

**CITY OF STAMFORD
ZONING BOARD OF APPEALS**

Stamford Government Center
888 Washington Blvd.
P.O. Box 10152
Stamford, CT 06904-2152

Telephone 203.977.4160 - Fax 203.977.4100 - E-mail mjudge@stamfordct.gov

PLEASE PRINT ALL INFORMATION IN INK

1. I/we hereby apply to the Zoning Board of Appeals for:

- Variance(s)
- Special Permit
- Appeal from Decision of Zoning Enforcement Officer
- Extension of Time
- Gasoline Station Site Approval

2. Address of affected premises:

482 Pepper Ridge Road

06905

street

zip code

Property is located on the north () south () east () west side of the street.

Block: 324 Zone: R-20

Sewered Property yes () no

Is the structure 50 years or older yes () No

Corner Lots Only: Intersecting Street: _____

Within 500 feet of another municipality: No Yes () Town of _____

3. Owner of Property: John-Michael Rachinsky-Wood

Address of Owner: 482 Pepper Ridge Road, Stamford, CT Zip 06905

Applicant Name: John-Michael Rachinsky-Wood

Address of Applicant: 482 Pepper Ridge Road, Stamford, CT Zip 06905

Agent Name: N/A

Address of Agent: N/A Zip ---

EMAIL ADDRESS: jm.rachinskywood@gmail.com

(Must be provided to receive comments from letters of referral)

Telephone # of Agent N/A Telephone # of Owner 203-667-3443

(CONTACT IS MADE WITH AGENT, IF ONE)

4. List all structures and uses presently existing on the affected property:

Single family house with deck

5. Describe in detail the proposed use and give pertinent linear and area dimensions:

No change in use.

*2nd Story Addition to include
master bedroom and Bath*

VARIANCES (complete this section for variance requests only) See a Zoning Enforcement Officer for help in completing this section

Variance(s) of the following section(s) of the Zoning Regulations is requested (provide detail of what is sought per the applicable section(s) of the Zoning Regulations):

The proposed scope of work is a second floor addition over the existing first floor footprint.

Because the house is built within the required set-back, approval of the following variance is requested:

Table II, Appendix B

Side yard setback of both sides to be 31.9' feet in lieu of the required 35'

Side yard Setback of 15.9' in lieu of 20.00' Required

variances of the Zoning Regulations may be granted where there is unusual hardship in the way of carrying out the strict letter of the Regulations solely with respect to a parcel of land where conditions especially affect such parcel but do not affect generally the district in which it is situated. In your own words:

A. Describe the unusual hardship in being unable to carry out the strict letter of the Zoning Regulations:

The existing single family house is constructed within the required set-back.

In order to do any modification within approximately 4' of the north side of the house variance approval is required, even though the work remains within the existing footprint of the structure.

B. Explain why the variance(s) is/are the minimum necessary to afford relief:

To construct on top of approximately 4' of the north side of the existing footprint, a variance is required because the house is already built within the required set-back.

C. Explain why granting of the variance(s) would not be injurious to the neighborhood.

The set-back requested is existing and not changing. The addition is within the footprint of the existing building. The addition is in keeping with the use and character of the neighborhood.

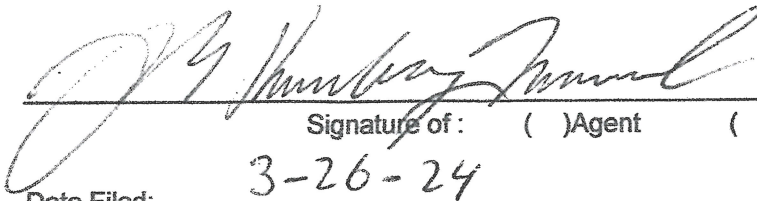
SPECIAL PERMIT

(Complete this section only for special permits)

SPECIAL PERMIT is requested as authorized by Section(s) _____ of the Zoning Regulations.

Provide details of what is being sought:

SIGNATURE REQUIRED FOR ALL APPLICATIONS



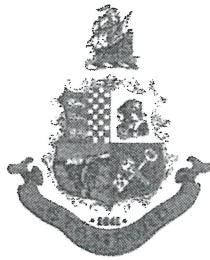
Signature of: () Agent () Applicant (X) Owner

Date Filed: 3-26-24

Zoning Enforcement Officer Comments:

DECISION OF THE ZONING ENFORCEMENT OFFICER
(Complete this section only for appeals of zoning enforcement officer decision:

DECISION OF THE ZONING ENFORCEMENT OFFICER dated _____ is appealed because:



**CITY OF STAMFORD
ZONING BOARD OF APPEALS**

APPLICATION PACKET

Board Members
Joseph Pigott, Chair
Lauren Jacobson
George Dallas

Alternate
Ernest Matarasso
Matthew Tripolitsiotis
Jeremiah Hourihan

Land Use Administrative Assistant
Mary Judge

ALL APPLICANTS MUST MAKE AN APPOINTMENT WITH THE ZONING ENFORCEMENT OFFICE FOR PLAN REVIEW OF ZBA APPLICATIONS AT LEAST TWO WEEKS PRIOR TO THE APPLICATION DEADLINE.

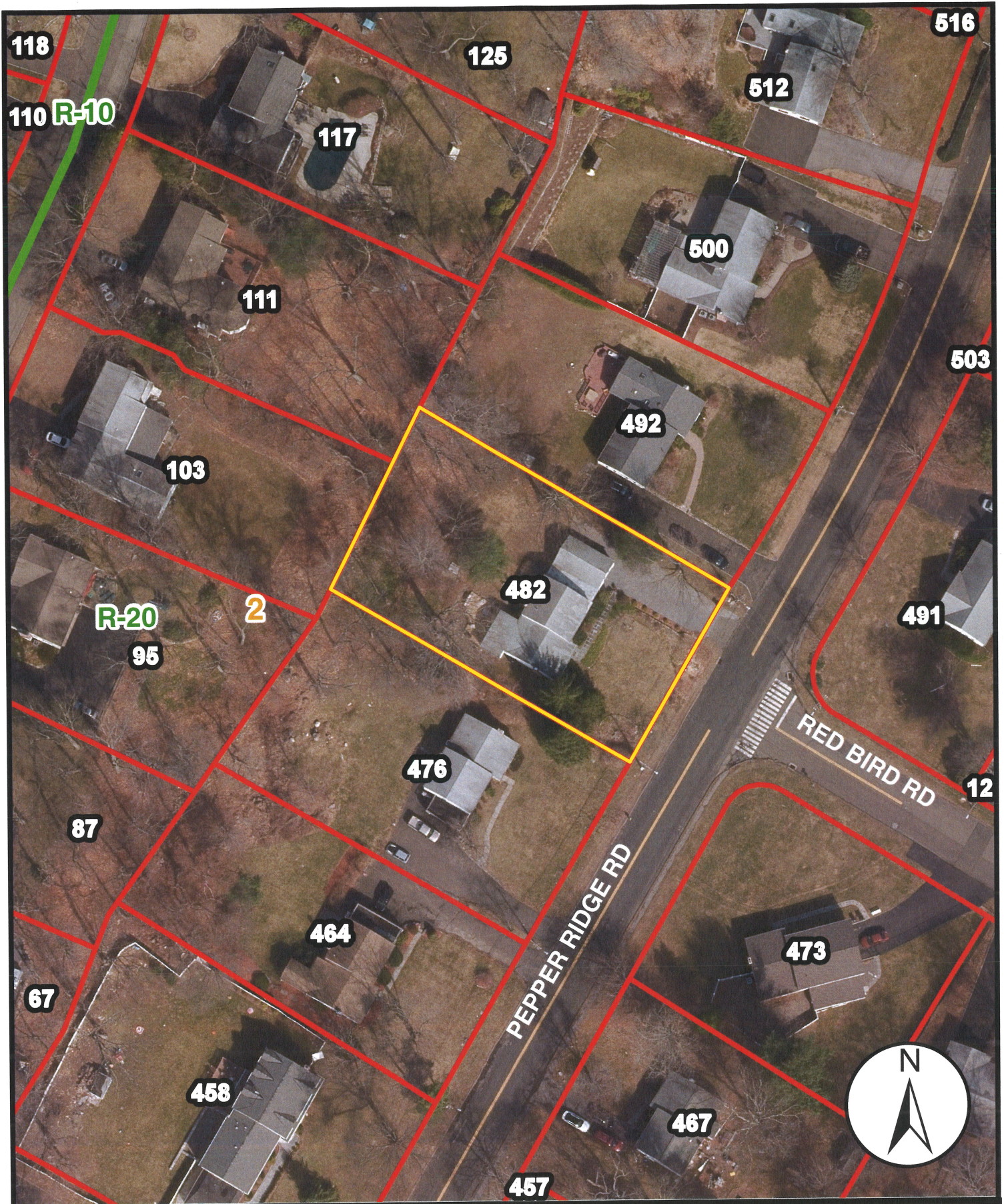
Zoning Enforcement: *[Signature]* Date: 3/27/2024

