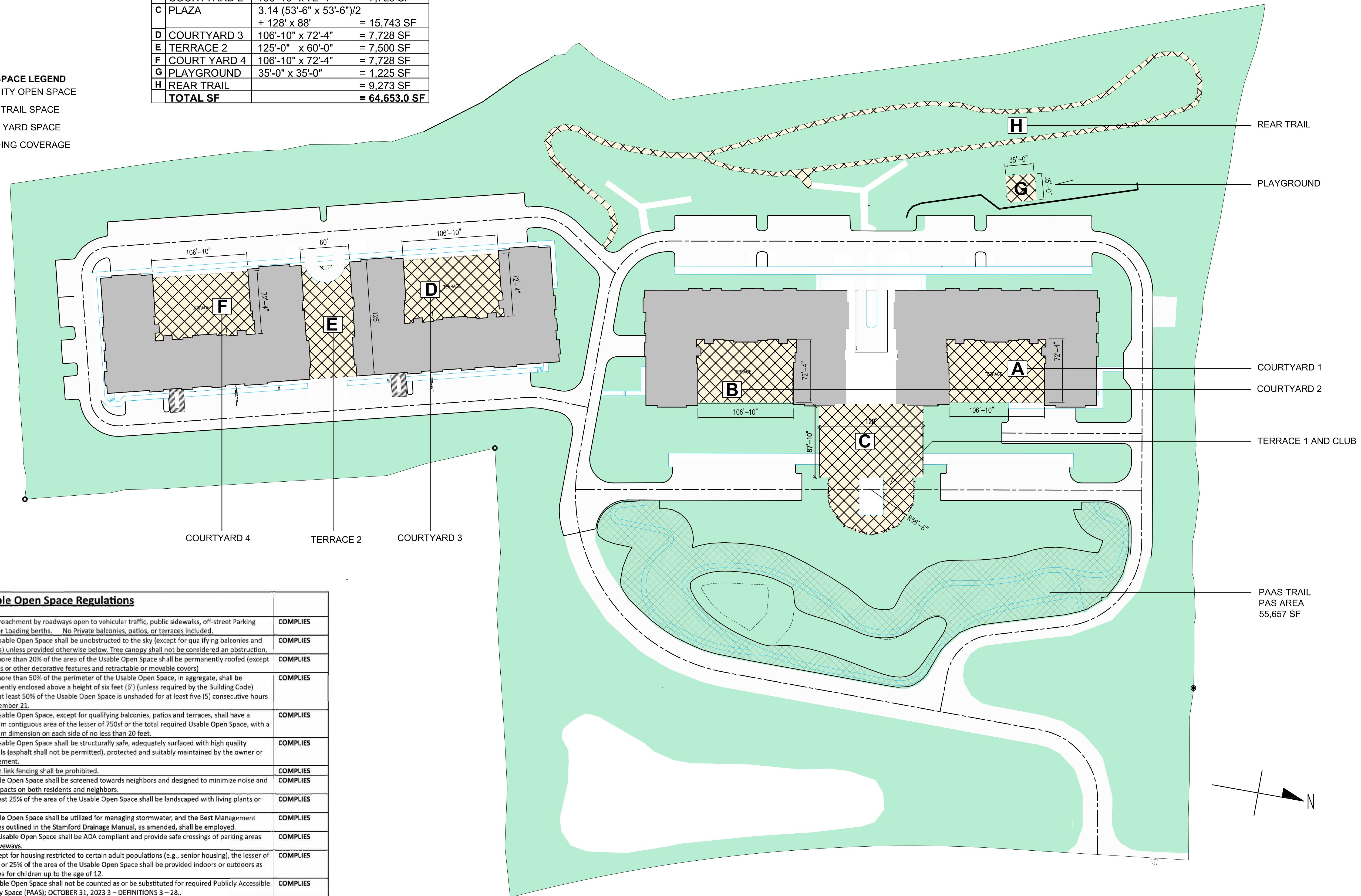


OPEN SPACE CALCULATION

#	AREA	CALCULATION
A	COURTYARD 1	106'-10" x 72'-4" = 7,728 SF
B	COURTYARD 2	106'-10" x 72'-4" = 7,728 SF
C	PLAZA	3.14 (53'-6" x 53'-6")/2 + 128' x 88' = 15,743 SF
D	COURTYARD 3	106'-10" x 72'-4" = 7,728 SF
E	TERRACE 2	125'-0" x 60'-0" = 7,500 SF
F	COURTYARD 4	106'-10" x 72'-4" = 7,728 SF
G	PLAYGROUND	35'-0" x 35'-0" = 1,225 SF
H	REAR TRAIL	= 9,273 SF
	TOTAL SF	= 64,653.0 SF

PROPOSED OPEN SPACE LEGEND

	AMENITY OPEN SPACE
	PAAS TRAIL SPACE
	OPEN YARD SPACE
	BUILDING COVERAGE

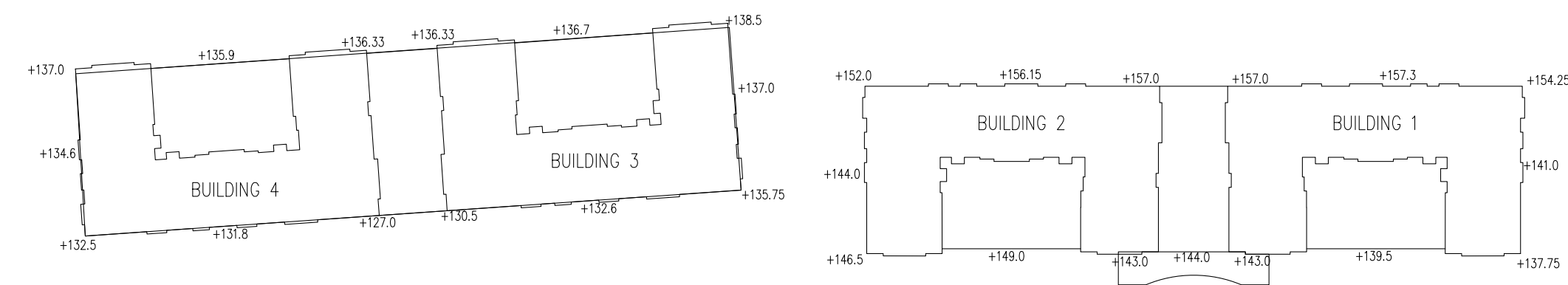


Usable Open Space Regulations

No encroachment by roadways open to vehicular traffic, public sidewalks, off-street Parking Space or Loading berths. No Private balconies, patios, or terraces included.	COMPLIES
1. All Usable Open Space shall be unobstructed to the sky (except for qualifying balconies and terraces) unless provided otherwise below. Tree canopy shall not be considered an obstruction.	COMPLIES
2. No more than 20% of the area of the Usable Open Space shall be permanently roofed (except pergolas or other decorative features and retractable or movable covers)	COMPLIES
3. No more than 50% of the perimeter of the Usable Open Space, in aggregate, shall be permanently enclosed above a height of six feet (6') (unless required by the Building Code) unless at least 50% of the Usable Open Space is unshaded for at least five (5) consecutive hours on December 21.	COMPLIES
4. All Usable Open Space, except for qualifying balconies, patios and terraces, shall have a minimum contiguous area of the lesser of 750sf or the total required Usable Open Space, with a minimum dimension on each side of no less than 20 feet.	COMPLIES
5. All Usable Open Space shall be structurally safe, adequately surfaced with high quality materials (asphalt shall not be permitted), protected and suitably maintained by the owner or management.	COMPLIES
6. Chain link fencing shall be prohibited.	COMPLIES
7. Usable Open Space shall be screened towards neighbors and designed to minimize noise and light impacts on both residents and neighbors.	COMPLIES
8. At least 25% of the area of the Usable Open Space shall be landscaped with living plants or grass.	COMPLIES
9. Usable Open Space shall be utilized for managing stormwater, and the Best Management Practices outlined in the Stamford Drainage Manual, as amended, shall be employed.	COMPLIES
10. All Usable Open Space shall be ADA compliant and provide safe crossings of parking areas and driveways.	COMPLIES
11. Except for housing restricted to certain adult populations (e.g., senior housing), the lesser of 1,000sf or 25% of the area of the Usable Open Space shall be provided indoors or outdoors as play area for children up to the age of 12.	COMPLIES
12. Usable Open Space shall not be counted as or be substituted for required Publicly Accessible Amenity Space (PAAS), OCTOBER 31, 2023 3 - DEFINITIONS 3 - 28..	COMPLIES
13. Publicly Accessible Amenity Space (PAAS) shall not be counted as or be substituted for required Usable Open Space.	COMPLIES
14. Within 500 feet of a publicly accessible park, up to 75% of Usable Open Space may be substituted with Indoor Amenity Space	COMPLIES. No indoor space included in calculation.
15. Sidewalks, including public sidewalks on private property, shall not be counted as Usable Open Space.	COMPLIES

