

1911 Summer Street

KCI Summer LLC

Stamford Zoning Board

March 25, 2024 – Continued Public Hearing ZB Apps
223-39 & 223-40



Ridgeway Shopping Center

LA Fitness

Master Na's Traditional Martial Arts
Best of Gold Coast
CT Winner - Top Rat...

137

Bridge St

Woodside Green

Rippowam River

Washington Blvd

Summer St

4th St

Bedford St

Chester St

Scalzi Park

TD Bank

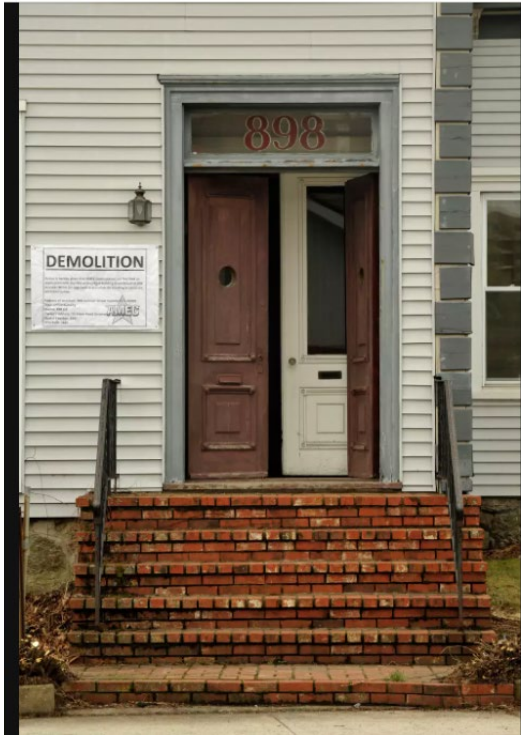
Regulation Amendment 223-39

-
- What is the purpose of the proposed Regulation Amendment?
 - To “encourage the preservation, rehabilitation, enhancement and adaptive reuse of Historic Structures and Historic Sites.” See Zoning Regulations Sec. 7.3.A.1.
 - To “support preservation of Stamford’s historic character by more actively regulating and incentivizing historic preservation.” See Implementation Strategy 6.D.3 of the Stamford Master Plan.
 - To “[p]romote zoning incentives for historic preservation and adaptive reuse. The City should continue to encourage preservation and rehabilitation of significant historic structures through special use permits and density incentives.” See Implantation Strategy 6.D.3-a of the Stamford Master Plan.

Angela Carella: Stamford Civil War-era house set for wrecking ball

Updated April 9, 2015 10:52 p.m.

stamford
advocate



"We're stressed about it. I'm getting two phone calls a day," Haynes said. "A lot of people think this may be a watershed moment. This is one of the last structures that establishes downtown Stamford as a historic place."

Circa 1800s Stamford torn down for pizzeria parking

By **Keila Torres Ocasio**

Updated Oct 26, 2015 5:19 p.m.

stamford
advocate



“The loss of this building is really profound,” said Wes Haynes, who until recently served as the executive director of HNP. “It was highly visible and it had a great degree of integrity. This was a really well preserved example of that building type. It wasn’t a happy day for us.”



- Steps Required To Earn Any Incentive (including those proposed in Appl. 223-39) Available under Section 7.3 of the Zoning Regulations:

1. Identify a potentially historic building or structure.
2. Retain a Qualified Historic Preservation Expert to assess the significance of the historic building or structure.
3. Prepare Site Plan, Special Permit and Cultural Resources Inventory (“CRI”) applications to the Stamford Zoning Board and Historic Preservation Advisory Commission (“HPAC”).
4. Subject applications to municipal review.
 - HPAC
 - Planning Board
 - Transportation, Traffic and Parking (“TTP”)
 - Engineering Department
 - Fire Marshal
 - Environmental Protection Board (“EPB”)
 - Water Pollution Control Authority (“WPCA”)
5. Duly notice a Zoning Board public hearing regarding the Site Plan, Special Permit and CRI applications.
6. Obtain Zoning Board approval for the Site Plan, Special Permit and CRI applications.
 - Satisfy standards of Section 19.D.4 of the Zoning Regulations
 - Satisfy standards of Section 19.C.2 of the Zoning Regulations.
 - Satisfy standards of Section 7.3.C.1 of the Zoning Regulations.
7. Fulfill post approval obligations.

Text Change

- c. *[The Zoning Board may reduce or waive the development standards of Table 12.5 (Minimum Distances of Parking Areas from Lot Lines and Buildings) in order to facilitate the provision of on-site parking. All parking spaces or areas encroaching within the setbacks specified in Table 12.5 shall be constructed with pervious pavers. The Zoning Board may modify the dimensions of Parking Spaces exclusively used for residential uses, as defined by Section 12.A of these Regulations where the Transportation, Traffic and Parking Bureau finds that such modification would not reduce circulation or affect maneuverability of parking operations.]*

Text Change

a. Density (no changes proposed)

b. Setbacks

- 1) Rear and Side Yard setbacks may be reduced by up to fifty percent (50%) of the required setbacks, but to no less than the Light and Air requirement, as set forth in Subsection 7.3.C.4.e below. Front yard setbacks may be reduced by up to the setback of existing adjacent *Historic Buildings*. *[A Corner Lot where Historic Structures or Sites are located and utilized for residential purposes shall comply with the Front Yard setback standard on all Streets, but may reduce the setback on one (1) frontage to no less than 5' in a commercial district, or no less than 10' in a multifamily residential district, and shall comply with the Side Yard setback standard (as may be modified by this subsection) for all other yards. There shall be no Rear Yard requirement.]*





Fifth Street



MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT

Regional Map Viewer makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 01/11/2024
Data updated 12/06/2023

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.

03/25/2024
1911 Summer St
Stamford, CT
Neighboring Fifth Street Properties
Front Yard Setback
Prepared By: K. Werner