Is the project situated in the coastal boundary? Yes () No ()

Is the project exempt from the coastal regulation?
Yes () Exemption # _____ No () N/A ()

Environmental Protection: _____ Date: _____

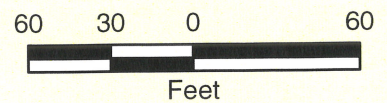
CAM Review by: ZONING BOARD ZBA

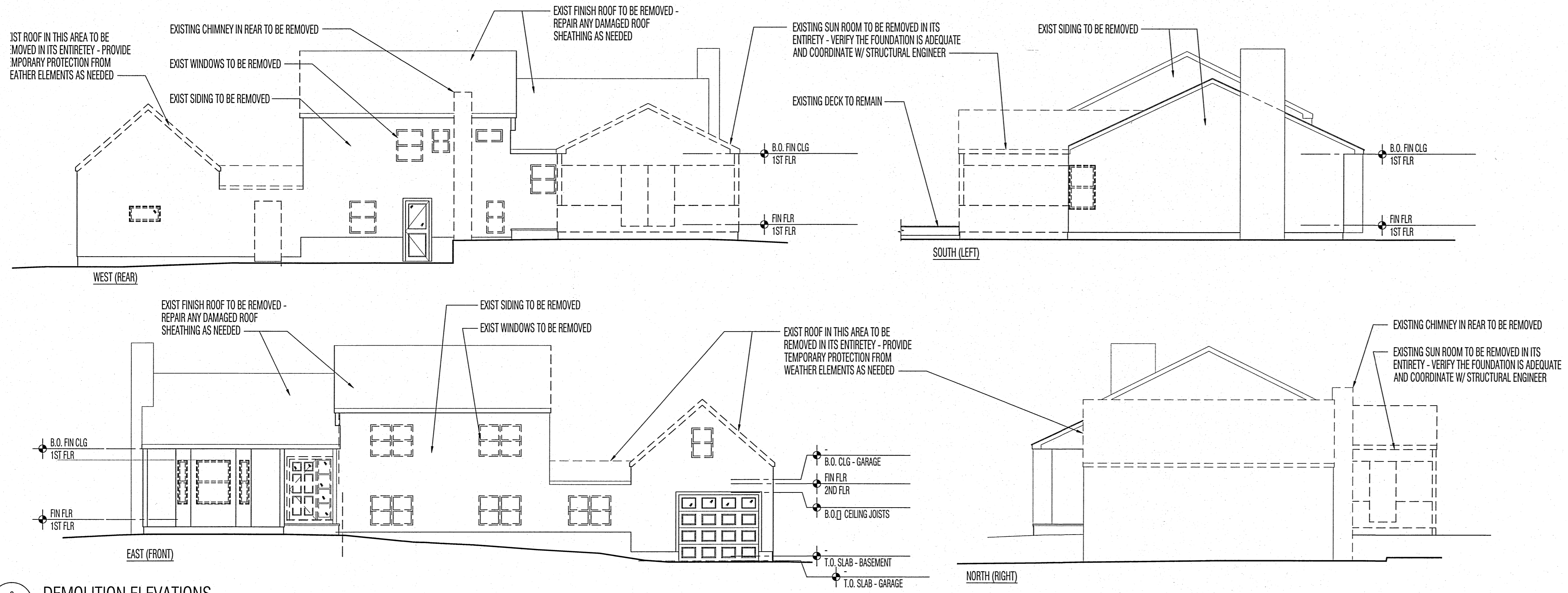


ZBA Application #016-24
482 Pepper Ridge Road

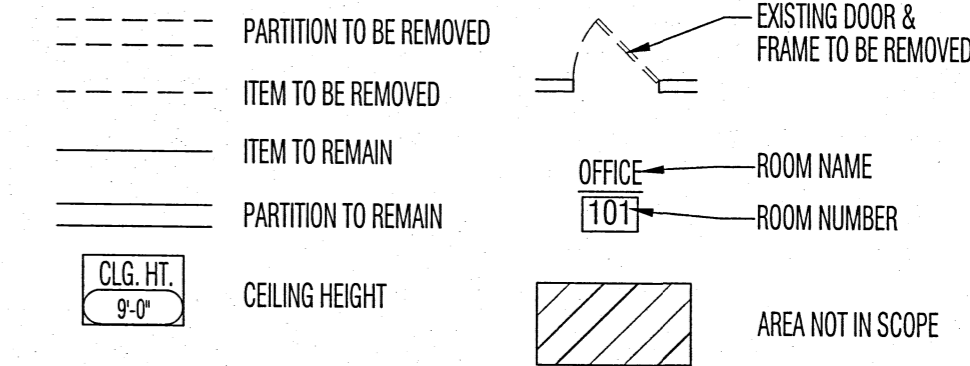
Date: 4/9/2024

1 inch = 67 feet





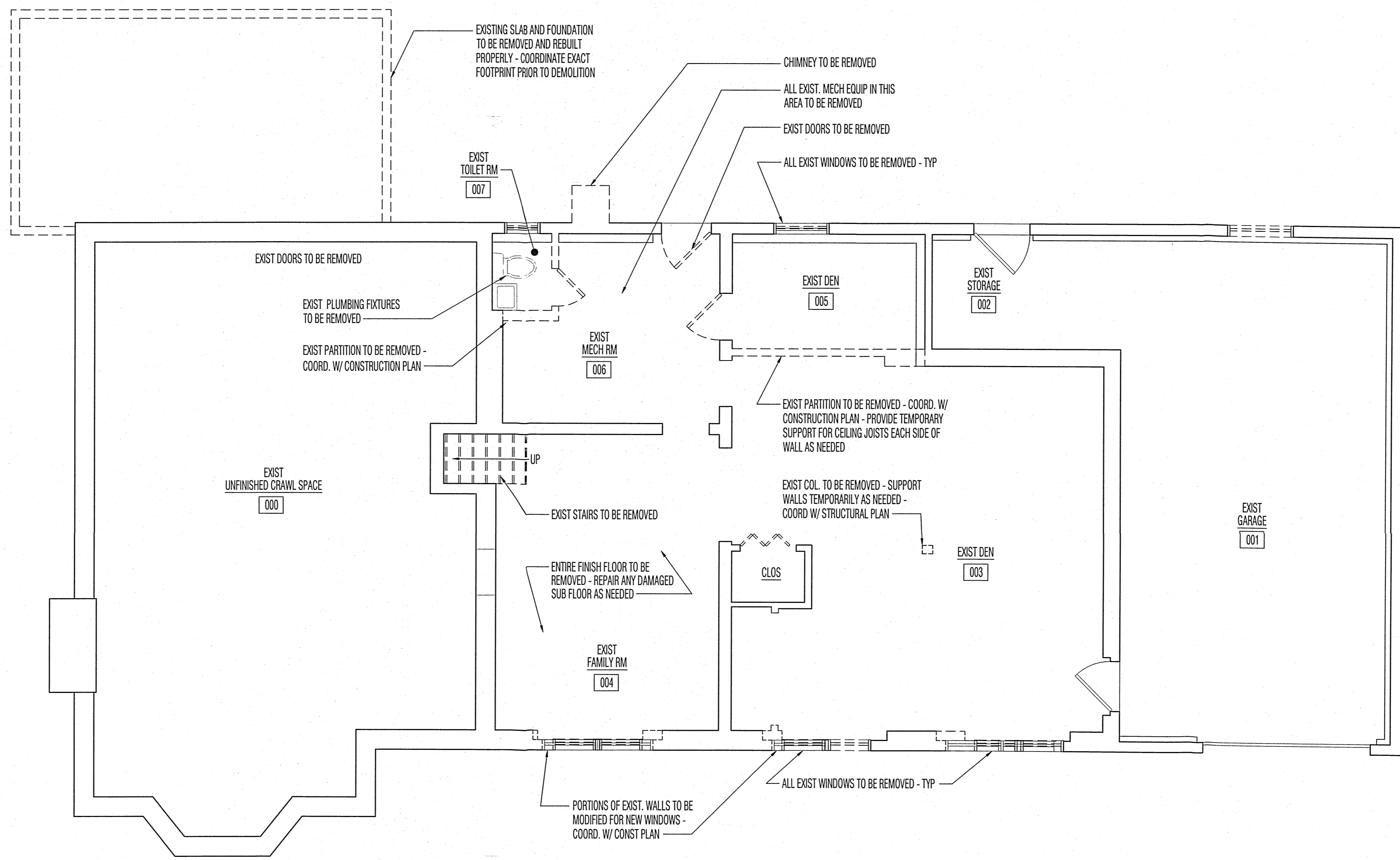
DEMOLITION LEGEND



NOTE: SEE COVER PAGE ON A-000 FOR DEMOLITION NOTES



2 DEMOLITION ELEVATIONS