PROPOSED OPEN SPACE

SCALE 1/64"=1'-0"



AVERAGE GRADE CALCULATION

BUILDING 1 & 2:
 (152.0+156.15+157.0+157.3+154.25+141.0+137.75+139.5+143.0+144.0+143.0+149.0+146.5+144.0) / 15
 = +148.1

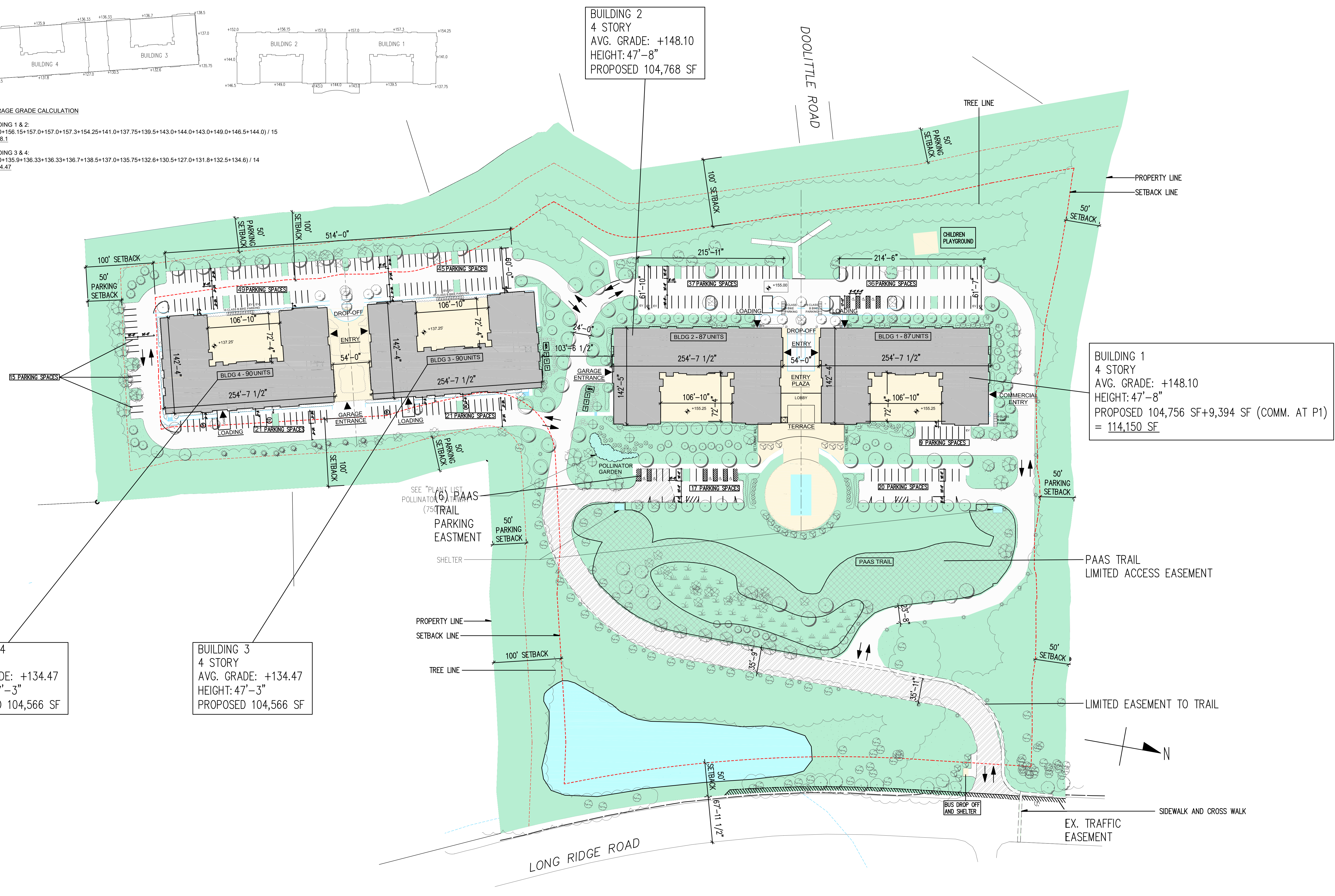
BUILDING 3 & 4:
 (137.0+135.9+136.33+136.7+138.5+137.0+135.75+132.6+130.5+127.0+131.8+132.5+134.6) / 14
 = +134.47

BUILDING 2
 4 STORY
 AVG. GRADE: +148.10
 HEIGHT: 47'-8"
 PROPOSED 104,768 SF

BUILDING 1
 4 STORY
 AVG. GRADE: +148.10
 HEIGHT: 47'-8"
 PROPOSED 104,756 SF+9,394 SF (COMM. AT P1)
 = 114,150 SF

BUILDING 4
 4 STORY
 AVG. GRADE: +134.47
 HEIGHT: 47'-3"
 PROPOSED 104,566 SF

BUILDING 3
 4 STORY
 AVG. GRADE: +134.47
 HEIGHT: 47'-3"
 PROPOSED 104,566 SF

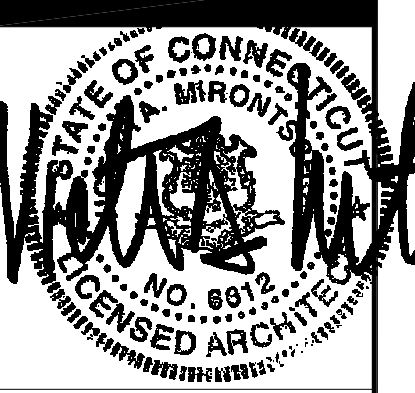


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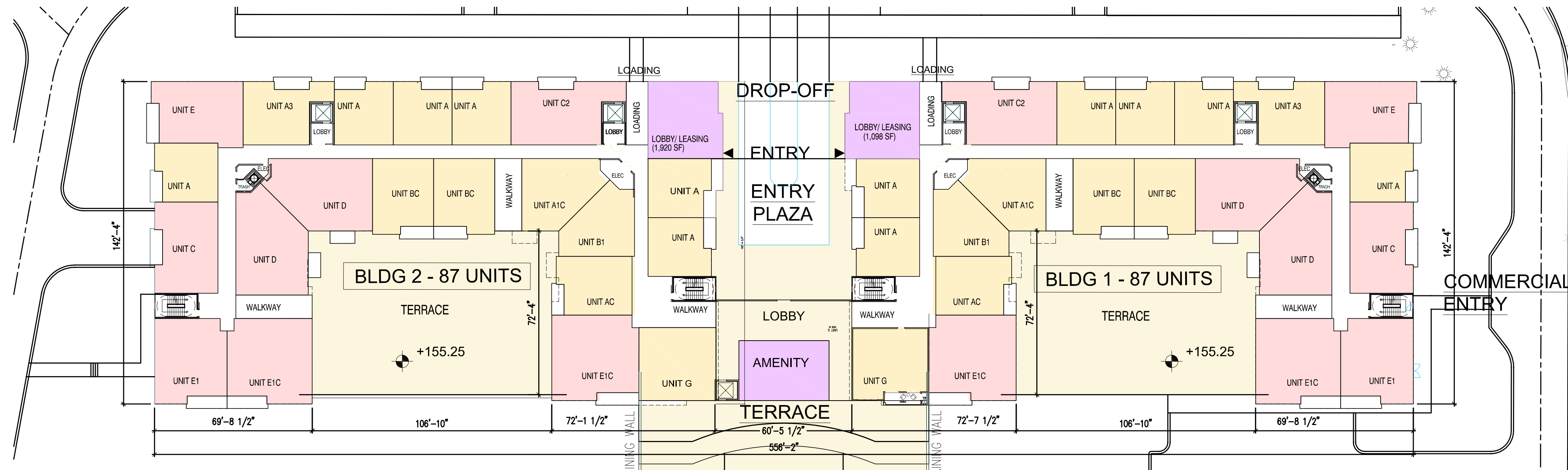


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PROJECT NO:
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 ISSUED DATE: 11/16/2023
 DRAWING TITLE
SITE PLAN
 DRAWING NUMBER
Z002

BLDG 1, 2, 3 & 4 - SITE PLAN
 SCALE 1/64"=1'-0"

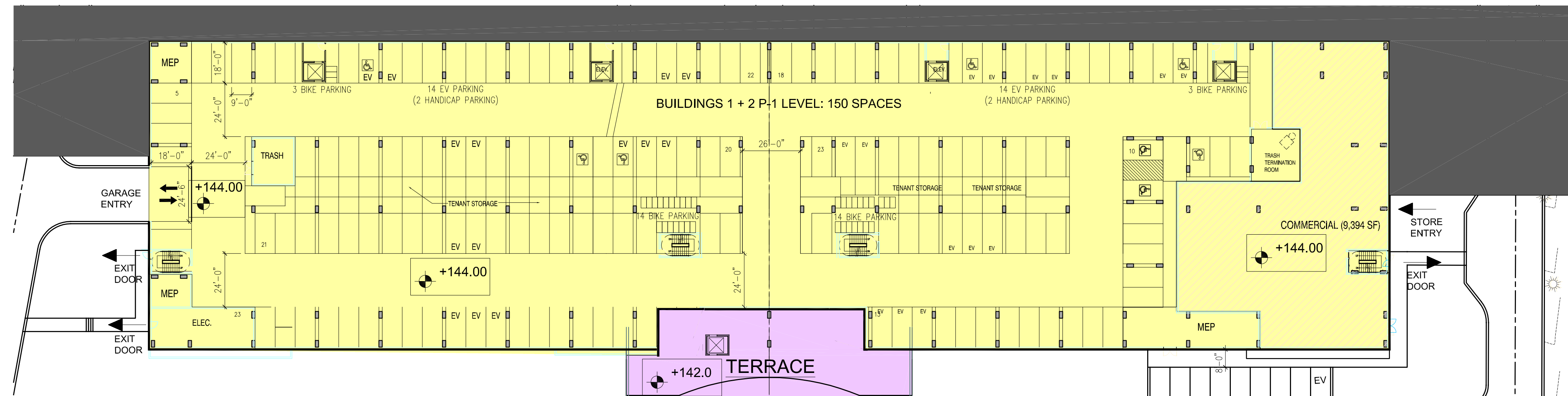


LEGEND

- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- 3 BEDROOM UNIT
- LOBBY/PUBLIC

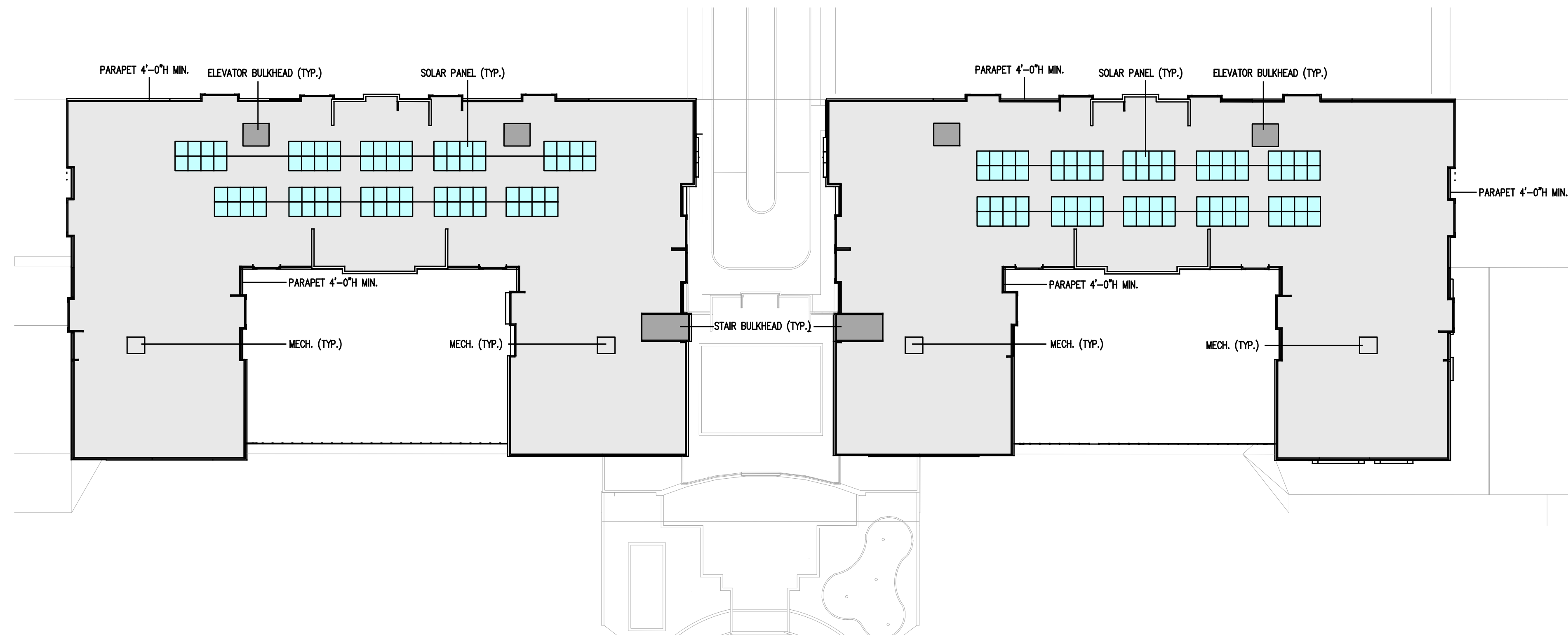
BLDG 1 & 2 - GROUND LEVEL

SCALE 1/32"=1'-0"



BLDG 1 & 2 - PARKING LEVEL

SCALE 1/32"=1'-0"



- LEGEND**
- 1 BEDROOM UNIT
 - 2 BEDROOM UNIT
 - 3 BEDROOM UNIT
 - LOBBY/PUBLIC

BLDG 1 & 2 - ROOF PLAN

SCALE 1/32"=1'-0"



BLDG 1 & 2 - 2ND TO 4TH FLOOR PLAN

SCALE 1/32"=1'-0"

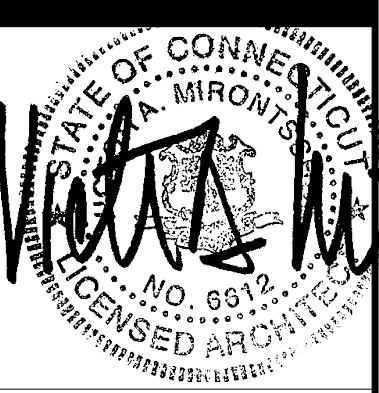
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43 Sherman Hill Road, Suite D-101
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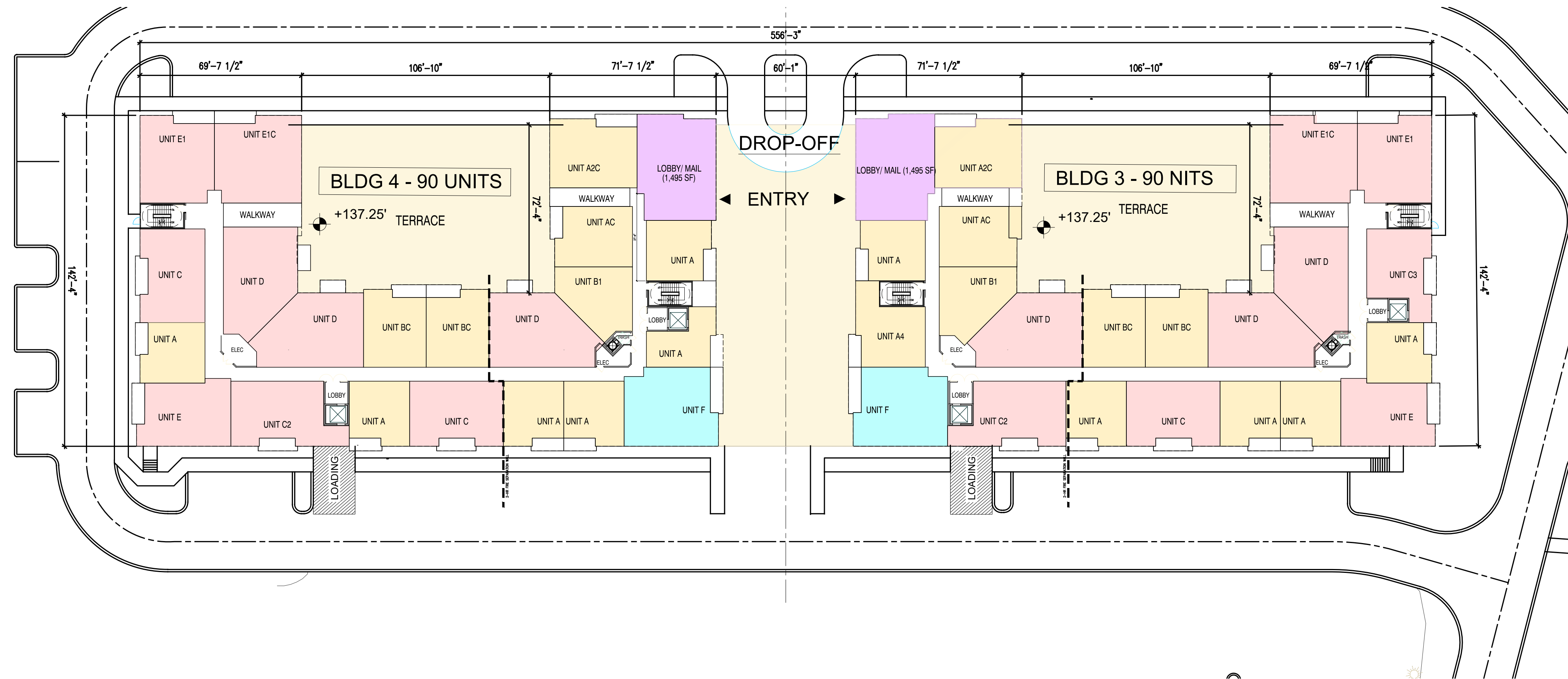
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DRAWING TITLE
BUILDING 1 & 2
2ND TO 4TH FLOOR
ROOF

DRAWING NUMBER

A004

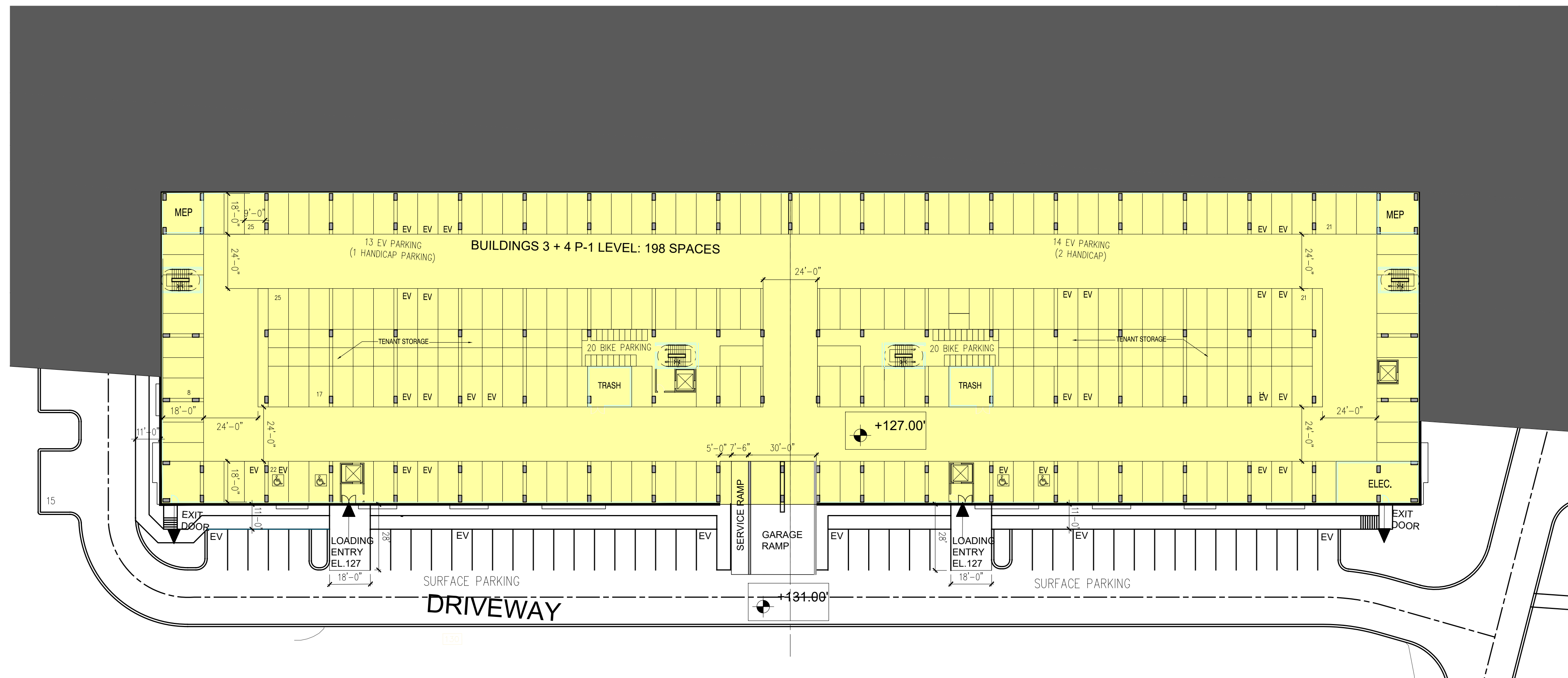


LEGEND

- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- 3 BEDROOM UNIT
- LOBBY/PUBLIC

BLDG 3 & 4 - GROUND LEVEL

SCALE 1/32"=1'-0"



BLDG 3 & 4 - PARKING LEVEL

SCALE 1/32"=1'-0"

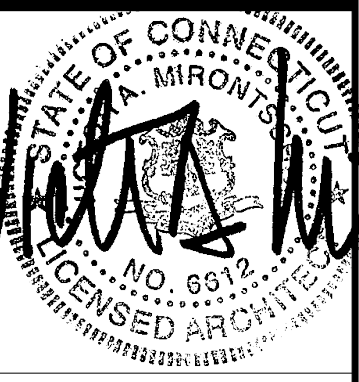


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DRAWING TITLE
BUILDING 3 & 4
P1 PARKING LEVEL
GROUND LEVEL
DRAWING NUMBER

A005

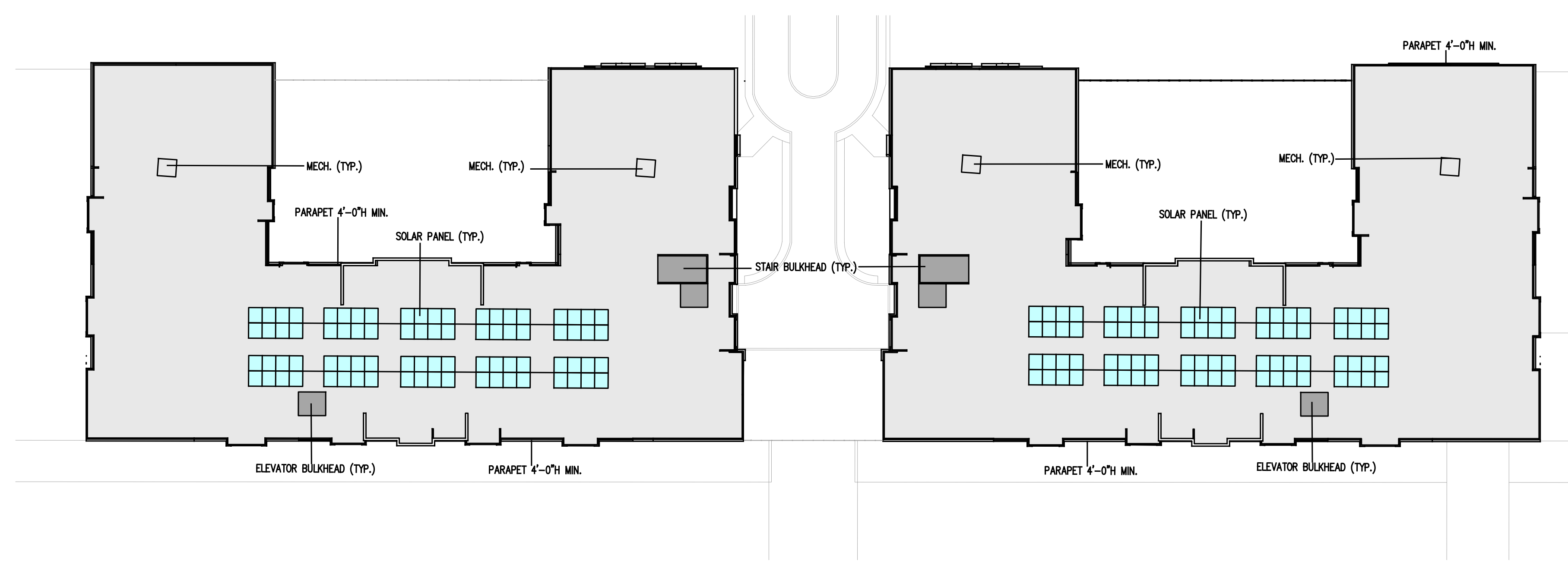
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DRAWING TITLE
BUILDING 3 & 4
2ND TO 4TH FLOOR
ROOF
DRAWING NUMBER

A006

LEGEND

- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- 3 BEDROOM UNIT
- LOBBY/PUBLIC



BLDG 3 & 4 - ROOF PLAN

SCALE 1/32"=1'-0"



BLDG 3 & 4 - 2ND TO 4TH FLOOR PLAN

SCALE 1/32"=1'-0"



BLDG. 2 - SOUTH ELEVATION 4



BLDG. 2 - NORTH ELEVATION 3



BLDG. 2 - WEST ELEVATION 2

- MATERIAL LEGEND**
1. PAINTED TRIM - WHITE AZEK
 2. COMPOSITE SIDING - DARK GRAY
 3. COMPOSITE SIDING - LIGHT GRAY
 4. COMPOSITE SIDING - OCHRE
 5. COMPOSITE SIDING - TUSCAN RED
 6. TEXTURED PANEL - GRAY
 7. TEXTURED PANEL - NATURAL
 8. STONE VENEER
 9. INSULATED WINDOW ASSEMBLY
 10. STOREFRONT



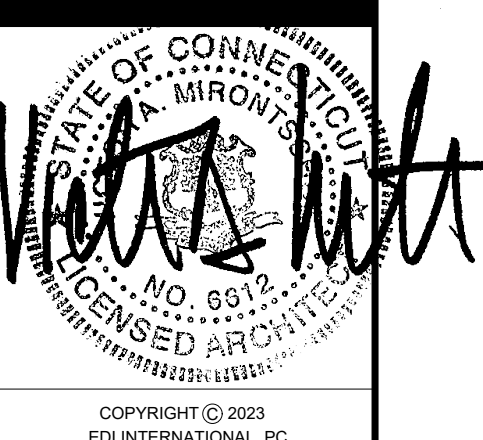
BLDG. 2 - EAST ELEVATION 1

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DRAWING TITLE
TYPICAL BUILDING ELEVATIONS

DRAWING NUMBER

A200



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BLDG. 1 RETAIL SPACE - NORTH ELEVATION

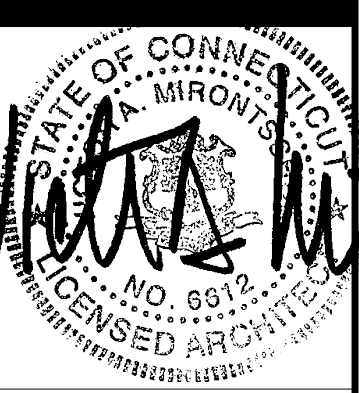
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- MATERIAL LEGEND**
- 1. PAINTED TRIM - WHITE AZEK
 - 2. COMPOSITE SIDING - DARK GRAY
 - 3. COMPOSITE SIDING - LIGHT GRAY
 - 4. COMPOSITE SIDING - OCHRE
 - 5. COMPOSITE SIDING - TUSCAN RED
 - 6. TEXTURED PANEL - GRAY
 - 7. TEXTURED PANEL - NATURAL
 - 8. STONE VENEER
 - 9. INSULATED WINDOW ASSEMBLY
 - 10. STOREFRONT



AMENITY AREA - EAST ELEVATION

1



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DRAWING TITLE
TYPICAL BUILDING ELEVATIONS
DRAWING NUMBER

A201



BLDG. 3 - SOUTH ELEVATION 4



BLDG. 3 - NORTH ELEVATION 3



BLDG. 3 - EAST ELEVATION 2

- MATERIAL LEGEND**
- 1. PAINTED TRIM - WHITE AZEK
 - 2. COMPOSITE SIDING - DARK GRAY
 - 3. COMPOSITE SIDING - LIGHT GRAY
 - 4. COMPOSITE SIDING - OCHRE
 - 5. COMPOSITE SIDING - TUSCAN RED
 - 6. TEXTURED PANEL - GRAY
 - 7. TEXTURED PANEL - NATURAL
 - 8. STONE VENEER
 - 9. INSULATED WINDOW ASSEMBLY
 - 10. STOREFRONT



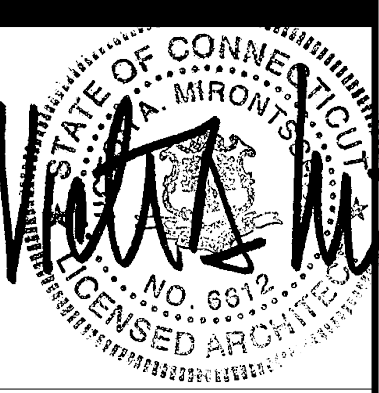
BLDG. 3 - EAST ELEVATION 1

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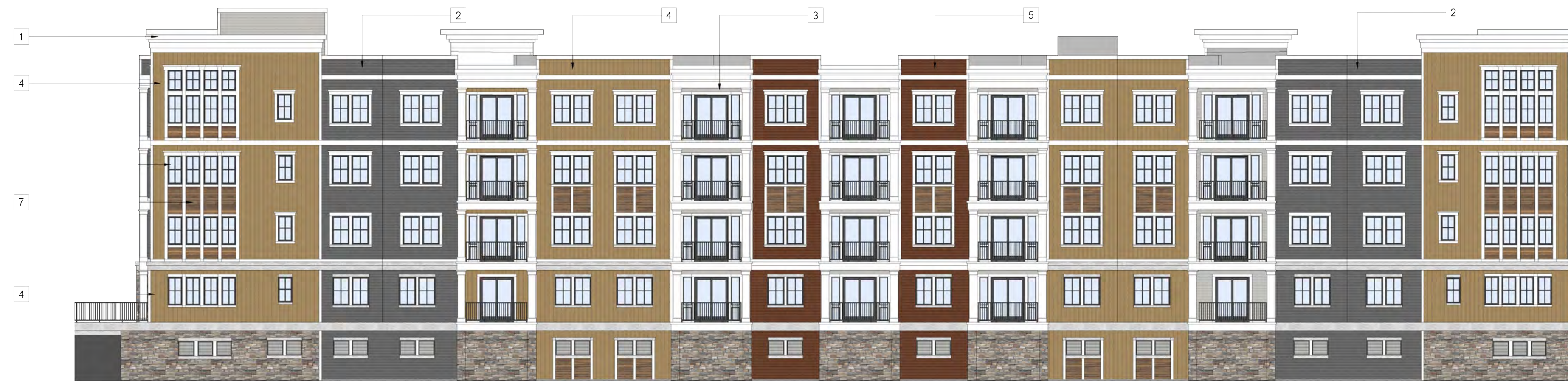
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DRAWING TITLE
TYPICAL BUILDING ELEVATIONS

DRAWING NUMBER

A202



TYPICAL ELEVATION 3



TYPICAL ELEVATION 4



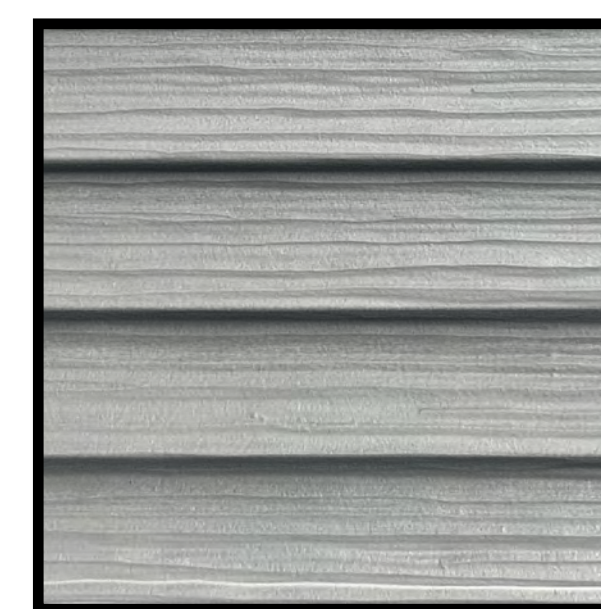
TYPICAL ELEVATION 2

MATERIAL LEGEND

- 1. WHITE AZEC
- 2. COMPOSITE SIDING - DARK GRAY
- 3. COMPOSITE SIDING - LIGHT GRAY
- 4. COMPOSITE SIDING - OCHRE
- 5. COMPOSITE SIDING - TUSCON RED
- 6. TEXTURED PANEL - GRAY
- 7. TEXTURED PANEL - NATURAL
- 8. STONE VENEER



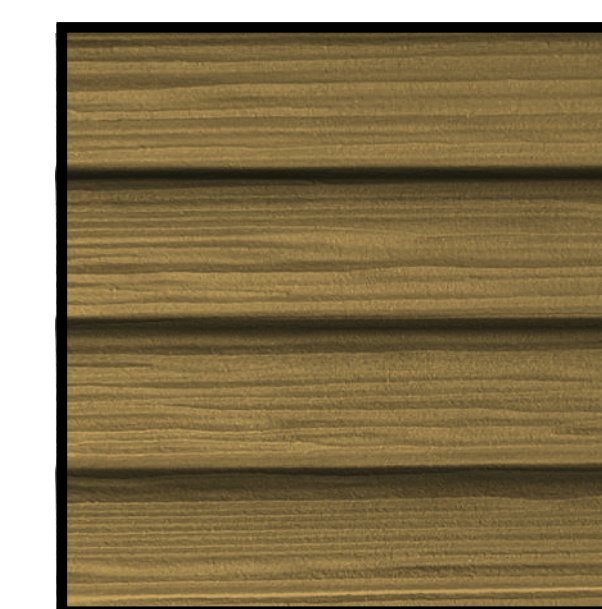
1. WHITE AZEC



2. COMP. SIDING
DARK GRAY



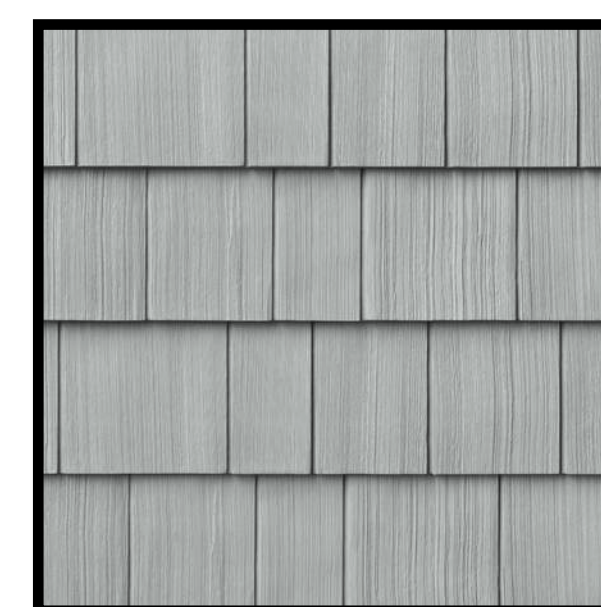
3. COMP. SIDING
LIGHT GRAY



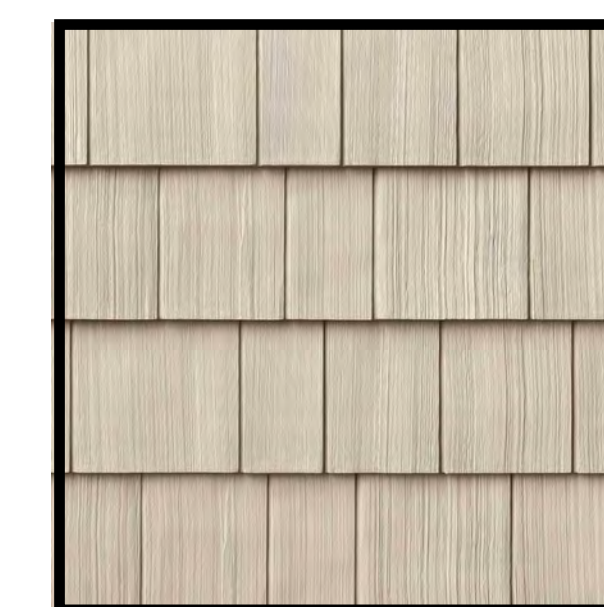
4. COMP. SIDING
OCHRE



5. COMP. SIDING
TUSCON RED



6. TEXT. PANEL
GRAY



7. TEXT. PANEL
NATURAL



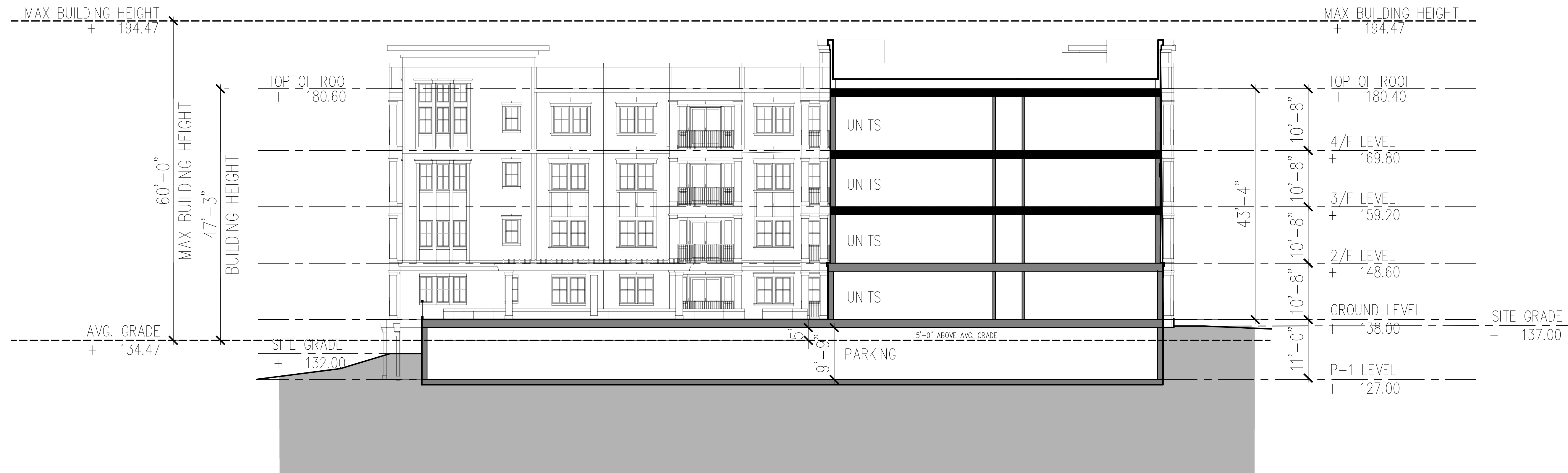
8. STONE
VENEER

FACADE MATERIAL PALETTE 1



PARKING QUALIFIES AS BASEMENT PER SEC.3:
 CEILING IS 5' MAX ABOVE AVERAGE GRADE

BUILDING 1 AND 2 | 2



PARKING QUALIFIES AS BASEMENT PER SEC.3:
 CEILING IS 5' MAX ABOVE AVERAGE GRADE

BUILDING 3 AND 4 | 1



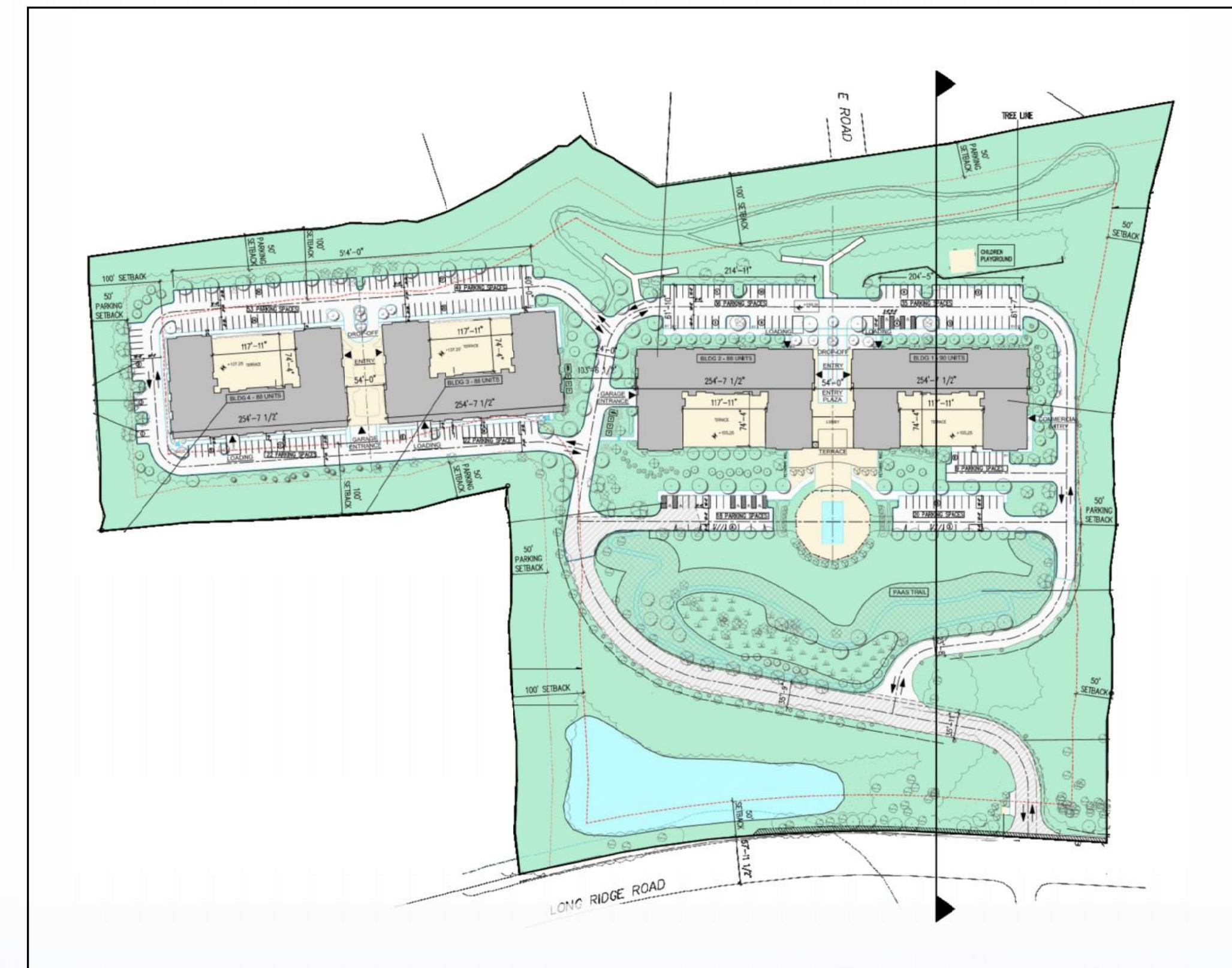
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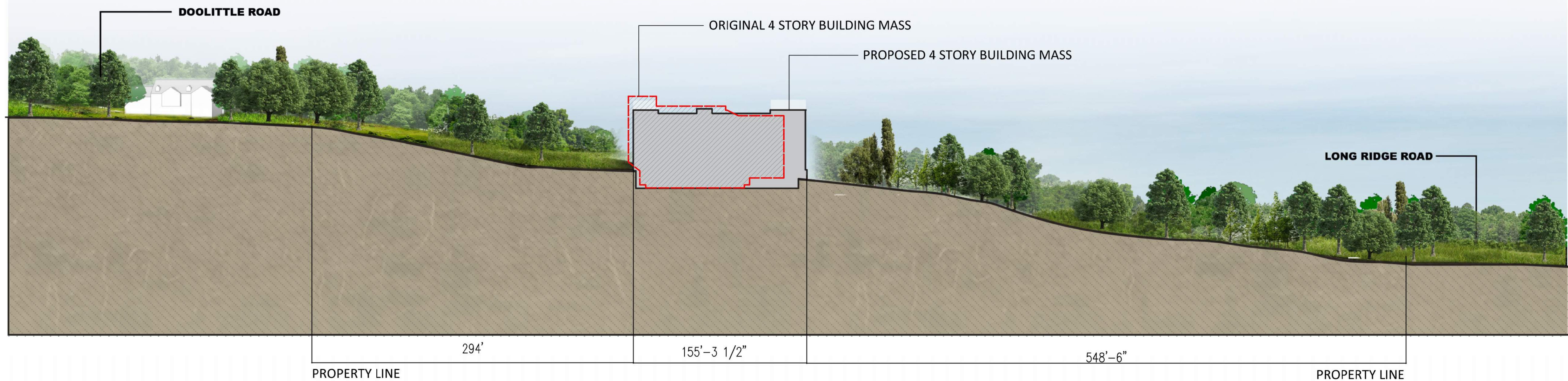
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 DRAWING TITLE

BUILDING SECTIONS

DRAWING NUMBER
A301



KEY PLAN



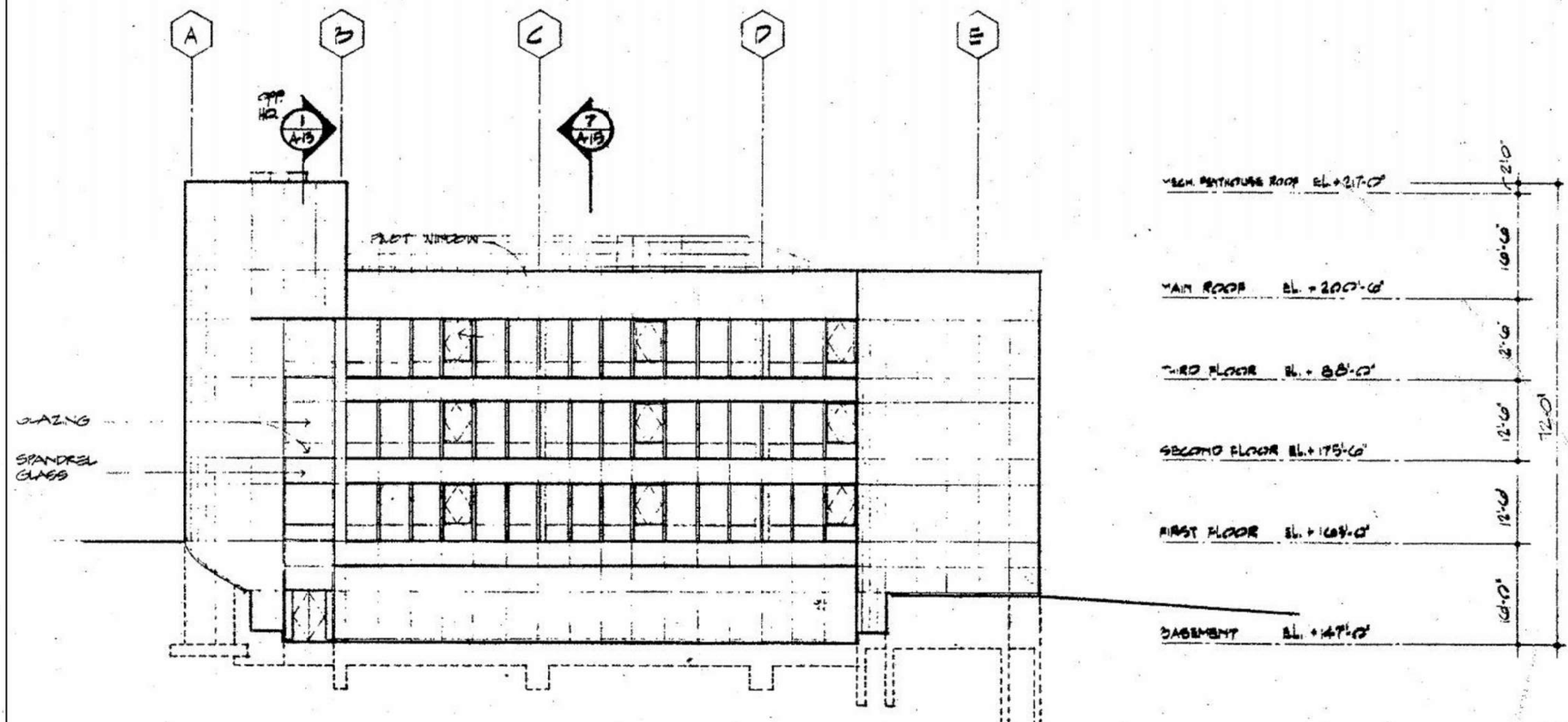
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PROPOSED CONDITION

SCALE: 1"=1/16"

2



EXISTING CONDITION

SCALE: 1"=1/16"

1



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DRAWING TITLE
SITE PLAN

DRAWING NUMBER
A303



VIEW FROM LONG RIDGE ROAD



BUILDING 1 AND BUILDING 2 NORTH VIEW

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CIVIL 1, INC.
43 Sherman Hill Road, Suite D-101
Woodbury, CT 06798
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DRAWING TITLE
COLOR RENDERINGS

DRAWING NUMBER
A400



BUILDING 1 AND BUILDING 2 NORTH EAST CORNER



BUILDING 1 NORTH EAST CORNER

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DRAWING TITLE
COLOR
RENDERINGS

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A401



BUILDING 1 AND BUILDING 2 WEST FACADES



BUILDING 3 AND BUILDING 4 WEST FACADES

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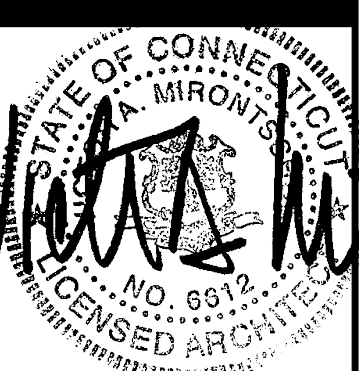
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COLOR
RENDERINGS

DRAWING NUMBER
A402



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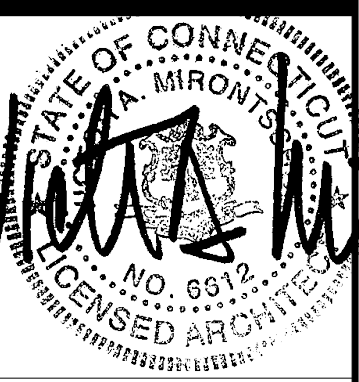
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 1 Elmcroft Road, Suite 500
 Stamford, CT 06902
 Phone:
 Fax:
 Contact: Ted Ferrarone
 Email: tferrone@bltcorp.com

CIVIL:
 CIVIL 1, INC.
 43 Sherman Hill Road, Suite D-101
 Woodbury, CT 06798
 Phone: 203-266-0778
 Fax:
 Contact: BRIAN J. BAKER, P.E.
 Email: brian@civil.com

800 LONG RIDGE ROAD
 STAMFORD, CT



BUILDING 1 SOUTHEAST CORNER



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NO.	DATE	ISSUE
01.18.2024		RE-ISSUE

PROJECT NO:
 ISSUED: ZONING SET
 ISSUED DATE: 11/16/2023
 DRAWING TITLE
 COLOR RENDERINGS

DRAWING NUMBER
A403