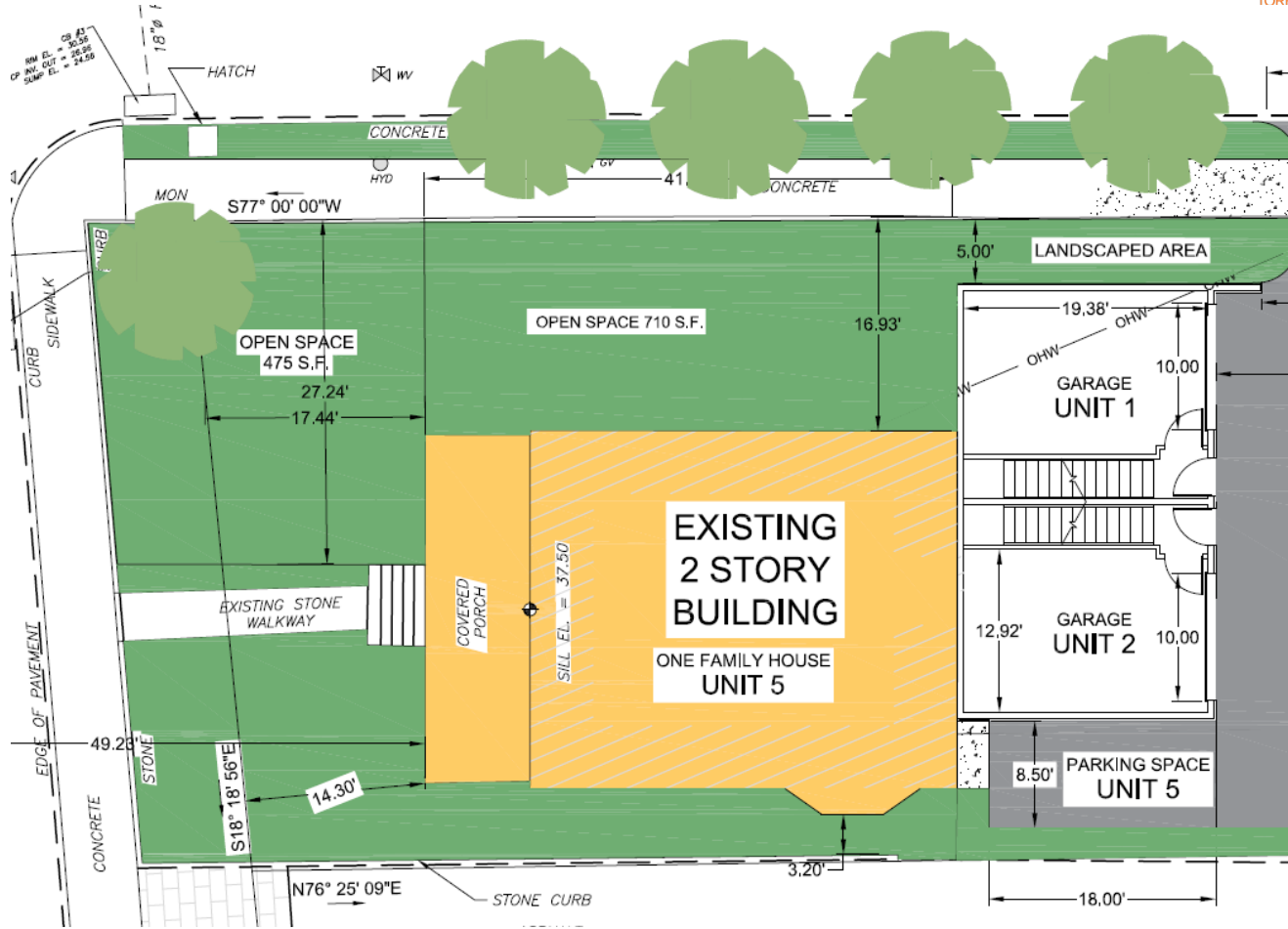


VS.



Text Change

- h.** Usable Open Space – Not less than seventy-five (75) square feet of Usable Open Space shall be provided per Dwelling Unit. Provided; however, the total amount and minimum dimensions of required Usable Open Space may modified as detailed below when the Zoning Board finds the modification supports contextual new Development and/or preservation of a Historic Structure or Historic Site:*
- 1) The total amount of Usable Open Space may be reduced by up to twenty-five percent (25%); and*
 - 2) Qualifying contiguous Usable Open Space must have a minimum dimension on each side of no less than fifteen (15) feet.*

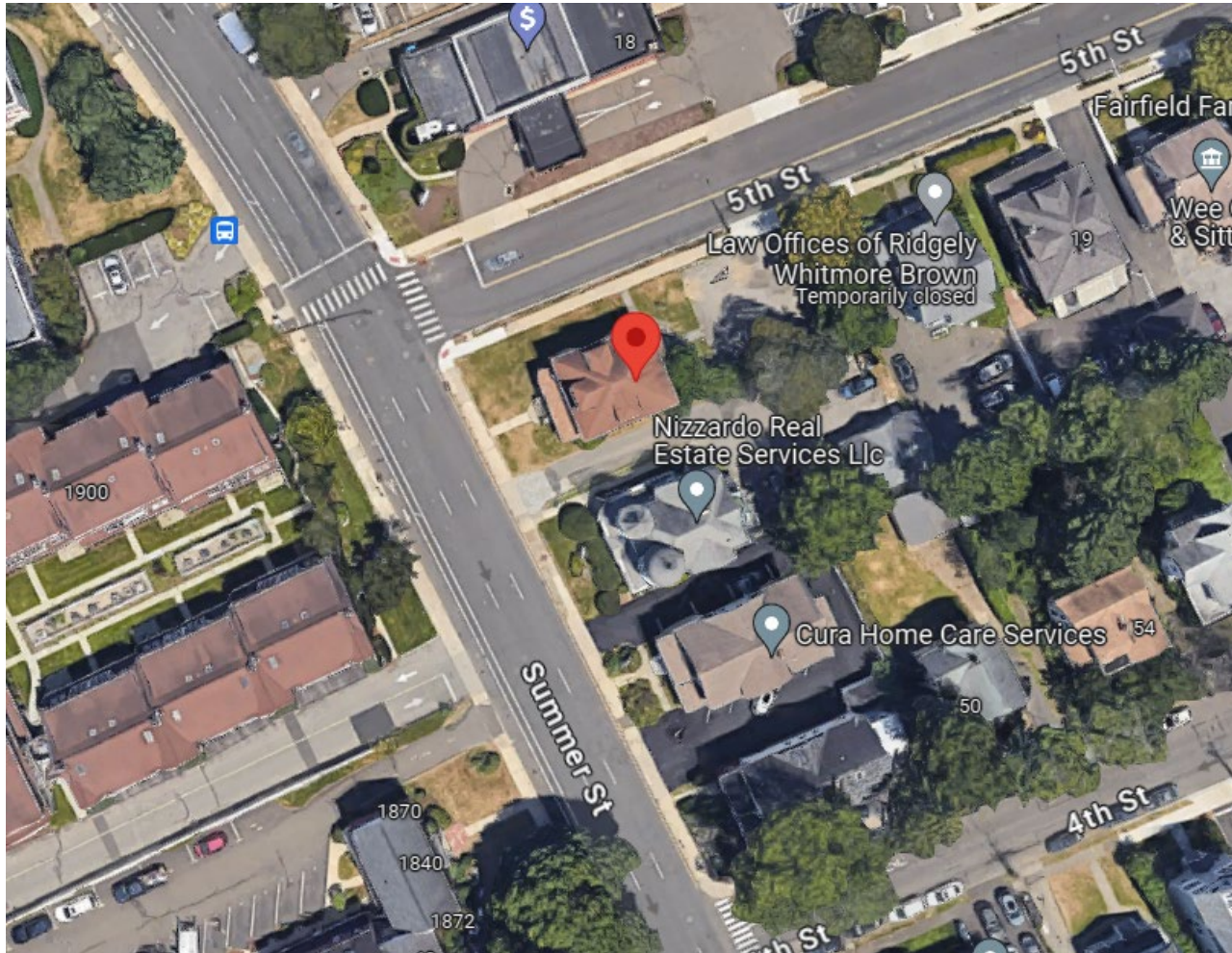


Appl. 223-39: Consistency with the Master Plan

- **4.E:** “Promote Transit-Oriented Development.”
- **6.3:** “Historic Preservation. An important element in preserving and enhancing...quality of life is Stamford’s ability to protect and preserve its historic fabric.”
- **6D.3:** “Support regulations that preserve Stamford’s historic character. The City should prioritize preservation of Stamford’s historic structures and districts. As redevelopment pressures increase, the City must support preservation of Stamford’s historic character by more actively regulating and incentivizing historic preservation.”
- **6.D.3-a:** “Promote zoning incentives for historic preservation and adaptive reuse.”
- **6.C.2:** “Promote development of a variety of housing types. Create a mix of housing units that 1) includes housing suitable for families with children; 2) promotes housing prototypes that respect and complement the existing character of the surrounding neighborhood; 3) maximizes the use of cost-effective construction methods; and 4) promotes flexible housing models for the elderly in locations that are accessible to transit.”



Site Plan, Special Permit & Cultural Resources Inventory Application #223-40











1911 Summer Street, Stamford, CT

Roofing: GAF Timberline HDZ

Color: Charcoal

Central bay of the addition:

James Hardie shingles

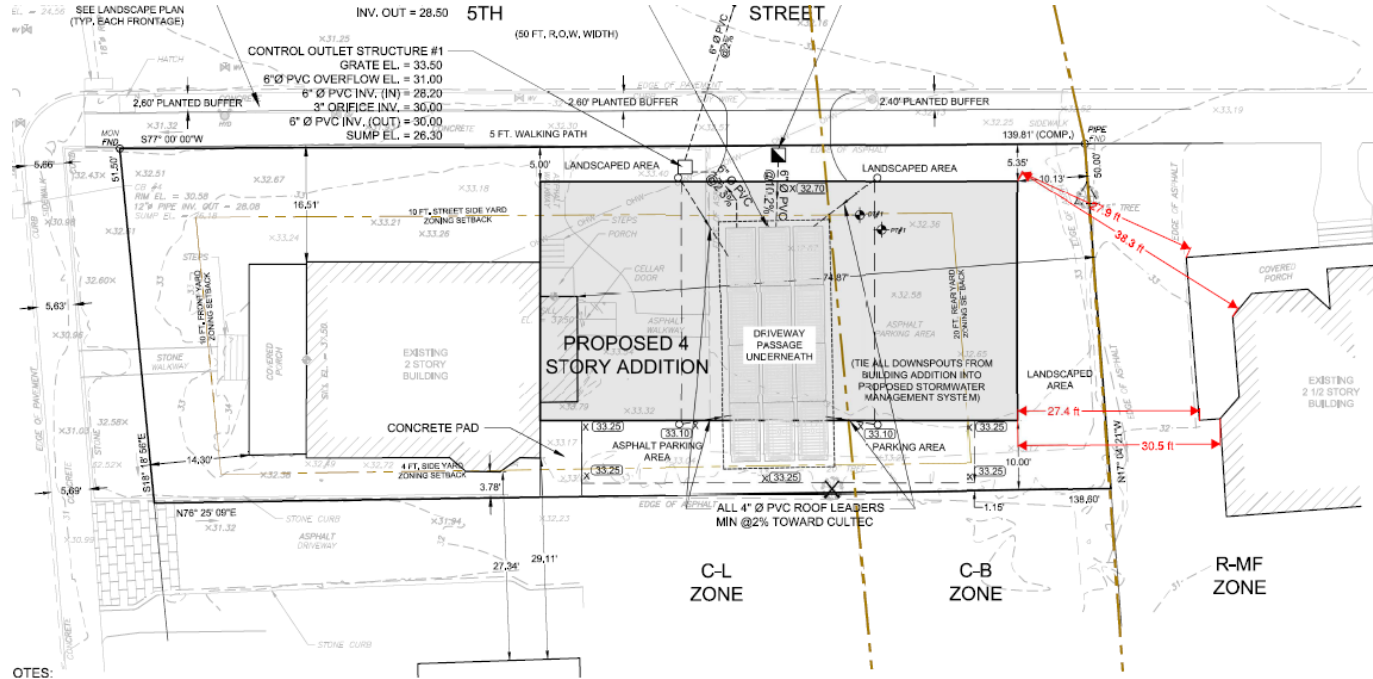
Color: Boothbay Blue

Note: paint existing house
walls to match Boothbay Blue.

All other addition walls:

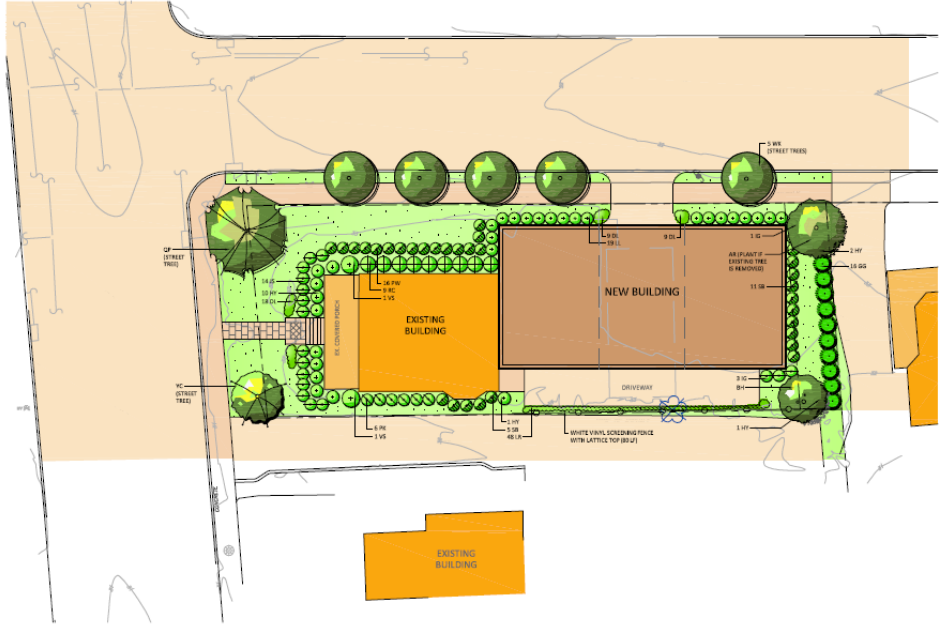
Hardie Plan HL5 lap siding,
4" exposure, smooth finish,
color: Deep Ocean





NOTES:

03/25/2024
 1911 Summer St
 Stamford, CT
 Adjacent Properties Building Distances
 Prepared By: K. Werner



LEGEND

- PROPERTY LINE
- NEW VINYL SCREENING FENCE WITH LATTICE TOP (TYP.)
- EXISTING CONTOUR
- PROPOSED CONTOUR
- TREE LINE TO REMAIN (APPROX.)
- NEW / EX. LAMIN AREA
- EX. DECIDUOUS / EVERGREEN TREE TO REMAIN
- EX. TREE TO BE REMOVED
- NEW DECIDUOUS SHADE TREE
- NEW DECIDUOUS SMALL TREE
- NEW EVERGREEN TREE
- NEW SATUREL

NOTES:

1. CONTACT "CALL BEFORE YOU DIG" AT 1-800-485-4445 TO HAVE UNDERGROUND UTILITY LINES MARKED BY THEM PRIOR TO START OF ANY LOCATION WORK.
2. EXACT LOCATION OF PROPOSED PLANTINGS AND SPECIES TYPES MAY VARY FROM THIS PLAN BASED ON SITE PLAN REVISIONS AND/OR ACTUAL FIELD CONDITIONS.
3. SOIL LAMIN AREAS WITH A HIGH QUALITY SOIL AND A LITTLE TO NO SOIL VARIATION ARE TO BE MAINTAINED AS SUCH AND SHOULD BE COVERED WITH A NETTING AND MULCH SYSTEM TO PREVENT SOIL LOSS AND MAINTAIN THE SOIL MOISTURE CONTENT. A MULCH DEEP SHALL BE ADDED TO THE SOIL AND COVERED TO PREVENT SOIL LOSS AND MAINTAIN SOIL MOISTURE CONTENT.
4. PLANT SPECIES SUBSTITUTIONS MAY BE MADE WITH THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT PRIOR TO PLANTING. SUBSTITUTED PLANTS SHALL BE AT LEAST EQUAL OR GREATER SIZE AS NOTED UNDER A SIMILAR TREE PLANT.
5. PLANTING METHODS SHALL BE IN ACCORDANCE WITH THE "AMERICAN STANDARDS FOR NURSERY STOCK", LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
6. THE CONTRACTOR SHALL WORK WITH THE PROJECT ENGINEER THAT THE NEW PLANTINGS DO NOT INTERFERE WITH EXISTING AND/OR PROPOSED UTILITIES, EIGHT LEVELS, AND/OR STRUCTURES.
7. THIS PLAN FOR PLANTING PURPOSES ONLY. SEE PLANS BY OTHERS FOR ADDITIONAL INFORMATION.

STREET TREE CHART

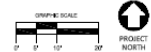
STREET/ALY AREA	TOTAL STREET FRONTAGE (L.F.)	NO. NEW STREET TREES (SPECIES/COUNT)	STREET TREES PROPOSED	N-BOUND STREET CORNER	S-BOUND STREET CORNER	TOTAL TREES SUBJECT TO MARKING STREET TREES EXCLUDED: STREET TREES PROPOSED - CORNER	FEE IN EACH REQUIRED: (BASED PER TREE SUBJECT TO TREE MARKING)
SHAWMEE STREET	81.87'	10K	2	1	0	0.00 - 0 - 1.00 - 0.00	\$9
5TH STREET	188.67'	5.0K	5	1	0	0.00 - 0 - 1.00 - 0.00	\$9
SUBTOTAL:							\$9