DM-100 SCALE: 1/8" = 1'-0"



#016-24

1 DEMOLITION PLAN - LOWER LEVEL & GARAGE
DM-100 SCALE: 1/4" = 1'-0"

| NO. | REVISION | DATE |
|-----|-------------------|------------|
| | ISSUED FOR PERMIT | 01.10.2024 |

PROJECT:
RACHINSKY-WOOD RESIDENCE
HOME ADDITION / RENOVATION

482 PEPPER RIDGE RD
STAMFORD, CT

DEMOLITION PLAN LOWER LEVEL & GARAGE & DEMO ELEVATIONS

| | |
|-------------|-------------|
| PROJECT NO: | 23-006 |
| DRAWN BY: | CHECKED BY: |
| DP | DP |
| DATE: | SCALE: |
| 11.09.2023 | AS NOTED |
| DRAWING NO. | |

DM-100

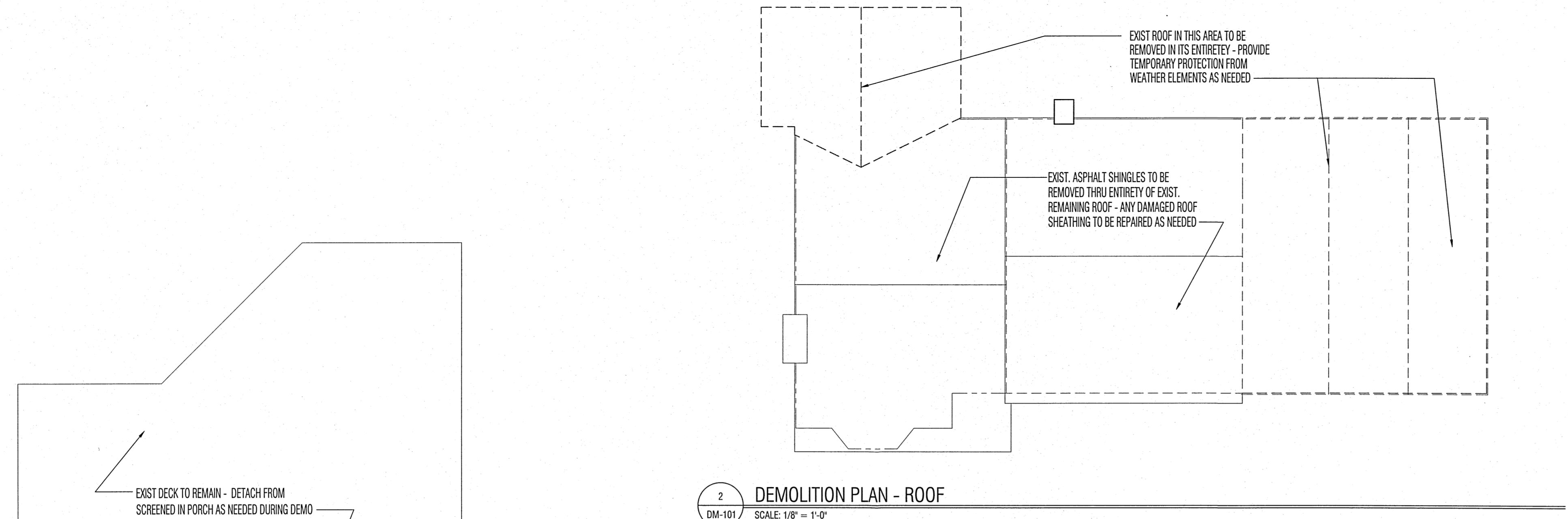
SHEET NO.
02 OF 13

BSCAN:

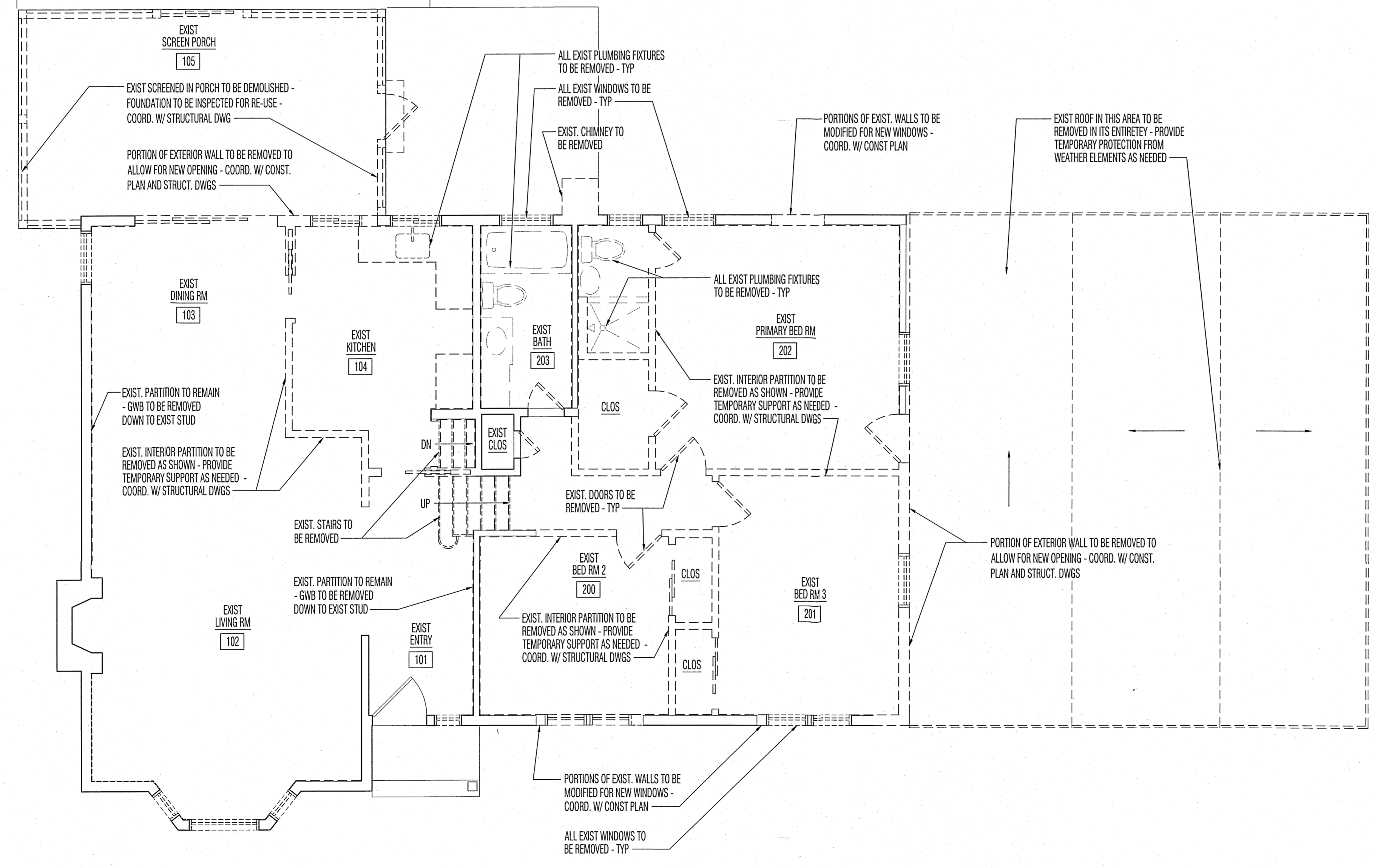
DEMOLITION LEGEND

- PARTITION TO BE REMOVED
- ITEM TO BE REMOVED
- ITEM TO REMAIN
- PARTITION TO REMAIN
- CLG. HT. 9'-0" CEILING HEIGHT
- EXISTING DOOR & FRAME TO BE REMOVED
- OFFICE ROOM NAME
- TOT ROOM NUMBER
- AREA NOT IN SCOPE

NOTE: SEE COVER PAGE ON A-000 FOR DEMOLITION NOTES



2 DEMOLITION PLAN - ROOF
 DM-101 SCALE: 1/8" = 1'-0"



1 DEMOLITION PLAN - FIRST & SECOND FLOOR
 DM-101 SCALE: 1/4" = 1'-0"

| NO. | REVISION | DATE |
|-----|-------------------|------------|
| | ISSUED FOR PERMIT | 01.10.2024 |

PROJECT:
RACHINSKY-WOOD RESIDENCE
 HOME ADDITION / RENOVATION
 482 PEPPER RIDGE RD
 STAMFORD, CT

DEMOLITION PLAN FIRST & SECOND FLOOR & ROOF

| | |
|-------------|------------|
| PROJECT NO: | 23-006 |
| DRAWN BY: | DP |
| CHECKED BY: | DP |
| DATE: | 11.09.2023 |
| SCALE: | AS NOTED |
| DRAWING NO. | |

DM-101

SHEET NO.
03 OF 13

BSCAN:

WINDOW SCHEDULE

| TAG | MANUF. | SERIES | TYPE | MODEL | WINDOW | | | | GLASS TYPE | NOTES |
|-----|--------|---------|-----------------|--------------------------------------|------------------------|-------------------------|-------------|-----------|------------|-------|
| | | | | | ROUGH OPEN. (w x h) | UNIT SIZE (w x h) | HEAD HEIGHT | WALL SIZE | | |
| A | MARVIN | ELEVATE | DOUBLE HUNG | ELDH 3660 E | 3'-0 1/2" X 5'-0 1/4" | 2'-11 1/2" X 4'-11 3/4" | VIF | 7"± | GL-1 | |
| B | MARVIN | ELEVATE | DOUBLE HUNG | ELDH 3660 2W E | 6'-0" X 5'-0 1/4" | 5'-11" X 4'-11 3/4" | VIF | 7"± | GL-1 | |
| C | MARVIN | ELEVATE | DOUBLE HUNG | ELDH 3640 | 3'-0 1/2" X 3'-4 1/4" | 2'-11 1/2" X 3'-3 3/4" | VIF | 7"± | GL-1 | |
| D | MARVIN | ELEVATE | DOUBLE HUNG | ELDH 3640 2W | 6'-0" X 3'-4 1/4" | 5'-11" X 3'-3 3/4" | VIF | 7"± | GL-1 | |
| E | MARVIN | ELEVATE | DOUBLE HUNG | ELDH 3040 | 2'-6 1/2" X 3'-4 1/4" | 2'-5 1/2" X 3'-3 3/4" | VIF | 7"± | GL-1 | |
| F | MARVIN | ELEVATE | DOUBLE HUNG | ELDH 2260 | 1'-10 1/2" X 5'-0 1/4" | 1'-9 1/2" X 4'-11 3/4" | VIF | 7"± | GL-1 | |
| G | MARVIN | ELEVATE | DOUBLE HUNG | ELDH 3636 | 3'-0 1/2" X 3'-0 1/4" | 2'-11 1/2" X 2'-11 3/4" | VIF | 7"± | GL-1 | |
| H | MARVIN | ELEVATE | DH / PICTURE | ELDH 3660 / EDLHP 4860 / ELDH 3660 E | 10'± X 5'-0 1/4" | 10'± X 4'-11 3/4" | VIF | 7"± | GL-1 | |
| I | MARVIN | ELEVATE | PICTURE | ELDHP 4260 | 3'-6 1/2" X 5'-0 1/4" | 3'-5 1/2" X 4'-11 3/4" | VIF | 7"± | GL-1 | |
| J | MARVIN | ELEVATE | SLID FRNCH DOOR | ELSPD8065 XO | 8'-0" X 6'-8" | 7'-11" X 6'-7 1/2" | VIF | 7"± | GL-2 | |
| K | MARVIN | ELEVATE | DOUBLE HUNG | ELDH2236 | 1'-10 1/2" X 3'-0 1/4" | 1'-9 1/2" X 2'-11 3/4" | VIF | 7"± | GL-1 | |

