

GENERAL NOTES

1. BOUNDARY & TOPOGRAPHIC INFORMATION IS BASED UPON FIELD SURVEY CONDUCTED BY: ALL SEASONS LAND SURVEYING OF WALLINGFORD, CT. BEARINGS ARE BASED UPON ON THE CT STATE COORDINATE SYSTEM (N.A.D. - 83). ELEVATIONS ARE IN THE N.A.V.D. 88 DATUM.
2. INFORMATION REGARDING THE LOCATION OF EXISTING UTILITIES HAS BEEN BASED UPON AVAILABLE INFORMATION AND MAY BE INCOMPLETE, AND WHERE SHOWN SHOULD BE CONSIDERED APPROXIMATE. THE LOCATION OF ALL EXISTING UTILITIES SHOULD BE CONFIRMED PRIOR TO BEGINNING CONSTRUCTION. CALL "CALL BEFORE YOU DIG", 1-800-922-4455. ALL UTILITY LOCATIONS THAT DO NOT MATCH THE VERTICAL OR HORIZONTAL CONTROL SHOWN ON THE PLANS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION.
3. CIVIL 1 ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF MAPS AND DATA WHICH HAVE BEEN SUPPLIED BY OTHERS.
4. ALL UTILITY SERVICES ARE TO BE UNDERGROUND. THE EXACT LOCATION AND SIZE OF ELECTRIC, TELEPHONE, CABLE TELEVISION AND GAS ARE TO BE DETERMINED BY THE RESPECTIVE UTILITY COMPANIES.
5. ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING UTILITY LOCATIONS IN THE FIELD AND TAKING ALL NECESSARY STEPS TO PROTECT THEM FROM DAMAGE. ANY UTILITY THAT IS DAMAGED THROUGH THE NEGLIGENCE OF THE CONTRACTOR SHALL BE REPAIRED BY THE CONTROLLING UTILITY COMPANY AT THE CONTRACTOR'S EXPENSE.
7. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES AND STRUCTURES. THOSE OF WHICH HAVE BEEN DAMAGED SHALL BE PROMPTLY REPAIRED TO EXISTING OR BETTER CONDITION AT THE CONTRACTOR'S EXPENSE.
8. SEDIMENT AND EROSION CONTROL MEASURES AS DEPICTED ON THESE PLANS AND DESCRIBED WITHIN THE SEDIMENT AND EROSION CONTROL NARRATIVE SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT COVER AND STABILIZATION IS ESTABLISHED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL CONFORM TO THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL CONNECTICUT - 2002, AND IN ALL CASES BEST MANAGEMENT PRACTICES SHALL PREVAIL.
9. ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 6" TOPSOIL AND BE SEEDED WITH GRASS OR SODDED, AS SHOWN ON THE PLANS.
10. ALL STORM DRAIN PIPE SHALL BE HDPE PR SDR-35 PVC UNLESS OTHERWISE INDICATED.
11. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS INDICATE FINISHED GRADE.
12. ALL GRAVITY SANITARY SEWER PIPE SHALL BE PVC SDR-35 UNLESS OTHERWISE INDICATED.
13. ALL CONSTRUCTION MATERIALS AND METHODS SHALL CONFORM TO THE CITY OF STAMFORD REQUIREMENTS AND TO THE APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, AND INCIDENTAL CONSTRUCTION, FORM 818 AND ADDENDUMS.
14. THE PLANS REQUIRE A CONTRACTOR'S WORKING KNOWLEDGE OF LOCAL, MUNICIPAL, WATER AUTHORITY, AND STATE CODES FOR UTILITY SYSTEMS. ANY CONFLICTS BETWEEN MATERIALS AND LOCATIONS SHOWN, AND LOCAL REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE EXECUTION OF WORK. THE ENGINEER WILL NOT BE HELD LIABLE FOR COSTS INCURRED TO IMPLEMENT OR CORRECT WORK WHICH DOES NOT CONFORM TO LOCAL CODE.
15. THE PROPOSED BUILDINGS ARE TO BE CONNECTED TO PUBLIC WATER AND SANITARY SEWER UTILIZING EXISTING LATERALS THAT ENTER INTO THE SITE.
16. PRIOR TO CONSTRUCTION EXISTING ON-SITE UTILITIES THAT ARE TO REMAIN IN SERVICE SHALL BE INSPECTED AND REPLACED OR REPAIRED AS NEEDED.
17. COMPLIANCE WITH THE PERMIT CONDITIONS IS THE RESPONSIBILITY OF BOTH THE CONTRACTOR AND THE PERMITTEE.
18. THE PROPERTY OWNER MUST MAINTAIN (REPAIR/REPLACE WHEN NECESSARY) EROSION & SEDIMENT CONTROL MEASURES UNTIL ALL DEVELOPMENT ACTIVITY IS COMPLETED AND ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
19. CATCH BASINS DAMAGED OR FILLED WITH DEBRIS DURING CONSTRUCTION SHALL BE REPLACED OR CLEANED AT THE CONTRACTOR'S EXPENSE.
20. THE CONTRACTOR IS REMINDED THAT TITLE 16 CHAPTER 293 OF THE CONNECTICUT GENERAL STATUTES REQUIRES NOTIFICATION TO UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. THE CONTRACTOR SHALL CALL 1-800-922-4455 AT LEAST 72 HOURS PRIOR TO EXCAVATION, BUT NO MORE THAN 30 DAYS IN ADVANCE.
21. LINE AND GRADE FOR CONSTRUCTION LAYOUT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL UTILIZE A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF CONNECTICUT TO PERFORM CONSTRUCTION LAYOUT. THE CONTRACTOR SHALL SUBMIT THE NAME OF THE SURVEYOR TO THE ENGINEER AT LEAST 3 WEEKS PRIOR TO BEGINNING WORK.
22. ANY PUBLIC OR PRIVATE PROPERTY DISTURBED AS A RESULT OF CONSTRUCTION OPERATIONS SHALL BE RESTORED AS QUICKLY AS POSSIBLE AND TO THE SATISFACTION OF THE ENGINEER.
23. EACH LAYER OF MATERIAL USED FOR BACKFILL OR SUBGRADE SHALL BE COMPACTED UNTIL THE DRY DENSITY OF EACH LAYER IS AT LEAST 95% OF THE DRY DENSITY ACHIEVED BY THE AASHTO TEST T180, METHOD D FOR THAT SOIL. MAXIMUM LAYER THICKNESS NOT TO EXCEED 12".
24. A STREET OPENING PERMIT IS REQUIRED FOR ANY WORK WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY.
25. ALL WORK WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY SHALL BE CONSTRUCTED TO CITY OF STAMFORD REQUIREMENTS, THE STATE OF CONNECTICUT BASIC BUILDING CODE AND THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL.
26. THE ENGINEERING BUREAU OF THE CITY OF STAMFORD SHALL BE NOTIFIED THREE DAYS PRIOR TO ANY COMMENCEMENT WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY.
27. ALL RETAINING WALLS GREATER THAN FOUR (4) FEET ARE REQUIRED TO BE DESIGNED, AND INSPECTED DURING CONSTRUCTION BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT. CERTIFICATION OF THE RETAINING WALL SHALL BE REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY AND/OR BOND RELEASE.
28. CERTIFICATION WILL BE REQUIRED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT THAT WORK HAS BEEN COMPLETED IN COMPLIANCE WITH THE APPROVED DRAWINGS.
29. A FINAL LOCATION PLAN WILL BE REQUIRED BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF CONNECTICUT.
30. FINAL PLANS SHALL CLEARLY SHOW THE LIMITS OF UTILITY EASEMENTS. EASEMENTS SHALL BE FILED ON THE CITY LAND RECORDS PRIOR TO ANY CERTIFICATE OF OCCUPANCY.
31. FINAL PLANS SHALL CLEARLY SHOW THE LIMITS OF ANY PUBLIC ACCESS EASEMENT REQUIRED FOR SIDEWALKS. EASEMENT SHALL BE FILED ON THE CITY LAND RECORDS PRIOR TO ANY CERTIFICATE OF OCCUPANCY.

NOTIFICATIONS:

1. A PRE-CONSTRUCTION MEETING WITH BUILDING & LAND TECHNOLOGY PERSONNEL SHALL OCCUR PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
2. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES A MINIMUM OF 2 WEEKS BEFORE BEGINNING ANY WORK INVOLVING THEIR UTILITY.
3. HAZARDOUS MATERIALS:
 - A. IT IS PREFERABLE THAT FUELING AND MAINTENANCE OF EQUIPMENT AND/OR VEHICLES OCCUR OFF-SITE IN A GARAGE OR OTHER SUITABLE AREA. IF OFF-SITE REFUELING AND/OR MAINTENANCE IS NOT FEASIBLE OR PRACTICAL, THESE ACTIVITIES SHALL OCCUR IN AN AREA WHERE SPILLAGE CAN BE CONTAINED AND REMOVED, NO LESS THAN 50 FEET FROM A WATERCOURSE. ABSORBENT SPILL BLANKET MATERIAL SHOULD BE PLACED NEXT TO THE REFUELING/MAINTENANCE ACTIVITY TO BE USED TO CONTAIN AND REMOVE ANY POTENTIAL SPILLAGE.
 - B. ALL FUEL, OIL, PAINT, OR OTHER HAZARDOUS MATERIALS SHALL BE STORED IN A SECONDARY CONTAINER AND REMOVED TO A LOCKED INDOOR AREA WITH AN IMPERVIOUS FLOOR DURING NONWORK HOURS.
 - C. AN AMPLE SUPPLY OF ABSORBENT SPILL RESPONSE MATERIAL (BOOMS, BLANKETS, ETC.) SHALL BE AVAILABLE AT CONSTRUCTION SITES AT ALL TIMES TO CLEAN UP POTENTIAL SPILLS OF HAZARDOUS MATERIALS SUCH AS GASOLINE AND OIL.
 - D. SPILLS OF HAZARDOUS MATERIALS SHALL BE REPORTED IMMEDIATELY TO: CT DEPARTMENT OF ENVIRONMENTAL PROTECTION OIL AND CHEMICAL SPILLS UNIT AT (860) 424-3338.

800 LONG RIDGE ROAD

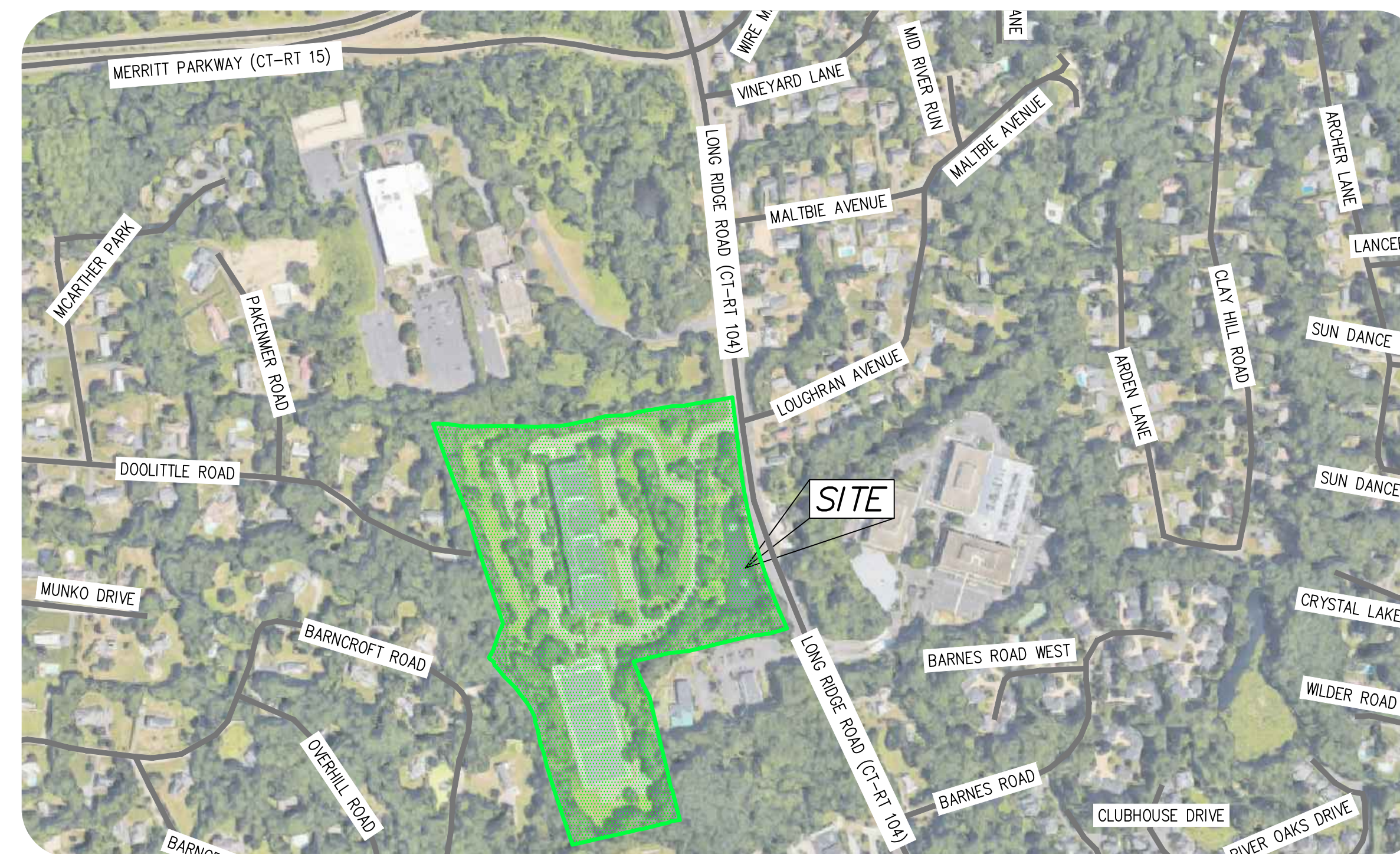
800 LONG RIDGE ROAD, STAMFORD DESIGN DEVELOPMENT & PERMITTING SET NOT FOR CONSTRUCTION

OWNER/APPLICANT
800 LONG RIDGE ROAD, LLC
100 WASHINGTON BOULEVARD
SUITE 200
STAMFORD, CT 06902

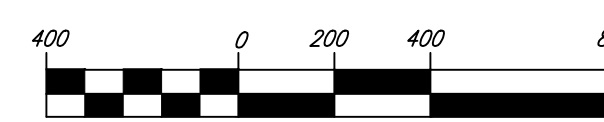
ENGINEER
CIVIL 1
43 SHERMAN HILL ROAD, SUITE D-101
WOODBURY, CT 06798

SURVEYOR
ALL SEASONS LAND SURVEYING
31 WEST DAYTON HILL ROAD
WALLINGFORD, CT 06492

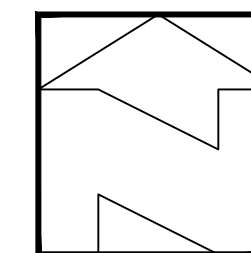
ARCHITECT
EDI INTERNATIONAL
54 EAST 12TH STREET
8TH FLOOR
NEW YORK, NY



PROJECT SITE VICINITY MAP



1 inch = 400ft.



| SHEET NUMBER | DESCRIPTION |
|--------------|--|
| - | ZONING LOCATION SURVEY - EXISTING CONDITIONS |
| - | ZONING LOCATION SURVEY - PROPOSED CONDITIONS |
| C 1.1 | OVERALL SITE PLAN |
| C 1.2 | SITE PLAN |
| C 1.3 | SITE PLAN |
| C 1.4 | SITE PLAN |
| C 2.1 | OVERALL GRADING & DRAINAGE PLAN |
| C 2.2 | GRADING & DRAINAGE PLAN |
| C 2.3 | GRADING & DRAINAGE PLAN |
| C 2.4 | GRADING & DRAINAGE PLAN |
| C 3.1 | OVERALL UTILITY PLAN |
| C 3.2 | UTILITY PLAN |
| C 3.3 | UTILITY PLAN |
| C 3.4 | UTILITY PLAN |
| C 4.1 | OVERALL EROSION CONTROL PLAN |
| C 4.2 | EROSION CONTROL PLAN |
| C 4.3 | EROSION CONTROL PLAN |
| C 4.4 | EROSION CONTROL PLAN |
| C 5.1 | DRIVEWAY & DRAINAGE PROFILES |
| C 5.2 | DRIVEWAY & DRAINAGE PROFILES |
| C 5.3 | DRIVEWAY & DRAINAGE PROFILES |
| C 5.4 | DRIVEWAY & DRAINAGE PROFILES |
| C 5.5 | WALKING TRAIL PROFILES |
| C 6.1 | DETAILS |
| C 6.2 | DETAILS |
| C 6.3 | DETAILS |
| C 6.4 | DETAILS |
| C 7.1 | PROJECT NOTES & EROSION CONTROL NARRATIVE |

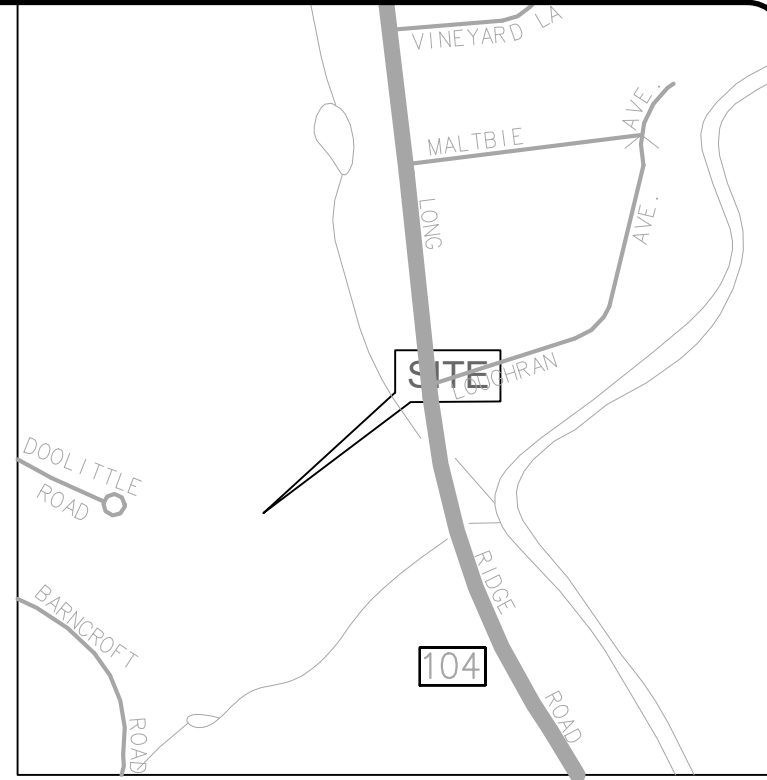


CORNERSTONE PROFESSIONAL PARK, SUITE D-101
43 SHERMAN HILL ROAD
WOODBURY CONNECTICUT
(203) 266-0778

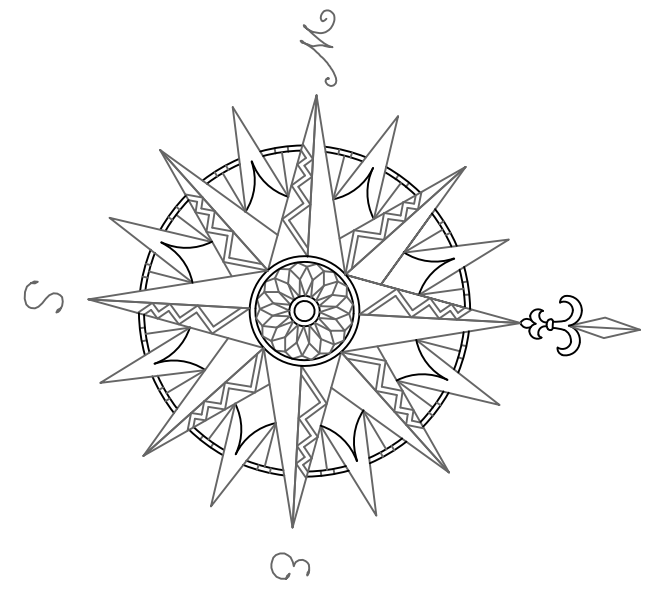
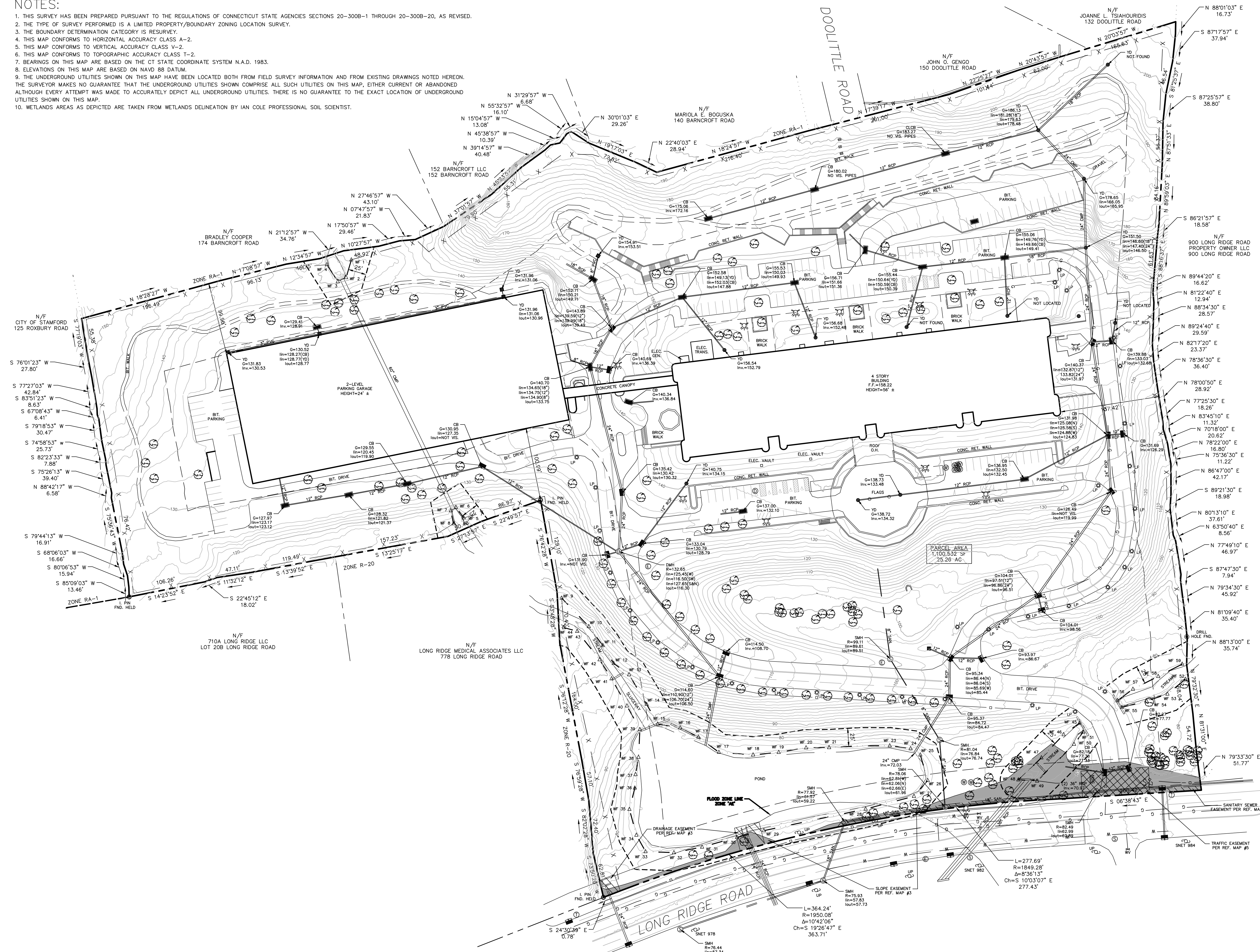
OCTOBER 3, 2023
REVISED JANUARY 22, 2024

NOTES:

1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20, AS REVISED.
2. THE TYPE OF SURVEY PERFORMED IS A LIMITED PROPERTY/BOUNDARY ZONING LOCATION SURVEY.
3. THE BOUNDARY DETERMINATION CATEGORY IS RESURVEY.
4. THIS MAP CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.
5. THIS MAP CONFORMS TO VERTICAL ACCURACY CLASS V-2.
6. THIS MAP CONFORMS TO TOPOGRAPHIC ACCURACY CLASS T-2.
7. BEARINGS ON THIS MAP ARE BASED ON THE CT STATE COORDINATE SYSTEM N.A.D. 1983.
8. ELEVATIONS ON THIS MAP ARE BASED ON NAVD 88 DATUM.
9. THE UNDERGROUND UTILITIES SHOWN ON THIS MAP HAVE BEEN LOCATED BOTH FROM FIELD SURVEY INFORMATION AND FROM EXISTING DRAWINGS NOTED HEREON. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES ON THIS MAP, EITHER CURRENT OR ABANDONED. ALTHOUGH EVERY ATTEMPT WAS MADE TO ACCURATELY DEPICT ALL UNDERGROUND UTILITIES, THERE IS NO GUARANTEE TO THE EXACT LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS MAP.
10. WETLANDS AREAS AS DEPICTED ARE TAKEN FROM WETLANDS DELINEATION BY IAN COLE PROFESSIONAL SOIL SCIENTIST.



LOCATION MAP
NTS



STAMFORD ZONING TABLE (C-D (DESIGNED COMMERCIAL DISTRICT))

| STANDARDS | REQUIRED | EXISTING |
|------------------------|---------------|------------------|
| MINIMUM LOT AREA | 15 ACRES | 25.26 AC |
| MAXIMUM BLDG. HEIGHT | 4 STORIES/60' | 4 STORIES/ 56' ± |
| BLDG. SETBACKS: | | |
| STREET | 50' | > 50' |
| SIDE/REAR YARD: | 100'/50'* | 99.96' |
| MAXIMUM BLDG. COVERAGE | 10 % | 13.7 % |
| MAXIMUM LOT COVERAGE | 35 % | 32.7 % |

- * 4 STORY DEVELOPMENT
- ** 100' ADJACENT TO SINGLE FAMILY / 50' OTHER

LEGEND

| | |
|--|------------------------------|
| | PROPERTY LINE |
| | BUILDING SETBACK LINE |
| | EXISTING CONTOUR |
| | TREE LINE |
| | WETLAND LINE |
| | EXISTING GRADE RAIL |
| | WATER VALVE |
| | EXISTING METER MANHOLE |
| | EXISTING STORM SEWER MANHOLE |
| | EXISTING GAS LINE |
| | EXISTING STORM SEWER |
| | EXISTING ELECTRIC |
| | EXISTING FENCE |
| | EXISTING SITE LIGHT |
| | STORM DRAINAGE MANHOLE |
| | CATCH BASIN |
| | SANITARY SEWER MANHOLE |
| | TREE SYMBOLS |
| | UTILITY POLE |
| | SHELL HOLE |
| | DRAINAGE EASEMENT |
| | TRAFFIC EASEMENT |
| | SANITARY EASEMENT |
| | SLOPE EASEMENT |
| | 50' WETLAND BUFFER |

**ZONING LOCATION SURVEY
EXISTING CONDITIONS SURVEY**
PREPARED FOR
800 LONG RIDGE LLC
800 LONG RIDGE ROAD
STAMFORD, CONNECTICUT

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SCALE: 1" = 60' AUGUST 15, 2023
REVISED: AUGUST 16, 2023 - GENERAL REVISIONS
AUGUST 29, 2023 - GENERAL REVISIONS
OCTOBER 3, 2023 - REVISE TOTAL COV. CALCS.
PROJ. NO.: 0713



ALL SEASONS
Land Surveying

LAND SURVEYING - LAND PLANNING
44 Fair Street
Wallingford, CT 06492
1 John Street
Millerton, NY 12546

Phone: (860) 274-5053
dan@allseasonslandsurveying.com
allseasonslandsurveying.com

MAP REFERENCES:

1. "DATA ACCUMULATION PLAN PREPARED FOR 800 LONG RIDGE, LLC 824 LONG RIDGE ROAD (AKA 800) STAMFORD, CONNECTICUT" SCALE: 1"=80' JULY 24, 2008 BY: SPATH-BJORCKLUND ASSOCIATES S.L.R. #8927
2. "MAP OF PROPERTY OF ROBERT B. KAHAN, TRUSTEE STAMFORD, CONN." SCALE: 1"=100' MAR. 30, 1970 S.L.R. #8927
3. "TOWN OF STAMFORD MAP SHOWING LAND ACQUIRED FROM XEROX CORPORATION BY THE STATE OF CONNECTICUT ROUTE 104" SCALE: 1"=40' JUNE 1976 S.L.R. #8912
4. "MAP SHOWING SANITARY SEWER EASEMENT IN STAMFORD, CONNECTICUT THROUGH PROPERTY OF XEROX CORPORATION" SCALE: 1"=30' OCT. 21, 1976 S.L.R. #8978
5. "TOWN OF STAMFORD MAP SHOWING EASEMENT ACQUIRED FROM XEROX CORPORATION BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION ROUTE 104 LONG RIDGE ROAD AT XEROX DR. AND LOUGHAN AVENUE." SCALE: 1"=500M JULY 18, 1997 S.L.R. #12829

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND SURVEY ARE SUBSTANTIALLY CORRECT AS NOTED HEREON.

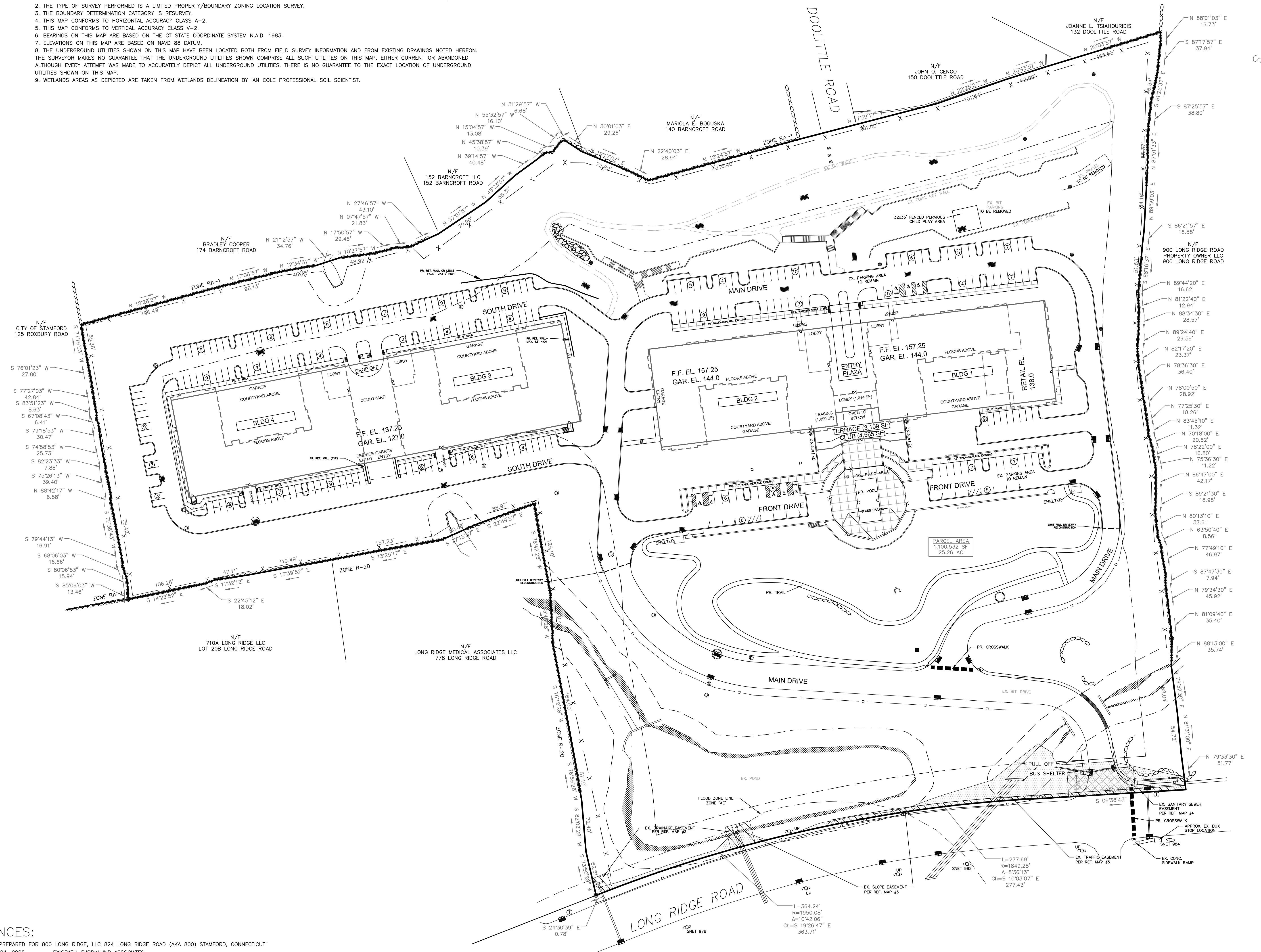
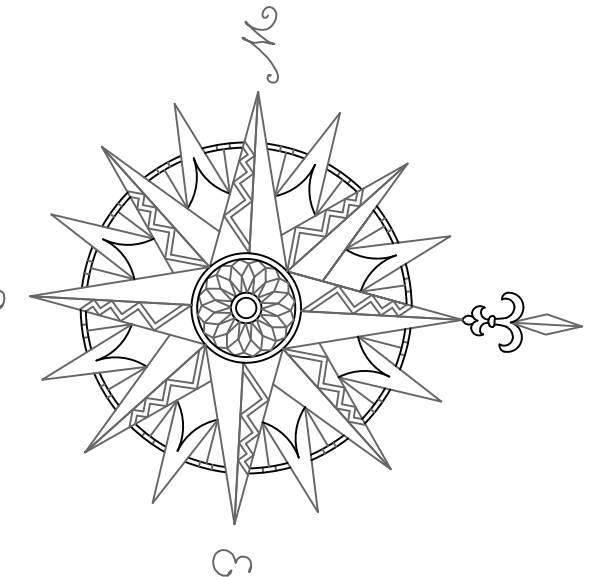
THIS MAP IS NOT VALID UNLESS IT BEARS THE LIVE SIGNATURE AND SEAL OF THE UNDERSIGNED LAND SURVEYOR.

DANIEL C. LAFERRIERE
LICENSED LAND SURVEYOR, REG# 70492



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LEGEND

| | |
|--|-------------------------------------|
| | PROPERTY LINE |
| | BUILD-TO LINE |
| | PROPOSED EDGE OF PAVEMENT |
| | EXISTING EDGE OF PAVEMENT TO REMAIN |
| | EXISTING & PROPOSED BIT. PAVEMENT |
| | CONCRETE SIDEWALK/PAVER AREA |
| | EXISTING STONE WALL |
| | PROPOSED DRAINAGE MANHOLE |
| | EXISTING DRAINAGE MANHOLE |
| | PROPOSED CATCH BASIN |
| | EXISTING CATCH BASIN |
| | WETLANDS |
| | 25' WETLANDS REGULATED AREA |
| | UTILITY POLE |
| | DRILL HOLE |
| | IRON PIN |
| | DRAINAGE EASEMENT |
| | TRAFFIC EASEMENT |
| | SANITARY EASEMENT |
| | SLOPE EASEMENT |

**ZONING LOCATION SURVEY
PROPOSED CONDITIONS SURVEY**

PREPARED FOR
800 LONG RIDGE LLC
800 LONG RIDGE ROAD
STAMFORD, CONNECTICUT

COPYRIGHT © 2023
SCALE: 1" = 60'
OCTOBER 6, 2023
REVISED: JANUARY 3, 2024 - GENERAL REVISIONS
REVISED: JANUARY 22, 2024 - GENERAL REVISIONS

PROJ. NO.: 0713



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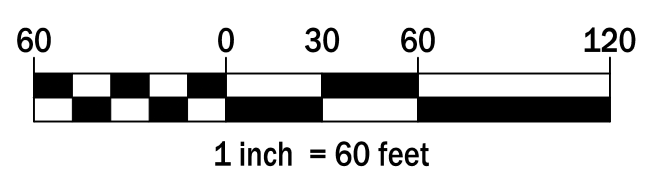
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6. "ZONING LOCATION SURVEY - EXISTING CONDITIONS PREPARED FOR 800 LONG RIDGE LLC" SCALE: 1" = 60' AUGUST 15, 2023, REV. OCTOBER 3, 2023 BY: ALL SEASONS LAND SURVEYING

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND SURVEY ARE SUBSTANTIALLY CORRECT AS NOTED HEREON.

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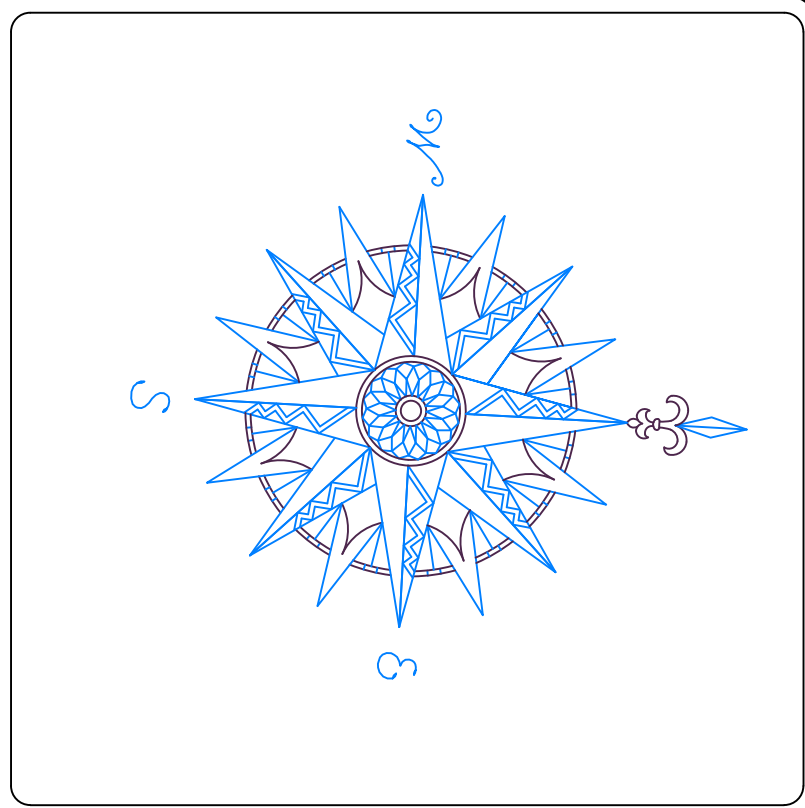
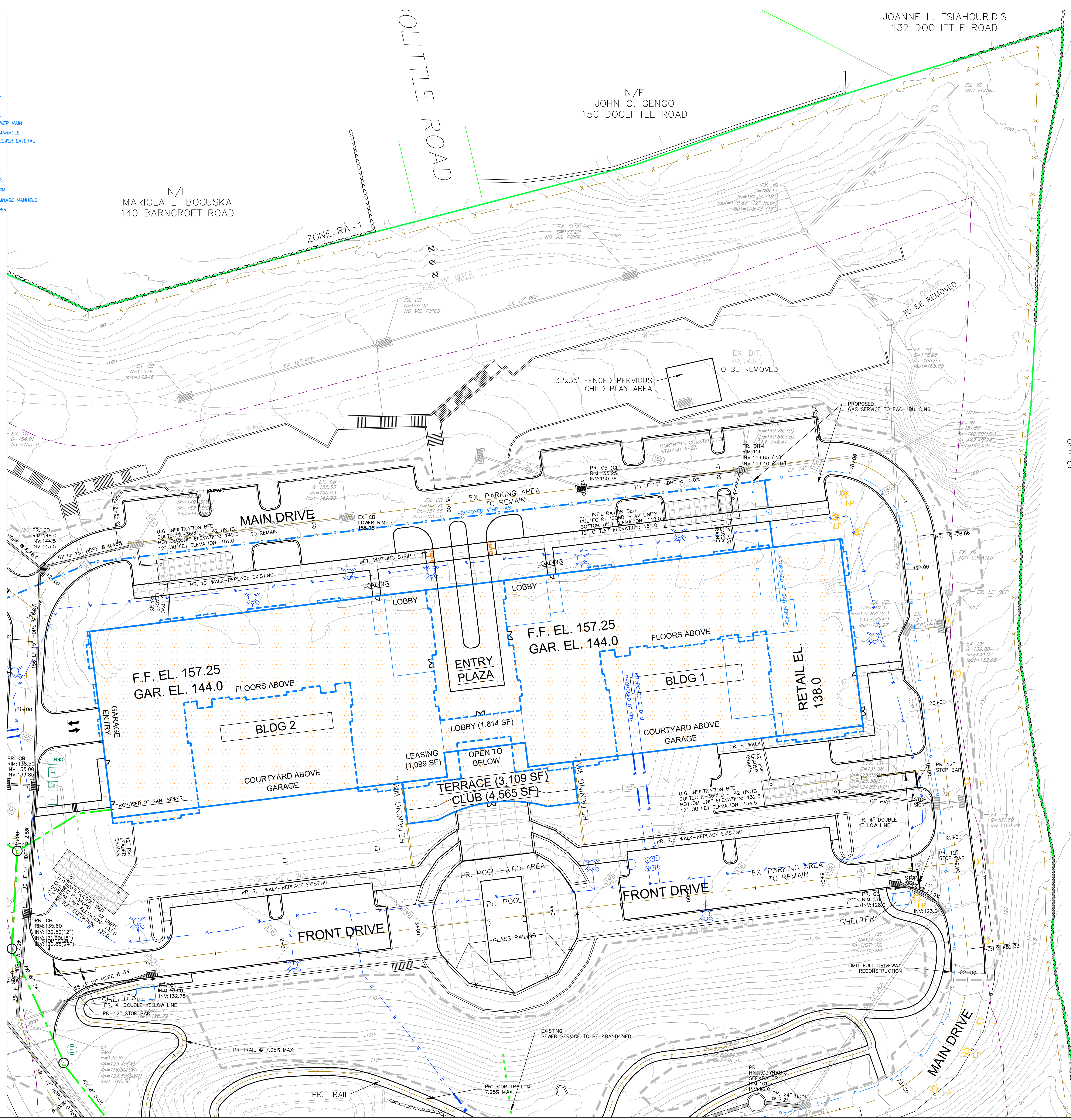
DANIEL C. LAFERRIERE
LICENSED LAND SURVEYOR, REG# 70492



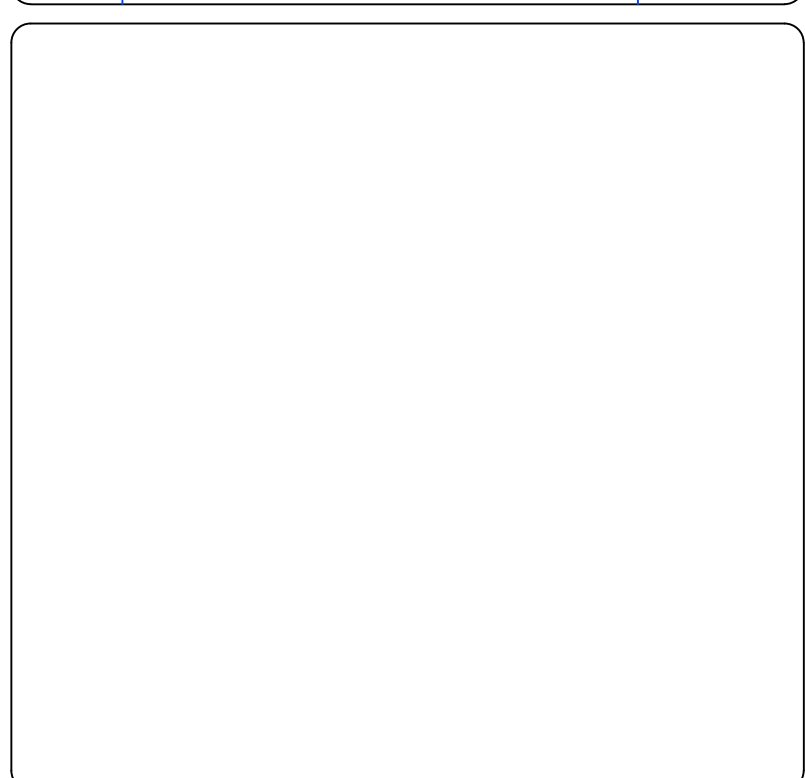
LEGEND

| | |
|--|---------------------------------|
| | PROPERTY LINE |
| | BUILD-TO LINE |
| | EXISTING CONTOUR |
| | PROPOSED CONTOUR |
| | EXISTING HYDRANT |
| | EXISTING WATER VALVE |
| | EXISTING WATER MAIN |
| | PROPOSED WATER LINE |
| | EXISTING SANITARY SEWER MAIN |
| | PROPOSED SANITARY MANHOLE |
| | PROPOSED SANITARY SEWER LATERAL |
| | EXISTING GAS VALVE |
| | EXISTING GAS LINE |
| | PROPOSED GAS LINE |
| | EXISTING CATCH BASIN |
| | EXISTING STORM SEWER |
| | PROPOSED CATCH BASIN |
| | PROPOSED STORM DRAINAGE MANHOLE |
| | PROPOSED STORM SEWER |
| | EXISTING SITE LIGHT |

MATCH LINE SHEET C-3.4



| NO. | REVISION | DATE |
|----------------------------|--------------------------------|-----------|
| 1 | REVISED PER ARCHITECT & CLIENT | 03 JAN 24 |
| 2 | REVISED PER CLIENT | 22 JAN 24 |
| Previous Editions Obsolete | | |



800 LONG RIDGE ROAD, LLC
100 WASHINGTON BLVD.
SUITE 200
STAMFORD, CT 06902

UTILITY PLAN

800 LONG RIDGE ROAD

STAMFORD CONNECTICUT

CIVIL 1

CORNERSTONE PROFESSIONAL PARK, SUITE D-101
43 SHERMAN HILL ROAD
WOODBURY (203) 266-0778 CONNECTICUT

STATE OF CONNECTICUT
PROFESSIONAL ENGINEER

SCALE: 1" = 30'
DATE: 03 OCT 23
PROJ. NO.: 4084
SHEET FILE NAME: 4084
DRAWING NO.: C-3.3

MATCH LINE SHEET C-3.2