PLANT LIST

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	STREET TREE / TYPE	REMARKS	PLANTING HEIGHT	MATURE HEIGHT
1	AF	ACER RUBRA 'HYBRIDFORM'	AMERICAN RED MAPLE	2 1/2" CAL	B&B	NO	COLUMBIA, RED HILL PLAZA	14-18 FT.	48-50 FT.
1	BB	BETULA NIDA DUNA HEAT	DUNE HEAT BIRCH	8 1/2" HT.	B&B	NO	MULTISTEM, ENCLAVING BANK	9-10 FT.	35 FT.
1	OR	QUERCUS RUBRA	RED OAK	2 1/2" CAL	B&B	YES / LARGE	DECIDUOUS	12-14 FT.	50-60 FT.
1	WE	CORNUS ROSEA KING'	WINTER KING DOGWOOD	2 1/2" CAL	B&B	YES / SMALL	WHITE FLOWERS, RED BERRIES	12-14 FT.	20-25 FT.
1	VC	FRAXINUS X DECIDUOUS	YEWBERRY CHERRY	2 1/2" CAL	B&B	YES / SMALL	LIGHT PINK FLOWER	10-12 FT.	30-34 FT.
1	OS	TRIALIA 'WINDY' QUINCY	GREEN SPARTAN IRIS	8" HT.	B&B		ERECT SPERM	8-9 FT.	20-30 FT.
1	PW	AZALEA 'PLEASANT WHITE'	PLEASANT WHITE AZALEA	18-24" HT.	CONT.		WHITE FLOWER	2 FT.	3 FT.
1	HY	HYDRANGEA 'THE ORIGINAL'	THE ORIGINAL HYDRANGEA	3' HT.	CONT.		PINK FLOWER	2-3 FT.	4 FT.
1	LL	HYDRANGEA 'LIME LIGHT'	LIME LIGHT HYDRANGEA	30-36" HT.	CONT.		WHITE FLOWER	2-3 FT.	4 FT.
2	HY	HYDRANGEA 'MAY APPLES'	MAY APPLES HYDRANGEA	3' HT.	CONT.		PINK FLOWER	2-3 FT.	3 FT.
1	IL	IRIS 'SIX SHAWMEE'	SIX SHAWMEE IRIS	2-3 FT.	CONT.		EVERGREEN	2 FT.	3 FT.
1	JE	JASMINE 'DRUM MAID'	DRUM MAID JASMINE	2-3 FT.	CONT.		EVERGREEN	2 FT.	3 FT.
1	IC	IRIS 'COURTESY'	COURTESY IRIS	2-3 FT.	CONT.		EVERGREEN	2 FT.	3 FT.
1	HE	HELMINTHISCOPUS 'DORIC'	DORIC HELMINTHISCOPUS	2-3 FT.	CONT.		EVERGREEN	2 FT.	3 FT.
1	PH	PHLOX 'PROSPERITY'	PROSPERITY PHLOX	2-3 FT.	CONT.		EVERGREEN	2 FT.	3 FT.
1	SB	SPARGANGLIA 'SANDAK'	SANDAK SPARGANGLIA	18-24" HT.	CONT.		WHITE AND PINK FLOWERS	18" HT.	4 FT.
1	BL	BERBERIS 'SANDAK'	SANDAK BERBERIS	1-2" CAL.	CONT.		WHITE AND PINK FLOWERS, PERSISTENT	12" HT.	18" HT.
1	UR	URTIQ'S MUGUKA 'ROYAL PURPLE'	ROYAL PURPLE LIROPE	1' QT.			EVERGREEN B&B/CONT	8-12" HT.	15-18" HT.



NOTES: FENCE TO BE 48" TALL WITH 36" LATTICE TOP.
WHITE VINYL SCREENING FENCE WITH LATTICE TOP (TYP.)
 SCALE: N.T.S.



REVISIONS <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>11.14</td> <td>ADD FENCE AND GROUND COVER LAM.</td> </tr> <tr> <td>2</td> <td>12.20</td> <td>REVISED SITE PLAN</td> </tr> <tr> <td>3</td> <td>01.23</td> <td>REVISED SITE PLAN</td> </tr> <tr> <td>4</td> <td>02.23</td> <td>REVISED SITE PLAN</td> </tr> </table>	NO.	DATE	DESCRIPTION	1	11.14	ADD FENCE AND GROUND COVER LAM.	2	12.20	REVISED SITE PLAN	3	01.23	REVISED SITE PLAN	4	02.23	REVISED SITE PLAN	<table border="1"> <tr> <th colspan="2">SHELL TEBE LANDSCAPE PLAN</th> </tr> <tr> <td>PROJECT:</td> <td>8 EIGHT STREET, SUITE 203</td> </tr> <tr> <td>CLIENT:</td> <td>HENNESSEY LP</td> </tr> <tr> <td>ADDRESS:</td> <td>SHAWMEE, CONNECTICUT 06487</td> </tr> <tr> <td>DATE:</td> <td>12.20.22</td> </tr> <tr> <td>SCALE:</td> <td>1"=10'</td> </tr> <tr> <td>PROJECT NO.:</td> <td>LP.1</td> </tr> </table>	SHELL TEBE LANDSCAPE PLAN		PROJECT:	8 EIGHT STREET, SUITE 203	CLIENT:	HENNESSEY LP	ADDRESS:	SHAWMEE, CONNECTICUT 06487	DATE:	12.20.22	SCALE:	1"=10'	PROJECT NO.:	LP.1
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SCALE:	1"=10'																													
PROJECT NO.:	LP.1																													

ENVIRONMENTAL LAND SOLUTIONS, LLC
 8 EIGHT STREET, SUITE 203
 SHAWMEE, CONNECTICUT 06487
 TEL: (203) 845-1676 FAX: (203) 845-7666
 ELS@ELS-LLC.COM WWW.ELS-LLC.COM

Architectural Significance – Existing Structure



1959 Summer Street

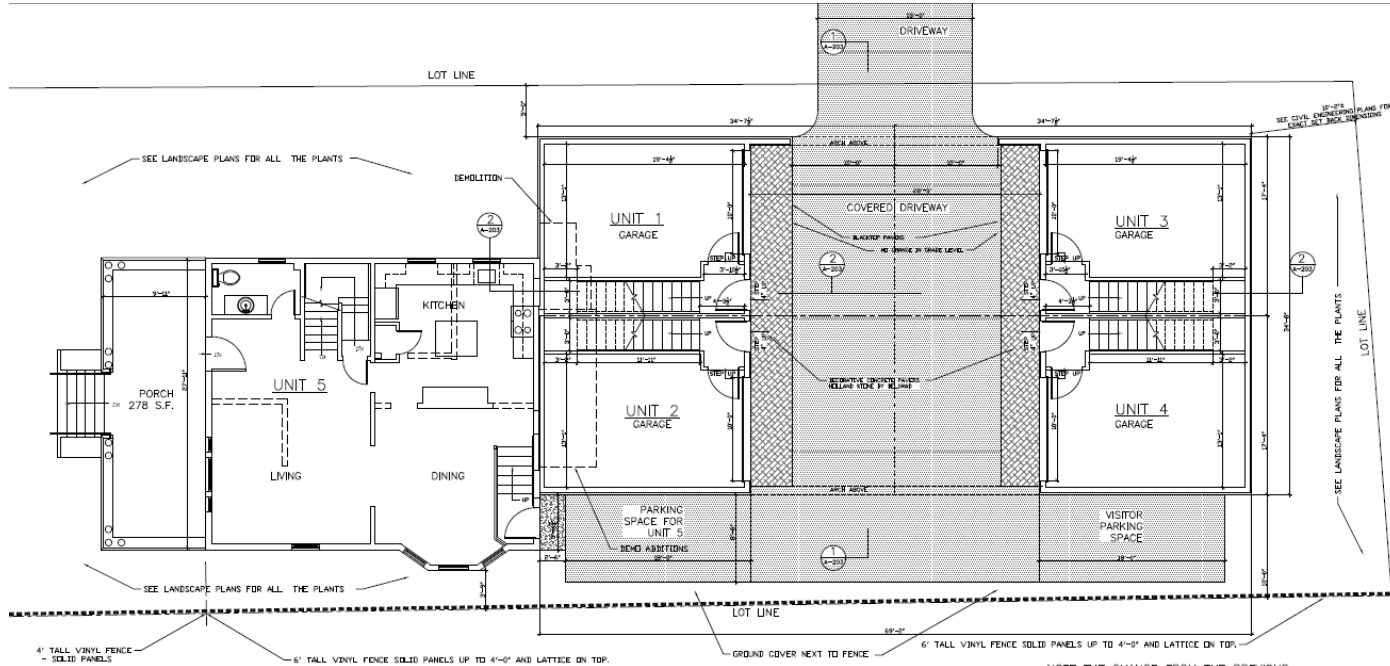




Original Design



New Design



NOTE THE CHANGE FROM THE PREVIOUS PLAN, DATED 2/10/23: THIS PLAN SHOWS 28' WIDE DRIVEWAY BETWEEN GARAGE DOORS.

NOTE:
 Final development subject to Zoning Board review and approval, and any modifications required by said Zoning Board.