GLAZING TYPES

| | | |
|------|-----------------------------|------|
| GL-1 | DUAL PANE 1/8" LOW-E2 ARGON | |
| | U-FACTOR: | 0.28 |
| | SHGC: | 0.28 |
| GL-2 | 3/4" IG LOW E1 ARGON | |
| | U-FACTOR: | 0.29 |
| | SHGC: | 0.48 |

WINDOW SCHEDULE

- (E) DENOTES EGRESS WINDOW UNIT
- ALL GLAZING (GLASS) 18" AFF OR LESS TO BE SAFETY GLAZING

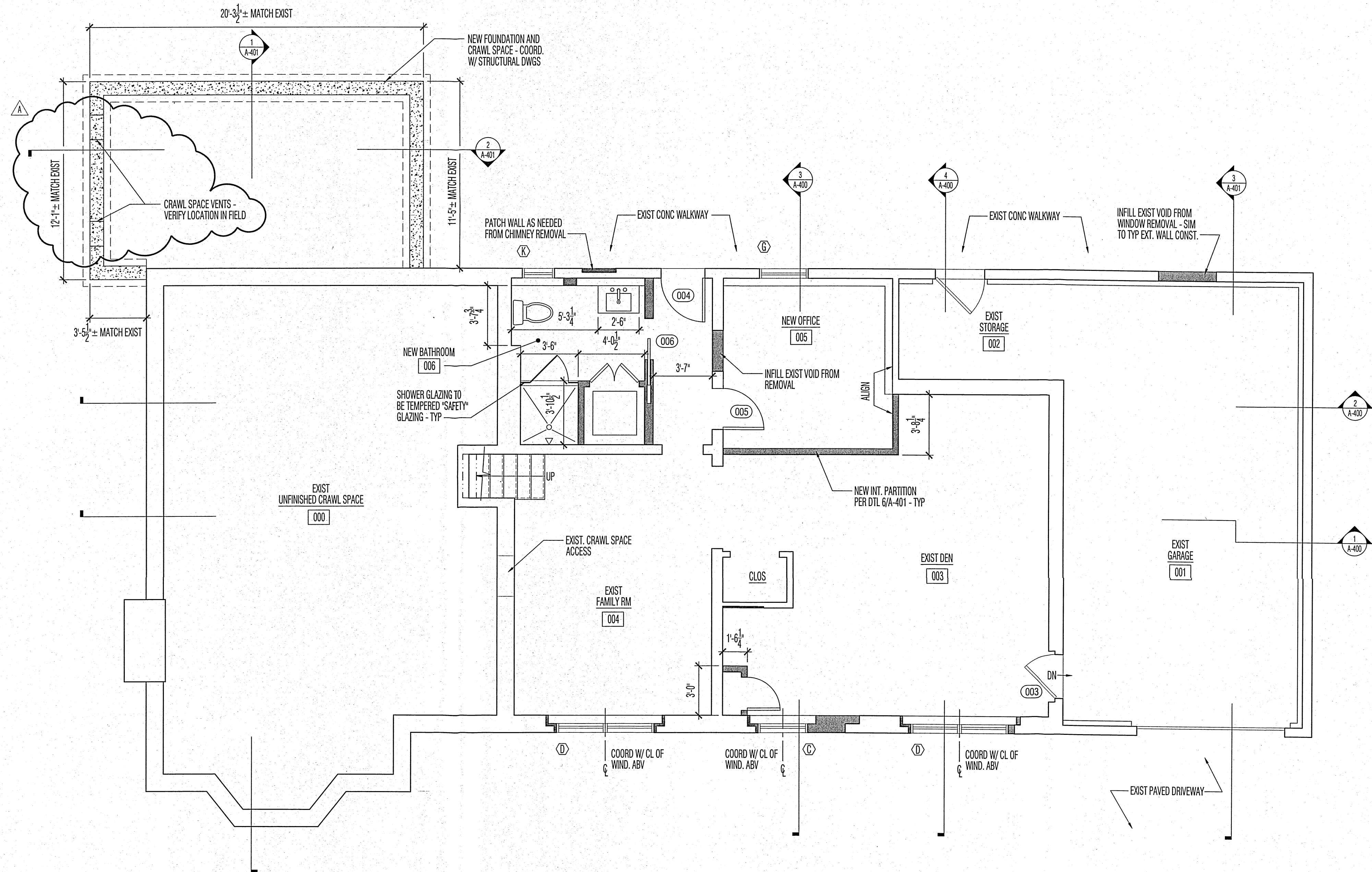
CONSTRUCTION NOTES

- ALL DIMENSIONS IN FLOOR PLANS ARE TO THE FINISH FACE. UNLESS OTHERWISE NOTED. SEE RCP FOR CEILING & LIGHTING INFORMATION.
- ALL FINISHES, PAINT, FLOORING, TILE, ETC., TO BE SELECTED BY OWNER.
- ALL EXISTING PARTITIONS WHICH ARE AFFECTED BY DEMO OR NEW CONSTRUCTION TO BE REFINISHED TO CREATE SEAMLESS JOINTS WITH NEW CONSTRUCTION, TYP.
- ALL NEW PARTITIONS ADJ TO EXISTING TO ALIGN WITH EXISTING PARTITION THICKNESS
- SEE DOOR SCHEDULE ON THIS PAGE - VERIFY W/ OWNER
- SEE WINDOW SCHEDULE ON THIS PAGE - VERIFY W/ OWNER
- ALL PLUMBING FIXTURES TO BE SELECTED BY OWNER - VERIFY MAKE, MODEL & EXACT LOCATION PRIOR TO ROUGH-IN
- NEW FLOORING THROUGHOUT - VERIFY STYLE / FINISH W/ OWNER AND INTERIOR DESIGNER

