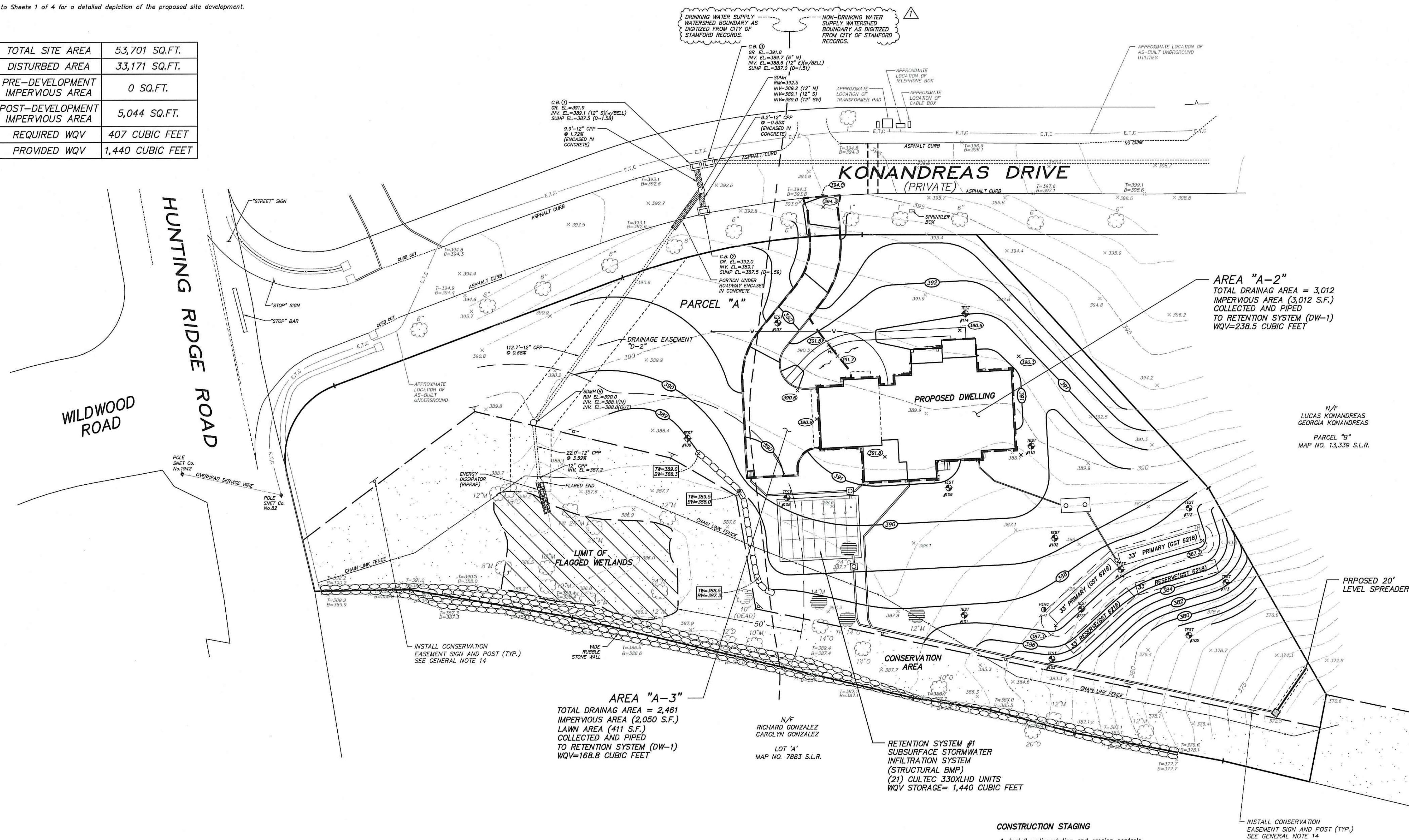
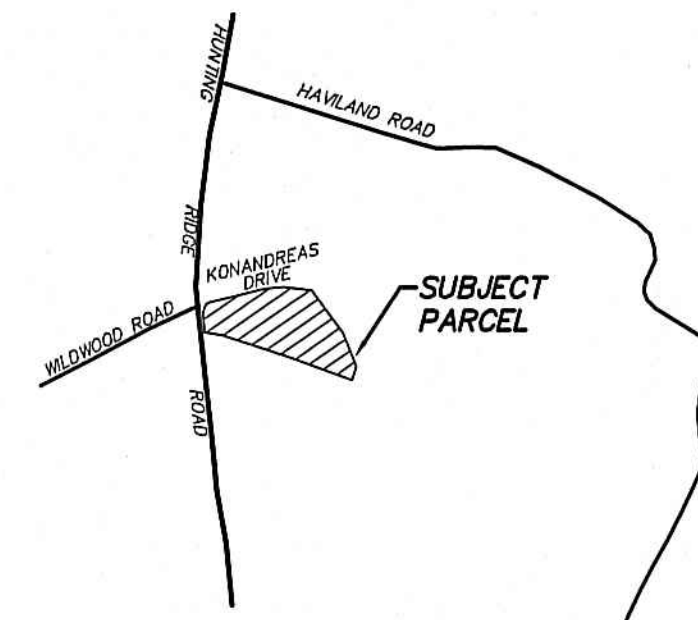




