SCALE
 AS SHOWN. DIMENSIONS AND NOTES TAKE PRECEDENCE OVER GRAPHIC REPRESENTATION. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

Date	Issue	
No.	Date	Revision

1911 SUMMER STREET, STAMFORD, CT



ELENA KALMAN
 ARCHITECT

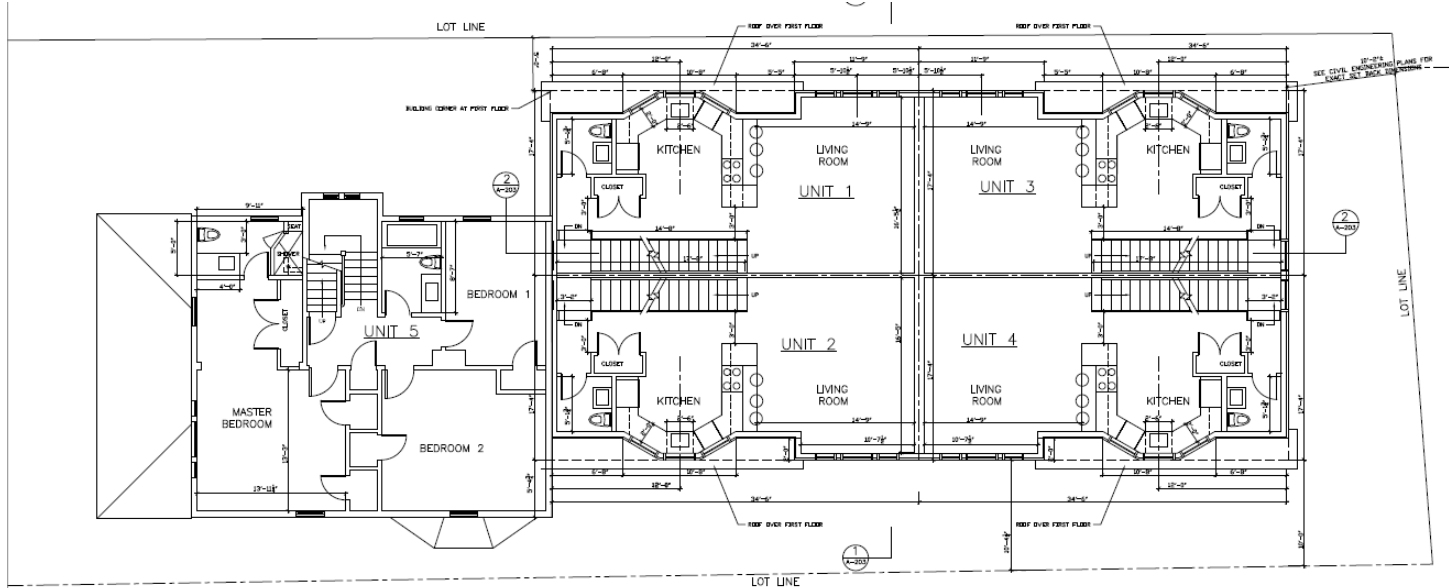


DRAWING TITLE

FIRST FLOOR PLAN

DATE: 01/2024
 SCALE: AS SHOWN
 PROJECT NO: 1911 SUMMER ST

A-101



NOTE:
 Final development subject to Zoning Board
 Review and approval, and any modifications
 required by said Zoning Board.

DISC:
 ALL WORK SHALL BE IN ACCORDANCE WITH THE
 LATEST EDITIONS OF THE INTERNATIONAL BUILDING
 CODES AND THE INTERNATIONAL MECHANICAL
 ELECTRICAL AND PLUMBING CODES, AS WELL AS
 ALL OTHER APPLICABLE CODES AND REGULATIONS.
 THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING
 ALL NECESSARY PERMITS AND APPROVALS FROM
 THE APPLICABLE AGENCIES AND AUTHORITIES.
 THE ARCHITECT SHALL BE RESPONSIBLE FOR
 OBTAINING ALL NECESSARY PERMITS AND
 APPROVALS FROM THE APPLICABLE AGENCIES
 AND AUTHORITIES.

No.	Date	Reason

1911 SUMMER
 STREET,
 STAMFORD, CT



ELENA
 KALMAN
 ARCHITECT



DRAWING TITLE

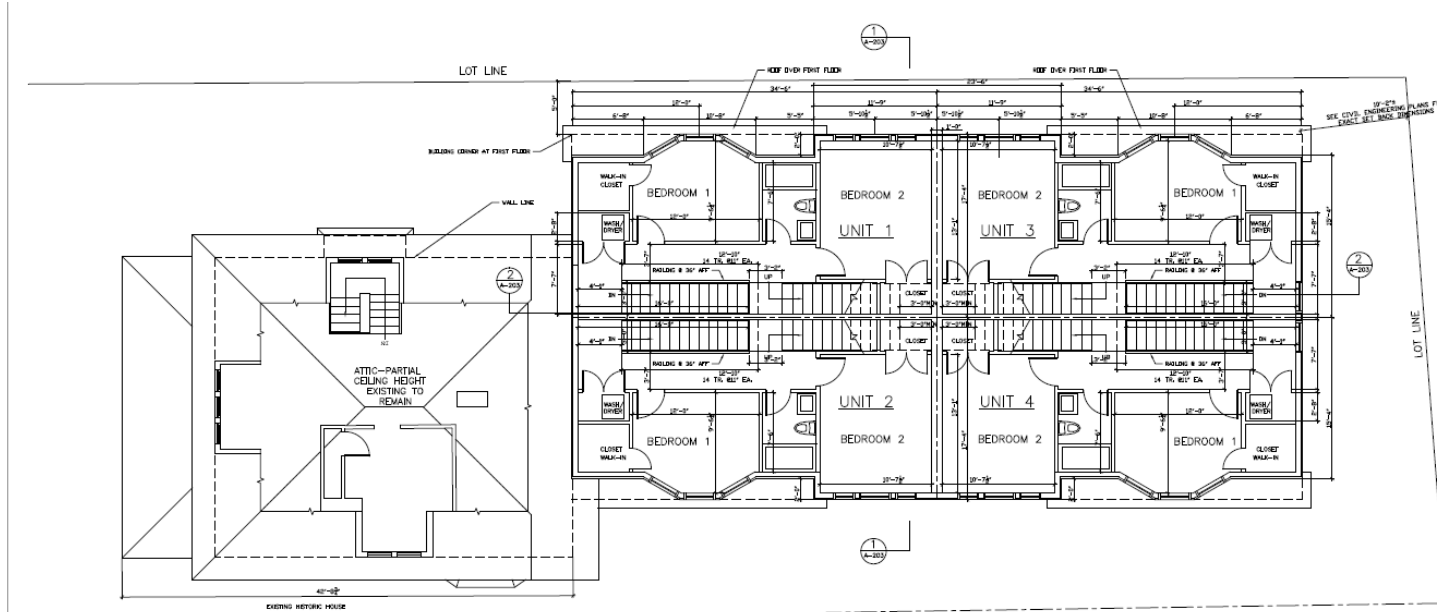
SECOND FLOOR
 PLAN

SCALE: 1/8" = 1'-0"

DATE: 08/11/2023

PROJECT NO: 2023-001

DRAWING NO: A-102



NOTE:
 Final development subject to Zoning Board review and approval, and any modifications required by said Zoning Board.

USE:
 41. The above information is provided for informational purposes only. It does not constitute a contract. The user of this information is advised that the user shall be responsible for verifying the accuracy of the information and for obtaining any necessary permits and approvals from the appropriate authorities.