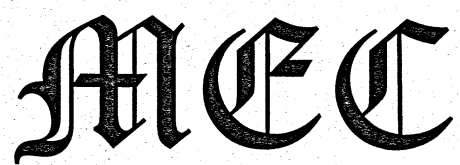
CONSTRUCTION PLAN LEGEND

DOOR SCHEDULE

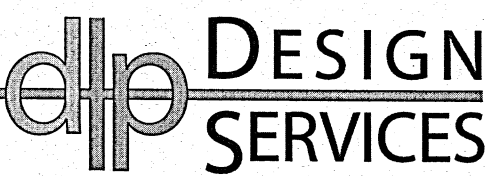
| TAG | LOCATIONS | DOOR | | | | | | NOTES |
|---------------------|------------------|-------|--------|-----------|--------------|-------|-------|-------------|
| | | WIDTH | HEIGHT | THICKNESS | MATERIAL | FIN. | CORE | |
| LOWER LEVEL | | | | | | | | |
| 001 | GARAGE | 9'-0" | | EXIST | WOOD | PAINT | EXIST | EXTERIOR |
| 003 | EXIST. DEN | 2'-8" | | EXIST | WOOD | PAINT | EXIST | |
| 004 | REAR ENTRY | 2'-8" | | 1 3/8" | WOOD | PAINT | SOLID | EXTERIOR |
| 005 | NEW OFFICE | 2'-6" | | 1 3/8" | WOOD | PAINT | SOLID | |
| 006 | ENLARGED BATH RM | 2'-6" | | 1 3/8" | WOOD | PAINT | SOLID | POCKET DOOR |
| FIRST FLOOR | | | | | | | | |
| 101 | ENTRY | 3'-0" | | EXIST | WOOD / GLASS | PAINT | EXIST | EXTERIOR |
| SECOND FLOOR | | | | | | | | |
| 200 | BED RM 2 | 2'-8" | | 1 3/8" | WOOD | PAINT | SOLID | |
| 200A | BED RM 2 CLOS | 2'-2" | | 1 3/8" | WOOD | PAINT | SOLID | POCKET DOOR |
| 201 | SHARED BATH | 2'-4" | | 1 3/8" | WOOD | PAINT | SOLID | |
| 201A | SHARED BATH | 2'-4" | | 1 3/8" | WOOD | PAINT | SOLID | |
| 202 | BED RM 3 | 2'-8" | | 1 3/8" | WOOD | PAINT | SOLID | |
| 202A | BED RM 3 CLOS | 2'-2" | | 1 3/8" | WOOD | PAINT | SOLID | POCKET DOOR |
| 203 | RENOVATED BATH | 2'-0" | | 1 3/8" | WOOD | PAINT | SOLID | |
| 204 | LAUNDRY | 2'-8" | | 1 3/8" | WOOD | PAINT | SOLID | POCKET DOOR |
| 205 | BED RM 4 | 2'-8" | | 1 3/8" | WOOD | PAINT | SOLID | |
| 205A | BED RM 4 CLOS | 2'-6" | | 1 3/8" | WOOD | PAINT | SOLID | |
| 206 | BED RM 5 | 2'-8" | | 1 3/8" | WOOD | PAINT | SOLID | |
| 206A | BED RM 5 CLOS | 4'-0" | | 1 3/8" | WOOD | PAINT | SOLID | |
| 208 | PRIMARY BED RM | 2'-8" | | 1 3/8" | WOOD | PAINT | SOLID | |
| 209 | PRIMARY CLOS | 2'-8" | | 1 3/8" | WOOD | PAINT | SOLID | |
| 210 | PRIMARY BATH | 2'-8" | | 1 3/8" | WOOD | PAINT | SOLID | |



1
A-100
CONSTRUCTION PLAN - LOWER LEVEL & GARAGE
SCALE: 1/4" = 1'-0"



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DFERRIS1@GMAIL.COM

| NO. | REVISION | DATE |
|-----|-------------------|------------|
| | ISSUED FOR PERMIT | 01.10.2024 |
| A | DOB RESPONSE | 02.28.2024 |

PROJECT:

RACHINSKY-WOOD RESIDENCE
HOME ADDITION / RENOVATION

482 PEPPER RIDGE RD
STAMFORD, CT

CONSTRUCTION PLAN
LOWER LEVEL
& GARAGE

| | |
|-------------|-------------|
| PROJECT NO: | 23-006 |
| DRAWN BY: | CHECKED BY: |
| DP | DP |
| DATE: | SCALE: |
| 11.30.2023 | AS NOTED |
| DRAWING NO. | |

A-100

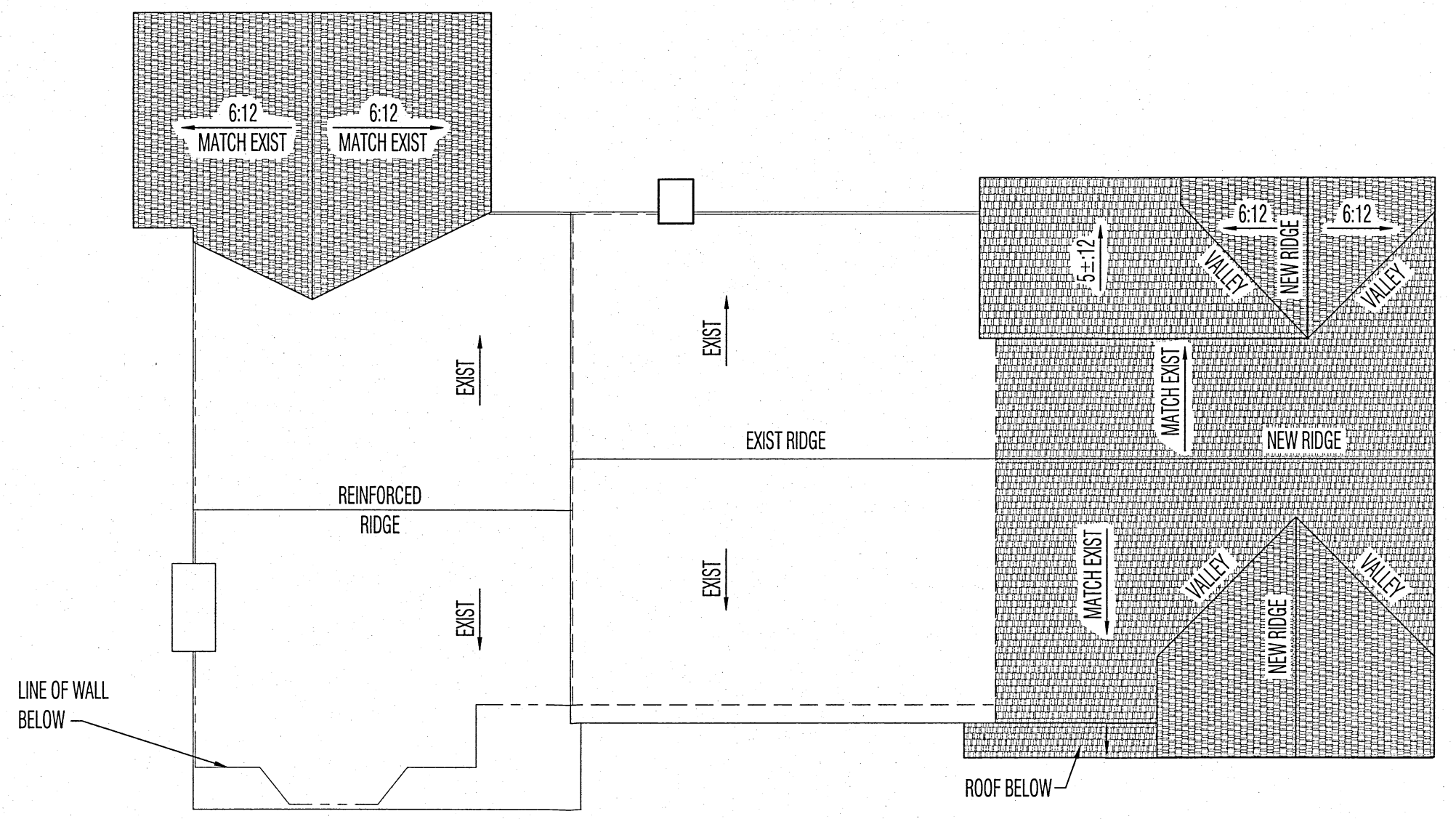
SHEET NO.

