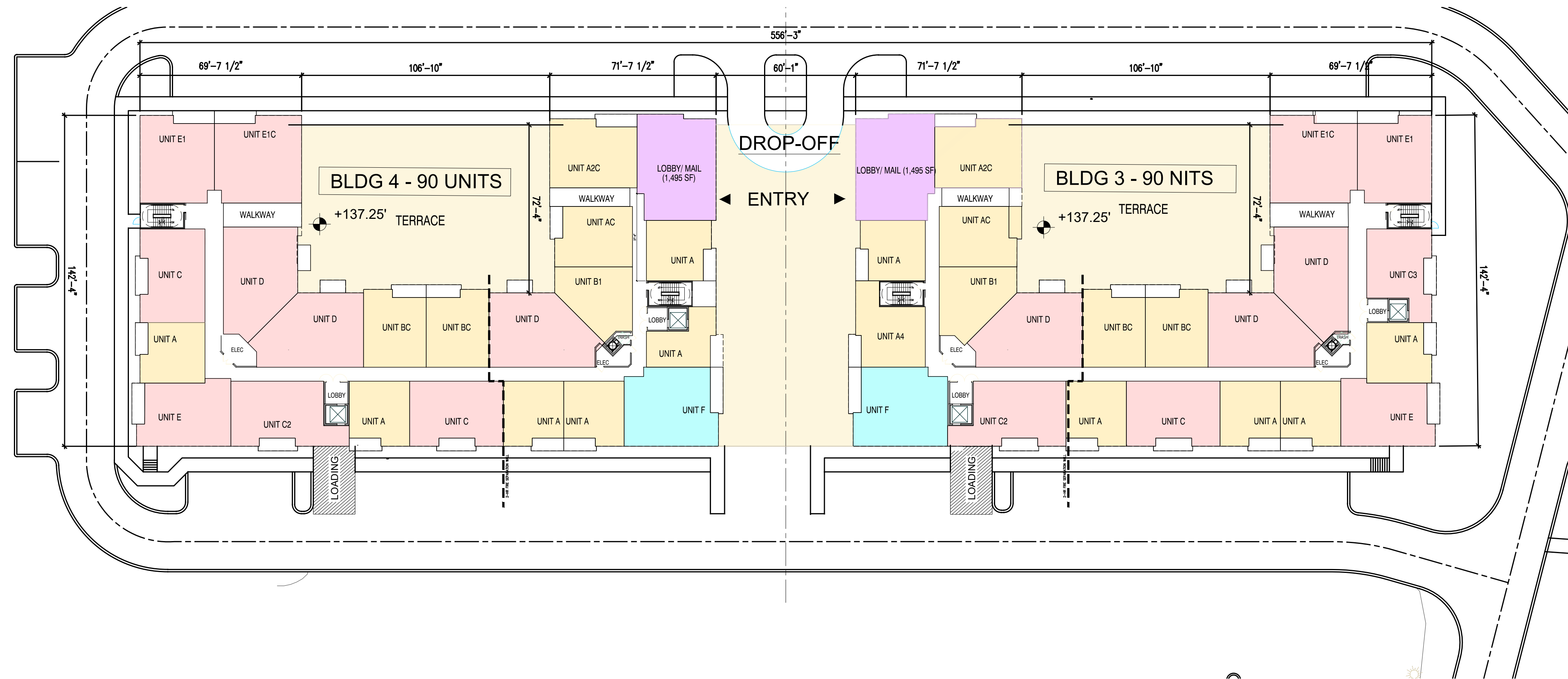
NO.	DATE	ISSUE
01-18-2024	REISSUE	r

PROJECT NO:  
ISSUED: ZONING SET  
ISSUED DATE: 11/16/2023

DRAWING TITLE  
BUILDING 1 & 2  
2ND TO 4TH FLOOR  
ROOF

DRAWING NUMBER

**A004**

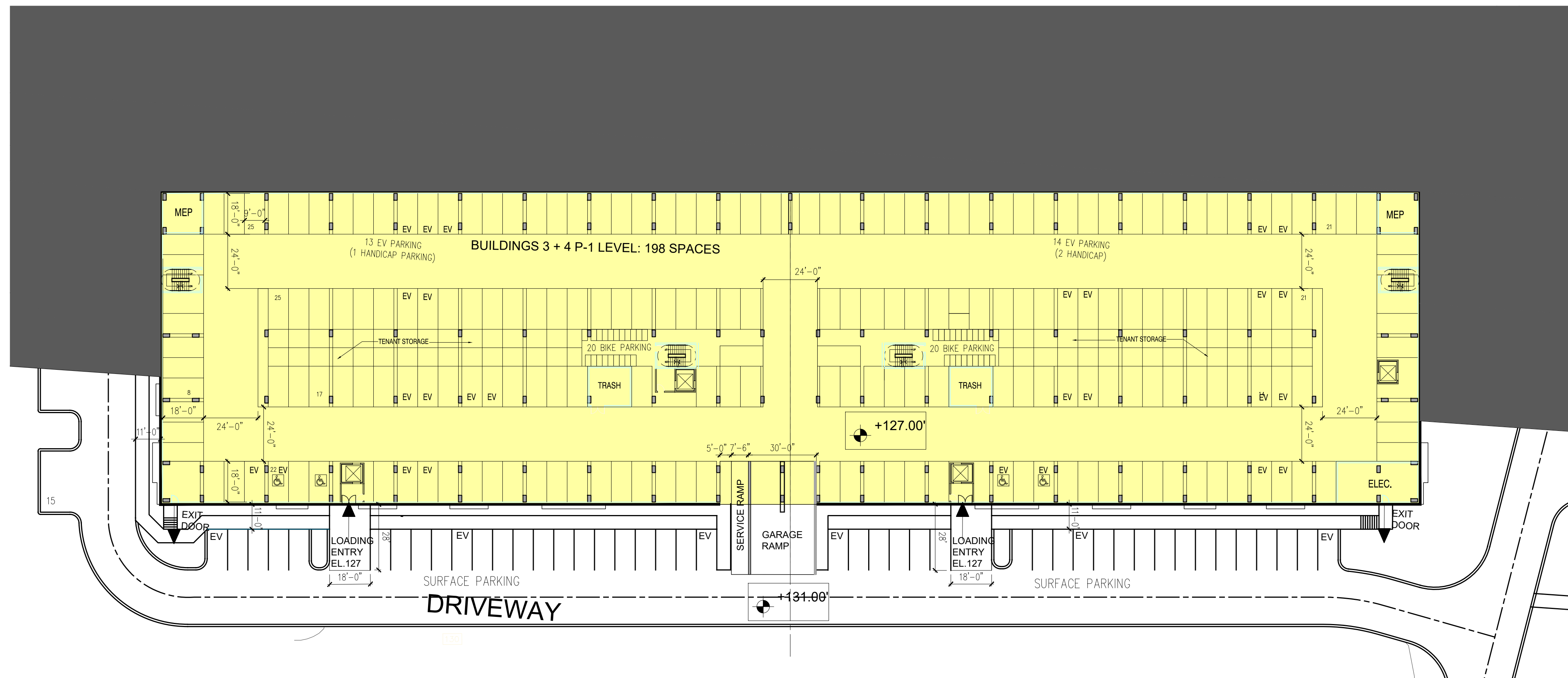


**LEGEND**

- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- 3 BEDROOM UNIT
- LOBBY/PUBLIC

**BLDG 3 & 4 - GROUND LEVEL**

SCALE 1/32"=1'-0"



**BLDG 3 & 4 - PARKING LEVEL**

SCALE 1/32"=1'-0"



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BUILDING 3 & 4  
P1 PARKING LEVEL  
GROUND LEVEL  
DRAWING NUMBER

**A005**

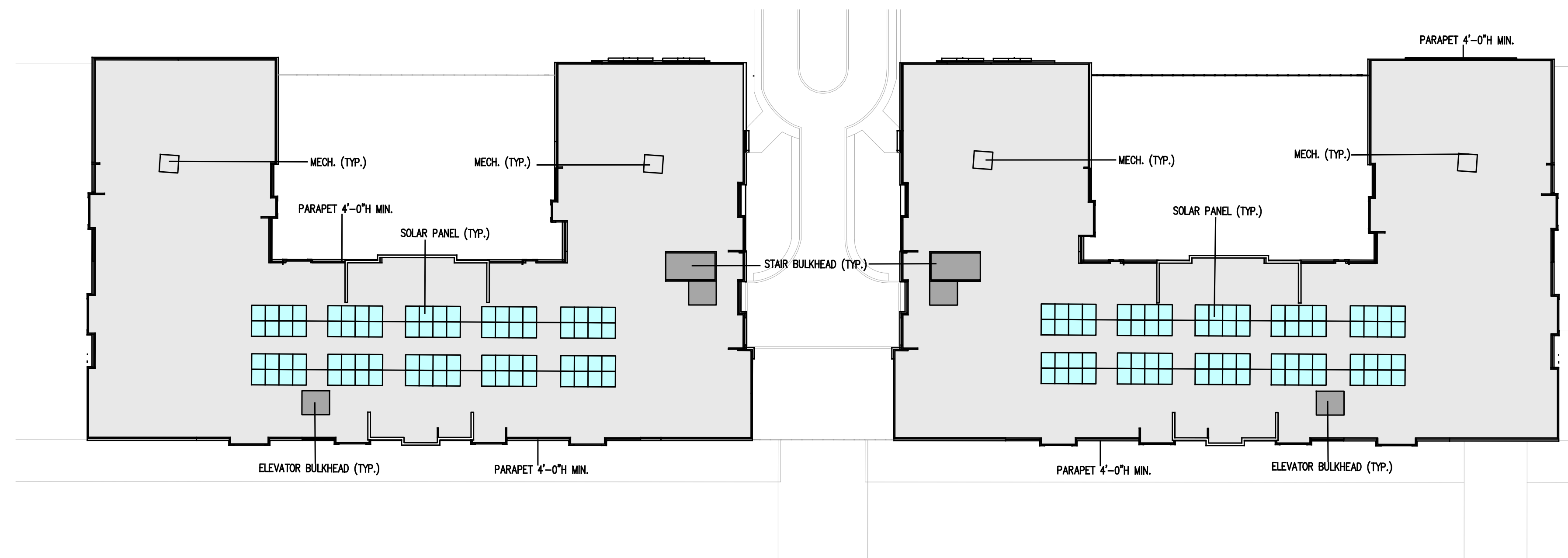
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DRAWING TITLE  
BUILDING 3 & 4  
2ND TO 4TH FLOOR  
ROOF  
DRAWING NUMBER

**A006**

**LEGEND**

- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- 3 BEDROOM UNIT
- LOBBY/PUBLIC



**BLDG 3 & 4 - ROOF PLAN**

SCALE 1/32"=1'-0"



**BLDG 3 & 4 - 2ND TO 4TH FLOOR PLAN**

SCALE 1/32"=1'-0"



BLDG. 2 - SOUTH ELEVATION 4



BLDG. 2 - NORTH ELEVATION 3



BLDG. 2 - WEST ELEVATION 2

- MATERIAL LEGEND**
1. PAINTED TRIM - WHITE AZEK
  2. COMPOSITE SIDING - DARK GRAY
  3. COMPOSITE SIDING - LIGHT GRAY
  4. COMPOSITE SIDING - OCHRE
  5. COMPOSITE SIDING - TUSCAN RED
  6. TEXTURED PANEL - GRAY
  7. TEXTURED PANEL - NATURAL
  8. STONE VENEER
  9. INSULATED WINDOW ASSEMBLY
  10. STOREFRONT



BLDG. 2 - EAST ELEVATION 1

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DRAWING TITLE  
TYPICAL BUILDING ELEVATIONS

DRAWING NUMBER

**A200**

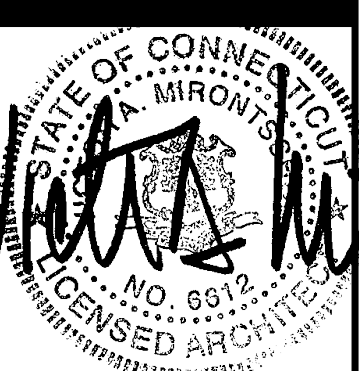


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 TYPICAL BUILDING ELEVATIONS  
 DRAWING NUMBER

A201



BLDG. 1 RETAIL SPACE - NORTH ELEVATION 2

- MATERIAL LEGEND**
1. PAINTED TRIM - WHITE AZEK
  2. COMPOSITE SIDING - DARK GRAY
  3. COMPOSITE SIDING - LIGHT GRAY
  4. COMPOSITE SIDING - OCHRE
  5. COMPOSITE SIDING - TUSCAN RED
  6. TEXTURED PANEL - GRAY
  7. TEXTURED PANEL - NATURAL
  8. STONE VENEER
  9. INSULATED WINDOW ASSEMBLY
  10. STOREFRONT



AMENITY AREA - EAST ELEVATION 1



BLDG. 3 - SOUTH ELEVATION 4



BLDG. 3 - NORTH ELEVATION 3



BLDG. 3 - EAST ELEVATION 2

- MATERIAL LEGEND**
1. PAINTED TRIM - WHITE AZEK
  2. COMPOSITE SIDING - DARK GRAY
  3. COMPOSITE SIDING - LIGHT GRAY
  4. COMPOSITE SIDING - OCHRE
  5. COMPOSITE SIDING - TUSCAN RED
  6. TEXTURED PANEL - GRAY
  7. TEXTURED PANEL - NATURAL
  8. STONE VENEER
  9. INSULATED WINDOW ASSEMBLY
  10. STOREFRONT



BLDG. 3 - EAST ELEVATION 1

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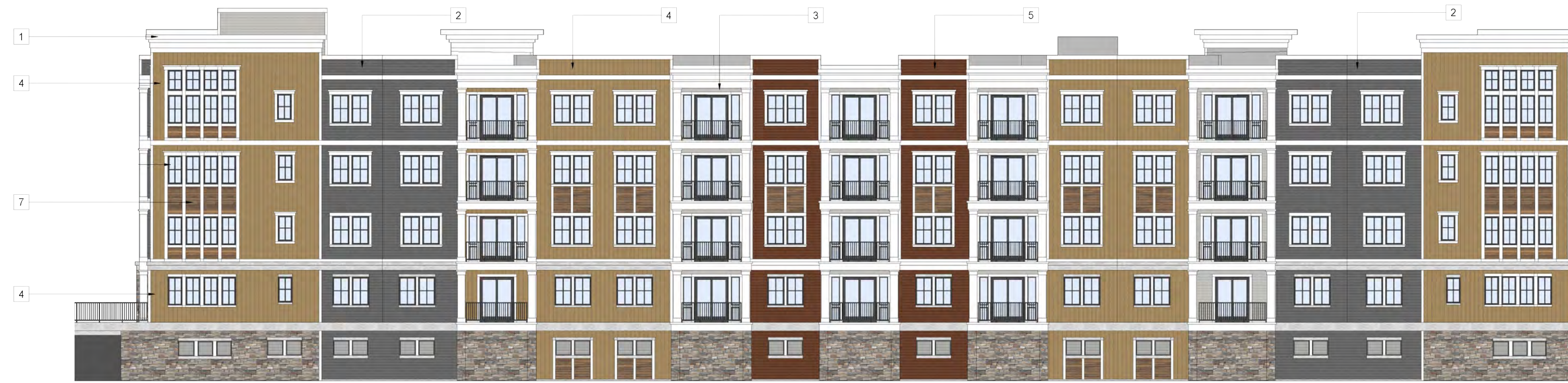
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TYPICAL BUILDING ELEVATIONS  
DRAWING NUMBER

**A202**



TYPICAL ELEVATION 3



TYPICAL ELEVATION 4



TYPICAL ELEVATION 2

**MATERIAL LEGEND**

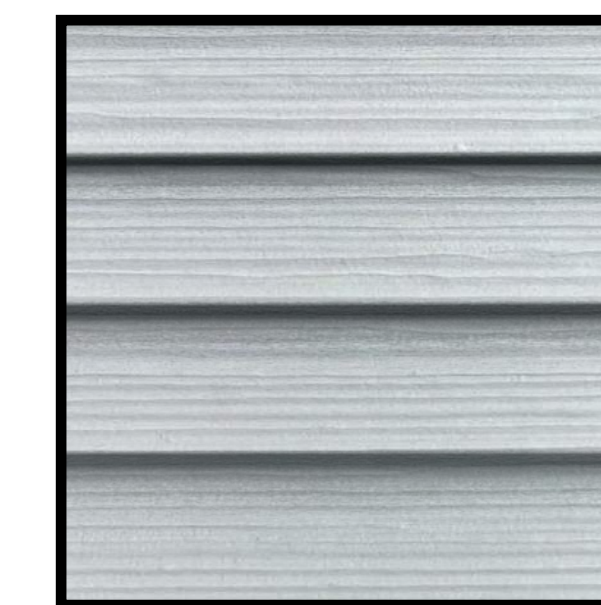
- 1. WHITE AZEC
- 2. COMPOSITE SIDING - DARK GRAY
- 3. COMPOSITE SIDING - LIGHT GRAY
- 4. COMPOSITE SIDING - OCHRE
- 5. COMPOSITE SIDING - TUSCON RED
- 6. TEXTURED PANEL - GRAY
- 7. TEXTURED PANEL - NATURAL
- 8. STONE VENEER



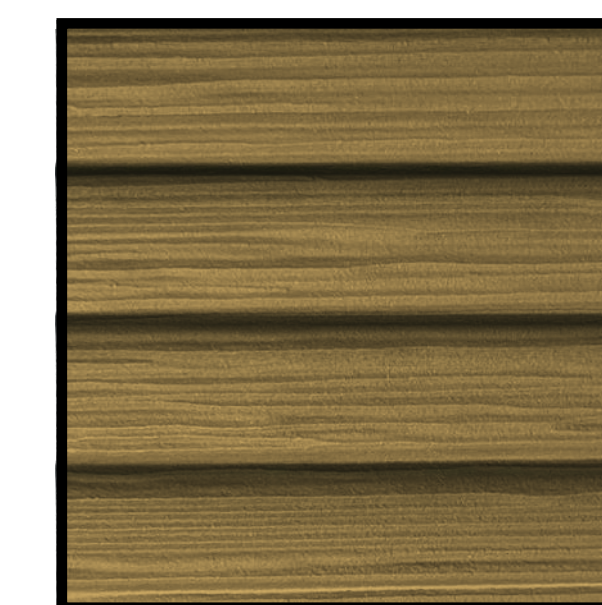
1. WHITE AZEC



2. COMP. SIDING  
DARK GRAY



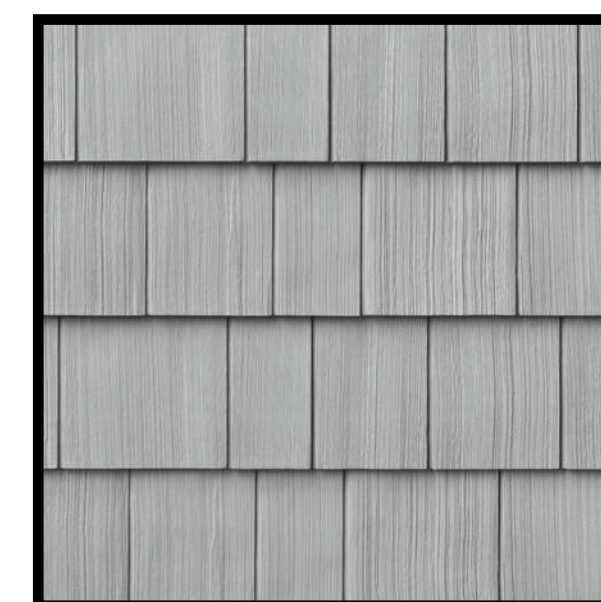
3. COMP. SIDING  
LIGHT GRAY



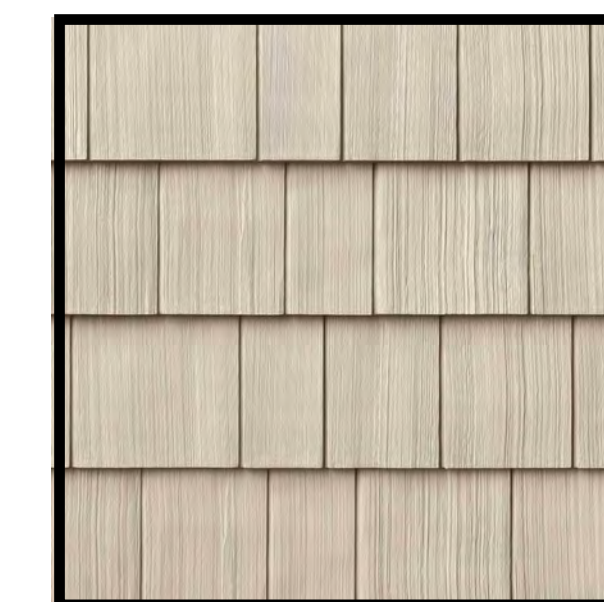
4. COMP. SIDING  
OCHRE



5. COMP. SIDING  
TUSCON RED



6. TEXT. PANEL  
GRAY



7. TEXT. PANEL  
NATURAL



8. STONE  
VENEER

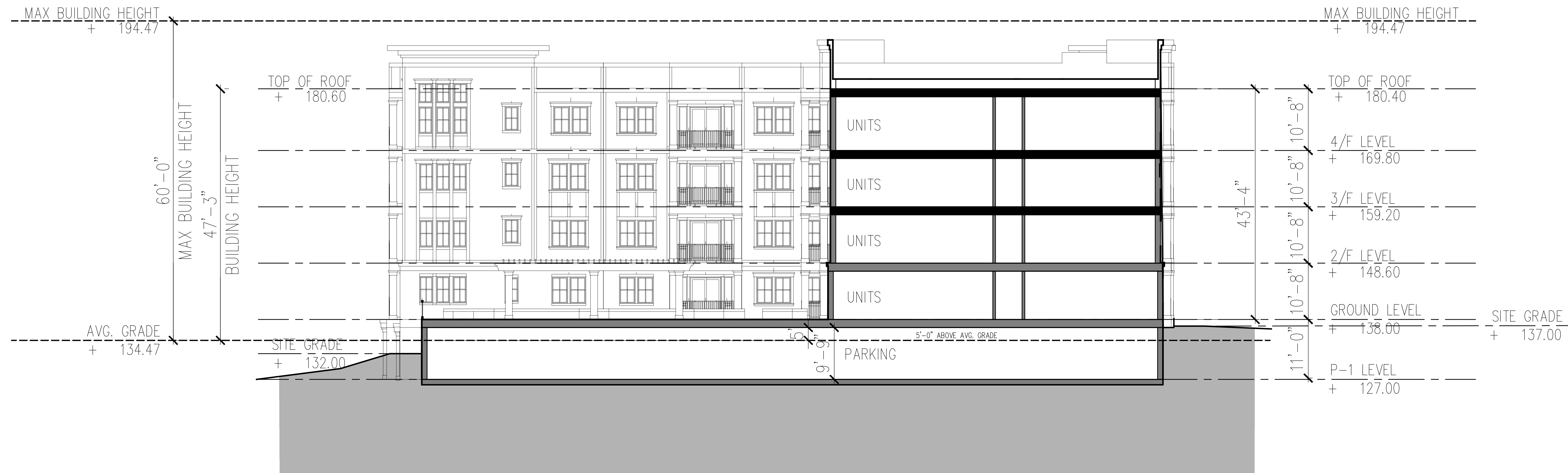
FACADE MATERIAL PALETTE 1





PARKING QUALIFIES AS BASEMENT PER SEC.3:  
 CEILING IS 5' MAX ABOVE AVERAGE GRADE

BUILDING 1 AND 2 | 2



PARKING QUALIFIES AS BASEMENT PER SEC.3:  
 CEILING IS 5' MAX ABOVE AVERAGE GRADE

BUILDING 3 AND 4 | 1



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DRAWING TITLE  
 BUILDING SECTIONS

DRAWING NUMBER

A301

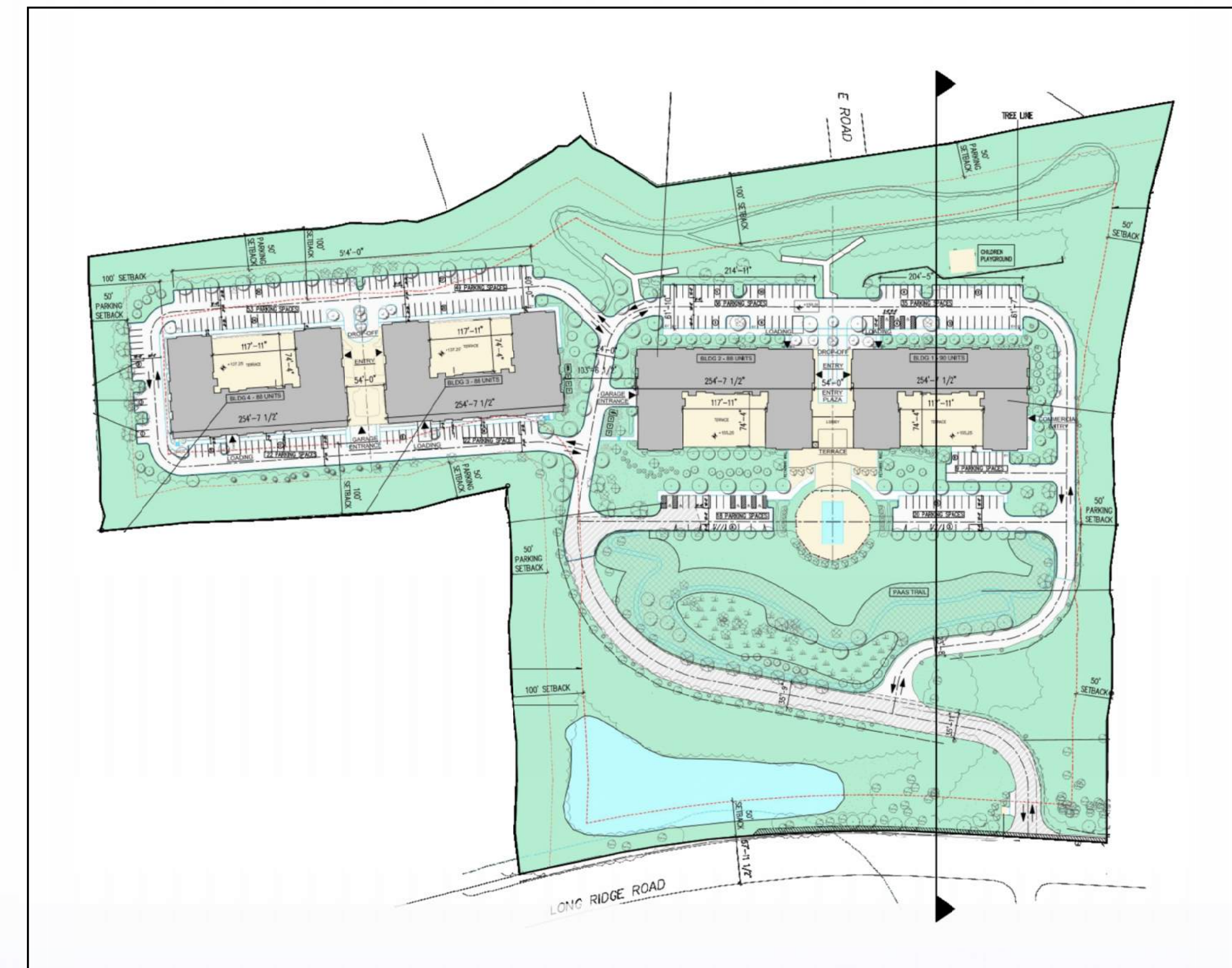


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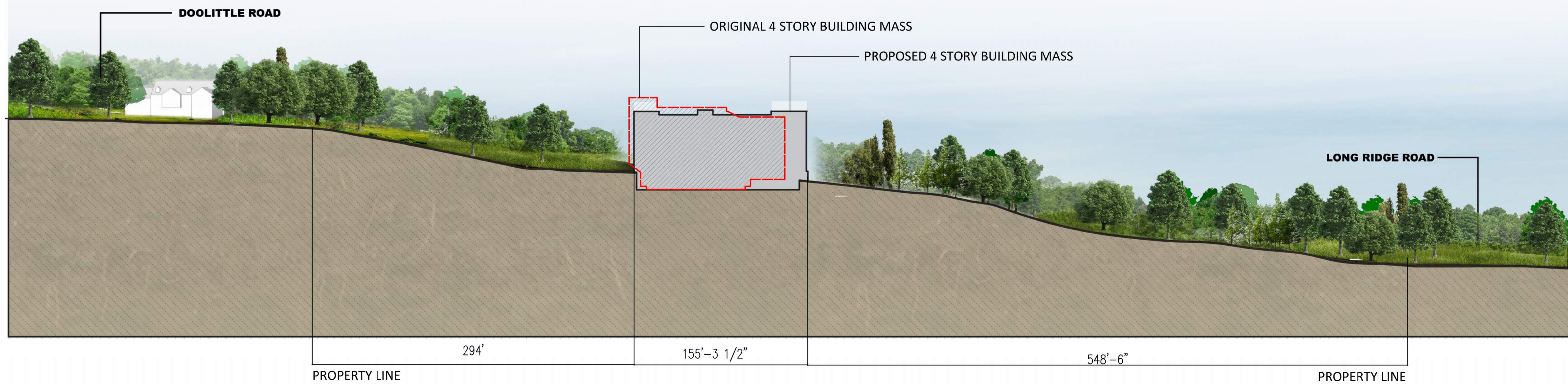
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KEY PLAN



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 SITE PLAN

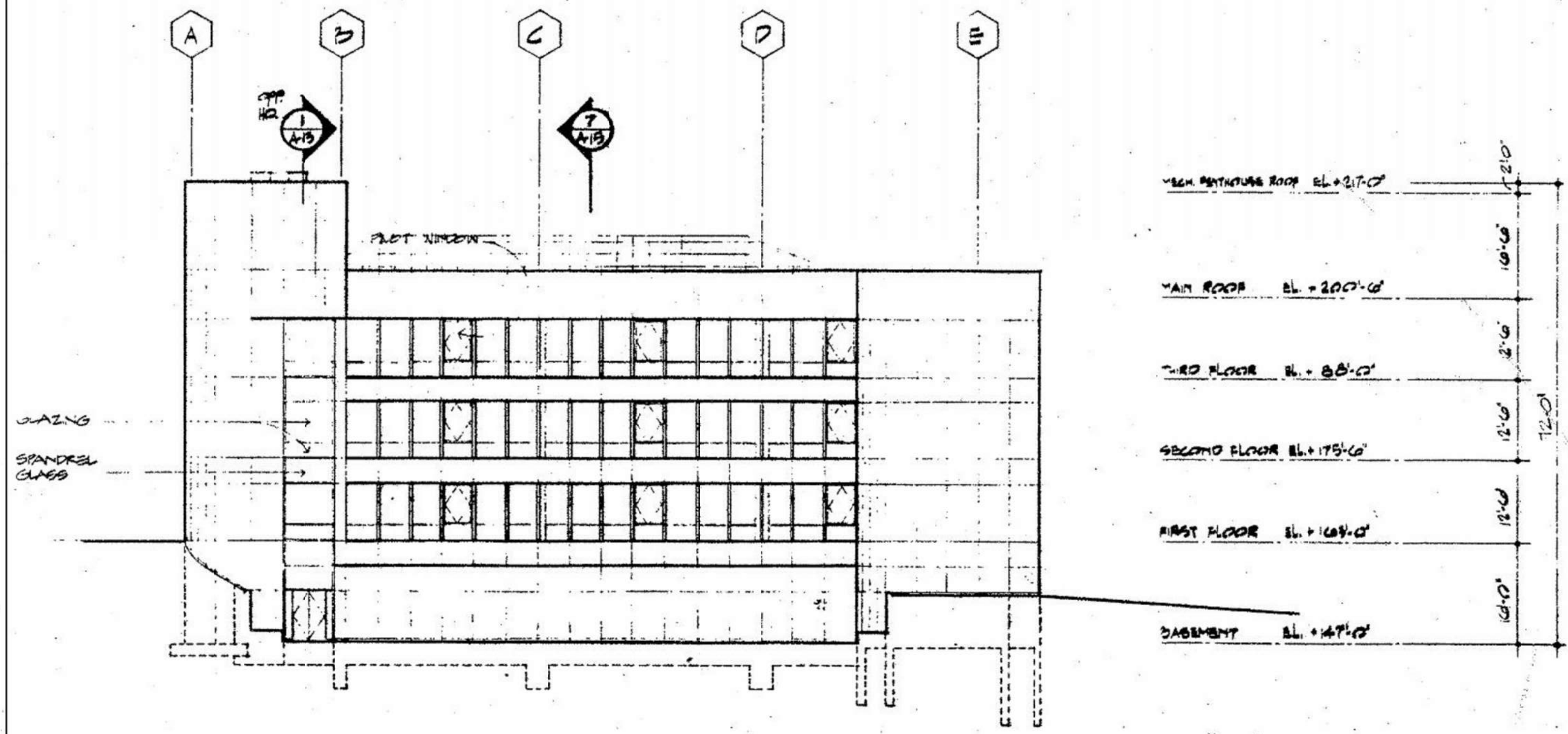
DRAWING NUMBER  
**A302**



**PROPOSED CONDITION**

SCALE: 1"=1/16"

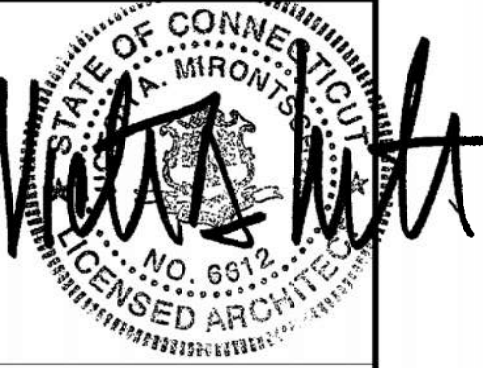
**2**



**EXISTING CONDITION**

SCALE: 1"=1/16"

**1**



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DRAWING TITLE  
**SITE PLAN**

DRAWING NUMBER  
**A303**



VIEW FROM LONG RIDGE ROAD



BUILDING 1 AND BUILDING 2 NORTH VIEW

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DRAWING TITLE  
COLOR RENDERINGS

DRAWING NUMBER  
**A400**



BUILDING 1 AND BUILDING 2 NORTH EAST CORNER



BUILDING 1 NORTH EAST CORNER

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DRAWING TITLE  
COLOR  
RENDERINGS

DRAWING NUMBER

**A401**



BUILDING 1 AND BUILDING 2 WEST FACADES



BUILDING 3 AND BUILDING 4 WEST FACADES

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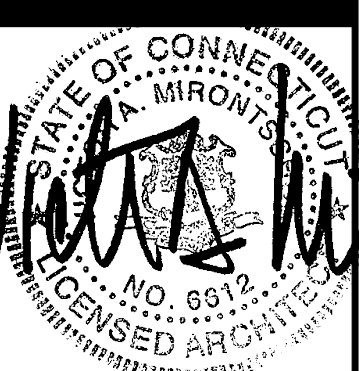
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COLOR RENDERINGS

DRAWING NUMBER  
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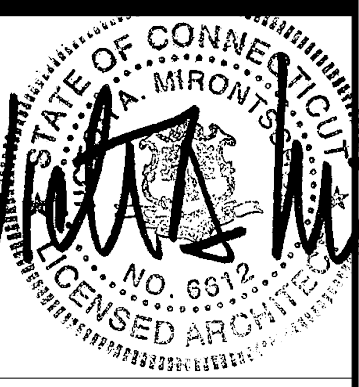
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BUILDING 1 SOUTHEAST CORNER



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 COLOR  
 RENDERINGS

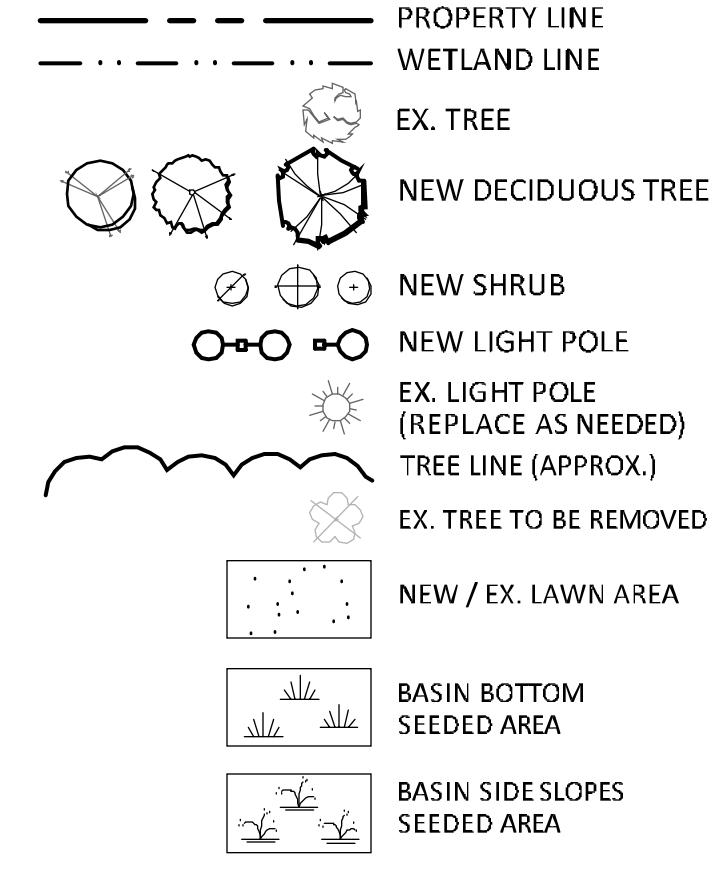
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**A403**

**NOFA PREFERRED LANDSCAPING PRACTICES (TO BE IMPLEMENTED):**

(NOFA STANDARDS FOR ORGANIC LAND CARE PRACTICES FOR DESIGN AND MAINTENANCE OF ECOLOGICAL LANDSCAPES - JAN. 2011).

- SOIL TESTING:** TEST THE SOIL TO DETERMINE THE NUTRIENT NEEDS OF THE LANDSCAPE PRIOR TO APPLICATION OF SOIL AMENDMENTS. SOIL TESTING SHALL BE COMPLETED BY A COMPETENT AGENCY SUCH AS THE CONNECTICUT AGRICULTURAL STATION. AVOID HOME SOIL TESTING KITS.
- WATERING:** AVOID EXCESSIVE IRRIGATION THAT MAY CAUSE WATER RUNOFF, GROWTH OF LAWN DISEASES, AND SOIL COMPACTION.
- COMPOST:** COMPOST YARD WASTE ON SITE IF FEASIBLE. AVOID USING COMPOST WITH WEED SEEDS. AVOID USING RAW MANURE, SEWAGE SLUDGE, SOLID WASTE, AND PAPER MILL PRODUCTS AS COMPOST.
- MULCH:** MULCH SEEDED AREAS TO PREVENT EROSION. USE SHREDDED LEAVES, WOOD CHIPS, AND COMPOST FOR MULCH. APPLY NO MORE THAN A 2-3" LAYER OF MULCH AT ANY ONE TIME. REPLACEMENT AS NEEDED. AVOID WEED-BARRIER FABRICS THAT PREVENT AIR AND WATER FROM PENETRATING INTO THE SOIL. AVOID THE USE OF DYED MULCH AND PRESSURE TREATED WOOD AS MULCH.
- FERTILIZERS:** DO NOT USE SYNTHETIC PESTICIDES OR FERTILIZERS. USE BLENDED ORGANIC FERTILIZERS BASED ON THE RESULTS OF THE SOIL NUTRIENT TESTING.
- WATER:** CHOOSE PLANTS THAT MINIMIZE THE NEED FOR IRRIGATION. IRRIGATE ONLY WHEN NECESSARY BASED ON THE SOIL TYPES AND PLANT NEEDS. USE MULCHES TO RETAIN SOIL MOISTURE. DIRECT RUNOFF TO INFILTRATION AREAS. MINIMIZE IMPERVIOUS AREAS.
- LAWN:** RELY ON NATURAL RAINFALL FOR WATERING OF PLANTS (EXCEPT AT SEEDING). USE DISEASE AND INSECT-RESISTANT CULTIVARS. RETURN GRASS CLIPPINGS AND SHREDDED LEAVES TO THE LAWN. MAINTAIN LAWNS WITH A MOWING HEIGHT OF 2" OR HIGHER.
- PLANT SELECTION:** CHOOSE LANDSCAPE PLANTS THAT ARE SUITED TO THE EXISTING SITE CONDITIONS. USE PLANTS THAT ARE NATIVE TO THE REGION OR THOSE THAT ARE NOT KNOWN FOR BEING INVASIVE. USE BEST RESISTANT PLANT SPECIES AND VARIETIES.
- WILDLIFE MANAGEMENT:** USE SOAP OR HERBAL OR VEGETABLE-BASED REPELLENTS AS NEEDED. AVOID TRAPS THAT CAUSE SLOW DEATHS, RODENTICIDES, AND PREDATOR URINE.
- DISEASE CONTROL:** MAINTAIN HEALTHY PLANTS BY MAINTAINING PROPER SOIL PH, ORGANIC MATTER, AND BALANCED NUTRIENTS. PLANT DISEASE-RESISTANT SPECIES AND VARIETIES. AVOID PLANTING MONOCULTURES. PRUNE DEAD, DYING, DAMAGED, INFESTED, OR DISEASE BRANCHES FROM PLANTS. INFESTED PLANT DEBRIS SHOULD BE PROPERLY COMPOSTED OR REMOVED FROM THE SITE.

**LEGEND**



**GENERAL NOTES:**

- EXACT LOCATION OF PROPOSED PLANTINGS AND SPECIES TYPES MAY VARY FROM THIS PLAN BASED ON SITE PLAN REVISIONS AND/OR ACTUAL FIELD CONDITIONS.
- PLANT SPECIES SUBSTITUTIONS MAY BE MADE WITH THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT.
- ALL PLANTING METHODS SHALL BE IN ACCORDANCE WITH THE "AMERICAN STANDARDS FOR NURSERY STOCK", LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- SPRAY PLANTINGS IMMEDIATELY AFTER INSTALLATION WITH A DEER REPELLENT AND CONTINUE AS NEEDED TO MAINTAIN PLANTS FREE OF DEER BROWSING. PROTECT PLANTED TREE TRUNKS FROM DEER RUBBING.

**TREE SUMMARY CHART**

ITEM	EXISTING TREES	PROPOSED TREES
SURVEYED TREE TO BE REMOVED:	69	N/A
PROPOSED LARGE TREE:	N/A	103
PROPOSED MEDIUM TREE:	N/A	33
PROPOSED SMALL TREE:	N/A	71
PROPOSED EVERGREEN TREE:	N/A	102
<b>TOTAL:</b>	<b>69 (REMOVED)</b>	<b>309 (PROPOSED)</b>

**PLANT LIST - POLLINATOR PATHWAY**

QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT CONT.
20	CLETHRA ALNIFOLIA 'RUBY SPICE'	RUBY SPICE CLETHRA	3-4' HT.	1 QT.
25	ASCLEPIAS INCARNATA	SWAMP MILKWEED	1 QT.	1 QT.
25	ASCLEPIAS TUBEROSA	BUTTERFLYWEED	1 QT.	1 QT.
25	ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 QT.	1 QT.
25	LATRIS SPICATA	GRAYLEAF	PP/L QT.	1 QT.
100	MONARDA 'MARSHALL'S DELIGHT'	MONARDA	1 QT.	1 QT.
25	NYCTANTHEMUM MULTICM	MOUNTAIN MINT	1 QT.	1 QT.
25	RUBRICKIA HIRTA	BLACK-EYE SUSAN	PP/L QT.	1 QT.
100	SOLIDAGO CANADENSIS	CANADA GOLDENROD	PP/L QT.	1 QT.
50	VERNONIA NOVOBORACENSIS	NEW YORK IRONWEED	PP/L QT.	1 QT.

NOTE: LANDSCAPE ARCHITECT SHALL FIELD LOCATE PLANTING LOCATIONS IN THE FIELD.

**SEEDING NOTES:**

- FOR ALL SEEDING AREAS, APPLY SEED MIX AT THE METHODS AND 125% THE RATE RECOMMENDED BY THE MANUFACTURER. SEED MIX SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO USE. APPLY SOIL AMENDMENTS AS NEEDED TO ESTABLISH PROPER SEED GERMINATION AND GROWTH.
- BASIN BOTTOM: SEED THIS AREA WITH "NEW ENGLAND EROSION CONTROL" / RESTORATION MIX FOR DETENTION BASINS AND "MOIST SITES" BY NEW ENGLAND WETLAND PLANTS, INC. (413-548-8000).
- BASIN SIDE SLOPES: SEED THIS AREA WITH "NEW ENGLAND CONSERVATION" / "WILDLIFE MIX" BY NEW ENGLAND WETLAND PLANTS, INC. (413-548-8000).
- LAWN: SEED NEW LAWN AREAS WITH A HIGH QUALITY TURF TYPE SEED MIXTURE CONSISTING OF BLUEGRASS, FESCUE AND PERENNIAL RYEGRASS. APPLY SEED MIX AT THE METHODS AND 125% THE RATE RECOMMENDED BY THE MANUFACTURER. SEED MIX SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO USE. APPLY SOIL AMENDMENTS AS NEEDED TO ESTABLISH PROPER SEED GERMINATION AND GROWTH.

**REVISION BLOCK**

NO.	DATE	DESCRIPTION
2	1.16.24	PER REV. SITE PLAN
1	11.8.23	CITY COMMENTS

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**STREET TREE CHART**

(FOR STREET TREES ON CITY LAND OR WITHIN 10' OF STREETScape PROPERTY LINE)

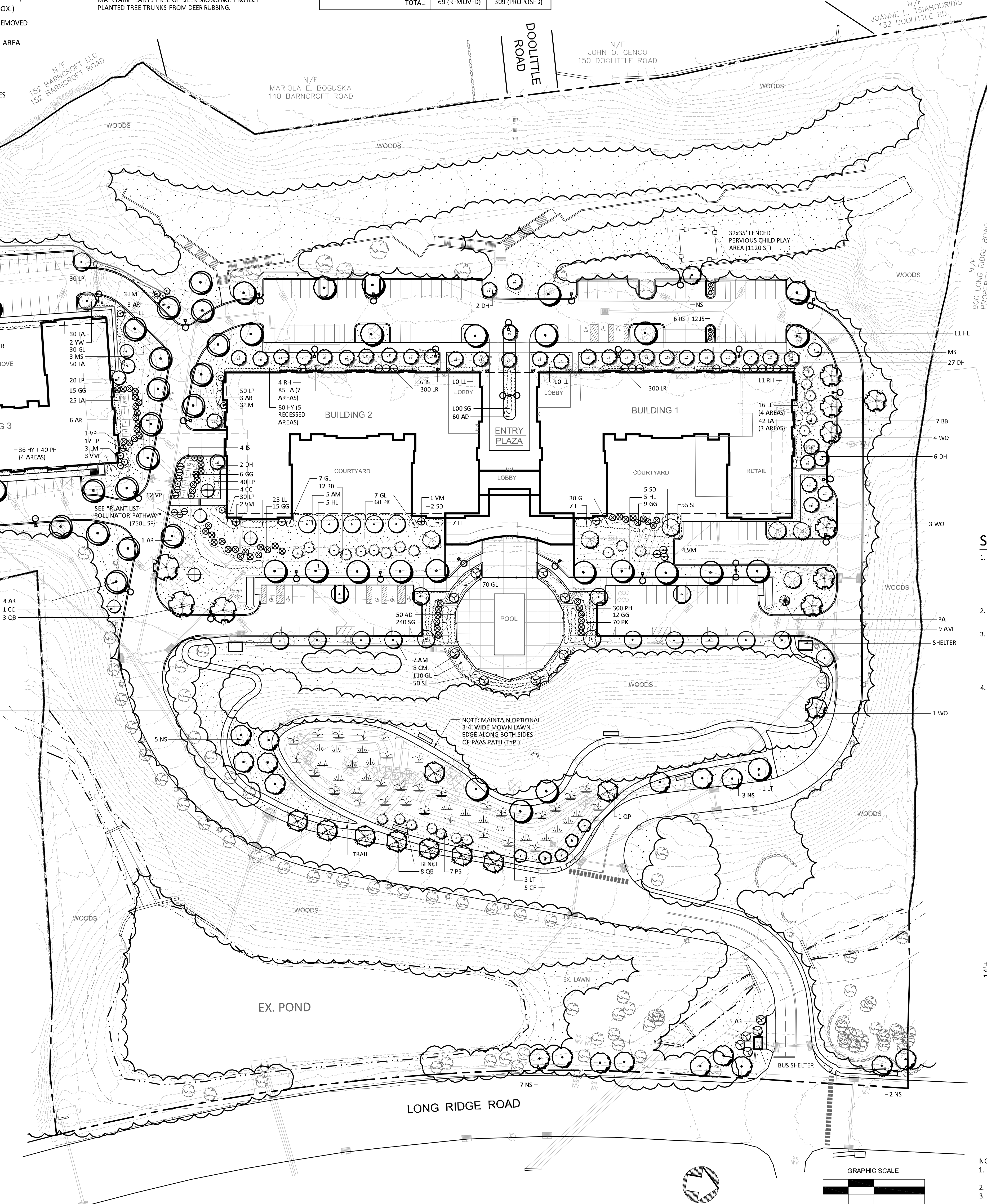
STREETScape AREA	TOTAL STREET FRONTAGE (LF)	REQUIRED STREET TREES (FRONTAGE/25)	STREET TREES EXISTING	STREET TREES PROPOSED	NUMBER OF STREET CORNERS	TREES SUBJECT TO FEE PAYMENT (STREET TREES REQUIRED - STREET TREES EXISTING - STREET TREES PROPOSED - CORNERS)	FEE IN LIEU REQUIRED (\$2500 PER TREE SUBJECT TO FEE PAYMENT)
LONG RIDGE ROAD	843'	33.72	25+	9	0	0	\$0
<b>SUBTOTAL:</b>							\$0

**PLANT LIST**

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	STREET TREE	TREE SIZE	REMARKS	PLANTING HT.	MATURE HT.
19	AR	ACER RUBRUM	RED MAPLE	3-3 1/2" CAL.	B&B	0	LARGE	NATIVE, RED FALL COLOR	14-15' HT.	50-60' HT.
20	AM	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG MAPLE	2 1/2-3" CAL.	B&B	0	MEDIUM	COLUMNAR	13-14' HT.	45-50' HT.
44	DH	BETULA NIGRA 'DURA HEAT'	DURA HEAT BIRCH	8-10' HT.	B&B	0	SMALL	EXFOLIATING BARK	8-10' HT.	30-35' HT.
6	YW	CLADRASTIS LUTEA	YELLOWWOOD	2-2 1/2" CAL.	B&B	0	MEDIUM	NATIVE, WHITE FLOWERS	12-13' HT.	35-40' HT.
35	HL	GLEDITSIA 'TRICANTHOS' 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	3-3 1/2" CAL.	B&B	0	LARGE	NATIVE, SHADE	14-15' HT.	40-50' HT.
4	LT	LIRIODENDRON 'TULIP TREE'	TULIP TREE	2-2 1/2" CAL.	B&B	0	LARGE	NATIVE	13-14' HT.	60-70' HT.
18	NS	NYSSA SYLVATICA	BLACK GUM	2-2 1/2" CAL.	B&B	0	LARGE	NATIVE, RED FALL COLOR	12-13' HT.	40-55' HT.
11	QB	QUERCUS BICOLOR	SWAMP WHITE OAK	3-3 1/2" CAL.	B&B	0	LARGE	NATIVE, SHADE, WILDLIFE	14-15' HT.	60-70' HT.
8	QP	QUERCUS PALustris	PIN OAK	3-3 1/2" CAL.	B&B	0	LARGE	NATIVE, SHADE, WILDLIFE	14-15' HT.	60-70' HT.
8	WO	QUERCUS PHELLOS	WILLOW OAK	2 1/2-3" CAL.	B&B	0	LARGE	SHADE, WIDE GROWING	13-14' HT.	60-70' HT.
5	AB	AMELANCHIER 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SHAD	5-6' HT.	B&B	0	SMALL	MULTISEASON WILDLIFE	5-6' HT.	15-20' HT.
5	CC	CERCIS CANADENSIS	REDBUD	7-8' HT.	B&B	0	SMALL	NATIVE, RED FLOWERS	7-8' HT.	15-20' HT.
5	CF	CORNUS FLORIDA	FLOWERING DOGWOOD	6-8' HT.	B&B	0	SMALL	NATIVE, WILDLIFE	6-8' HT.	15-20' HT.
8	CM	LAGERSTROEMIA 'NATCHEZ'	WHITE CRAPMYRTLE	6-7' HT.	B&B	0	SMALL	WHITE SUMMER FLOWERS	6-8' HT.	15-20' HT.
4	MS	MAGNOLIA STELLATA 'CENTENNIAL'	STAR MAGNOLIA	5-6' HT.	B&B	0	SMALL	NARROW	5-6' HT.	15-20' HT.
7	SD	MAHONIA 'SNOWDRIFT'	SNOWDRIFT CRABAPPLE	2 1/2-3" CAL.	B&B	0	MEDIUM	WHITE FLOWERS	12-13' HT.	18-20' HT.
10	IO	ILEX OPACA	AMERICAN HOLLY	5-6' HT.	B&B	0	MEDIUM	2 MALES, NATIVE, EVERGREEN	5-6' HT.	25-30' HT.
19	BB	MAGNOLIA GRANDIFLORA 'BRACKEN'S BEAUTY'	BRACKEN'S BEAUTY MAGNOLIA	6-7' HT.	B&B	0	SMALL	EVERGREEN TREE	6-7' HT.	20-25' HT.
9	PA	PICEA ABIES	NORWAY SPRUCE	9-10' HT.	B&B	0	LARGE	EVERGREEN TREE	9-10' HT.	50-60' HT.
7	PS	PIRUS STROBUS	WHITE PINE	8-9' HT.	B&B	0	LARGE	EVERGREEN TREE, NATIVE	8-9' HT.	70-80' HT.
57	GG	THUJA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	6-7' HT.	B&B	0	MEDIUM	EVERGREEN, FAST GROWTH	6-7' HT.	30-35' HT.
169	HY	HYDRANGEA 'THE ORIGINAL'	THE ORIGINAL HYDRANGEA	2-3' HT.	CONT.			BLUE FLOWER	2-3' HT.	4' HT.
147	LL	HYDRANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME HYDRANGEA	2-3' HT.	CONT.			WHITE FLOWER	2-3' HT.	4' HT.
9	LM	HYDRANGEA 'LIME LIGHT'	LIME LIGHT HYDRANGEA	30-35" HT.	CONT.			WHITE FLOWER	2-3' HT.	4' HT.
199	SJ	HYDRICUM FRONDOSUM 'SUNBURST'	SUNBURST ST. JOHNSWORT	18-24" HT.	CONT.			NATIVE, YELLOW FLOWER	2' HT.	3' HT.
10	IS	ILEX CRENATA 'STEEDES'	STEEDES HOLLY	3-4' HT.	CONT.			EVERGREEN	3-4' HT.	6-7' HT.
48	IG	ILEX 'SHAMROCK'	SHAMROCK INKBERRY	2-3' HT.	CONT.			EVERGREEN	2' HT.	3' HT.
102	JS	JUNIPERUS CHINENSIS VAR. 'SARGENTII'	SARGENT JUNIPER	2-3' SPR.	CONT.			EVERGREEN	18" HT.	2' HT. 30'
307	LA	LEUCOTHEA WILLIAMS 'SQUIRT'	SQUIRT LEUCOTHEA	2-3' HT.	CONT.			EVERGREEN	2-3' HT.	3' HT.
15	RH	RHOIODENDRON 'ALBUM ELEGANS'	ALBUM ELEGANS RHOD.	3-4' HT.	B&B			EVERGREEN	3-4' HT.	6-8' HT.
274	GL	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	2-3' SPR.	CONT.			SPREADING	2' HT.	3' HT.
120	AD	ROSA 'APRICOT DRIFT'	APRICOT DRIFT ROSE	2-3' SPR.	CONT.			LOW, SPREADING	18" HT.	2' HT.
130	PK	ROSA 'PINK WINKS OUT'	PINK WINKS OUT ROSE	2-3' HT.	CONT.			PINK FLOWERS	2' HT.	4' HT.
187	LP	SPIRAEA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	2-3' HT.	CONT.			PINK FLOWERS	2' HT.	3.5' HT.
11	VM	VIBURNUM BURKWOODII 'MOHAWK'	MOHAWK VIBURNUM	42-48" HT.	B&B			FRAGRANT	42" HT.	8' HT.
22	VP	VIBURNUM PRAGENSE	PRAIRIE VIBURNUM	42-48" HT.	B&B			EVERGREEN	42" HT.	7-8' HT.
80	HR	HEMIFRAXILLUS HAPPY RETURNS'	ROYAL PUPPIE LINDBERGH	1 GAL.				YELLOW FLOWERS, PERENNIAL	15" HT.	18" HT.
780	LR	LIRIOPE MUSCARI 'ROYAL PUPPIE'	ROYAL PUPPIE LIRIOPE	1 GAL.				EVERGREEN, GRASS-LIKE	8-12" HT.	15-18" HT.
340	SG	PANICUM VIRGATUM 'HANSE HERMS'	HANSE HERMS SWITCHGRASS	1 GAL.				NATIVE GRASS	18" HT.	3-4' HT.
450	PH	PENNISETUM ALOPECUROIDES 'HAMELN'	DWARF HAMELN GRASS	1 GAL.				ORNAMENTAL GRASS	12-15" HT.	18-24" HT.
105	LB	SCHIZACHYRIUM SCOPARIUM 'CAROUSEL'	CAROUSEL LITTLE BLUESTEM	1 GAL.				NATIVE GRASS	15-18" HT.	3' HT.

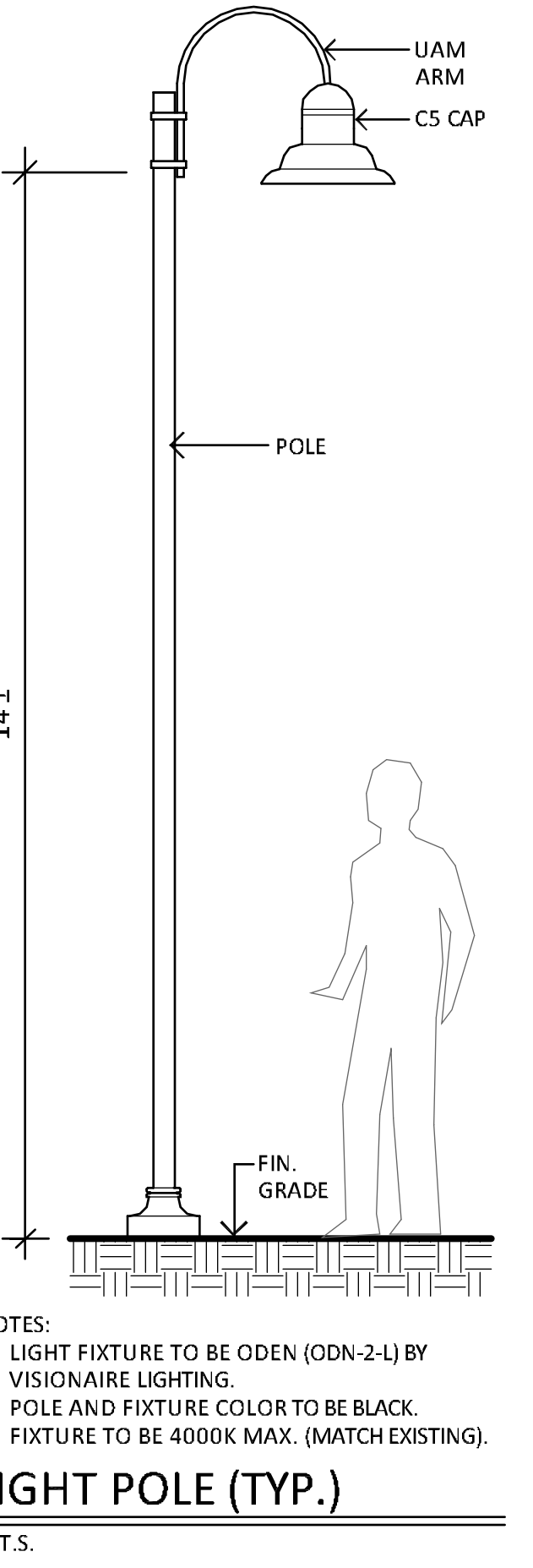
**PLAN**

SCALE: 1" = 50'

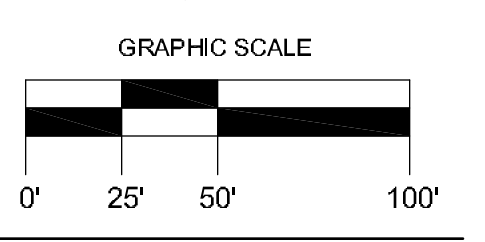


**SITE LIGHTING NOTES:**

- SITE LIGHTING INFORMATION AND LIGHTING PLANS PREPARED BY ENVIRONMENTAL LAND SOLUTIONS, LLC ARE DESIGNED FOR GENERAL LANDSCAPE AESTHETIC PURPOSES ONLY. LIGHTING INFORMATION SHOWN ON THIS PLAN SHALL NOT BE USED FOR SECURITY OR SAFETY PURPOSES.
- EXISTING LIGHT POLES MAY BE REPLACED AS NEEDED WITH SPECIFIED FIXTURE OR IN KIND.
- LOCATION AND TYPE OF LIGHT FIXTURES ARE TYPICAL AND MAY VARY BASED ON ACTUAL FIELD CONDITIONS, SITE AND ARCHITECTURAL PLAN REVISIONS. USE OF EXISTING LIGHTING, BUILDING MOUNTED LIGHTING, AND CONSULTATIONS WITH LIGHTING CONSULTANT.
- THIS PLAN ASSUMES THAT THE BUILDING WILL HAVE WALL MOUNTED FIXTURES (BY OTHERS) TO LIGHT THE FACADE AND ADJACENT LANDSCAPE AREAS (INCLUDING WALKS AND DOORS).



- NOTES:**
- LIGHT FIXTURE TO BE ODDN (ODN-2-L) BY VISIONARY LIGHTING.
  - POLE AND FIXTURE COLOR TO BE BLACK.
  - FIXTURE TO BE 4000K MAX. (MATCH EXISTING).
- LIGHT POLE (TYP.)**  
N.T.S.





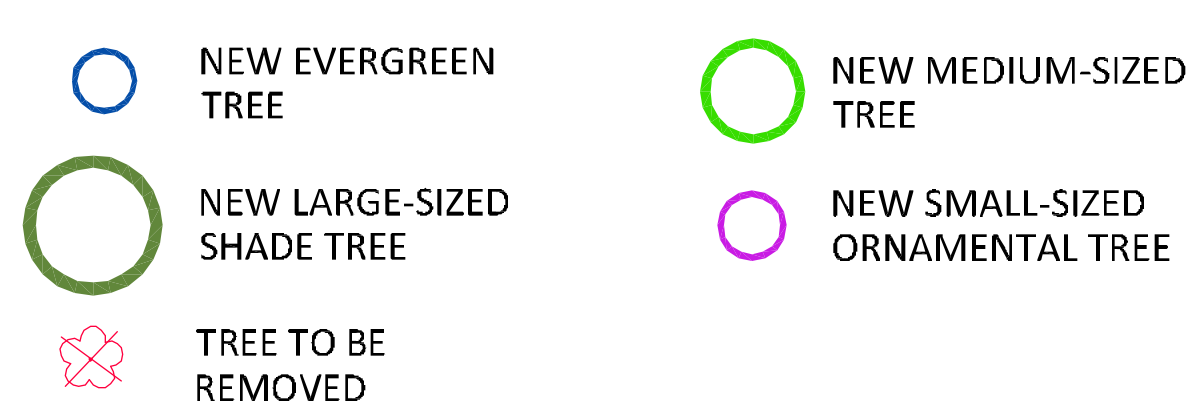
**PLANT LIST - TREES**

KEY	BOTANICAL NAME	COMMON NAME
AR	ACER RUBRUM	RED MAPLE
AM	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG MAPLE
DH	BETULA NIGRA 'DURA HEAT'	DURA HEAT BIRCH
YW	CLADRASTIS LUTEA	YELLOWWOOD
HL	GLEDITSIA TRIACANTHOS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST
LT	LIRIODENDRON TULIPIFERA	TULIPTREE
NS	NYSSA SYLVATICA	BLACK GUM
QB	QUERCUS BICOLOR	SWAMP WHITE OAK
QP	QUERCUS PALUSTRIS	PIN OAK
WO	QUERCUS PHELLOS	WILLOW OAK
AB	AMELANCHIER 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SHAD
CC	CERCIS CANADENSIS	REDBUD
CF	CORNUS FLORIDA	FLOWERING DOGWOOD
CM	LAGERSTROEMIA 'NATCHEZ'	WHITE CRAPEMYRTLE
MS	MAGNOLIA STELLATA 'CENTENNIAL'	STAR MAGNOLIA
SD	MALLUS 'SNOWDRIFT'	SNOWDRIFT CRABAPPLE
IO	ILEX OPACA	AMERICAN HOLLY
BB	MAGNOLIA 'BRACKEN'S BEAUTY'	BRACKEN'S BEAUTY MAGNOLIA
PA	PICEA ABIES	NORWAY SPRUCE
PS	PINUS STROBUS	WHITE PINE
GG	THUJA 'GREEN GIANT'	GREEN GIANT ARBORVITAE

**PLANT LIST - SHRUBS / GROUNDCOVER**

KEY	BOTANICAL NAME	COMMON NAME
HY	HYDRANGEA 'THE ORIGINAL'	THE ORIGINAL HYDRANGEA
LL	HYDRANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME HYDRANGEA
LM	HYDRANGEA 'LIME LIGHT'	LIME LIGHT HYDRANGEA
SI	HYPERICUM FRONDOSUM 'SUNBURST'	SUNBURST ST. JOHNSWORT
IS	ILEX CRENATA 'STEEDS'	STEEDS HOLLY
IG	ILEX SHAMROCK	SHAMROCK INKBERRY
JS	JUNIPERUS CHINENSIS VAR. 'SARGENTII'	SARGENT JUNIPER
LA	LEUCOTHOE AXILLARIS 'SQUIRT'	SQUIRT LEUCOTHOE
RH	RHODODENDRON 'ALBUM ELEGANS'	ALBUM ELEGANS RHODO.
GL	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC
AD	ROSA 'APRICOT DRIFT'	APRICOT DRIFT ROSE
PK	ROSA 'PINK KNOCKOUT'	PINK KNOCKOUT ROSE
LP	SPIRACA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA
VM	VIBURNUM BURKWOODII 'MOHAWK'	MOHAWK VIBURNUM
VP	VIBURNUM PRAGENSE	PRAGUE VIBURNUM
HR	HEMERCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY
LR	LIRIOPE MUSCARI 'ROYAL PURPLE'	ROYAL PURPLE LIRIOPE
SG	PANICUM VIRGATUM 'HANSE HERMS'	HANSE HERMS SWITCHGRASS
PH	PENNISEMUM ALOPECUROIDES 'HAMELN'	DWARF HAMELN GRASS
LB	SCHIZACHYRIUM SCOPARIUM 'CAROUSEL'	CAROUSEL LITTLE BLUESTEM

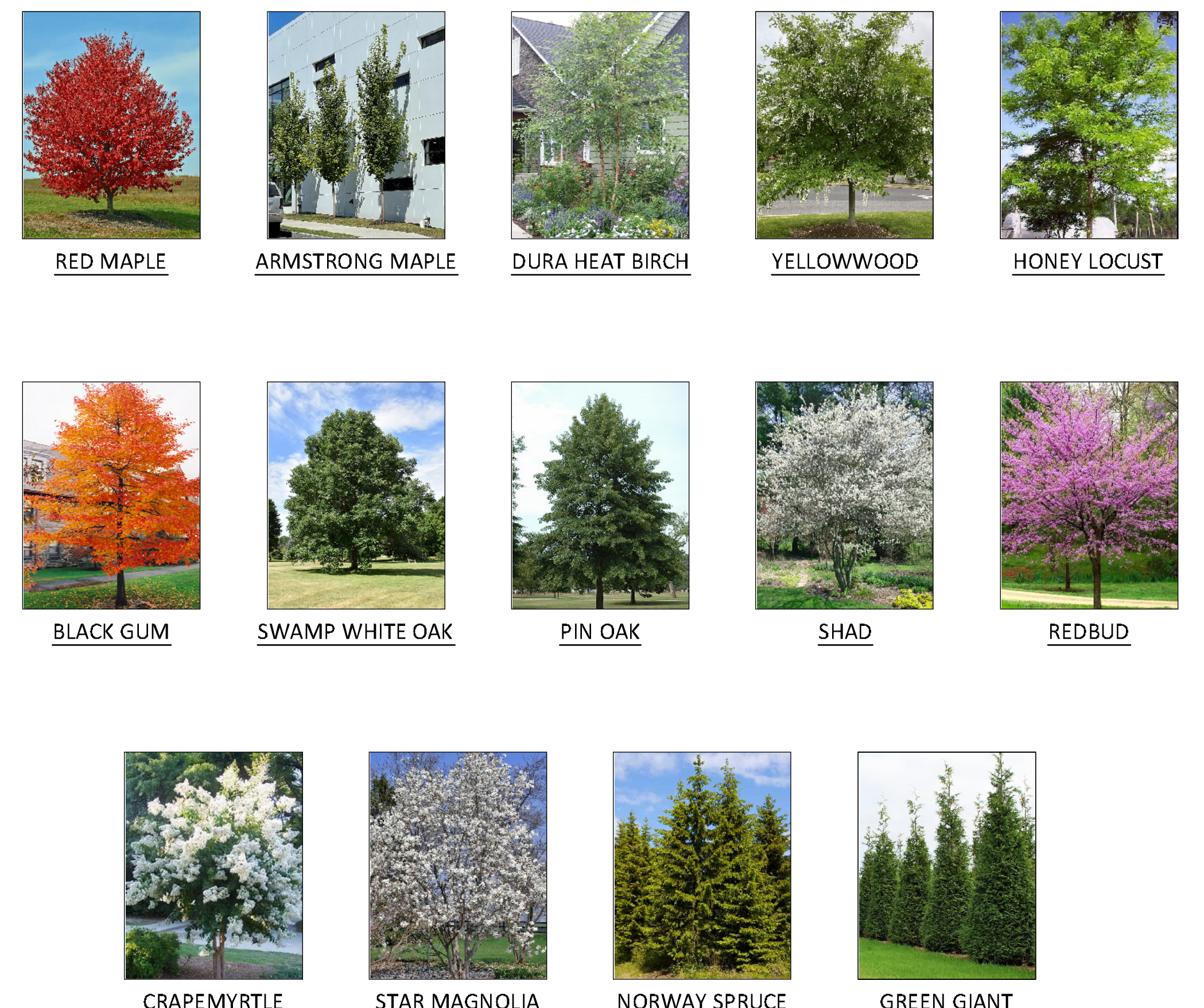
**TREE TYPE LEGEND**



**REVISION BLOCK**

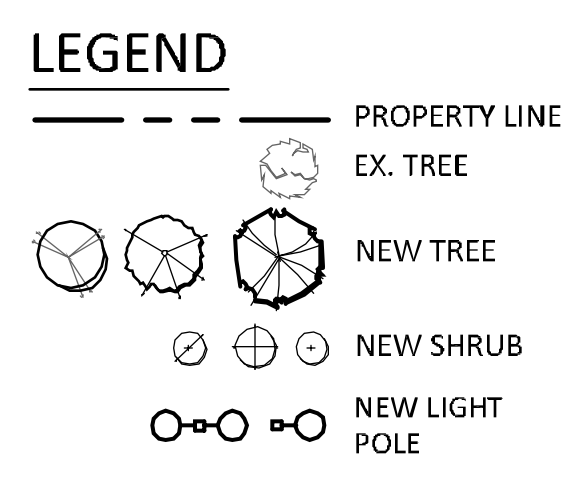
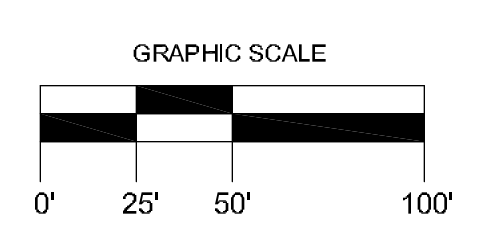
NO.	DATE	DESCRIPTION
1	1.16.24	PER REV. SITE PLAN

DRAWN BY: MJP  
 CHECKED BY: MJP  
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**PROPOSED TREE PHOTOS**  
 SCALE: 1" = 50'

**PLAN**  
 SCALE: 1" = 50'



PREPARED BY:  
**ENVIRONMENTAL LAND SOLUTIONS, LLC**  
 LANDSCAPE ARCHITECTURE  
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 T: 203.855.7869  
 F: 203.855.7836  
 info@elsllc.net  
 www.elsllc.net

PROJECT SITE:  
 800 LONG RIDGE ROAD  
 STAMFORD, CT

SCALE: AS SHOWN  
 DATE: 11.8.23  
 TITLE: GRAPHIC LANDSCAPE PLAN

SHEET NO.: LP.2

### NOFA PREFERRED LANDSCAPING PRACTICES (TO BE IMPLEMENTED):

(NOFA STANDARDS FOR ORGANIC LAND CARE PRACTICES FOR DESIGN AND MAINTENANCE OF ECOLOGICAL LANDSCAPES - JAN. 2011).

- SOIL TESTING: TEST THE SOIL TO DETERMINE THE NUTRIENT NEEDS OF THE LANDSCAPE PRIOR TO APPLICATION OF SOIL AMENDMENTS. SOIL TESTING SHALL BE COMPLETED BY A COMPETENT AGENCY SUCH AS THE CONNECTICUT AGRICULTURAL STATION. AVOID HOME SOIL TESTING KITS.
- WATERING: AVOID EXCESSIVE IRRIGATION THAT MAY CAUSE WATER RUNOFF, GROWTH OF LAWN DISEASES, AND SOIL COMPACTION.
- COMPOST: COMPOST YARD WASTE ON SITE IF FEASIBLE. AVOID USING COMPOST WITH WEED SEEDS. AVOID USING RAW MANURE, SEWAGE SLUDGE, SOLID WASTE, AND PAPER MILL PRODUCTS AS COMPOST.
- MULCH: MULCH SEEDED AREAS TO PREVENT EROSION. USE SHREDDED LEAVES, WOOD CHIPS, AND COMPOST FOR MULCH. APPLY NO MORE THAN A 2-3" LAYER OF MULCH AT ANY ONE TIME. REPLISH AS NEEDED. AVOID WEED-BARRIER FABRICS THAT PREVENT AIR AND WATER FROM PENETRATING INTO THE SOIL. AVOID THE USE OF DYED MULCH AND PRESSURE TREATED WOOD AS MULCH.
- FERTILIZERS: DO NOT USE SYNTHETIC PESTICIDES OR FERTILIZERS. USE BLENDED ORGANIC FERTILIZERS BASED ON THE RESULTS OF THE SOIL NUTRIENT TESTING.
- WATER: CHOOSE PLANTS THAT MINIMIZE THE NEED FOR IRRIGATION. IRRIGATE ONLY WHEN NECESSARY BASED ON THE SOIL TYPES AND PLANT NEEDS. USE MULCHES TO RETAIN SOIL MOISTURE. DIRECT RUNOFF TO INFILTRATION AREAS. MINIMIZE IMPERVIOUS AREAS.
- LAWN: RELY ON NATURAL RAINFALL FOR WATERING OF PLANTS (EXCEPT AT SEEDING). USE DISEASE AND INSECT-RESISTANT CULTIVARS. RETURN GRASS CLIPPINGS AND SHREDDED LEAVES TO THE LAWN. MAINTAIN LAWNS WITH A MOWING HEIGHT OF 2" OR HIGHER.
- PLANT SELECTION: CHOOSE LANDSCAPE PLANTS THAT ARE SUITED TO THE EXISTING SITE CONDITIONS. USE PLANTS THAT ARE NATIVE TO THE REGION OR THOSE THAT ARE NOT KNOWN FOR BEING INVASIVE. USE PEST-RESISTANT PLANT SPECIES AND VARIETIES.
- WILDLIFE MANAGEMENT: USE SOAP OR HERBAL OR VEGETABLE-BASED REPELLENTS AS NEEDED. AVOID TRAPS THAT CAUSE SLOW DEATHS, RODENTICIDES, AND PREDATOR URINE.
- DISEASE CONTROL: MAINTAIN HEALTHY PLANTS BY MAINTAINING PROPER SOIL PH, ORGANIC MATTER, AND BALANCED NUTRIENTS. PLANT DISEASE-RESISTANT SPECIES AND VARIETIES. AVOID PLANTING MONOCULTURES. PRUNE DEAD, DYING, DAMAGED, INFESTED, OR DISEASE BRANCHES FROM PLANTS. INFESTED PLANT DEBRIS SHOULD BE PROPERLY COMPOSTED OR REMOVED FROM THE SITE.

### LEGEND

- PROPERTY LINE
- WETLAND LINE
- EX. TREE
- NEW DECIDUOUS TREE
- NEW SHRUB
- NEW LIGHT POLE
- EX. LIGHT POLE (REPLACE AS NEEDED)
- TREE LINE (APPROX.)
- EX. TREE TO BE REMOVED
- NEW / EX. LAWN AREA
- BASIN BOTTOM SEEDED AREA
- BASIN SIDE SLOPES SEEDED AREA

### GENERAL NOTES:

- EXACT LOCATION OF PROPOSED PLANTINGS AND SPECIES TYPES MAY VARY FROM THIS PLAN BASED ON SITE PLAN REVISIONS AND/OR ACTUAL FIELD CONDITIONS.
- PLANT SPECIES SUBSTITUTIONS MAY BE MADE WITH THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT.
- ALL PLANTING METHODS SHALL BE IN ACCORDANCE WITH THE "AMERICAN STANDARDS FOR NURSERY STOCK", LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- SPRAY PLANTINGS IMMEDIATELY AFTER INSTALLATION WITH A DEER REPELLENT AND CONTINUE AS NEEDED TO MAINTAIN PLANTS FREE OF DEER BROWSING. PROTECT PLANTED TREE TRUNKS FROM DEER RUBBING.

### TREE SUMMARY CHART

ITEM	EXISTING TREES	PROPOSED TREES
SURVEYED TREE TO BE REMOVED:	69	N/A
PROPOSED LARGE TREE:	N/A	103
PROPOSED MEDIUM TREE:	N/A	33
PROPOSED SMALL TREE:	N/A	71
PROPOSED EVERGREEN TREE:	N/A	102
<b>TOTAL:</b>	<b>69 (REMOVED)</b>	<b>309 (PROPOSED)</b>

### PLANT LIST - POLLINATOR PATHWAY

QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
20	CLETHRA ALNIFOLIA 'RUBY SPICE'	RUBY SPICE CLETHRA	3-4' HT.	CONT.
25	ASCLEPIAS INCARNATA	SWAMP MILKWEED	1 QT.	1 QT.
25	ASCLEPIAS TUBEROSA	BUTTERFLYWEED	1 QT.	1 QT.
25	ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 QT.	1 QT.
25	LATRIS SPICATA	GRAYFEATHER	PP/L QT.	PP/L QT.
100	MONARDA 'MARSHALL'S DELIGHT'	MONARDA	PP/L QT.	PP/L QT.
25	PYCNANTHEMUM MULTICM	MOUNTAIN MINT	1 QT.	1 QT.
25	RUDBECKIA HIRTA	BLACK-EYE SUSAN	1 QT.	PP/L QT.
100	SOLIDAGO CANADENSIS	CANADA GOLDENROD	PP/L QT.	PP/L QT.
50	VERNONIA NOBILIORACENSIS	NEW YORK IRONWEED	PP/L QT.	PP/L QT.

NOTE: LANDSCAPE ARCHITECT SHALL FIELD LOCATE PLANTING LOCATIONS IN THE FIELD.

### SEEDING NOTES:

- FOR ALL SEEDING AREAS, APPLY SEED MIX AT THE METHODS AND 125% THE RATE RECOMMENDED BY THE MANUFACTURER. SEED MIX SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO USE. APPLY SOIL AMENDMENTS AS NEEDED TO ESTABLISH PROPER SEED GERMINATION AND GROWTH.
- BASIN BOTTOM: SEED THIS AREA WITH 'NEW ENGLAND EROSION CONTROL / RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES' BY NEW ENGLAND WETLAND PLANTS, INC. (413-548-8000).
- BASIN SIDE SLOPES: SEED THIS AREA WITH 'NEW ENGLAND CONSERVATION / WILDLIFE MIX' BY NEW ENGLAND WETLAND PLANTS, INC. (413-548-8000).
- LAWN: SEED NEW LAWN AREAS WITH A HIGH QUALITY TURF TYPE SEED MIXTURE CONSISTING OF BLUEGRASS, FESCUE AND PERENNIAL RYEGRASS. APPLY SEED MIX AT THE METHODS AND 125% THE RATE RECOMMENDED BY THE MANUFACTURER. SEED MIX SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO USE. APPLY SOIL AMENDMENTS AS NEEDED TO ESTABLISH PROPER SEED GERMINATION AND GROWTH.

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### STREET TREE CHART

(FOR STREET TREES ON CITY LAND OR WITHIN 10' OF STREETSCAPE PROPERTY LINE)

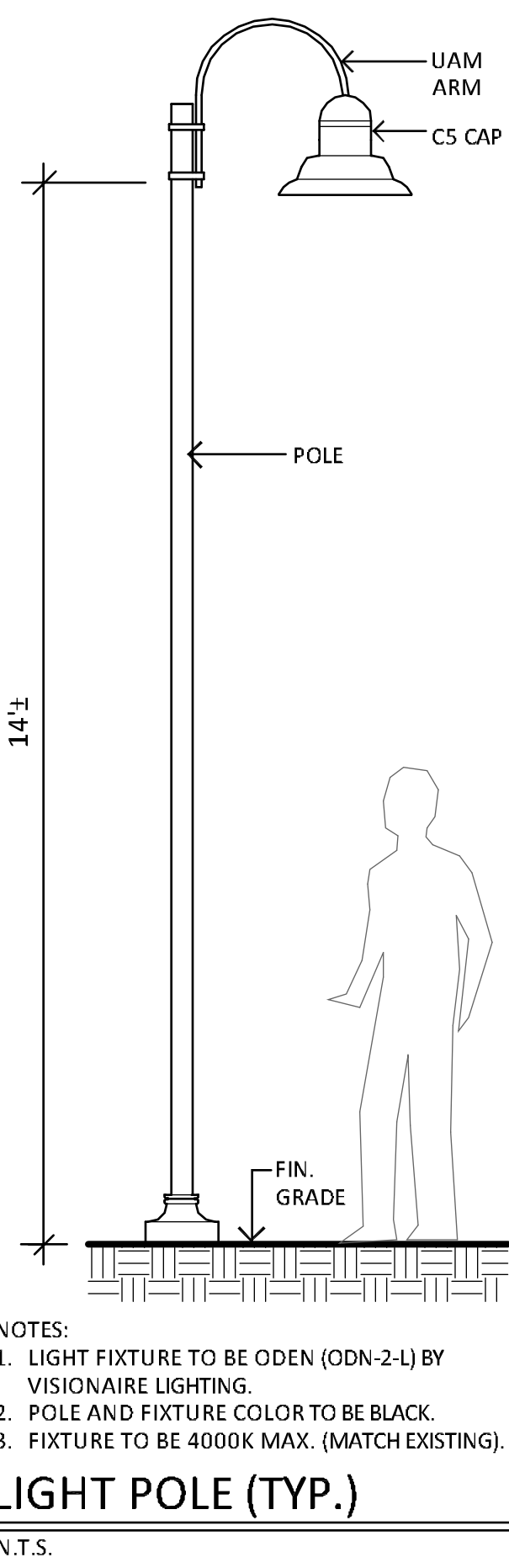
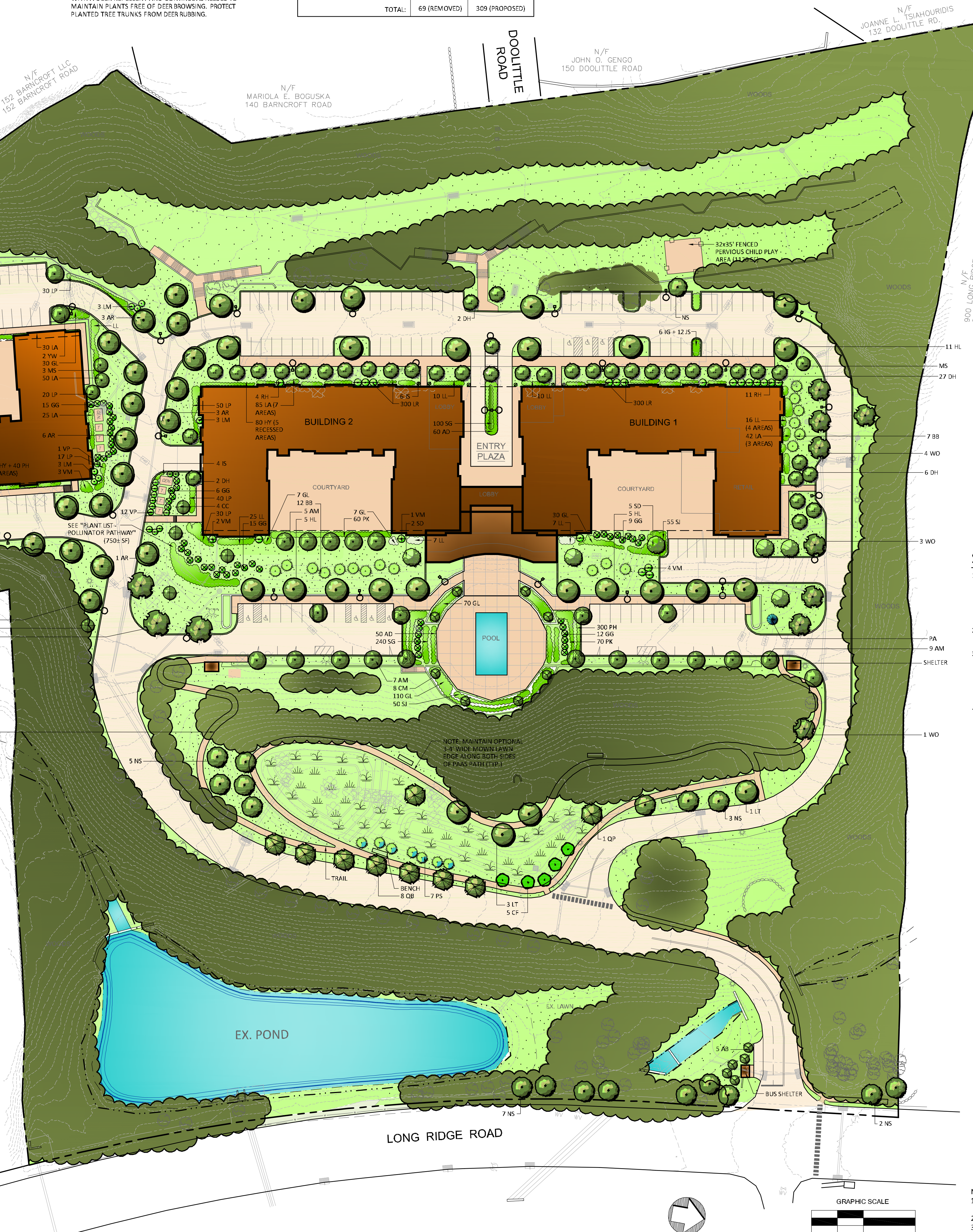
STREETSCAPE AREA	TOTAL STREET FRONTAGE (LF)	REQUIRED STREET TREES (FRONTAGE/25)	STREET TREES EXISTING	STREET TREES PROPOSED	NUMBER OF CORNERS	TREES SUBJECT TO FEE PAYMENT (STREET TREES REQUIRED - STREET TREES EXISTING - STREET TREES PROPOSED - CORNERS)	FEE IN LIEU REQUIRED (\$2500 PER TREE SUBJECT TO FEE PAYMENT)
LONG RIDGE ROAD	843'	33.72	25+	9	0	0	\$0
<b>SUBTOTAL:</b>							\$0

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20	AM	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG MAPLE	2 1/2-3" CAL.	B&B	0	MEDIUM	COLUMNAR	13-14' HT.	45-50' HT.
44	DH	BETULA NIGRA 'DURA HEAT'	DURA HEAT BIRCH	8-10' HT.	B&B	0	SMALL	EXFOLIATING BARK	8-10' HT.	30-35' HT.
6	YL	CYDORASTIS LUTEA	YELLOWWOOD	2-2 1/2" CAL.	B&B	0	MEDIUM	NATIVE, WHITE FLOWERS	12-13' HT.	35-40' HT.
35	HL	GLEDITSIA TRIACANTHOS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	3-3 1/2" CAL.	B&B	0	LARGE	NATIVE, SHADE	14-15' HT.	40-50' HT.
4	LT	LIRIODENDRON TULIPIFERA	TULIP TREE	2-2 1/2" CAL.	B&B	0	LARGE	NATIVE	13-14' HT.	60-70' HT.
18	NS	NYSSA SYLVATICA	BLACK GUM	2-2 1/2" CAL.	B&B	0	LARGE	NATIVE, RED FALL COLOR	12-13' HT.	40-55' HT.
11	QB	QUERCUS BICOLOR	SWAMP WHITE OAK	3-3 1/2" CAL.	B&B	0	LARGE	NATIVE, SHADE, WILDLIFE	14-15' HT.	60-70' HT.
8	QP	QUERCUS PALustris	PIN OAK	3-3 1/2" CAL.	B&B	0	LARGE	NATIVE, SHADE, WILDLIFE	14-15' HT.	60-70' HT.
8	WO	QUERCUS PHELLOS	WILLOW OAK	2 1/2-3" CAL.	B&B	0	LARGE	SHADE, WIDE GROWING	13-14' HT.	60-70' HT.
5	AB	AMELANCHIER 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SHAD	5-6' HT.	B&B	0	SMALL	MULTISTEM, WILDLIFE	5-6' HT.	15-20' HT.
5	CC	CERCIS CANADENSIS	REDBUD	7-8' HT.	B&B	0	SMALL	NATIVE, RED FLOWERS	7-8' HT.	15-20' HT.
5	CF	CORNUS FLORIDA	FLOWERING DOGWOOD	6-8' HT.	B&B	0	SMALL	NATIVE, WILDLIFE	6-8' HT.	15-20' HT.
8	CM	LAGERSTROEMIA 'NATCHEZ'	WHITE CRAPMYRTLE	6-7' HT.	B&B	0	SMALL	WHITE SUMMER FLOWERS	6-8' HT.	15-20' HT.
4	MS	MAGNOLIA STELLATA 'CENTENNIAL'	STAR MAGNOLIA	5-6' HT.	B&B	0	SMALL	NARROW	5-6' HT.	15-20' HT.
7	SD	MALES 'SNOWDRIFT'	SNOWDRIFT CRABAPPLE	2 1/2-3" CAL.	B&B	0	MEDIUM	WHITE FLOWERS	12-13' HT.	18-20' HT.
10	IO	ILEX OPACA	AMERICAN HOLLY	5-6' HT.	B&B	0	MEDIUM	2 MALES, NATIVE, EVERGREEN	5-6' HT.	25-30' HT.
19	BB	MAGNOLIA GRANDIFLORA 'BRACKEN'S BEAUTY'	BRACKEN'S BEAUTY MAGNOLIA	6-7' HT.	B&B	0	SMALL	EVERGREEN TREE	6-7' HT.	20-25' HT.
9	PA	PICEA ABIES	NORWAY SPRUCE	9-10' HT.	B&B	0	LARGE	EVERGREEN TREE	9-10' HT.	50-60' HT.
7	PS	PIRUS STROBUS	WHITE PINE	8-9' HT.	B&B	0	LARGE	EVERGREEN TREE, NATIVE	8-9' HT.	70-80' HT.
57	GG	THUJA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	6-7' HT.	B&B	0	MEDIUM	EVERGREEN, FAST GROWTH	6-7' HT.	30-35' HT.
169	HY	HYDRANGEA 'THE ORIGINAL'	THE ORIGINAL HYDRANGEA	2-3' HT.	CONT.			BLUE FLOWER	2-3' HT.	4' HT.
147	LL	HYDRANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME HYDRANGEA	2-3' HT.	CONT.			WHITE FLOWER	2-3' HT.	4' HT.
9	LM	HYDRANGEA 'LIME LIGHT'	LIME LIGHT HYDRANGEA	30-35" HT.	CONT.			WHITE FLOWER	2-3' HT.	4' HT.
199	SI	HYPERICUM FRODOSIUM 'SUNBURST'	SUNBURST ST. JOHNSWORT	18-24" HT.	CONT.			NATIVE, YELLOW FLOWER	2' HT.	3' HT.
10	IS	ILEX CREMATA 'STEEDES'	STEEDES HOLLY	3-4' HT.	CONT.			EVERGREEN	3-4' HT.	6-7' HT.
48	IG	ILEX 'SHAMROCK'	SHAMROCK INKBERRY	2-3' HT.	CONT.			EVERGREEN	2' HT.	3' HT.
102	JS	JUNIPERUS CHINENSIS VAR. 'SARGENTII'	SARGENT JUNIPER	2-3' SPR.	CONT.			EVERGREEN	18" HT.	2' HT. 30'
307	LA	LEUCOTIAE AMILARIS 'SQUIRT'	SQUIRT LEOCOTIAE	2-3' HT.	CONT.			EVERGREEN	3' HT.	3' HT.
15	RH	RHOODODENDRON 'ALBUHY ELEGANS'	ALBUHY ELEGANS RHOD.	3-4' HT.	B&B			EVERGREEN	3-4' HT.	6-8' HT.
274	GL	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	2-3' SPR.	CONT.			SPREADING	2' HT.	3' HT.
120	AD	ROSA 'APRICO DRIFT'	APRICO DRIFT ROSE	2-3' SPR.	CONT.			LOW, SPREADING	18" HT.	2' HT.
130	PK	ROSA 'PINK KNOCKOUT'	PINK KNOCKOUT ROSE	2-3' HT.	CONT.			PINK FLOWERS	2' HT.	4' HT.
187	LP	SPIRAEA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	2-3' HT.	CONT.			PINK FLOWERS	2' HT.	3.5' HT.
11	VM	VIBURNUM BURKWOODII 'MOHAWK'	MOHAWK VIBURNUM	42-48" HT.	B&B			FRAGRANT	42" HT.	8' HT.
22	VP	VIBURNUM PRAGENSE	PRAGUE VIBURNUM	42-48" HT.	B&B			EVERGREEN	42" HT.	7-8' HT.
80	HR	HEMIFORCALUS HAPPY RETURNS	HAPPY RETURNS DAYLILY	1 GAL.				YELLOW FLOWERS, PERENNIAL	15" HT.	15" HT.
780	LR	LIRIOPE MUSCARI 'ROYAL PURPLE'	ROYAL PURPLE LIRIOPE	1 GAL.				EVERGREEN, GRASS-LIKE	8-12" HT.	15-18" HT.
340	SG	PANICUM VIRGATUM 'HANSE HERMS'	HANSE HERMS SWITCHGRASS	1 GAL.				NATIVE GRASS	18" HT.	3-4' HT.
450	PH	PENNISTELUM ALDOPUCROIDES 'HAMELN'	DWARF HAMELN GRASS	1 GAL.				ORNAMENTAL GRASS	12-15" HT.	18-24" HT.
105	LB	SCHIZACHYRIUM SCOPARIUM 'CAROUSEL'	CAROUSEL LITTLE BLUESTEM	1 GAL.				NATIVE GRASS	15-18" HT.	3' HT.

### PLAN

SCALE: 1" = 50'



- NOTES:
- LIGHT FIXTURE TO BE ODDN (ODN 2-L) BY VISIONAIR LIGHTING.
  - POLE AND FIXTURE COLOR TO BE BLACK.
  - FIXTURE TO BE 4000K MAX. (MATCH EXISTING).
- LIGHT POLE (TPV.)  
N.T.S.

### REVISION BLOCK

NO.	DATE	BY	REVISION
1	11.8.23	MJP	CITY COMMENTS
2	1.12.24	MJP	PER REV. SITE PLAN

DRAWN BY: MJP  
CHECKED BY: MJP

THIS DRAWING AND ELEMENTS NOTED ON IT ARE AN INSTRUMENT OF PROFESSIONAL CONSULTING SERVICES AND IS THE PROPERTY OF ENVIRONMENTAL LAND SOLUTIONS, LLC (ELS) TO BE USED FOR THIS SPECIFIC PROJECT AND SHALL NOT BE LOANED, MODIFIED, COPIED OR REPRODUCED WITHOUT THE CONSENT OF ENVIRONMENTAL LAND SOLUTIONS, LLC.



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F: 203.855.7836  
info@elsllc.net  
www.elsllc.net

PROJECT SITE:  
800 LONG RIDGE ROAD  
STAMFORD, CT

SCALE: AS SHOWN

DATE: 10.3.23

TITLE:  
**LANDSCAPE PLAN**

SHEET NO.:  
**LP.1**

**LEGEND**

- PROPERTY LINE
- WETLAND LINE
- EX. TREE
- NEW DECIDUOUS TREE
- NEW SHRUB
- NEW LIGHT POLE
- EX. LIGHT POLE (REPLACE AS NEEDED)
- TREE LINE (APPROX.)
- EX. TREE TO BE REMOVED
- NEW / EX. LAWN AREA
- BASIN BOTTOM SEEDED AREA
- BASIN SIDE SLOPES SEEDED AREA

**PAAS LEGEND**

- PAAS PUBLICLY ACCESSIBLE AMENITY SPAC
- PROPOSED EASEMENT FOR LIMITED PUBLIC ACCESS TO PAAS
- PUBLICLY ACCESSIBLE AMENITY SPACE (PAAS), 55,657 SF
- NEW PAAS SIGN
- NEW PAAS BENCH

**PAAS CHART**

ITEM	REQUIRED	PROPOSED
PAAS AREA (5% OF SITE):	55,027 SF	55,657 SF
PAAS HC PARKING SPACE:	N/A	2
PAAS 9x18' PARKING SPACE:	N/A	2
PAAS SHELTER (100 SF MIN.):	N/A	2
PAAS SIGNAGE QTY (60" O.C. MAX.):	N/A	28
PAAS BENCH:	N/A	4

**GENERAL NOTES:**

- SEE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.

**REVISION BLOCK**

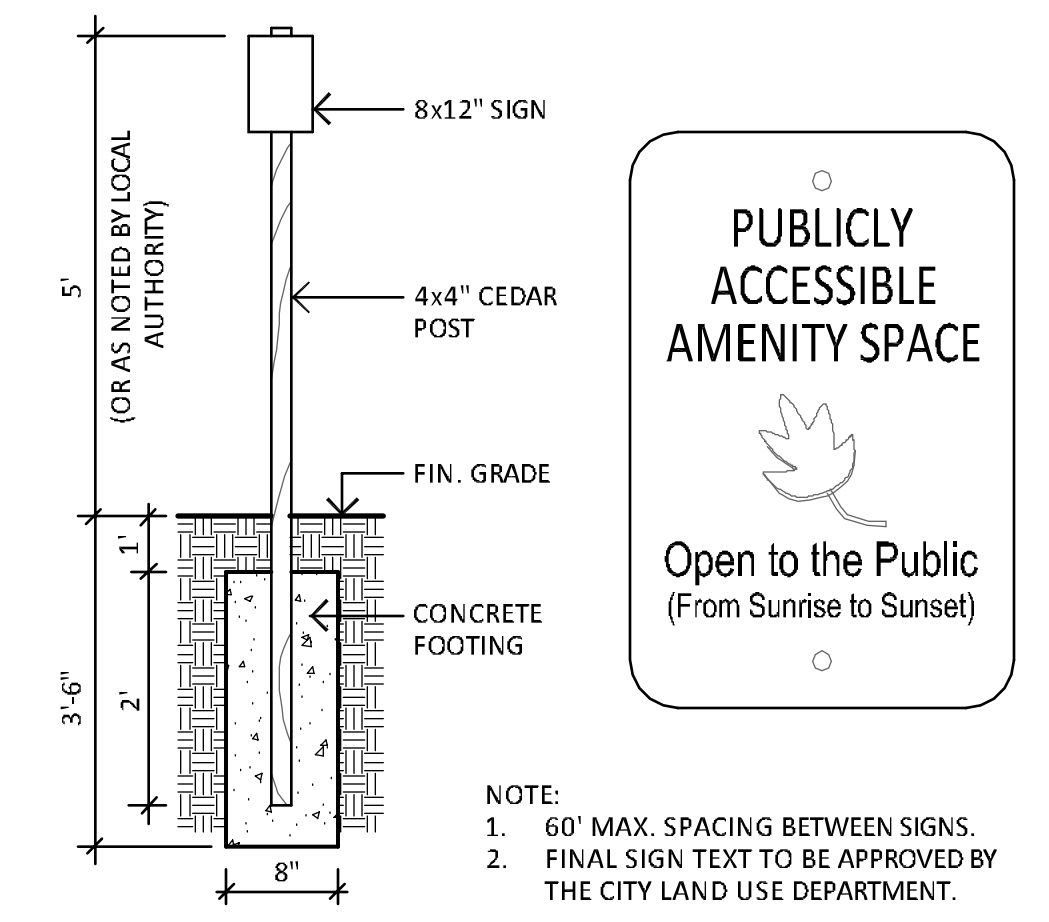
NO.	DATE	REVISION
1	1.16.24	REVISED SITE PLAN

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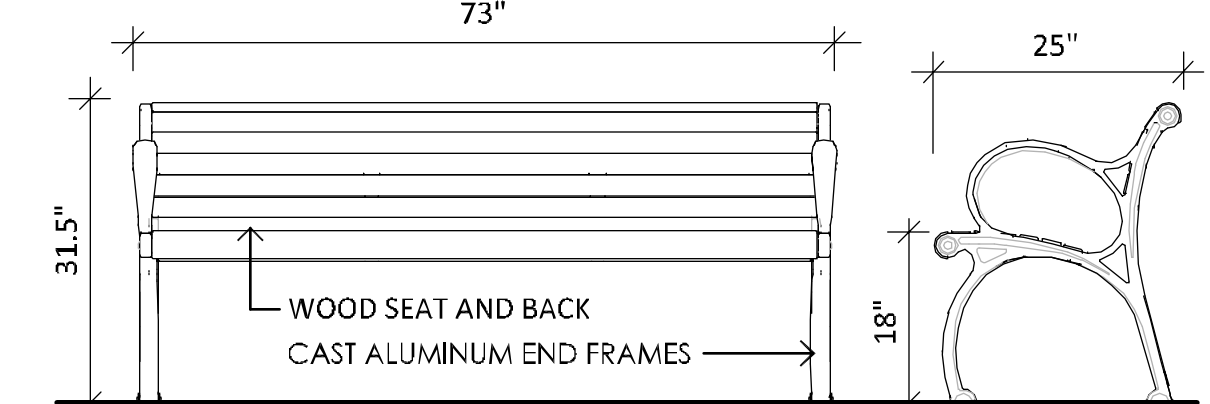


**PAAS NOTES:**

- THE PAAS AREA HAS BEEN EXCLUDED FROM THE LOT COVERAGE CALCULATION, SUBJECT TO APPROVAL BY THE ZONING BOARD.
- THE PAAS TRAIL SHALL HAVE A CLEARING OF AT LEAST 24" IN WIDTH ON EITHER SIDE OF THE TRAIL. THE CLEARING HEIGHT SHALL BE NO LESS THAN 10' AND CLEARING AREAS SHALL BE REGULARLY CLEANED AND MAINTAINED.
- THE PROPERTY OWNER OR MANAGER SHALL ENSURE THAT THE PAAS IS WELL MAINTAINED, CLEAN AND LITTER FREE, AND THAT TRASH RECEPTACLES ARE PROVIDED AND REGULARLY EMPTIED.
- THE PAAS AREA HAS BEEN EXCLUDED FROM THE LOT COVERAGE CALCULATION, SUBJECT TO APPROVAL BY THE ZONING BOARD.



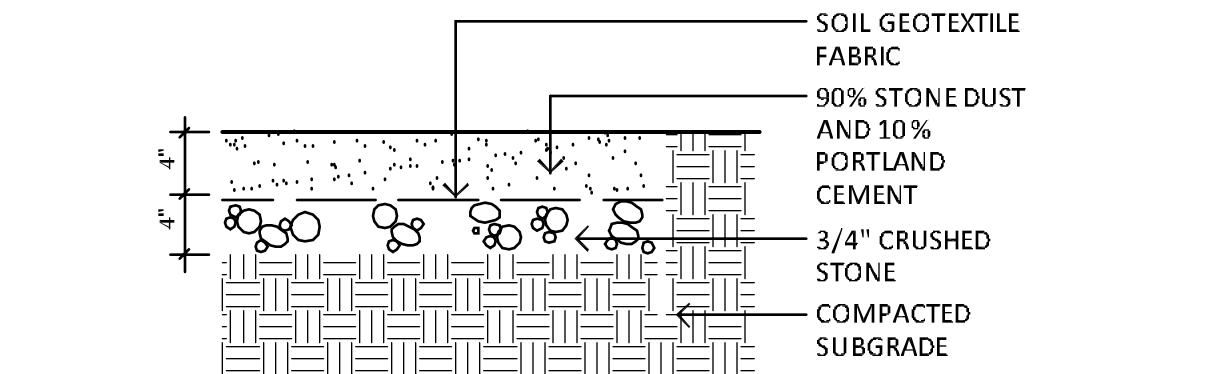
**PAAS SIGN (TYP.)**  
SCALE: NOT TO SCALE



- NOTES:  
1. BENCH BY LANDSCAPE FORMS INC., STYLE: PLAINWELL.  
2. BENCH TYPE AND STYLE MAY VARY FROM PLAN.

**PAAS BENCH (TYP.)**

SCALE: NOT TO SCALE



**PAAS TRAIL (TYP.)**  
N.T.S.

**PLAN**  
SCALE: 1" = 50'

PREPARED BY:  
**ENVIRONMENTAL LAND SOLUTIONS, LLC**

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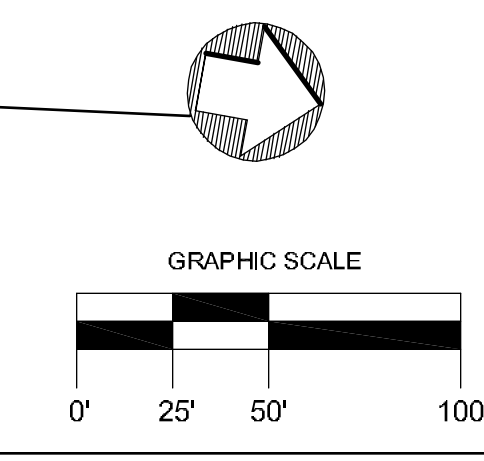
PROJECT SITE:  
**800 LONG RIDGE ROAD  
STAMFORD, CT**

SCALE: AS SHOWN

DATE: 11.8.23

TITLE:  
**PUBLICLY ACCESSIBLE AMENITY SPACE PLAN**

SHEET NO.:  
**PAAS.1**





**Office use only**

Date received

Application Nr (e.g., ZB, ZBA,


**Location**

\*Address of Development  
Number & Street

\*Stamford, CT ZIP Code

800 Long Ridge Road
Stamford, CT

**Applicant Information**

\*Applicant full name

Applicant Company

\*Applicant Street Address

\*Applicant City, State, ZIP

\*Applicant Email

\*Applicant Phone

800 Long Ridge, LLC

**Property Owner Information**

\*Is the property owner the same  
as the applicant?

Yes
-----

If NO please answer the following

\*Owner full name

Owner Company

\*Owner Street Address

\*Owner City, State, ZIP

\*Owner Email

\*Owner Phone


**Is this ... (check one)**

the 1<sup>st</sup> Submission (Zoning Board,  
ZBA or Building Permit  
application)

X

the 2<sup>nd</sup> Submission (CO sign-off)

--

## SCORECARD RATING

Category	Max Points	Points achieved
Building Health	8	8
Energy Use	25	12
Landscaping and Open Space	11	7
Land Use	17	1
Mobility	29	6
Resiliency	11	9
Resource Management	9	7
Urban Design	10	0
Water Use	7	1
<b>TOTAL</b>	<b>127</b>	<b>51</b>

95 or more Points	A+	LEED Platinum
80-94 Points	A	LEED Gold
65-79 Points	B	LEED Silver
50-64 Points	C	LEED Certified
0-49 Points	NR	

## BUILDING HEALTH

ELEMENTS	ID	CRITERIA	PURPOSE	MAX. POINTS	POINTS ACHIEVED
Indoor air quality	BH1	After construction ends and before occupancy, conduct indoor air quality testing	Promotes a healthier living/work space	1	1
Low emitting materials	BH2	Reduce concentrations of chemical contaminants from building interior paints and coatings, interior adhesives and sealants, flooring and insulation	Limits exposure to volatile organic compounds (VOCs), which are linked to many short- and long-term health problems	1	1
Moisture management	BH3	Provide heating, ventilating and air conditioning systems and controls designed to limit relative humidity to 60% or less during all load conditions, both occupied and not occupied	Limits exposure to mold	1	1
Daylighting	BH4	Provide adequate daylight through windows, skylights, and other means	Promotes a space and saves energy healthier living/working	1	1
Window shading	BH5	Provide protection from excessive light exposure	Promotes a space and saves energy healthier living/working	1	1
Operable windows	BH6	Each regularly occupied space has operable windows	Increases indoor air quality, access to natural light, and user comfort	1	1
Active design	BH7	Integration of pathways and stairs within the built environment in projects with 2 to 4 floors	Promotes exercise and health	1	1
Fitness equipment	BH8	Convenient and free access to fitness equipment	Promotes exercise and health	1	1
<b>TOTALS</b>				<b>8</b>	<b>8</b>

### Alternative Path to Compliance

IWBI Well Platinum Rating - 10 Points

IWBI Well Gold Rating - 8 Points

IWBI Well Silver Rating - 6 Points

IWBI Well Bronze Rating - 4 Points

10 points for IWBI Well Rating

## ENERGY USE

ELEMENTS	ID	CRITERIA	PURPOSE	MAX. POINTS	POINTS ACHIEVED
<b>Building efficiency</b>	EU1	Energy Star rating of 50+ (3 points), 75+ (6 points) or 85+ (9 points)	Buildings committed to high-performance goals use	9	3
<b>Efficient appliances</b>	EU2	All appliances are Energy Star rated	Reduce energy use	1	1
<b>Submetering</b>	EU3	Residential: submetering by unit Commercial/mixed-use: submetering of space to maximum extent—at least one meter per floor, per 10,000 sf, or per tenant	Submeters encourage conservation by monitoring and allocating costs to end users	2	0
<b>Cool surfaces</b>	EU4	Achieve threshold percentages of reflectance and/or shade (see “Overview” for details), or green roof	Reflective and shaded exterior surfaces reduce contribution to urban heat island warming	2	0
<b>Exterior lighting</b>	EU5	Exterior lighting is full-cutoff or dark-sky compliant, and automatically turns off when natural light is sufficient	Reduces energy use and light pollution	1	1
<b>Interior lighting</b>	EU6	Interior lighting turns off automatically when not in use (for residential buildings: in common or amenity areas only)	Reduces energy use	1	1
<b>Renewable energy production production OR combined heat and power</b>	EU7	Building incorporates solar photovoltaic, solar thermal, micro-wind, or other renewable sources to meet at least 10% of the design energy load (3 points), 25% (5 points), or 40% plus (7 points); OR Project will use that captures waste heat for use power generation system	Off-sets demand for electricity from carbon-producing energy sources (coal, oil, etc.) or reduces energy use	7	4
<b>Passive heating</b>	EU9	Development employs strategies to maximize solar gain in winter and prevent solar gain in summer	Reduces energy use	2	2
<b>TOTALS</b>				<b>25</b>	<b>12</b>



## LANDSCAPING & OPEN SPACE

ELEMENTS	ID	CRITERIA	PURPOSE	MAX. POINTS	POINTS ACHIEVED
Green roof	LA1	Vegetated roof that covers 50% or more of the roof area (also qualifies for EU4 - cool roof)	Reduces the “heat island” effect and reduces stormwater runoff	2	0
Tree preservation	LA2	Preservation of 80% or more of mature trees	Environmental benefits, reduces energy use, enhances property values	1	1
Tree canopy	LA3	At maturity, tree canopy will cover 50% or more of undeveloped surface (at least	Environmental benefits, reduces the “heat island” effect	1	1
Additional landscaping	LA4	Landscaping that exceeds required Zoning Regulations by 25% or more	Reduces the “heat island” effect, reduces stormwater runoff	1	1
Native plants	LA5	Landscaping that is 80% or more native and drought-resistant by area of plantings	Supports native habitats	2	2
Join Stamford Pollinator Pathway	LA6	Add the parcel to the Stamford Polinator Pathway	Supports native habitats	1	0
Organic land care	LA7	Signed pledge to manage property according to NOFA Standards for organic land care	Environmental and health benefits	1	0
New publicly accessible open space	LA8	Create publically available open space of 5,000 or more square feet; or exceed PAAS requirement by at least 25%	Increases public open space	2	2
<b>TOTALS</b>				<b>11</b>	<b>7</b>

## LAND USE

ELEMENTS	ID	CRITERIA	PURPOSE	MAX. POINTS	POINTS ACHIEVED
Brownfields	LU1	Redevelopment of brownfield site	Makes use of existing infrastructure, reduces development pressure on undeveloped lands and removes or safely encapsulates contamination	3	0
Redevelopment	LU2	Redevelopment of previously developed sites	Makes use of existing infrastructure and reduces development pressure on undeveloped	1	1
Adaptive reuse	LU3	Adaptive reuse of existing building	Saves resources	2	0
Historic preservation	LU4	Historic preservation	Saves resources	2	0
Mixed-use	LU5	60% or more of ground floor area on retail streets contain active uses at the street level (2 Points) Primary entrances with 1/4 mile of at least three neighborhood services (2 Points)	Mixes housing, work and services to reduce transportation needs and promotes constant activity at street level Services within walking distance reduce transportation needs	4	0
Transit-supportive density	LU6	<b>Residential:</b> 50 or more dwelling units per acre <b>Commercial/mixed use:</b> FAR of 3.0 or greater <b>Within 1/2 mile of Stamford Transportation Center:</b> 60 or more dwelling units per acre or FAR of 0.8 or greater	Higher density neighborhoods will result in more riders; this enables more frequent transit service	5	0
<b>TOTALS</b>				<b>17</b>	<b>1</b>

## MOBILITY

ELEMENTS	ID	CRITERIA	PURPOSE	MAX. POINTS	POINTS ACHIEVED
Reduce single occupancy vehicle travel	M1	Submit Parking and Transportation Demand Management plan (PTDM) that reduces vehicle trips 20% from	Reduces carbon emissions and pollutants by reducing travel to and from a	2	2
Transit Score	M2	Transit Score 50-69 1 Point Transit Score 70-89 2 Points Transit Score 90+ 3 Points	Reduces carbon emissions	3	0
Incentivize transit use	M3	Participate in TransitChek or similar program	Reduces car dependency	2	2
Walk Score	M4	Walk Score 50-69 1 Point Walk Score 70-89 2 Points Walk Score 90+ 3 Points	Reduces car dependency	3	0
Bike Score	M5	Transit Score 50-69 1 Point Transit Score 70-89 2 Points Transit Score 90+ 3 Points	Reduces car dependency	3	0
Car share	M6	On-site car-sharing program (such as ZipCar) at rate of at least 2 cars per 100 dwelling units (residential) or 2 car per 100 parking spaces (commercial) (2 points). Exclusive use of low or zero emission vehicles for car share (2 points)	Provides flexibility to transit users and zero-car households, minimizing business fleets	4	0
Shared Parking	M7	At least 10% reduction in total parking needs due	Maximizes use of parking facilities	3	0
Parking availability	M8	Provided parking is no more than 105% of minimum required parking (1 point) OR approved parking reduction per Zoning (2		2	0
Unbundled parking fees	M9	<b>Residential:</b> parking spaces sold or rented separately from dwelling units <b>Commercial:</b> daily or monthly end-user parking	Encourages households to reduce vehicle ownership	2	0
Electric vehicles	M10	Exceed zoning requirement for EV parking and charging by at least 50%	Encourages use of zero-emission electric vehicles	2	2
Contributions to transportation infrastructure	M11	Development provides \$50,000 to City transportation infrastructure improvements 1 point \$100,000 - 2 points \$200,000 - 3 points		3	0
<b>TOTALS</b>				<b>29</b>	<b>6</b>

## RESILIENCY

ELEMENTS	ID	CRITERIA	PURPOSE	MAX. POINTS	POINTS ACHIEVED
Floodplain	R1	Development is outside of the 100-year floodplain (1 point) Development is outside of the 500-year floodplain (3 points)	Makes buildings more resilient to flooding	3	1
Flood resiliency	R2	Structure(s) is elevated 2 feet above base flood elevation, and mechanical systems are on top floor and/or 2 feet above base	Makes buildings more resilient to flooding	2	2
Building resiliency	R3	Structure(s) is equipped with back-up generators or renewable systems, such as solar panels, for core building functions (light, heat, ventilation/cooling)	Promotes safety and preserves building functions	3	3
Sea level rise	R4	Development is outside of the projected 2085 sea level rise areas	Reduces future flood risk	2	2
Emergency plan	R5	Emergency preparation and continuation of operations plan	Promotes safety and preserves building functions	1	1
<b>TOTALS</b>				<b>11</b>	<b>9</b>

## RESOURCE MANAGEMENT

ELEMENTS	ID	CRITERIA	PURPOSE	MAX. POINTS	POINTS ACHIEVED
Construction and demolition debris	RM1	50% of demolition waste by weight was recycled (2 points) 50% of construction waste by weight was recycled	Preserves natural resources, saves energy, reduces greenhouse gas production, saves money, creates jobs	3	3
Recycling	RM2	Compliant recycling system that includes collection of electronics and textiles	Preserves natural resources, saves energy, reduces greenhouse gas production, saves money, creates jobs	1	1
Organic waste	RM3	Organic waste is collected separately, and composted either on- or off-site On-site food waste dehydrator or on-site aerobic digester	Reduces the waste stream and creates compost	1	0
Reusable materials	RM4	Dishwashing facility and collection station for used utensils sized to accommodate the building's population capacity	Reduces solid waste	1	0
Sustainable Building Materials	RM5			3	3
<b>TOTALS</b>				<b>9</b>	<b>7</b>

## URBAN DESIGN

ELEMENTS	ID	CRITERIA	PURPOSE	MAX. POINTS	POINTS ACHIEVED
Block size	UD1	Public street or public pedestrian walkway at no less than 400-foot intervals	Small blocks enable shorter walking distances between destinations and promote walking	1	0
Minimal visual impact of parking	UD2	Garage wrapped by other uses at the pedestrian level for at least 80% of garage frontage Surface spaces are blocked from view by structures along frontage of main entrance	Visible parking lots deaden street life and discourage walking	1	0
Building orientation	UD3	Principle functional entrance opens to sidewalk adjacent to public street	Main entrance at street promotes frequent pedestrian trips to nearby destinations and transit use	1	0
Building façade	UD4	Building entrances are no more than 100 feet apart, and mass of building is broken up vertically and/or horizontally	Creates increased activity at the street and visual interest	3	0
Building materials	UD5	No use of EIFS, vinyl, or aluminum in façade	High quality building materials improve the pedestrian environment	3	0
Building proximity	UD6	Front façade built to minimum allowed setback line	Creates increased activity at the street and visual integrity	1	0
<b>TOTAL</b>				<b>10</b>	<b>0</b>

## WATER USE

ELEMENTS	ID	CRITERIA	PURPOSE	MAX. POINTS	POINTS ACHIEVED
Indoor water management	W1	All fixtures are EPA WaterSense rated (1 point) Development uses greywater for irrigation and/or cooling towers (2 points)	Reduces use of treated potable water	3	1
Outdoor water management	W2	Landscape irrigation systems are EPA WaterSense rated	Reduces use of treated potable water	1	
Stormwater management	W3	Exceed requirements of Stamford Drainage Manual for stormwater retention by at least 20%	Reduces amount of stormwater and associated pollutants draining into the municipal system	3	
			<b>TOTALS</b>	<b>7</b>	<b>1</b>

# DEVELOPMENT REVIEW GUIDELINES

## City of Stamford Development Review Guidelines V2.0

### **Purpose**

The purpose of the City of Stamford Development Review Guidelines (DRG) is to :

1. Disclose the effects of proposed development, both negative and positive;
2. Identify measures to mitigate the expected impacts on site, the surrounding area and the city as a whole;
3. Inform decision making by the City's Land Use boards and to allow for informed public participation in the approval process.

### **Applicability**

The Development Review Guidelines may be requested from an applicant for certain projects by the Stamford Land Use Board or the Land Use Bureau at their discretion.

Typically, the DRG may be requested for the following actions and projects

- Zoning Text changes, in particular Major Zoning Text changes
- Zoning Map changes, in particular for areas larger than 1 acre
- General Development Plans
- Larger development projects pursuant to Section 7.5 of the Zoning Regulations that
  - a) have a gross floor area of more than 20,000sf or 10 or more residential units
  - b) alter 40,000 sf or more of lot area
  - c) create or would require 100 or more parking spaces, or require a parking study pursuant to Section 12.A.9.

However, Land Use Boards or the Land Use Bureau may request DRG for smaller projects if deemed necessary, for example because of the location of a project in a sensitive area.

### **Submission of Development Review Documents**

Development Review documents should be submitted as part of the pre-application (if required) or when an application is filed.

Documents should be submitted electronically - the attached form in the current .xlsx format and all additional information as PDF documents



## 1. Site Data Sheet

Application Number:   
 Project Name:   
 Project Location  
 Address  
 Street Number:  Street Name:   
 Lot(s):   
 Neighborhood Statistical Area:   
 Current Zoning District:  Proposed Zoning District:   
 Current Master Plan Category:  Master Plan Category:

Zoning Section		Required/ Permitted	Existing Conditions	Proposed	Notes (Indicate compliance or Zoning Section for Special Exception if applicable)
	<b>Lot Size</b>	15 acres	25.26 acres	No change	Complies
	<b>Gross Floor Area</b>		~300,000 sf	428,050 sf	Complies
	<b>Zoning Floor Area</b>				
	Residential		0	418,656 sf	Complies
	Commercial		~300,000 sf	9,394 sf	Complies
	Community Facility		0	0 sf	
	Industrial		0	0 sf	
	<b>Total</b>	440,130 sf	~300,000 sf	428,050 sf	Complies
	<b>F.A.R.</b>				
	Residential			0.38	Complies
	Commercial			0.009	Complies
	Community Facility			N/A	
	Industrial			N/A	
	<b>Total</b>	0.40	~0.27	0.389	Complies
	<b>Number of units</b>	354	0	354	Complies
	<b>Below Market Rate Units (# and %)</b>	35.4 / 10%	N/A	35 / 10%	Complies (fee-in-lieu proposed for fractional 0.4%)
	<b>Number of seats/ beds / employees if applicable</b>	N/A	N/A	N/A	

	<b>Density(Units/Acre)</b>	14 units / acre	N/A	14 units / acre	Complies
	<b>Street Frontage</b>			843'	
	<b>Building Coverage (Area and %)</b>	110,033 sf / 10%	150,745 sf / 13.7%	104,665 sf / 9.51%	Complies
	<b>Lot coverage (Area and %)</b>	385,113 sf / 35%	360,066 sf / 32.7%	384,013 sf / 34.9%	Complies
	<b>Building Height (Feet)</b>	60'	56'	47'-8"	Complies
	<b>Number of floors</b>	4	4	4	Complies
	<b>Active ground floor (sq.ft. and %) if applicable</b>	N/A	N/A	N/A	
	<b>Yards</b>				
	Front yard ( Streetline)	50	50'+	50'+	Complies
	Front yard ( St centerline)	50	50'+	50'+	Complies
	Rear yard	50	50'+	50'+	Complies
	Side yard	50	50'+	50'+	Complies
	<b>Parking</b>				
	Residential parking	569	0	574	Complies
	Commercial parking	38	512	38	Complies
	Community Facility parking	N/A	N/A	N/A	
	Industrial parking	N/A	N/A	N/A	
	Public open space parking	6	0	6	Complies
	Bike parking	85	0	127	Complies
	# of levels of parking garage (if applicable)	N/A	N/A	1	
	Square footage of parking area	N/A	N/A	137,138 sf	
	Parking setback	50'	>50'	>50'	Complies
	<b>Open space (Area and % )</b>	55,016 sf/5%	N/A	55,657 sf/5%	Complies
	Active (If separate)			N/A	
	Passive (If separate)			N/A	
	<b>Street Trees</b>				
	Existing			25+	
	Proposed			9	
	Total	33.72	25+	33+	Complies
	<b>Signage</b>				
	Wall signs (# and size)	60 sf / building		2 @ 24 sf	Complies
	Ground Signs (# and size)			N/A	
	Blade signs (# and size)			N/A	
	<b>Fence height</b>			N/A	

Is the project site fully or partially in the CAM?	N
Is the project site fully or partially in a flood plain?	Y
Is the site fully or partially in a historic district?	N
Is the site fully or partially in the Mill River Design District?	N
Is the site fully or partially in Downtown?	N
Is the site a brownfield site?	N
Is the site a greenfield site?	N

## 2. Impact Summary

	<b>Adverse Impact</b>	<b>Mitigation</b>
<b>Mobility</b>	N	N/A
<b>Housing</b>	N	N/A
<b>Schools and Community Facilities</b>	N	N/A
<b>Infrastructure</b>	N	N/A
<b>Public Safety</b>	N	N/A
<b>Parks and Open Space</b>	N	N/A
<b>Environmentally Sensitive Areas</b>	N	N/A
<b>Historic Resources</b>	N	N/A
<b>Quality of Life</b>	N	N/A
<b>Fiscal Impact</b>	N	N/A
<b>Conveniences</b>	N	N/A

**3. Mobility**

**Parking**

	current	current permitted	proposed	proposed permitted	Parking ratio
<b>Residential parking</b>	0		574	569	1.5/1BR, 1.75/2BR, 2/3BR; 1.25/1BR BMR, 1.5/2BR BMR, 1.5/2BR BMR
<b>Residential Loading</b>	0		2	0	
<b>Community Facility parking</b>	0		0		
<b>Community Facility Loading</b>	0		0		
<b>Commercial Retail parking</b>	0		38	38	4 / 1,000 sf
<b>Commercial Retail loading</b>	0		1	0	
<b>Commercial Office parking</b>	512	653	0		3 / 1,000 sf
<b>Commercial Office loading</b>			0		
<b>Manufacturing parking</b>	0		0		
<b>Manufacturing loading</b>	0		0		
<b>Public Open Space parking</b>	0		6	6	1 space / 10,000 sf of trail area

Are you providing shared parking?  If yes, explain parking concept

Are you providing car share  If yes, explain (operator, # of vehicles, etc.)

Are you proposing to add or close curb cuts?  If yes, please explain changes to the curb cuts

Is the site located on an arterial road?  Name of road(s)   
 Is the site located on a state highway?  Name of road(s)

Is the proposed site within half a mile of a train station?  Which train station?   
 Is the proposed site within a quarter mile of a bus stop  Which line?

**Impacted Intersections**

Street 1	Street 2	current LOS	expected LOS with action	expected LOS with Mitigation
See Traffic Study				

Distance to	Miles	Bus connection line	Bus connection headway	total travel time by transit
<b>Stamford Transit Center</b>	3.8	336	40 minutes	28 minutes

<b>Springdale Station</b>	3.7	336, 334	40 minutes	55 minutes
<b>Glenbrook Station</b>	4	336, 344	40 minutes	52 minutes
<b>Downtown / Veteran's Park</b>	3.3	336	40 minutes	23 minutes

the site connected to the pedestrian network?

N

Is the site connected to the bike network?

N

What mitigating measures are planned to reduce parking needs and improve mobility, e.g., shuttle service?

See Transportation Demand Management Plan

Provide a traffic plan and a site access plan!

See traffic study and site plan

Traffic and site access plans contents:

- all streets w/ with widths, directions, # of lanes
- sidewalk with widths
- bus stops
- signals, crosswalks, pedestrian ramps
- curb cuts - width, distance from intersections
- all pedestrian entrances, and circulation
- location of parking, including bike parking and on street parking
- intersection LOS
- street trees
- traffic calming features
- loading off-street / on-street

Was a comprehensive traffic study prepared for this project?

Y

If yes, please upload the study

Provided

**4. Housing**

Residential Floor Area   
 Number of units   
 Floor Area per unit

Is the development proposed to be ownership or rental?

**Proposed Housing and Unit Mix**

Unit Type	total	Market rate	prop. rent	prop sales price	senior housing	BMR	prop rent	prop sales price	% BMR	complies with BMR	market rate aff.	total aff units
Studio	0	0	N/A	N/A	None	0	N/A	N/A	N/A	N/A	N/A	
1-BR	186	168	TBD	N/A	None	18	TBD	N/A	50	Y	N/A	18
2-BR	148	133	TBD	N/A	None	15	TBD	N/A	50	Y	N/A	15
3+BR	20	18	TBD	N/A	None	2	TBD	N/A	50	Y	N/A	2
<b>All units</b>	<b>354</b>	<b>313</b>	<b>TBD</b>	<b>N/A</b>	<b>None</b>	<b>35</b>	<b>TBD</b>	<b>N/A</b>	<b>50</b>	<b>Y</b>	<b>N/A</b>	<b>35</b>

**Current housing on site**

Unit Type	total	Market rate	current rent	current value	senior housing	BMR	current rent	current value	%BMR	Market rate affordable	total affordable units
Studio	0	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
1-BR	0	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
2-BR	0	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
3+BR	0	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
<b>All units</b>	<b>0</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>

Are all BMR units proposed to be on site?   
 Where are the off site units?

Is there a fee in lieu payment?   
 What is the total fee-in-lieu payment?   
 How is the fee in lieu payment calculated?

**5. Schools and Community Facilities**

	School name	current School utilization	expected school utilization
Which elementary school is the project zoned for?	Roxbury	N/A	Roxbury
Which middle school is the project zoned for?	Cloonan	N/A	Cloonan
Which high school school is the project zoned for?	Westhill	N/A	Westhill

How many additional school children is this project expected to generate?

	# units	senior housing units	school units	Elem. School Factor	# elem. school students	Middle School Factor	# middle school students	High school Factor	# High school students	All students
<b>Studio</b>	0	0	0	0	0	0	0	0	0	0
<b>1-BR</b>	186	0	0	0.12	22.32	0.04	7.44	0.06	11.16	40.92
<b>2-BR</b>	148	0	0	0.21	31.08	0.09	13.32	0.14	20.72	65.12
<b>3+BR</b>	20	0	0	0.28	5.6	0.12	2.4	0.14	2.8	10.8
<b>All students</b>										<b>116.84</b>

What is the proposed mitigation for school impacts?

Which is the closest public library?   
 Is the library over capacity?

Distance (mi)

Please provide a community facilities map

Public Funded Day Care?



**6. Infrastructure**

Does the site have access to the city's sewer system?

Does the site have access to the city's water supply?

What is the heating type/ fuel for the site?

What is the expected sewer input from the project (gal/day)

Is the current sewer infrastructure sufficient?

attach letter from WPCA

What is the expected water use from the project, excluding irrigation (gal/day)

What is the expected peak water usage fro irrigation (gal/day)

Is the current water infrastructure sufficient?

attach letter from Aquarion

What is the expected average electricity use? (kWh/day)

What is the expected peak electricity use? (kWh/day)

Is the electric infrastructure sufficient?

attach letter from Eversource

What is the expected daily volume of trash produced (cu ft/ day)

What is the expected daily volume of recycling produced (cu ft/ day)

Is garbage and recycling collected by the City?

Does the Stamford Sanitation Department have sufficient resources?

attach letter from Sanitation Dept.

Who is the private garbage and recycling contractor?

Describe the garbage and recycling pick-up (frequency, days of week, equipment used, where picked up)

Describe mitigation measures for sewers

Describe mitigation measures for water

Describe the mitigation measures for electricity

Describe the mitigation measures for garbage and recycling



7. Public Safety

In which Police Precinct is the site located? District 4

Is this a high crime area? N

Are there sufficient police department resources? Y

attach letter from Public Safety Director [ATTACH]

In which Fire District is the site located? Station 9

Are there sufficient Fire Department resources? Y

attach letter from Public Safety Director [ATTACH]

Please describe any mitigation measures related to public safety! TBD

**8. Parks and Open Space**

Please provide information about the closest public parks

	Park name	distance (mi)	Park facilities					
			playground	athletic fields	passive recreation	beach	trails	current LOS
local park	Scalzi Park	2.6	Yes	Yes	Yes	No	Yes	
regional park	Mianus River Park	3.3	No	No	Yes	No	Yes	
recreational facility	Westhill High School	Steps	No	Yes	Yes	No	No	

Open Space Ratio for the Neighborhood Statistical Area

currently	with the proposed action	Citywide Average
TBD	TBD	TBD

Will the proposed development provide amenities for residents?

Which amenities will be provided?	Size (sf)	capacity (persons)	
pool	Y	1,800 sf	36 EDI
outdoor play area	Y	2,500 sf	50 EDI
outdoor sitting area	Y	48,000 sf	1,600 EDI
gym	Y	2,000 sf	40 EDI
commuity rooms / lounges	Y	4,260 sf	284 EDI
other		N/A	EDI

Will the proposed development provide publicly accessible open space?	
size (sf)	55,657
hours	TBD
programming	TBD
landscaping	TBD
seating	TBD

Describe the parks and recreational facilities mitigation measures!

Provide a parks and recreational facilities map

**9. Environmentally Sensitive Areas**

Is the project site fully or partially located in the coastal management area?	N
Is the project site fully or partially located in a flood plain?	Y
Is the project site fully or partially located in a flood way?	N
Are there wetlands on site?	Y
Are there steep slopes on site?	Y
Are there any known endangered species on site?	N
Is there more than 1 acre of undisturbed natural habitat or agricultural area on site?	N

What is the impervious area on the site?			
current sf	current %	proposed sf	proposed %
360,066sf	32.71%	384,013sf	34.90%

Describe the stormwater management practices used on site

Would the site meet the requirements of MS4?

Is the site a brownfield or suspected brownfield site?	No
Has the site been tested?	No
Is there a mitigation plan for the site?	No
What are the historic uses of the site?	Office Park

attach report

Describe the measures to protect natural resources on site!

Provide a natural resources map!

**10. Historic Resources**

Is the site located in a historic district?	N
Name of the Historic District	N/A
Are there any structures on site that are registered as historically significant or that are contributing sites to a Historic District?	N
Please provide a description of these structures (type, age, location on site)	N/A
Are there any structures on site that are more than 50 years old?	N
Please provide a description of these structures (type, age, location on site)	N/A
Are any historic structures proposed to be altered or demolished as part of this proposal?	N
Has this proposal been reviewed by HPAC?	N/A

attach report

Describe the mitigation measures with regard to historic resources!

N/A

**11. Quality of Life**

**For Residential Projects**

Are there any outdoor recreational facilities proposed?	Y
What kind?	Pool, Gym, Terrace, Trails
Hours of operation?	TBD
How are the facilities supervised and noise and other codes enforced?	TBD
Is the site located within 1000 feet of I-95, the Merritt Parkway or an active rail line?	N
If yes, what are the mitigation measures to reduce noise impacts?	N/A
Describe mitigation measures!	N/A

**For Commercial Projects**

What is the type of business?	Daycare
What are the business hours / hours of operation?	TBD
When are loading and deliveries occurring? (hours, days of week, frequency, equipment used)	TBD
How many employees are expected to be on site during peak periods?	TBD
How many customers are expected during peak periods (per hour)	TBD
When is the peak period	TBD
Is any of the business located outside?	TBD
Describe mitigation measures!	TBD

**For Manufacturing Projects**

What is the type of business?	N/A
What are the business hours / hours of operation?	N/A
When are loading and deliveries occurring? (hours, days of week, frequency, equipment used)	N/A
How much truck traffic is associated to and from the site?	N/A
How many employees are expected to be on site during peak periods?	N/A
Is any of the operations located outside?	N/A
Describe the outside operations	N/A
Will materials and supplies stored outside?	N/A
Is heavy equipment used?	N/A
Does the site produce dust?	N/A
Does the site produce odor?	N/A
Does the site produce vibration?	N/A
Are hazardous materials stored onsite, used or produced?	N/A
Describe the hazardous materials, quantities, and how they are safeguarded.	N/A

How is it controlled?	N/A
How is it controlled?	N/A
How is it controlled?	N/A



# DEVELOPMENT REVIEW GUIDELINES

Application #: \_\_\_\_\_

Describe mitigation measures!

**12. Development Benefits**

**Expected Recurring Revenue for the City per year**

Property Tax	\$ TBD
Business Tax	\$ TBD
Other Fees/Taxes	\$ TBD
<b>Total</b>	<b>\$ TBD</b>

**Expected one-time payments to the City**

**Does the project provide publicly accessible open space**

How large is the proposed publicly accessible open space

Describe design and programming of the proposed publicly accessible open space

Describe any additional public benefits of the project, e.g., related to housing affordability, sustainability, community facilities, brownfield clean-up, etc.



## 13. Conveniences

*residential projects only*

Describe the conveniences in the area surrounding the project site

Type	Name	location	less than a mile?	distance	bike / ped accessible?
supermarket	ACME	1201 High Ridge Road	N	1.9 miles	N
dry cleaner	Town & Country Cleaners	1036 Long Ridge Road	Y	0.6 miles	N
medical office	Haven Health Long Ridge Medical Center	260 Long Ridge Road	N	1.2 miles	N
dental office	Jon C. Rosenblitt	251 Long Ridge Road	N	1.2 miles	N
restaurant	Lakeside Diner	1050 Long Ridge Road	Y	0.7 miles	N
convenience store	Sunoco Gas Station	316 Long Ridge Road	N	1.1 miles	N
drug store	CVS	66 High Ridge Road	N	1.9 miles	N
local park	Scalzi Park	97 Bridge Street	N	2.6 miles	N
regional park	Mianus River Park	Merriebrook Lane	N	3.3 miles	N
beach	West Beach	Shippan Avenue	N	5.3 miles	
library	Harry Bennet	115 Vine Road	N	2.6 miles	N
day care	Long Ridge Road Child Development Center	778 Long Ridge Road	Y	0.1 miles	Y
elementary school	Roxbury	751 West Hill Road	Y	0.8 miles	N
middle school	Cloonan	11 West North Street	N	3.2 miles	N
high school	Westhill	125 Roxbury Road	N	0.8 miles	N
gym	Anytime Fitness	838 High Ridge Road	N	2.4 miles	N

Are conveniences proposed on site?

Y

Please describe

Pool, gym, terrace, trails, daycare

Are they open to the public?

Trails in PAAS and daycare will be open to public

**14. Urban Design**

Describe the Land use on neighboring parcels | Office, commercial, residential, institutional

Describe the Design of neighboring buildings (Height, Material, style, age, condition) | Office buildings, childcare center, school, medical building, single-family homes, all of differing size and design

for buildings six stories and higher, please provide an illustrative massing | N/A

Please provide a streetscape elevation for all frontages facing public streets | [ATTACH]

For building six stories and taller, please provide a shadow study! | N/A

## Current vs. Proposed View from Entry Drive



BUILDING 1 AND 2 - EAST VIEW

## Current vs. Proposed View from East



BUILDING 2, 3 AND 4 - EAST VIEW

## Current vs. Proposed View of Retail Space



BUILDING 1 RETAIL SPACE - NORTH VIEW

**Current vs. Proposed View of Amenity Area**



AMENITY AREA - EAST VIEW

## Current vs. Proposed Northwest View



BUILDING 1 AND 2 - NORTH WEST VIEW

## Current vs. Proposed West View



BUILDING 4 AND 3 - WEST VIEW