No.	Date	Revision

1911 SUMMER STREET,
 STAMFORD, CT



ELENA KALMAN
 ARCHITECTS

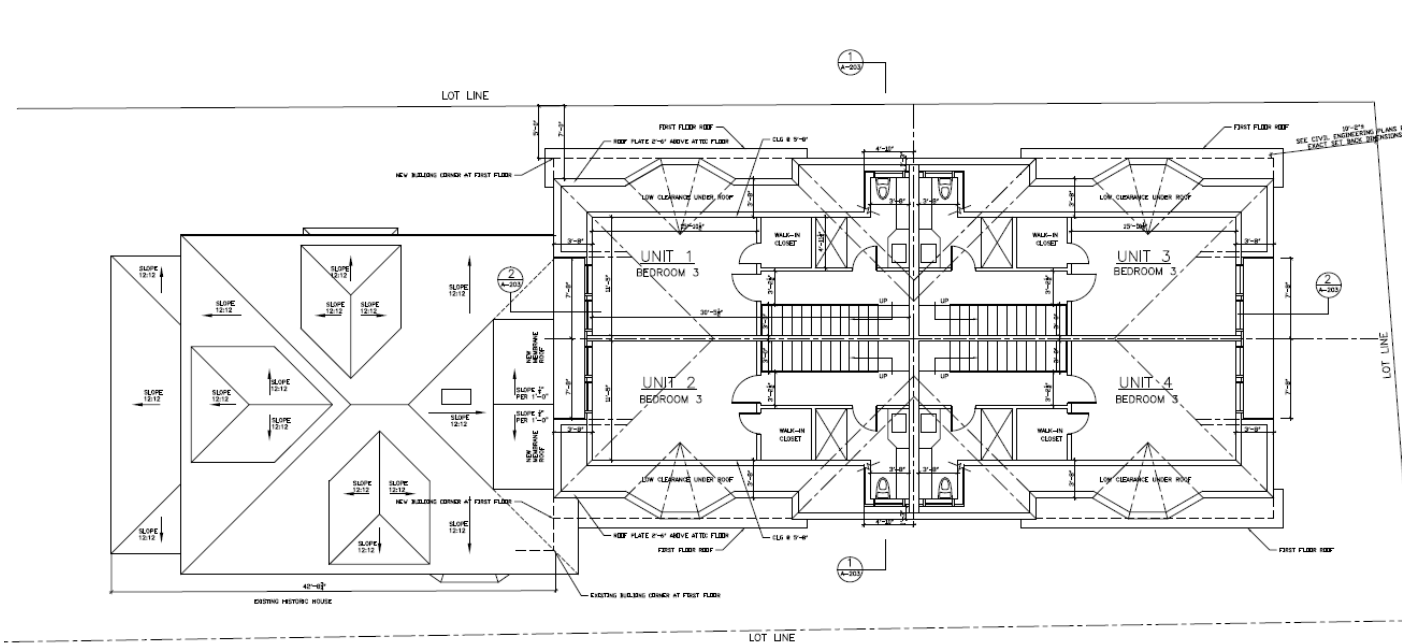
111 W. 10th Street
 Stamford, CT 06904
 Tel: (203) 358-7144
 Fax: (203) 358-7144

DRAWING TITLE

ATTIC/THIRD FLOOR PLAN

DATE: 10/1/2014
 DRAWN BY: J. J. J. J.
 CHECKED BY: J. J. J. J.
 SCALE: 1/8" = 1'-0"

A-103



NOTE:
 Final development subject to Zoning Board review and approval, and any modifications required by said Zoning Board.

ALL
 AT ALL TIMES, AND TO THE EXTENT OF THE POWER GRANTED BY THIS INSTRUMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES OF THE STATE OF CONNECTICUT, AND FOR COMPLYING WITH ALL APPLICABLE LAWS, ORDINANCES, REGULATIONS, AND CODES OF THE STATE OF CONNECTICUT AND THE CITY OF STAMFORD, CONNECTICUT, AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES OF THE STATE OF CONNECTICUT, AND FOR COMPLYING WITH ALL APPLICABLE LAWS, ORDINANCES, REGULATIONS, AND CODES OF THE STATE OF CONNECTICUT AND THE CITY OF STAMFORD, CONNECTICUT.

No.	Date	Revised

1911 SUMMER STREET, STAMFORD, CT

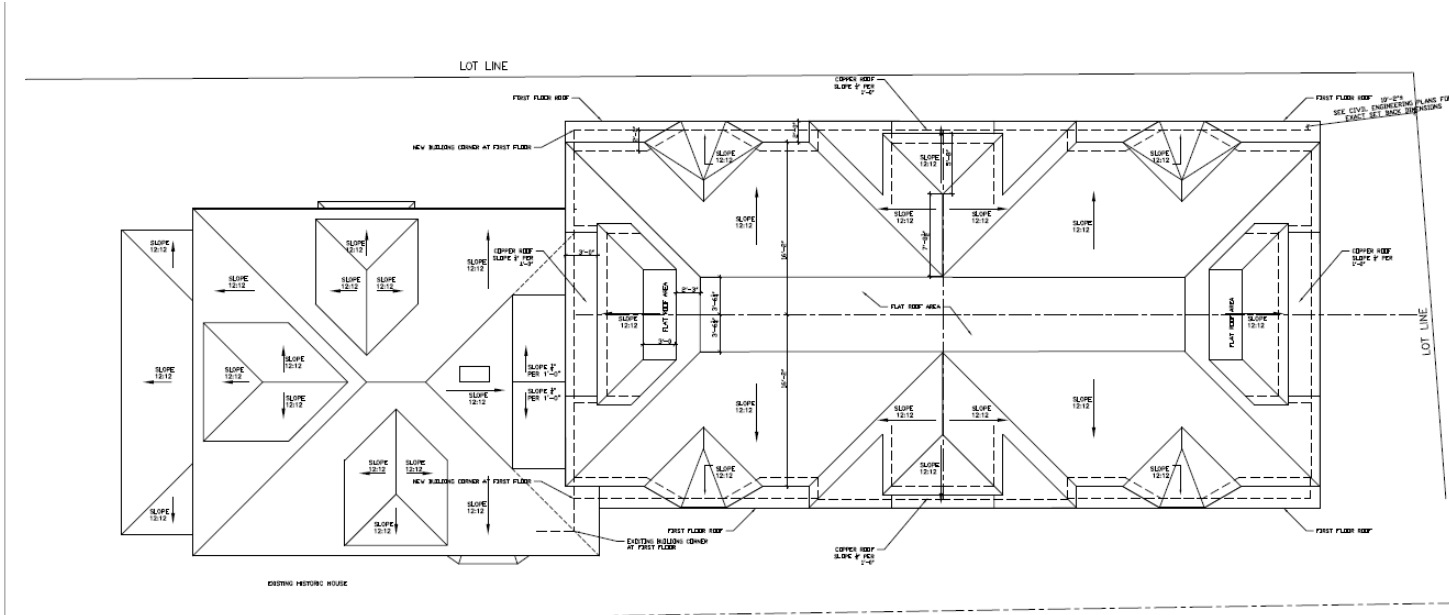


DRAWING TITLE

FOURTH FLOOR PLAN

DATE: 11-11-2024
 SCALE: AS SHOWN
 DRAWN BY: JAC
 CHECKED BY: JAC

A-104



NOTE:
 Final development subject to Zoning Board review and approval, and any modifications required by said Zoning Board.

DISC:
 ALL NEW BUILDING CORNERS ARE TO BE CONSTRUCTED AT THE CORNER OF THE LOT AND THE ADJACENT LOT. THE EXISTING BUILDING CORNER AT THE BOTTOM CENTER OF THE PLAN IS TO BE MAINTAINED AS IS. THE NEW BUILDING CORNERS AT THE LEFT AND RIGHT SIDES OF THE PLAN ARE TO BE MAINTAINED AS IS. THE NEW BUILDING CORNERS AT THE LEFT AND RIGHT SIDES OF THE PLAN ARE TO BE MAINTAINED AS IS.

No.	Date	Revision

1911 SUMMER STREET,
 STAMFORD, CT



ELENA KALMAN
 ARCHITECTS

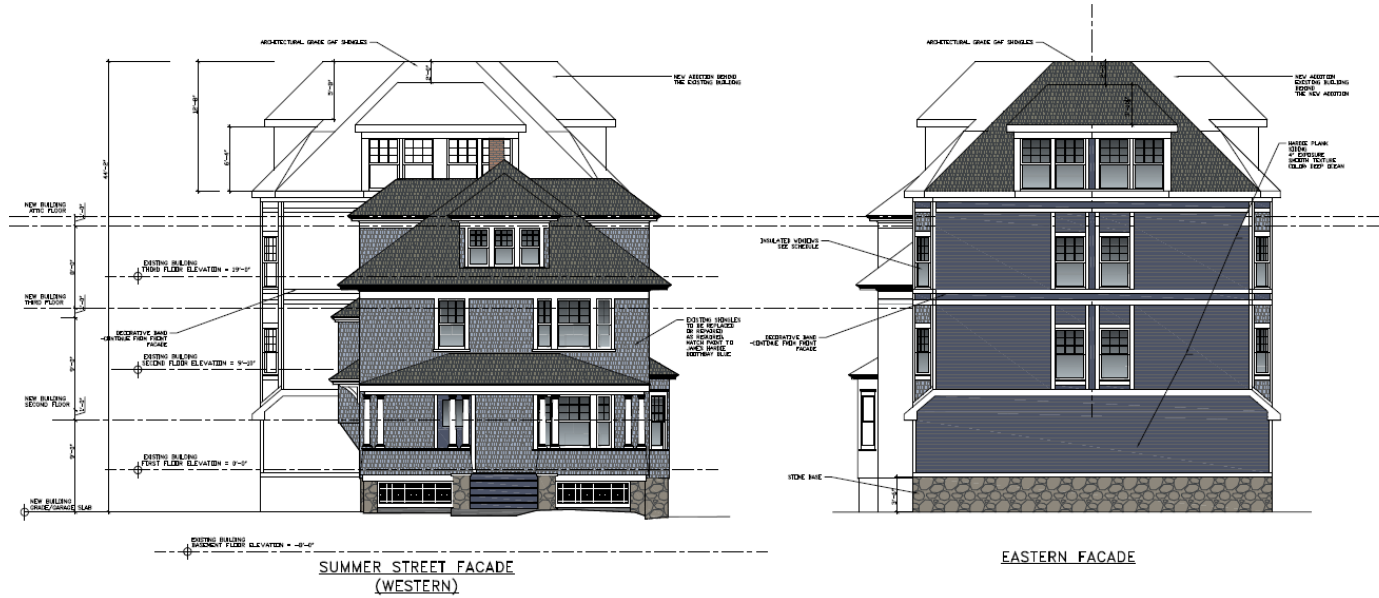
111
 100 WALL STREET SUITE 2000
 STAMFORD, CT 06901
 TEL: (203) 338-8774
 FAX: (203) 338-8774



DRAWING TITLE

ROOF PLAN

DATE: 08/15/2017
 DRAWN BY: JLS
 CHECKED BY: JLS
 SCALE: AS SHOWN
 SHEET NO: A-105



NOTE:
 SIDING ON THE ACCENT JAWZ FINISH PLANK.
 SWIFTLY FINISH COLOR: LIGHT OAK.
 SIDING ON THE EXISTING HOUSE FINISH:
 EXISTING SIDING: 4\"/>

NOTE:
 First development subject to Zoning Board review and approval, and city modifications required by said Zoning Board.

<p>ALL PLANS, SPECIFICATIONS AND NOTES HEREBY APPROVED BY THE BOARD OF ARCHITECTS AND ENGINEERS OF THE STATE OF CONNECTICUT. THE BOARD OF ARCHITECTS AND ENGINEERS OF THE STATE OF CONNECTICUT IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY WORK UNDER THESE PLANS, SPECIFICATIONS AND NOTES. THE BOARD OF ARCHITECTS AND ENGINEERS OF THE STATE OF CONNECTICUT IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY WORK UNDER THESE PLANS, SPECIFICATIONS AND NOTES.</p>
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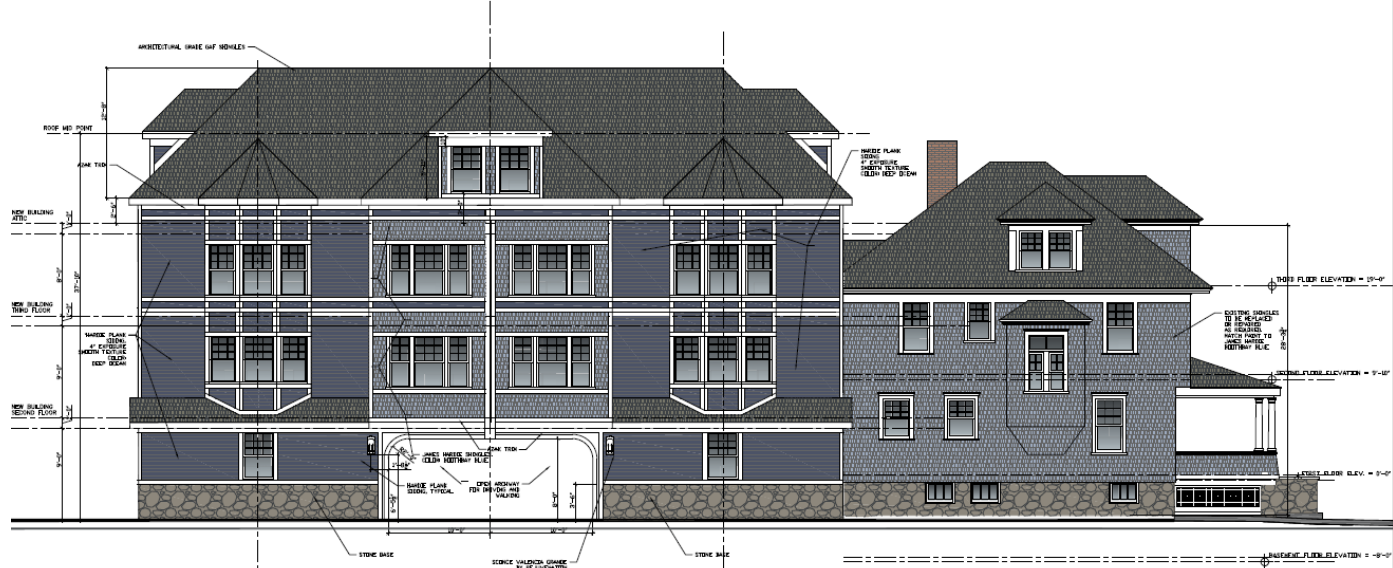
No.	Date	Revision

PROJECT NAME
 1911 SUMMER STREET,
 STAMFORD, CT

DRAWING TITLE
 SUMMER STREET
 FACADE
 (WESTERN)
 AND EASTERN
 FACADE

DATE:	BY:
SCALE:	BY:
DATE:	BY:
DATE:	BY:
DATE:	BY:

A-201



FIFTH STREET ELEVATION –
ALTERNATE FACADE "D"

NOTE:
SIERS IN THE SECTION JAMES SHIMME PLANK
SHIMME PLANK UNDER SHIMME PLANK
SHIMME PLANK IN THE SECTION SHIMME PLANK
SHIMME PLANK IN THE SECTION SHIMME PLANK
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NOTE:
Final development subject to Zoning Board
review and approval, and any modifications
required by said Zoning Board.

ALL DIMENSIONS SHOWN ARE TO FACE UNLESS OTHERWISE NOTED.
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DATE	REVISION

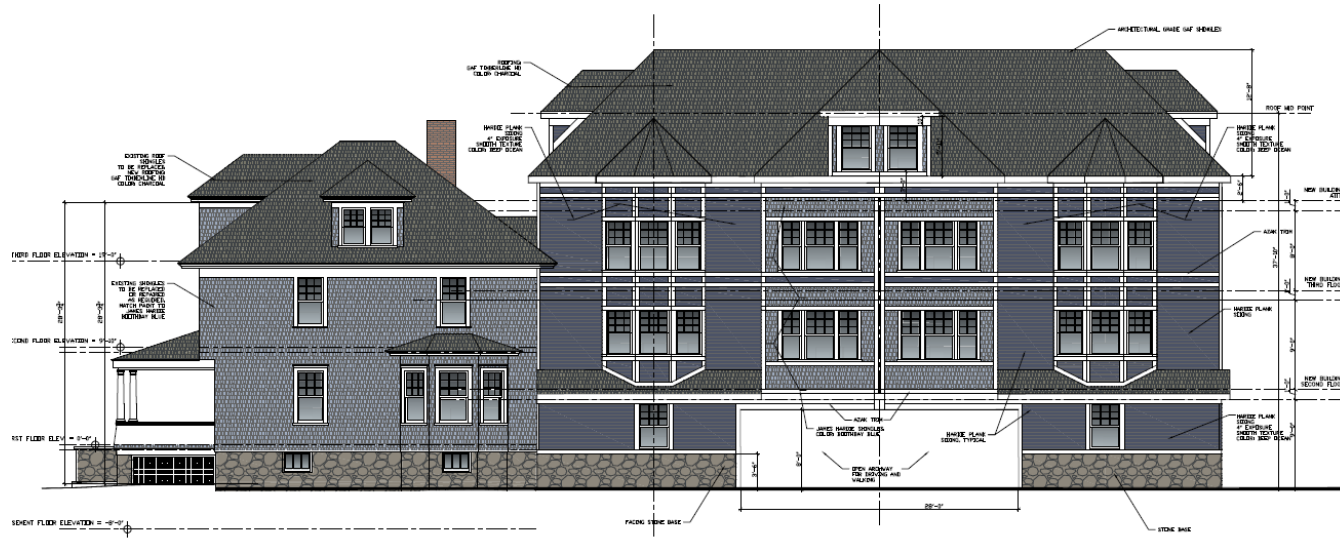


PROJECT NAME
1911 SUMMER STREET, STAMFORD, CT

DRAWING TITLE
FIFTH STREET FACADE (NORTHERN)

DATE: 10/11/18
SCALE: 1/8" = 1'-0"
PROJECT NO.: 1911 SUMMER ST
SHEET NO.: A-202

A-202



NOTE:
 Final development subject to Zoning Board review and approval, and any modifications required by said Zoning Board.

ALL NEW ZONING REGULATIONS AND LAWS REPEALED BY THE STATE OF CONNECTICUT ON JULY 1, 2012. THE NEW ZONING REGULATIONS AND LAWS WILL BE APPLIED TO ALL DEVELOPMENT PERMITTED BY THIS PLAN OR ANY SUBSEQUENT PERMITS ISSUED ON OR AFTER JULY 1, 2012. THE NEW ZONING REGULATIONS AND LAWS WILL BE APPLIED TO ALL DEVELOPMENT PERMITTED BY THIS PLAN OR ANY SUBSEQUENT PERMITS ISSUED ON OR AFTER JULY 1, 2012. THE NEW ZONING REGULATIONS AND LAWS WILL BE APPLIED TO ALL DEVELOPMENT PERMITTED BY THIS PLAN OR ANY SUBSEQUENT PERMITS ISSUED ON OR AFTER JULY 1, 2012.

No.	Date	Revised

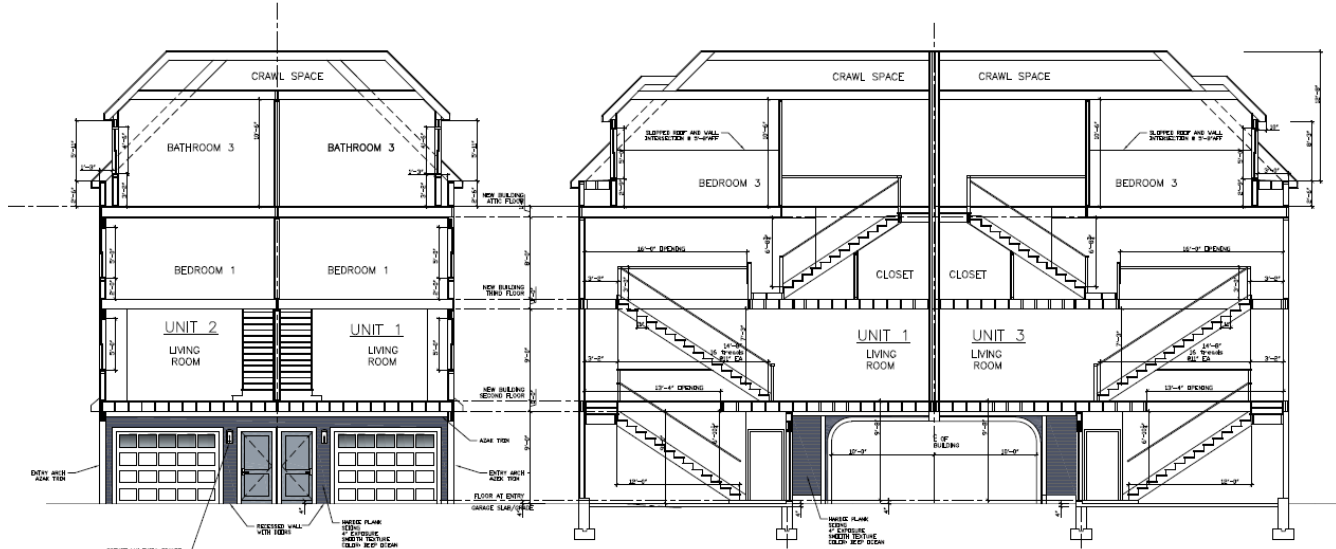



PROJECT NAME
 1911 SUMMER STREET, STAMFORD, CT

DRAWING TITLE
 REAR FACADE (SOUTHERN)

DRAWN BY _____
 CHECKED BY _____
 DATE _____
 SCALE _____
 SHEET NO. _____ OF _____

A-203



 BUILDING CROSS SECTION AND ENTRY ELEVATION

 BUILDING LONGITUDINAL SECTION AND ELEVATION OF THE INTERIOR WALL WITH ARCHWAY

NOTE:
 Final development subject to Zoning Board review and approval, and any modifications required by said Zoning Board.

ALL DIMENSIONS SHOWN ARE UNLESS OTHERWISE NOTED TO THE CONTRARY. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED TO THE CONTRARY. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED TO THE CONTRARY. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED TO THE CONTRARY.

No.	Date	Revision


ELENA KALMAN
 ARCHITECT



PROJECT NAME
 1911 SUMMER STREET, STAMFORD, CT

DRAWING TITLE
 BUILDING SECTIONS AND ENTRY ELEVATION

DATE: _____
 DRAWN BY: _____
 CHECKED BY: _____
 PROJECT NO.: 1911 SUMMER ST
 DRAWING NO.: _____

A-204

Traffic Impact

Table 2 – Peak-Hour Trip Generations								
<i>6,101 SF Office</i>								
AM Peak Hour			PM Peak Hour			SAT Peak Hour		
Total	In	Out	Total	In	Out	Total	In	Out
10	8	2	13	4	9	3	2	1
<i>Proposed Multifamily Residential</i>								
Total	In	Out	Total	In	Out	Total	In	Out
2	0	2	2	1	1	2	1	1
<i>Total Net Project Trips</i>								
Total	In	Out	Total	In	Out	Total	In	Out
-8	-8	0	-11	-3	-8	-1	-1	0

Source: ITE Trip Generation Manual, 11th Edition

On Street Parking Analysis

Data Point	Parking Demand	Source	Date	Time	Spaces
1	8	NearMap	Tuesday, October 3, 2023	1:36 PM	
2	13	Google Maps	July XX, 2023	12:00 PM ¹	Average
3	11	Google Earth	Thursday, May 25, 2023	11:00 AM ¹	9
4	10	NearMap	Wednesday, March 29, 2023	1:21 PM	Maximum
5	6	NearMap	Thursday, September 15, 2022	2:27 PM	14
6	3	Google Earth	Saturday, July 9, 2022	11:00 AM ¹	
7	5	NearMap	Saturday, April 2, 2022	3:34 PM	Parking
8	8	Google Maps	November XX, 2023	4:00 PM ¹	Capacity
9	8	NearMap	Thursday, October 21, 2021	1:33 PM	19
10	7	NearMap	Wednesday, October 20, 2021	1:08 PM	
11	4	Google Earth	Wednesday, August 25, 2021	12:00 PM ¹	
12	6	NearMap	Sunday, March 21, 2021	2:00 PM	
13	4	Google Earth	Friday, April 24, 2020	2:00 PM ¹	
14	9	NearMap	Wednesday, March 11, 2020	11:01 AM	
15	11	Google Maps	October XX, 2019	12:00 PM ¹	
16	14	NearMap	Friday, September 27, 2019	12:10 PM	
17	8	Google Earth	Friday, May 31, 2019	11:00 AM ¹	
18	12	NearMap	Saturday, March 30, 2019	11:45 AM	
19	14	Google Earth	Monday, February 25, 2019	12:00 PM ¹	

Consistency with the Master Plan

- Located in Master Plan Category 4 (Residential – Medium Density Multi-Family).
- Category 4 is “intended to provide for and protect medium-density multifamily development...in areas characterized by a mixture of apartment, condominium, attached row house or detached residential mid-rise structures” and other non-residential uses supportive of such communities.



STAMFORD
MASTER PLAN
2015-2025





VS.



Historic Preservation vs. Underlying Zoning



vs.



CARMODY 
TORRANCE | SANDAK | HENNESSEY^{LLP}