04 OF 13

BSCAN:

CONSTRUCTION PLAN LEGEND

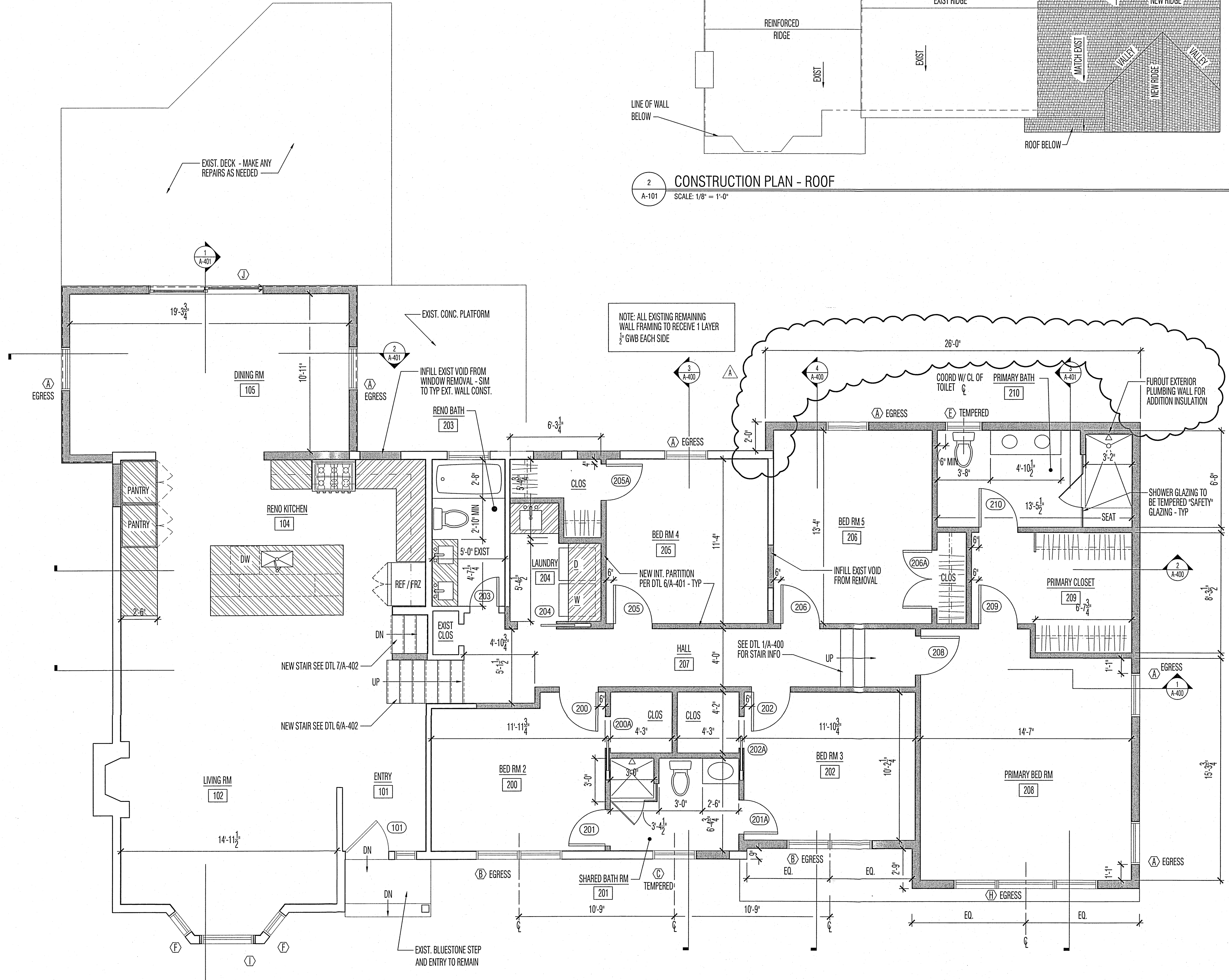
- EXISTING PARTITION
- - - PARTITION TO BE DEMOLISHED
- ▬ NEW GWB PARTITION
- ⌋ EXISTING DOOR & FRAME
- ⌋ NEW DOOR
- ▬ AREA OF WALL TO BE REFINISHED
- (A) WINDOW TAG
- (100) DOOR TAG
- ① SECTION NUMBER
- A-303 DRAWING NUMBER
- ③ DETAIL NUMBER
- A-704 DRAWING NUMBER
- ▬ GLAZING/WINDOW
- ▨ NEW MILLWORK
- OFFICE ROOM NAME
- 101 ROOM NUMBER
- 6'-0" DIMENSION
- T.O. SLAB ELEVATION AS NOTED



2 CONSTRUCTION PLAN - ROOF
 A-101 SCALE: 1/8" = 1'-0"

CONSTRUCTION NOTES

1. ALL DIMENSIONS IN FLOOR PLANS ARE TO THE FINISH FACE UNLESS OTHERWISE NOTED. SEE RCP FOR CEILING & LIGHTING INFORMATION.
2. ALL FINISHES, PAINT, FLOORING, TILE, ETC. TO BE SELECTED BY OWNER.
3. ALL EXISTING PARTITIONS WHICH ARE AFFECTED BY DEMO OR NEW CONSTRUCTION TO BE REFINISHED TO CREATE SEAMLESS JOINTS WITH NEW CONSTRUCTION, TYP.
4. ALL NEW PARTITIONS ADJ TO EXISTING TO ALIGN WITH EXISTING PARTITION THICKNESS
5. SEE A-100 FOR DOOR SCHEDULE - VERIFY W/ OWNER
6. SEE A-100 FOR WINDOW SCHEDULE - VERIFY W/ OWNER
7. ALL PLUMBING FIXTURES TO BE SELECTED BY OWNER - VERIFY MAKE, MODEL & EXACT LOCATION PRIOR TO ROUGH-IN
8. NEW FLOORING THROUGHOUT - VERIFY STYLE / FINISH W/ OWNER AND INTERIOR DESIGNER



1 CONSTRUCTION PLAN - FIRST & SECOND FLOOR
 A-101 SCALE: 1/4" = 1'-0"

| NO. | REVISION | DATE |
|-----|-------------------|------------|
| | ISSUED FOR PERMIT | 01.10.2024 |
| | DOB RESPONSE | 02.28.2024 |