1. The purpose of this plan is only to show the Low Impact Development portions of the project, as per City requirements. This plan shall not be used in any way for construction.
2. Existing features and topography were taken from a map entitled, "Topographic Survey of property at Konandress Drive in Stamford, Connecticut, prepared for T. Martin, Michelle T. Martin, as prepared by D'Andrea Surveying & Engineering, P.C., and dated December 11, 2023.
3. Elevations shown are based on the North American Vertical Datum of 1988 (NAVD88). The contractor shall coordinate the transfer of a control benchmark into the working area by a licensed surveyor after the site preparation is complete.
4. Refer to Sheets 1 of 4 for a detailed depiction of the proposed site development.

TOTAL SITE AREA	53,701 SQ.FT.
DISTURBED AREA	33,171 SQ.FT.
PRE-DEVELOPMENT IMPERVIOUS AREA	0 SQ.FT.
POST-DEVELOPMENT IMPERVIOUS AREA	5,044 SQ.FT.
REQUIRED WQV	407 CUBIC FEET
PROVIDED WQV	1,440 CUBIC FEET

AREA = 1.2328 ACRES


REFER TO MAP No. 13339 S.L.R.



- 
 EXISTING CONTOUR

 EXISTING SPOT ELEVATION

 EXISTING TOP/BOTTOM SPOT ELEVATION

 PROPOSED CONTOUR

 PROPOSED SPOT ELEVATION

 DECIDUOUS TREE

 CONIFEROUS TREE

 TREE TO BE REMOVED

 INSTALL TREE PROTECTION

 TEST PIT

 PERCOLATION TEST

 CATCH BASIN

 VERIFY IN FIELD

 ROOF DRAIN

 POLYVINYL CHLORIDE

 AS ORDERED BY ENGINEER

 CLEAN OUT

 TOP OF WALL

 BOTTOM OF WALL

 CONSTRUCTION FENCING

 SILT FENCE

 OVERHEAD SERVICE WIRE

 UTILITY POLE

 WATER SERVICE

 PROPERTY LINE

 EXISTING RETAINING WALL

M - MAPLE
 O - OAK
 TR - TRIPLE
 TW - TWIN

1. *Install sedimentation and erosion controls.*
2. *Mark and cut trees to be removed.*
3. *Install tree protection as required.*
4. *Strip topsoil and stockpile it with appropriate sedimentation control measures.*
5. *Excavate for and construct proposed foundation.*
6. *Construct dwelling.*
7. *Backfill and rough grade around building foundation, stabilize all slopes.*
8. *Install drainage system.*
9. *Install septic system and utilities.*
10. *Fine grade and stabilize all slopes.*
11. *Landscape.*
12. *Remove sedimentation and erosion controls.*

1	3-15-24	WATERSHED BOUNDARIES AND SETBACK
0	1-22-24	ISSUE TO EPB & SHD
REV.	DATE	DESCRIPTION
LEONARD C. D'ANDREA, CT PE No. 14869		
 ENGINEER		3-15-24
ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.		

D'ANDREA SURVEYING & ENGINEERING, PC • LAND PLANNERS • ENGINEERS SURVEYORS P.O. BOX 549 RIVERSIDE, CT 06878 6 NEIL LANE TEL. 637-1779	
PROJECT	SINGLE FAMILY DWELLING
PREPARED FOR	CHRIS MORTON MICHELLE T. MORTON
LOCATION	11 KONANDREAS DRIVE STAMFORD, CONNECTICUT
1 OF 1	LOW IMPACT DEVELOPMENT PLAN