

AGREEMENT

This Agreement is entered into as of the _____ day of February, 2024 by and between Nguyen Realty LLC a Connecticut Limited Liability Company with an address of 302-312 Shippan Avenue, Stamford, Connecticut (“Nguyen”) and Len Bucaj an individual with an address of _____ Shippan Avenue, Stamford Connecticut (“Bucaj”).

Whereas, Nguyen Realty brought an application before the Zoning Board of the City of Stamford (“Zoning Board”) which was assigned application number 220-22 (“Application”); and

Whereas, that Application was in regard to the proposed development of property commonly known as 302-312 Shippan Avenue (“Property”) consistent with plans submitted with the Application (“Development”); and

Whereas, the application was approved by the Zoning Board effective May 25, 2021 (“Approval”); and

Whereas, Bucaj took an Appeal of approval to the Superior Court of the State of Connecticut; and,

Whereas, that appeal was assigned docket number FST-CV-21-6051982-S (“Action”); and

Whereas Nguyen and Bucaj have reached an agreement to settle the Action,

Now, therefore, for good and valuable consideration the receipt of which is hereby acknowledged,

Nguyen and Bucaj agree as follows:

1. Nguyen shall develop its site consistent with the following plans which are attached hereto and made apart hereof as Exhibit A:
 1. Site Plan Proposed Drawing, Number A-1.0 prepared by PCDC Architecture LLC and last revised January 13, 2024
 2. New Townhouses Floor Plans-Proposed, Drawing Number A-1.1 prepared by PCDC Architects and last revised October 27, 2023;
 3. New Townhouses Exterior Elevations Proposed, Drawing Number A-2.9 prepared by PCDC Architecture LLC and last revised October 27, 2023; and
 4. New Townhouses Exterior Elevations Proposed, Drawing Number A-2.10 prepared by PCDC Architecture LLC and last revised October 27, 2023 (“Plans”).
2. In regard to the development of the Property Nguyen, shall incorporate the following:
 - a. A noiseless vehicle detection and control mechanism as described in the specification attached hereto and made a part hereof as Exhibit B, and directed away from Bucaj’s property as much as reasonably practical.
 - b. A screening fence as described in the specifications attached hereto and made a part hereof as Exhibit C. Nguyen shall install said screening fence by affixing the panels to the currently existing poles. The panels shall be installed with the framed side of the screening facing Nguyen. The westernmost panels shall be four (4) feet high and total ninety (90) feet in length and the easternmost panels shall be six (6) feet high and total twenty (20) feet in length. Bucaj may maintain the screening facing her property at her discretion or require Nguyen to maintain same. Nguyen shall maintain the screening facing the Nguyen property.
 - c. A speed bump as described in the specifications attached hereto and made a part hereof as Exhibit D.

- d. A lighting plan as described in the specifications attached hereto and made a part hereof as Exhibit E. Said lighting to be directed down and away from Bucaj's property as much as reasonably practical.
3. The items set forth in Exhibits B through E ("Amenities") shall be incorporated into the Development as set forth in the Plans.
4. No dumpsters or garbage receptacles on the Property shall be placed within 30 feet of the boundary with property currently owned by Bucaj and abutting the Property to its North and no portion of the Property shall be used as a smoke shop, cannabis shop, gaming parlor, massage parlor, adult entertainment use or any pornographic use.
5. This Agreement shall only be binding upon Nguyen and Bucaj if this Agreement is approved by the Connecticut Superior Court and if the Plans and Amenities are adopted by the Zoning Board and the Approval is modified to incorporate the Plans and Amenities and no appeal is taken from such Approval as modified.
6. Should the Zoning Board adopt the Plans and modify the Approval and no appeal be taken therefrom, Bucaj shall cause the Action to be withdrawn and Nguyen shall record the agreement attached hereto and made a part hereof as Exhibit F on the Stamford Land Records.
7. The "Whereas" clauses set forth above are incorporated into and made a part of this Agreement.
8. This Agreement may be executed in counterparts each of which shall be considered an original but together which shall be considered one document.
9. Bucaj and her agents and representatives shall have the right to walk the site to review same with the Plans at such times as may be mutually agreed upon between Bucaj and Nguyen, before the commencement of any construction of the Development.
10. Idling of vehicles upon the Property shall not exceed 3 consecutive minutes in duration of time, in accordance with Sec. 164-6 of the City of Stamford Ordinances and Regulations of Connecticut State Agencies, Sec. 22a-174-18(b)(3), as may be amended or superseded from time to time.

11. Daily start and finish times for construction activity upon the Property shall comply with City of Stamford ordinances and State of Connecticut statutes and regulations.
12. The Parties agree that, if Nguyen, and/or any of its agents, heirs, successors or assigns, defaults in complying with the terms of this Agreement, then Bucaj, and/or any of her agents, heirs, successors or assigns, shall have the right to institute legal proceedings to enforce this Agreement against Nguyen and/or any of its agents, successors or assigns. If an action is commenced to enforce this Agreement, then the prevailing party shall be entitled to its reasonable attorneys' fees and costs. The Parties agree that the Connecticut Superior Court shall retain jurisdiction to enforce this Agreement.
13. This Agreement shall be binding upon and inure to the benefit of the parties, Bucaj and Nguyen, and their respective agents, successors, heirs, and assigns.

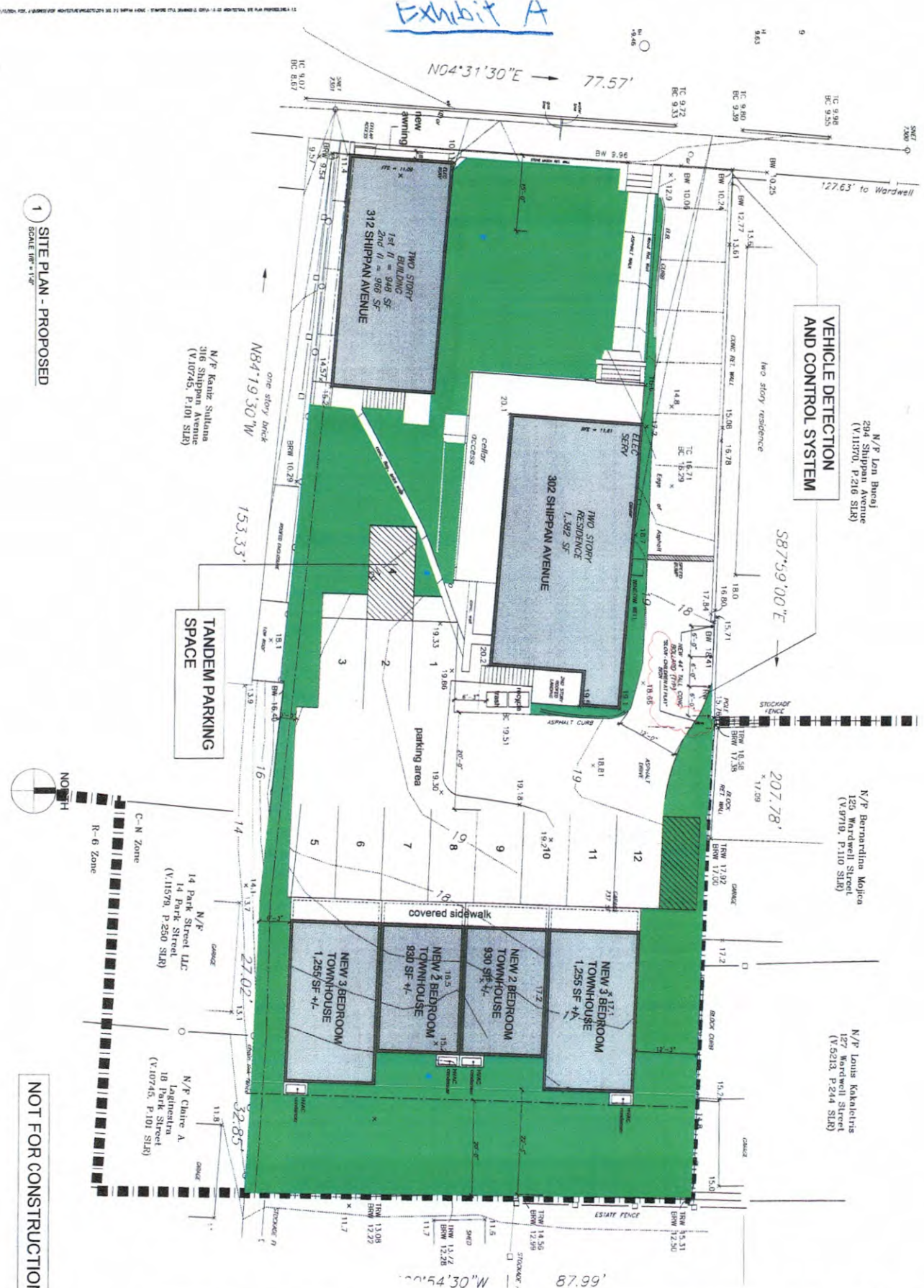
In witness whereof, Nguyen and Bucaj have executed this document as of the date set forth above.

Nguyen Realty LLC

By _____
Duc Hong Nguyen, a member

Len Bucaj

Exhibit A



1 SITE PLAN - PROPOSED
SCALE 1/8" = 1'-0"



NOT FOR CONSTRUCTION

SITE PLAN - PROPOSED

DRAWING NUMBER
A-1.0

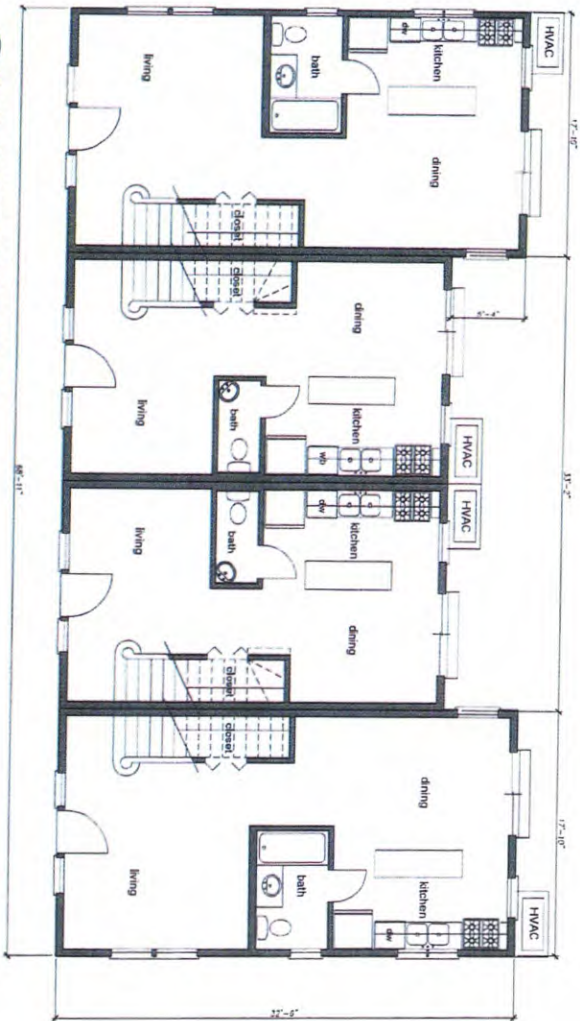
DATE	ISSUE / REVISION
10/21/2023	PROPOSED LAYOUT
10/12/2023	PROPOSED LAYOUT
10/24/2023	PROPOSED LAYOUT REV
01/12/2024	CHILDREN AT PLAY SIGN ADDED

ALTERATIONS TO EXISTING MIXED USE PROPERTY
302-312 SHIPPAN AVENUE
STAMFORD, CT

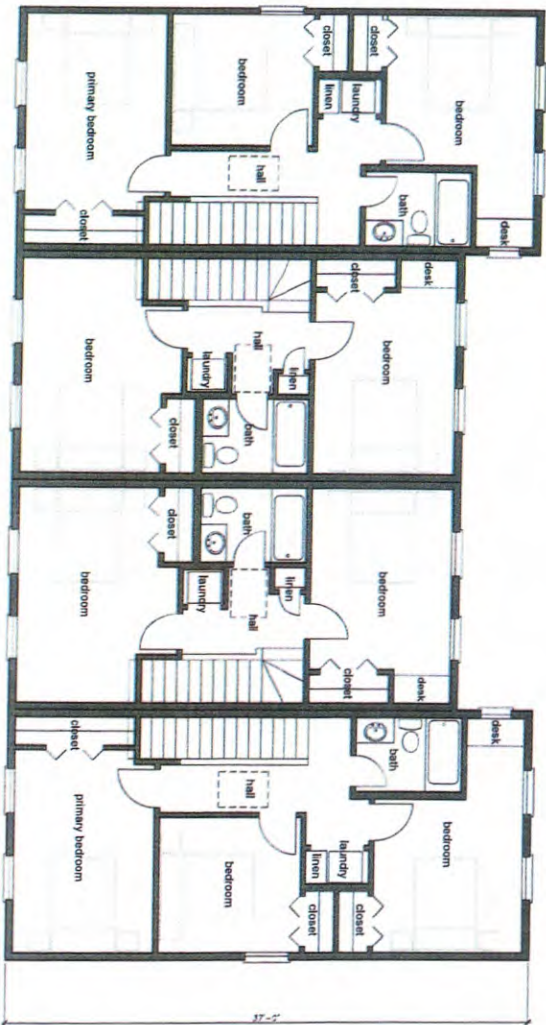
PCDF Architects, LLC
115 Pocomo Road #114
Brookfield, Connecticut 06804
mobile: (203) 918-1176
www.pcdfa.com

PCDF Architects, LLC
residential architecture
commercial architecture
interior design
project management

PCDF



1 PLAN - GROUND FLOOR PROPOSED
SCALE = 1/8" = 1'-0"



2 PLAN - SECOND FLOOR PROPOSED
SCALE = 1/8" = 1'-0"



NOT FOR CONSTRUCTION

PCDFA
PCDFA ARCHITECTURE LLC
residential architecture
commercial architecture
interior design
project management
115 Peoria Road #014
Bloomfield, Connecticut 06004
mobile: (203) 918-1178
www.pcdfa.com

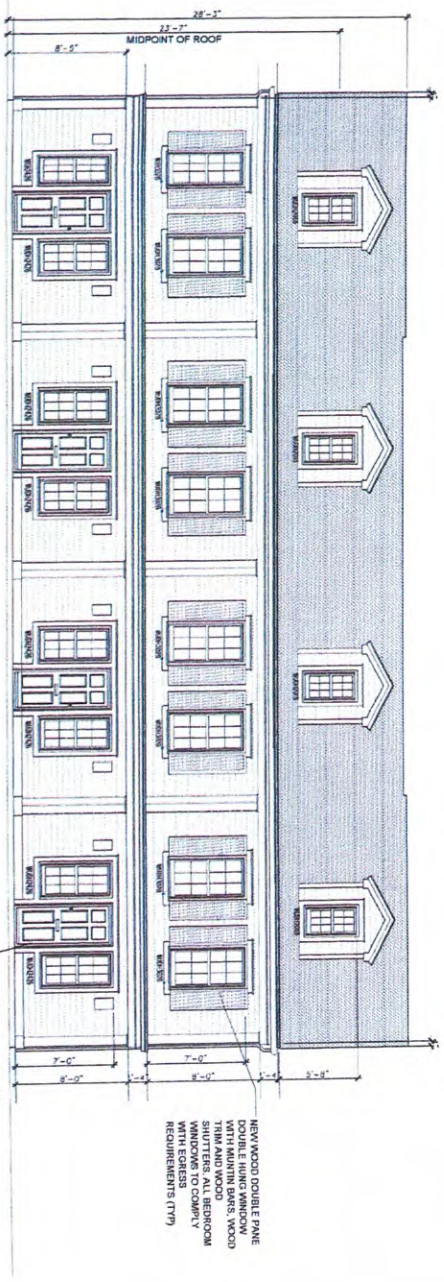
Drawings shall not be used for any other project without the express written consent of the architect. All drawings are the property of PCDFA Architecture LLC and shall not be used for any other project without the express written consent of the architect. PCDFA Architecture LLC and PCDFA are not responsible for any errors or omissions in these drawings.

ALTERATIONS TO EXISTING
MIXED USE PROPERTY
302-312 SHIPPAN AVENUE
STAMFORD, CT

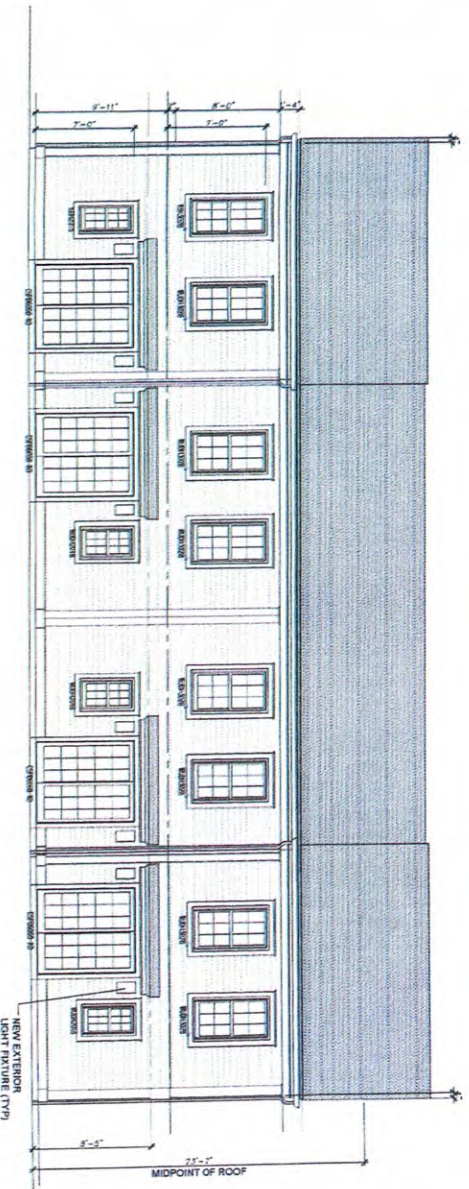
DATE	ISSUE / REVISION
10/27/2022	ISSUE FOR REVIEW

NEW TOWNHOUSES
FLOOR PLANS - PROPOSED

DRAWING NUMBER
A-1.1



1 ELEVATION - TOWNHOUSES WEST
SCALE = 1/8" = 1'-0"



2 ELEVATION - TOWNHOUSES EAST
SCALE = 1/8" = 1'-0"

NOT FOR CONSTRUCTION

NEW TOWNHOUSES
EXTERIOR ELEVATIONS
PROPOSED

DRAWING NUMBER
A-2.9

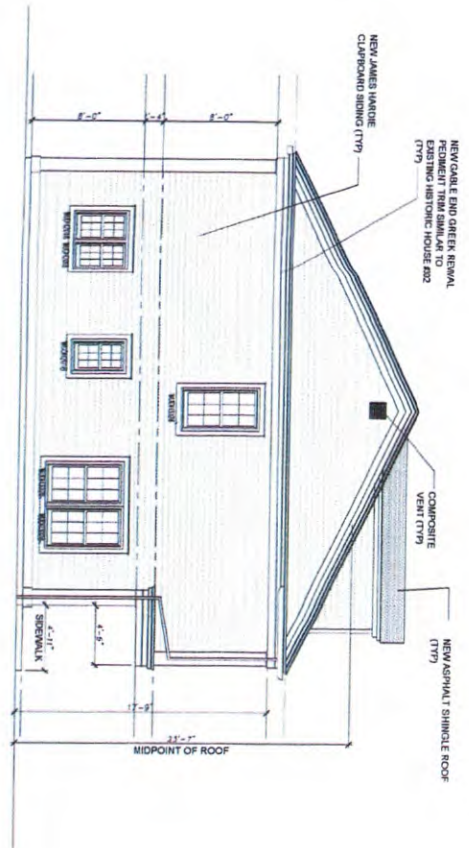
DATE	ISSUE / REVISION
12/27/2023	ISSUE FOR REVIEW

ALTERATIONS TO EXISTING
MIXED USE PROPERTY
302-312 SHIPPAN AVENUE
STAMFORD, CT

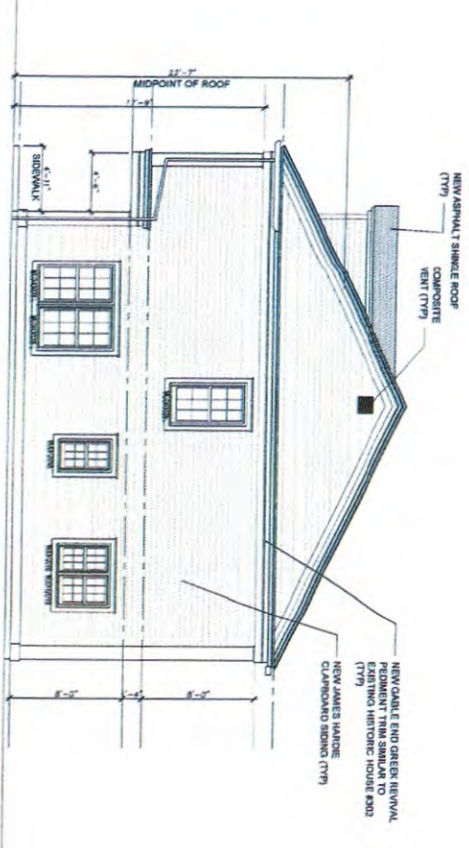
PCDFA
PCDF ARCHITECTURE LLC
residential architecture
commercial architecture
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project management

115 Peconk Road #114
Brookfield, Connecticut 06804
mobile: (203) 918-1178
www.pcdfa.com

Drawings, plans and/or specifications prepared by PCDFA Architecture, LLC shall remain the property of PCDFA Architecture, LLC and shall not be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of PCDFA Architecture, LLC.



1 ELEVATION - TOWNHOUSES NORTH
SCALE = 1/4" = 1'-0"



2 ELEVATION - TOWNHOUSES SOUTH
SCALE = 1/4" = 1'-0"

NOT FOR CONSTRUCTION

NEW TOWNHOUSES
EXTERIOR ELEVATIONS
PROPOSED

DRAWING NUMBER

A-2.10

DATE	ISSUE / REVISION
10/27/2023	ISSUE FOR REVIEW

ALTERATIONS TO EXISTING
MIXED USE PROPERTY
302-312 SHIPPAN AVENUE
STAMFORD, CT

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Brookfield, Connecticut 06804
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Drawings shall not be scaled. No dimensions shall vary. Drawings may differ from verbally stated scale.
DRAWING: CDF190411-2023
PCDF Architecture, LLC, and PCDF-Chapman O. LLP, collectively, warrant the copyright and other intellectual property rights in these drawings are the property of PCDF Architecture, LLC, and shall not be reproduced in any manner or for any purpose without the prior written consent of PCDF Architecture, LLC. PCDF Architecture, LLC and PCDF-Chapman O. LLP are not responsible for any errors or omissions that may occur in these drawings. The extent of this warranty is limited to the drawings as shown on the title block.



Traffic Safety Corporation
2708 47th Ave.
Sacramento, CA 95822-3806
Toll Free: 888.446.9255
Tel: 916.394.9884
Fax: 916.394.2809
Email: sales@xwalk.com
Web: www.xwalk.com



TC26-B Microwave Vehicle Motion Sensor

General Description

The TC26-B is a microwave motion sensor that will identify a vehicle moving in its detection pattern and then trigger the operation of a traffic controller. By utilizing microwave technology, this device provides accurate and consistent vehicle detection that is not affected by temperature, humidity, color or background variations.

The TC26-B easily mounts above ground, requires no pavement cuts and can be installed with minimal traffic disruption. All parameters are adjusted via external controls located on the back panel. The housing is factory sealed with an external wiring harness or an optional quick-connect cable which eliminates the need to open the sensor during installation.

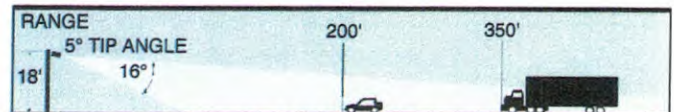
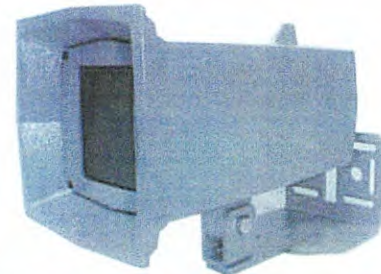
Once mounted, the installer simply connects the cable, makes the necessary adjustments, aims the sensor at the desired detection area and applies power.

Features

- Adjustable range (up to 200' for cars, 350' for trucks)
- Directional scanning (select approach-only or depart-only motion)
- Sealed housing
- External adjustment panel and connector (no need to open the housing during installation)
- External indicator LEDs (eases drive test confirmation)
- Low power - ideal for solar applications (uses 1/5 the power of inductive loops)
- Covers single or multiple lanes
- Installs easily above ground

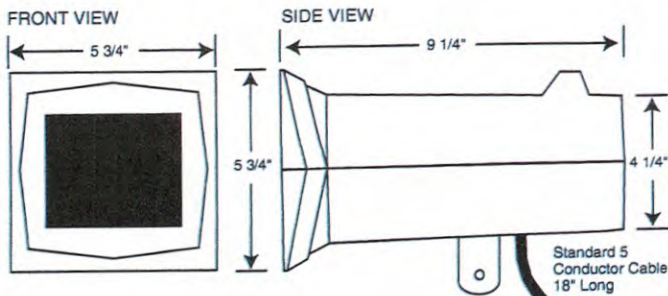
Specifications

- Model Number: TC26-B
- Operating Frequency: 10.525 GHz (X-band)
- Detection Method: Microprocessor analyzed doppler-microwave

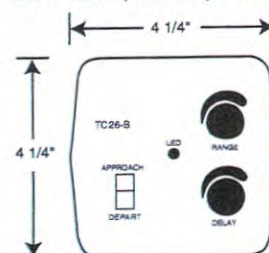


Range shown at maximum - not drawn to scale

- Detection Pattern (maximum): 200' long x 50' wide (cars), 350' long x 75' wide (trucks)
- Detection Mode: Directional motion (sensor will detect vehicle moving at 1 mph or higher)
- Detection Hold-Time: Continuous with motion
- Response Time: 0.250 seconds
- Time Delay: Adjustable 0.250 - 5.0 seconds
- Power Requirements: 12 to 24V AC or DC
- Current Draw: 75mA max. @ 24V DC
- Power Consumption: 1.8 Watts max. @ 24V DC
- Relay Output: Form C, rated at 3 Amps @ 24V DC
- Wiring Harness: 18 gauge 5 conductor cable (standard), 18 gauge 5 conductor quick release (optional)
- Mounting Bracket: Predrilled and slotted (band or lag-bolt mount)
- Enclosure/Finish: Gray powder coated aluminum
- Operating Temperature: -35°F to 165°F (-37°C to 74°C)
- Shipping Weight: Approx. 5 lb.
- Physical Dimensions: 9.25"L x 5.5"W x 5.5"H (23.5 cm L x 14.0 cm W x 14.0 cm H)



REAR VIEW (External Adjustment Panel)

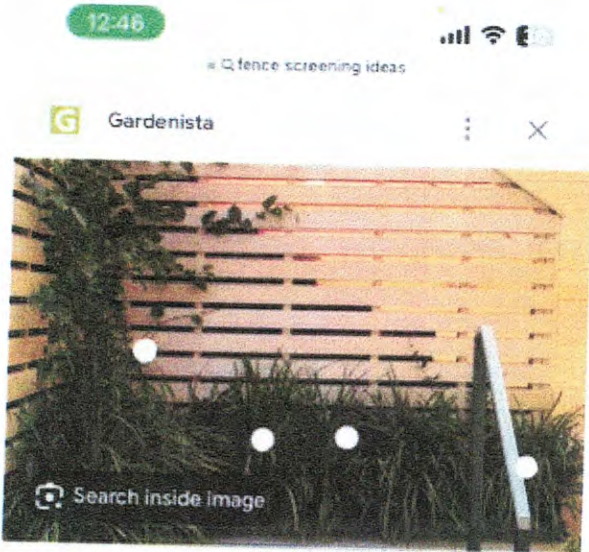


OPTIONAL QUICK RELEASE



Visit our web site: www.xwalk.com

Exhibit C



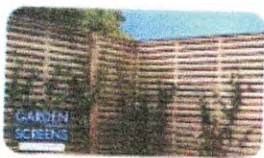
10 Easy Pieces: Privacy Screens - Gardenista

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Speed Bump Strip - 6 Ft Rubber Speed Humps with Modular Interlocking Design - Stop and Slow Cars - for Outdoor, Road, Ramp Ends, Driveway Curb Ramps by Xpose Safety

Visit the Xpose Safety Store
4.0 19 ratings

\$139⁹⁹

Delivery & Support

Select to learn more



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Eligible for Return, Refund or Replacement within 30 day...



Customer Support

Style: 6' Speed Bump

6' Speed Bump End Cap

Brand	Xpose Safety
Material	Rubber
Color	Yellow
Item Weight	51.9 Pounds
Product Dimensions	72"L x 12"W x 2"H

About this item

- 6 FT SPEED BUMP STRIP - Create a safer environment by reducing the speed of moving vehicles with this 6 ft speed hump. Place one or more speed bumps as needed on roads, highways, parking lots, parking garages and construction sites to control traffic flow.
- HIGH VISIBILITY REFLECTIVE - 10 Cat Eye Reflectors Designed with alternating yellow stripes that offer high visibility during the daytime even from a distance. Five embedded reflective beads within the speed bumps reflect light to catch the eye at night and in low visibility conditions.
- HEAVY DUTY CABLE PROTECTION - Made from heavy duty rubber with a textured surface that evenly disperses the weight of cars, trucks and heavy utility



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\$139⁹⁹

FREE delivery Wednesday, January 10

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Ships from Amazon
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Returns Eligible for Return, Refund or Replacement within 30 days of receipt
Payment Secure transaction

Seller Certifications:
Minority-Owned Business

Add a gift receipt for easy returns

Add to List

New (2) from \$139⁹⁹ & FREE Shipping.

Other Sellers on Amazon

\$165.99

& FREE Shipping

Sold by: All In Safety

Add to Cart

vehicles while offering traction and grip. Dual channel grooves protect and prevent damage to road cables.

- **MODULAR INTERLOCKING** - These industrial grade rubber bumper strips are engineered with a modular interlocking system that lets you link as many 6 ft. pieces together as you want side-by-side. Designed to be fitted with textured rubber end caps on both ends.
- **PORTABLE OR PERMANENT** - Transfer the bumper strips from job site to job site or move them around as needed to manage the flow and speed of vehicle traffic. Four pre-drilled mounting holes allow for permanent installation in concrete or asphalt (hardware not included).

› [See more product details](#)

Sponsored

Additional Details



Small Business

This product is from a small business brand. Support small. [Learn more](#)

Sponsored



Low profile, low glare. Edge-lit technology unlike any other.

Color: Bronze

Weight: 15.0 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	0.33A
208V	0.19A
240V	0.17A
277V	0.14A
Input Watts	37.10W

LED info

Watts	38W
Color Temp	4000K (Neutral)
Color Accuracy	72 CRI
L70 Lifespan	100,000
Lumens	4,651
Efficacy	125.4 LPW

Technical Specifications

Listings

UL Listed:

Suitable for wet locations

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80

Title 24 Compliant:

An IVELOT edge-lit area light can be used with a motion sensor or photocell control option to comply with 2016 Title 24 Part 6 Section 130.2 (a,b,v)

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. DLC Product Code: PYE8RYJ

LED Characteristics

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations at 25°C

LEDs:

Long-life, high-efficacy, surface-mount LEDs

Color Stability:

LED color temperature is warrantied to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Construction

IP Rating:

Ingress Protection rating of IP66 for dust and water

Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

Maximum Ambient Temperature:

Suitable for use in 40°C (104°F)

Housing:

Precision die-cast aluminum

IES Classification:

The Forward Throw distribution is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semiCircular distribution with essentially the same candiepower at lateral angles from 90° to 270°.

Mounting:

Universal pole adapter

Lens:

Diffused Polymethyl Methacrylate (PMMA)

Effective Projected Area:

EPA = 0.61

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Other

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

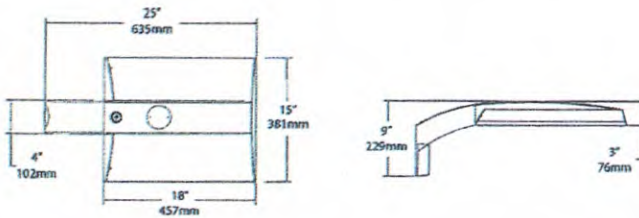
Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Technical Specifications (continued)

Optical	THD:
BUG Rating:	8.58% at 120V, 17.28% at 277V
B2 U0 G2	Power Factor:
Electrical	98.9% at 120V, 91.3% at 277V
Driver:	
Class 2, 50/60Hz, 120-277V, 4kV standard, 10kV optional	

Dimensions



Features

- 0-10V Dimming, standard
- 100,000-Hour LED lifespan

Ordering Matrix

Family	Distribution	Lumen Output	Mounting	CRI/Color Temp	Finish	Voltage/Driver	Sensor Options	Lightcloud Option
IVA	FT	45L	PA	740	Z	U		
	T2 = Type II T3 = Type III T4 = Type IV T5S = Type V Square FT = Forward Throw	45L = 4,500 lumens (38W) 75L = 7,500 lumens (67W) 100L = 10,000 lumens (94W) 130L = 13,000 lumens (117W) ¹	PA = Universal Pole Adapter WM = Wall mount SF = Slipfitter	750 = 70CRI 5000K 740 = 70CRI 4000K 730 = 70CRI 3000K	Z = Bronze W = White G = Roadway Gray K = Black	U = 120-277V 0-10V Dimming H = 347-480V, 0-10V Dimming	Blank = No Options /WS = 8ft lens Wattstopper /WS2 = 20ft lens Wattstopper /WS4 = 40ft lens Wattstopper /7PR = 7-Pin receptacle	Blank = No Lightcloud® /LC = Lightcloud® Controller ²

¹ Applies to Type IV, V Square

² Applies 120-277V

All values are nominal with +/- 10% tolerance. See spec sheet for more details.

Return to:
Attorney Joseph A. Maker
1200 Summer Street, Suite 201B
Stamford, CT 06905

AGREEMENT

This Agreement is entered into as of the _____ day of February, 2024 by and between Nguyen Realty LLC a Connecticut Limited Liability Company with an address of 302-312 Shippan Avenue, Stamford, Connecticut (“Nguyen”) and Len Bucaj an individual with an address of _____ Shippan Avenue, Stamford Connecticut (“Bucaj”).

Whereas, Nguyen Realty brought an application before the Zoning Board of the City of Stamford which was assigned application number 220-22 (“Application”); and

Whereas, that Application was in regard to the proposed development of property commonly known as 302-312 Shippan Avenue (“Property”) which Property is described in the legal description attached hereto and made a part hereof as Exhibit A; and

Whereas, the application was approved by the Zoning Board effective May 25, 2021 (“Approval”); and

Whereas, Bucaj took an Appeal of approval to the Superior Court of the State of Connecticut; and

Whereas, that appeal was assigned docket number FST-CV-21-6051982-S (“Action”); and

Whereas Nguyen and Bucaj have reached an agreement to settle the Action,

Now, therefore, for good and valuable consideration the receipt of which is hereby acknowledged,
Nguyen and Bucaj agree as follows:

1. No dumpsters or garbage receptacles on the Property shall be placed within 30 feet of the boundary with property currently owned by Bucaj and abutting the Property to its North and no portion of the Property shall be used as a smoke shop, cannabis shop, gaming parlor, massage parlor, adult entertainment use or any pornographic use.
2. The "Whereas" clauses set forth above are incorporated into and made a part of this Agreement.
3. The restrictions set forth in this Agreement shall run with the Property land and bind Nguyen and its assigns and be enforceable only by the owner of the Property commonly known as 294 Shippan Avenue.

In witness whereof, Nguyen and Bucaj have executed this document as of the date set forth above.

Signed Sealed and Delivered
In the presence of

John F.X Leydon, Jr.

Nguyen Realty LLC

By _____
Duc Hong Nguyen, a member

Len Bucaj

STATE OF CONNECITUCT)
) SS: Stamford February _____, 2024
COUNTY OF FAIRFIELD)

Personally appeared Duc Hong Nguyen who acknowledged himself to be a member of Nguyen Realty LLC, a Connecticut Limited Liability Company and that he, as such member being authorized to do so, executed the forgoing instrument for the purposes therein contained as his free act and deed and that of said limited liability company, before me.

John F.X. Leydon, Jr.
Commissioner of the Superior Court

STATE OF CONNECITUCT)
) SS: Stamford February _____, 2024
COUNTY OF FAIRFIELD)

Personally appeared Len Bucaj signer and sealer of the foregoing who subscribed her name and acknowledged the same to be her free act and deed before me the day and year first above written.

Commissioner of the Superior Court/Notary Public

Exhibit A

All that parcel of land commonly known as 302 & 312 Shippan Avenue as depicted on Map 14007 of the Stamford Land Records (S.L.R.) and generally described as follows:

Beginning at a point on the easterly side of Shippan Avenue at its intersection with the southerly line of land now or formerly (N/F) of Len Bucaj which point lies 127.63 feet \pm southerly of the southerly side of Wardwell Street, said land being bounded by the following:

- Northerly: 207.78' \pm along lands n/f of said Len Bucaj; Bernadina Mojica; and Louis Kakalettris; each in part;
- Easterly: 87.99' \pm along lands n/f of Rissa G. Gerych, et al; and Alejandro Rodriguezlo, et al; each in part;
- Southerly: 213.2' \pm along lands n/f of Claire A. Laginestra; 14 Park Street LLC; and Kaniz Sultana; each in part; and
- Westerly: 77.57' \pm along the aforesaid easterly side of Shippan Avenue.