PROJECT:
RACHINSKY-WOOD RESIDENCE
 HOME ADDITION / RENOVATION

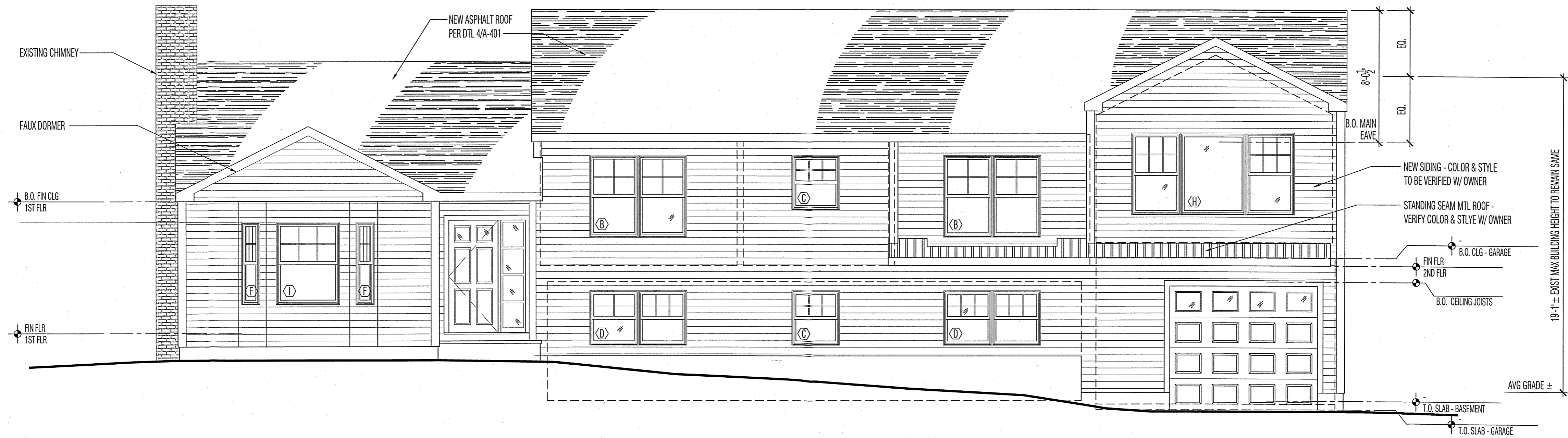
482 PEPPER RIDGE RD
 STAMFORD, CT

CONSTRUCTION PLAN
 FIRST & SECOND FLOOR
 & ROOF

| | |
|-------------|-------------|
| PROJECT NO: | 23-006 |
| DRAWN BY: | CHECKED BY: |
| DP | DP |
| DATE: | SCALE: |
| 11.30.2023 | AS NOTED |
| DRAWING NO. | |

A-101
 SHEET NO.
05 OF 13

BSCAN:



1
 A-300
 EXTERIOR ELEVATION - EAST FACING
 SCALE: 1/4" = 1'-0"



2
 A-300
 EXTERIOR ELEVATION - NORTH FACING
 SCALE: 1/4" = 1'-0"

| NO. | REVISION | DATE |
|-----|-------------------|------------|
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PROJECT:

RACHINSKY-WOOD RESIDENCE
 HOME ADDITION / RENOVATION

482 PEPPER RIDGE RD
 STAMFORD, CT

EXTERIOR
 ELEVATIONS
 EAST & NORTH FACING

| | |
|-------------|-------------|
| PROJECT NO: | 23-006 |
| DRAWN BY: | CHECKED BY: |
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| DATE: | SCALE: |
| 11.30.2023 | AS NOTED |
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A-300

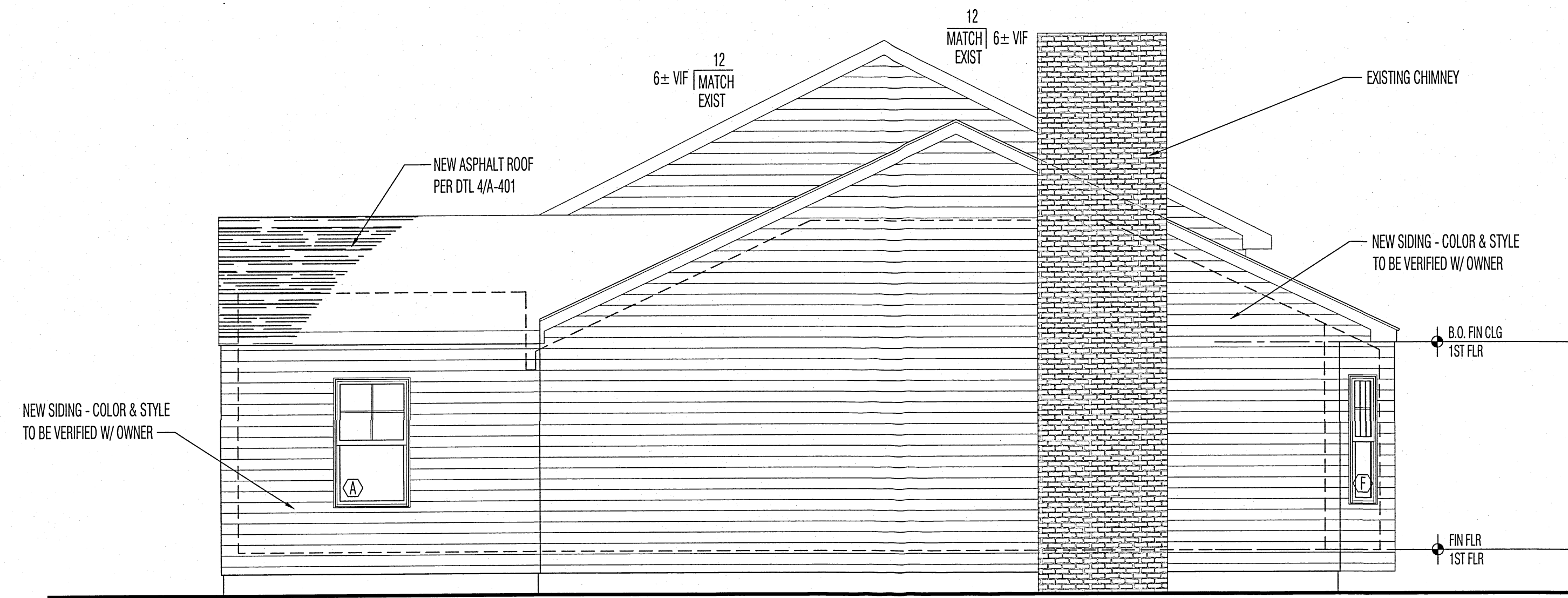
SHEET NO.

07 OF 13

BSCAN:



1 EXTERIOR ELEVATION - WEST FACING
 A-301 SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH FACING
 A-301 SCALE: 1/4" = 1'-0"

| NO. | REVISION | DATE |
|-----|-------------------|------------|
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PROJECT:
RACHINSKY-WOOD RESIDENCE
 HOME ADDITION / RENOVATION
 482 PEPPER RIDGE RD
 STAMFORD, CT

EXTERIOR ELEVATIONS WEST & SOUTH FACING

| | |
|-------------|-----------------|
| PROJECT NO: | 23-006 |
| DRAWN BY: | CHECKED BY: DP |
| DATE: | SCALE: AS NOTED |
| 11.30.2023 | |

DRAWING NO. **A-301**
 SHEET NO. **08 OF 13**

BSCAN: