GENERAL NOTES

1. BOUNDARY & TOPOGRAPHIC INFORMATION IS BASED UPON FIELD SURVEY CONDUCTED BY: ALL SEASONS LAND SURVEYING OF WALLINGFORD, CT. BEARINGS ARE BASED UPON ON THE CT STATE COORDINATE SYSTEM (N.A.D. — 83). ELEVATIONS ARE IN THE N.A.V.D. 88 DATUM.

2. INFORMATION REGARDING THE LOCATION OF EXISTING UTILITIES HAS BEEN BASED UPON AVAILABLE INFORMATION AND MAY BE INCOMPLETE, AND WHERE SHOWN SHOULD BE CONSIDERED APPROXIMATE. THE LOCATION OF ALL EXISTING UTILITIES SHOULD BE CONFIRMED PRIOR TO BEGINNING CONSTRUCTION. CALL "CALL BEFORE YOU DIG", 1–800–922–4455. ALL UTILITY LOCATIONS THAT DO NOT MATCH THE VERTICAL OR HORIZONTAL CONTROL SHOWN ON THE PLANS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION.

3. CIVIL 1 ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF MAPS AND DATA WHICH HAVE BEEN SUPPLIED BY

4. ALL UTILITY SERVICES ARE TO BE UNDERGROUND. THE EXACT LOCATION AND SIZE OF ELECTRIC, TELEPHONE, CABLE TELEVISION AND GAS ARE TO BE DETERMINED BY THE RESPECTIVE UTILITY COMPANIES.

5. ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING UTILITY LOCATIONS IN THE FIELD AND TAKING ALL NECESSARY STEPS TO PROTECT THEM FROM DAMAGE. ANY UTILITY THAT IS DAMAGED THROUGH THE NEGLIGENCE OF THE CONTRACTOR SHALL BE REPAIRED BY THE CONTROLLING UTILITY COMPANY AT THE CONTRACTOR'S EXPENSE.

7. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES AND STRUCTURES. THOSE OF WHICH HAVE BEEN DAMAGED SHALL BE PROMPTLY REPAIRED TO EXISTING OR BETTER CONDITION AT THE CONTRACTOR'S EXPENSE.

8. SEDIMENT AND EROSION CONTROL MEASURES AS DEPICTED ON THESE PLANS AND DESCRIBED WITHIN THE SEDIMENT AND EROSION CONTROL NARRATIVE SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT COVER AND STABILIZATION IS ESTABLISHED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL CONFORM TO THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL CONNECTICUT — 2002, AND IN ALL CASES BEST MANAGEMENT PRACTICES SHALL PREVAIL.

9. ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 6" TOPSOIL AND BE SEEDED WITH GRASS OR SODDED, AS SHOWN ON THE PLANS.

10. ALL STORM DRAIN PIPE SHALL BE HDPE PR SDR-35 PVC UNLESS OTHERWISE INDICATED.

11. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS INDICATE FINISHED GRADE.

12. ALL GRAVITY SANITARY SEWER PIPE SHALL BE PVC SDR-35 UNLESS OTHERWISE INDICATED.

13. ALL CONSTRUCTION MATERIALS AND METHODS SHALL CONFORM TO THE CITY OF STAMFORD REQUIREMENTS AND TO THE APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, AND INCIDENTAL CONSTRUCTION, FORM 818 AND ADDENDUMS.

14. THE PLANS REQUIRE A CONTRACTOR'S WORKING KNOWLEDGE OF LOCAL, MUNICIPAL, WATER AUTHORITY, AND STATE CODES FOR UTILITY SYSTEMS. ANY CONFLICTS BETWEEN MATERIALS AND LOCATIONS SHOWN, AND LOCAL REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE EXECUTION OF WORK. THE ENGINEER WILL NOT BE HELD LIABLE FOR COSTS INCURRED TO IMPLEMENT OR CORRECT WORK WHICH DOES NOT CONFORM TO LOCAL CODE.

15. THE PROPOSED BUILDINGS ARE TO BE CONNECTED TO PUBLIC WATER AND SANITARY SEWER UTILIZING EXISTING

16. PRIOR TO CONSTRUCTION EXISTING ON—SITE UTILITIES THAT ARE TO REMAIN IN SERVICE SHALL BE INSPECTED AND REPLACED OR REPAIRED AS NEEDED.

17. COMPLIANCE WITH THE PERMIT CONDITIONS IS THE RESPONSIBILITY OF BOTH THE CONTRACTOR AND THE PERMITTEE.

18. THE PROPERTY OWNER MUST MAINTAIN (REPAIR/REPLACE WHEN NECESSARY) EROSION & SEDIMENT CONTROL MEASURES UNTIL ALL DEVELOPMENT ACTIVITY IS COMPLETED AND ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.

19. CATCH BASINS DAMAGED OR FILLED WITH DEBRIS DURING CONSTRUCTION SHALL BE REPLACED OR CLEANED AT THE

20. THE CONTRACTOR IS REMINDED THAT TITLE 16 CHAPTER 293 OF THE CONNECTICUT GENERAL STATUTES REQUIRES NOTIFICATION TO UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. THE CONTRACTOR SHALL CALL 1-800-922-4455 AT LEAST 72 HOURS PRIOR TO EXCAVATION, BUT NO MORE THAN 30 DAYS IN ADVANCE.

21. LINE AND GRADE FOR CONSTRUCTION LAYOUT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL UTILIZE A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF CONNECTICUT TO PERFORM CONSTRUCTION LAYOUT. THE CONTRACTOR SHALL SUBMIT THE NAME OF THE SURVEYOR TO THE ENGINEER AT LEAST 3 WEEKS PRIOR TO BEGINNING WORK.

22. ANY PUBLIC OR PRIVATE PROPERTY DISTURBED AS A RESULT OF CONSTRUCTION OPERATIONS SHALL BE RESTORED AS QUICKLY AS POSSIBLE AND TO THE SATISFACTION OF THE ENGINEER.

23. EACH LAYER OF MATERIAL USED FOR BACKFILL OR SUBGRADE SHALL BE COMPACTED UNTIL THE DRY DENSITY OF EACH LAYER IS AT LEAST 95% OF THE DRY DENSITY ACHIEVED BY THE AASHTO TEST T180, METHOD D FOR THAT SOIL. MAXIMUM LAYER THICKNESS NOT TO EXCEED 12".

24. A STREET OPENING PERMIT IS REQUIRED FOR ANY WORK WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY.

25. ALL WORK WITHIN THE CITY OF STAMFORD RIGHT-OF-WAY SHALL BE CONSTRUCTED TO CITY OF STAMFORD REQUIREMENTS, THE STATE OF CONNECTICUT BASIC BUILDING CODE AND THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL.

26. THE ENGINEERING BUREAU OF THE CITY OF STAMFORD SHALL BE NOTIFIED THREE DAYS PRIOR TO ANY COMMENCEMENT WITHIN THE CITY OF STAMFORD RIGHT—OF—WAY.

27. ALL RETAINING WALLS GREATER THAN FOUR (4) FEET ARE REQUIRED TO BE DESIGNED, AND INSPECTED DURING CONSTRUCTION BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT, CERTIFICATION OF THE RETAINING WALL SHALL BE REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY AND/OR BOND RELEASE.

28. CERTIFICATION WILL BE REQUIRED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT THAT WORK HAS BEEN COMPLETED IN COMPLIANCE WITH THE APPROVED DRAWINGS.

29. A FINAL LOCATION PLAN WILL BE REQUIRED BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF

30. FINAL PLANS SHALL CLEARLY SHOW THE LIMITS OF UTILITY EASEMENTS. EASEMENTS SHALL BE FILED ON THE CITY LAND RECORDS PRIOR TO ANY CERTIFICATE OF OCCUPANCY.

31. FINAL PLANS SHALL CLEARLY SHOW THE LIMITS OF ANY PUBLIC ACCESS EASEMENT REQUIRED FOR SIDEWALKS. EASEMENT SHALL BE FILED ON THE CITY LAND RECORDS PRIOR TO ANY CERTIFICATE OF OCCUPANCY.

NOTIFICATIONS:

1. A PRE-CONSTRUCTION MEETING WITH BUILDING & LAND TECHNOLOGY PERSONNEL SHALL OCCUR PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.

2. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES A MINIMUM OF 2 WEEKS BEFORE BEGINNING ANY WORK INVOLVING THEIR UTILITY.

3. HAZARDOUS MATERIALS:

CONTRACTOR'S EXPENSE.

A. IT IS PREFERABLE THAT FUELING AND MAINTENANCE OF EQUIPMENT AND/OR VEHICLES OCCUR OFF-SITE IN A GARAGE OR OTHER SUITABLE AREA. IF OFF-SITE REFUELING NAD/OR MAINTENANCE IS NOT FEASIBLE OR PRACTICAL, THESE ACTIVITIES SHALL OCCUR IN AN AREA WHERE SPILLAGE CAN BE CONTAINED AND REMOVED, NO LESS THAN 50 FEET FROM A WATERCOURSE. ABSORBENT SPILL BLANKET MATERIAL SHOULD BE PLACED NEXT TO THE REFUELING/MAINTENANCE ACTIVITY TO BE USED TO CONTAIN AND REMOVE ANY POTENTIAL SPILLAGE.

B. ALL FUEL, OIL, PAINT, OR OTHER HAZARDOUS MATERIALS SHALL BE STORED IN A SECONDARY CONTAINER AND REMOVED TO A LOCKED INDOOR AREA WITH AN IMPERVIOUS FLOOR DURING NONWORK HOURS.

C. AN AMPLE SUPPLY OF ABSORBENT SPILL RESPONSE MATERIAL (BOOMS, BLANKETS, ETC.) SHALL BE AVAILABLE AT CONSTRUCTION SITES AT ALL TIMES TO CLEAN UP POTENTIAL SPILLS OF HAZARDOUS MATERIALS SUCH AS GASOLINE AND OIL.

D. SPILLS OF HAZARDOUS MATERIALS SHALL BE REPORTED IMMEDIATELY TO: CT DEPARTMENT OF ENVIRONMENTAL PROTECTION OIL AND CHEMICAL SPILLS UNIT AT (860) 424-3338.

800 LONG RIDGE ROAD

800 LONG RIDGE ROAD, STAMFORD DESIGN DEVELOPMENT & PERMITTING SET NOT FOR CONSTRUCTION



PROJECT SITE VICINITY MAP

1 inch = 400ft.



OCTOBER 3, 2023 REVISED JANUARY 22, 2024

(203) 266 - 0778

CONNECTICUT

OWNER/APPLICANT 800 LONG RIDGE ROAD, LLC 100 WASHINGTON BOULEVARD

SUITE 200 STAMFORD, CT 06902

ENGINEER

CIVIL 1
43 SHERMAN HILL ROAD, SUITE D-101
WOODBURY, CT 06798

SURVEYOR

ALL SEASONS LAND SURVEYING 31 WEST DAYTON HILL ROAD WALLINGFORD, CT 06492

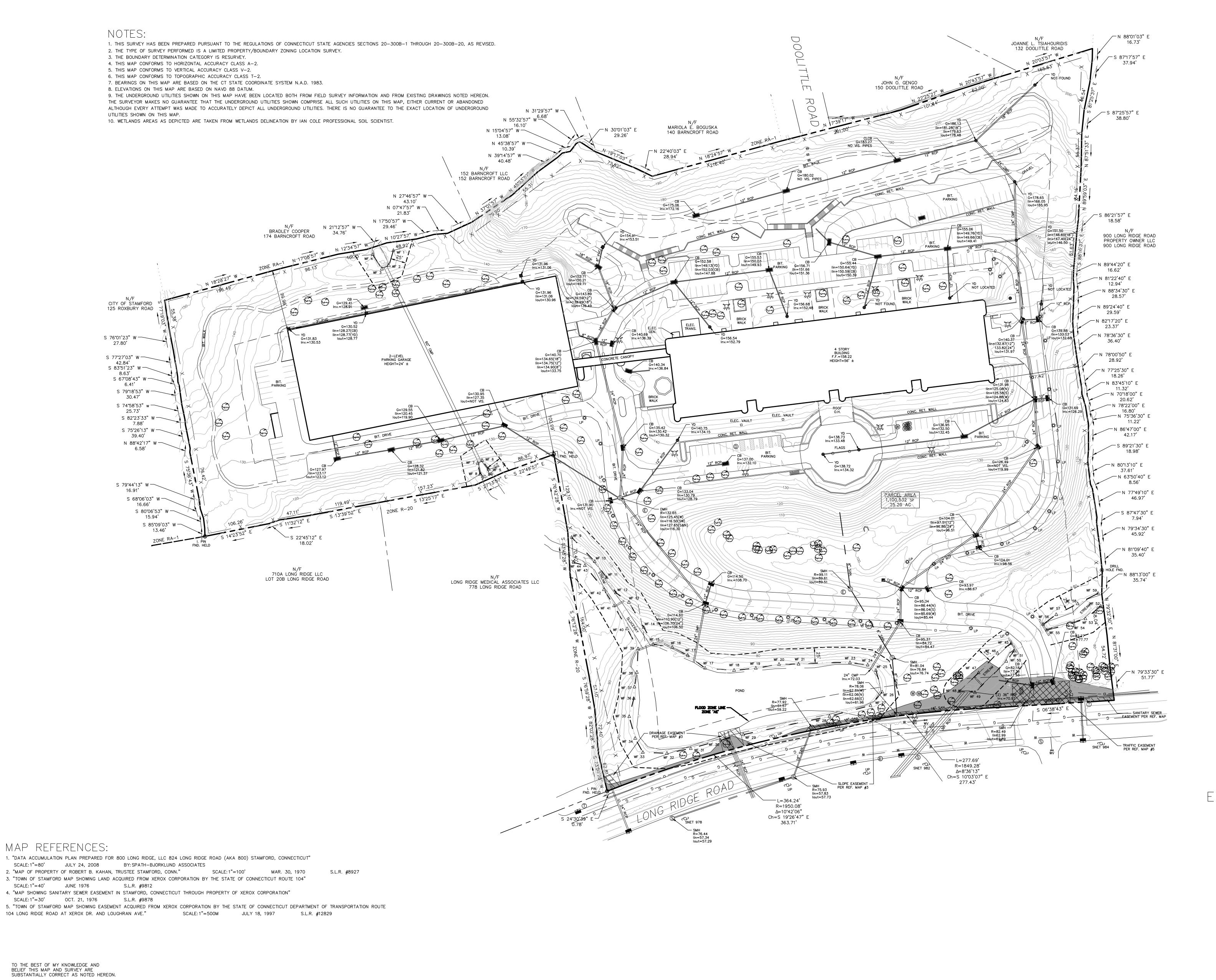
ARCHITECT

EDI INTERNATIONAL 54 EAST 12TH STREET 8TH FLOOR NEW YORK, NY

HEET NUMBER	DESCRIPTION
_	ZONING LOCATION SURVEY — EXISTING CONDITIONS
_	ZONING LOCATION SURVEY - PROPOSED CONDITIONS
C 1.1	OVERALL SITE PLAN
C 1.2	SITE PLAN
C 1.3	SITE PLAN
C 1.4	SITE PLAN
C 2.1	OVERALL GRADING & DRAINAGE PLAN
C 2.2	GRADING & DRAINAGE PLAN
C 2.3	GRADING & DRAINAGE PLAN
C 2.4	GRADING & DRAINAGE PLAN
C 3.1	OVERALL UTILITY PLAN
C 3.2	UTILITY PLAN
C 3.3	UTILITY PLAN
C 3.4	UTILITY PLAN
C 4.1	OVERALL EROSION CONTROL PLAN
C 4.2	EROSION CONTROL PLAN
C 4.3	EROSION CONTROL PLAN
C 4.4	EROSION CONTROL PLAN
C 5.1	DRIVEWAY & DRAINAGE PROFILES
C 5.2	DRIVEWAY & DRAINAGE PROFILES
C 5.3	DRIVEWAY & DRAINAGE PROFILES
C 5.4	DRIVEWAY & DRAINAGE PROFILES
C 5.5	WALKING TRAIL PROFILES
C 6.1	DETAILS
C 6.2	DETAILS
C 6.3	DETAILS
C 6.4	DETAILS
0 7 4	DDO IFOT MOTEO A FRONION CONTROL MADE TO

PROJECT NOTES & EROSION CONTROL NARRATIVE

C 7.1



1 inch = 60 feet

WALTBIE

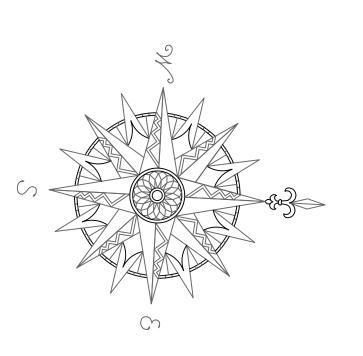
WALTBIE

WALTBIE

ROAD

ROA

LOCATION MAP



STAMFORD ZONING TABLE (C-D (DESIGNED COMMERCIAL DISTRICT)				
STANDARDS	REQUIRED	EXISTING		
MINIMUM LOT AREA	15 ACRES	25.26 AC		
MAXIMUM BLDG. HEIGHT	4 STORIES/60'	4 STORIES/ 56' ±		
BLDG. SETBACKS:				
STREET	50'	> 50'		
SIDE/REAR YARD:	100'/50'**	99.96'		
MAXIMUM BLDG. COVERAGE	10 %*	13.7 %		
MAXIMUM LOT COVERAGE	35 %*	32.7 %		

** 100' ADJACENT TO SINGLE FAMILY / 50' OTHER

* 4 STORY DEVELOPMENT

LEGE	
	BUILDING SETBACK LINE
	EXISTING CONTOUR TREE LINE
	WETLAND LINE
	EXISTING GUIDE RAIL HYDRANT
X	
₩v	WATER VALVE
w	EXISTING WATER MAIN
	EXISTING STONE WALL
	EXISTING SANITARY SEWER MAIN
G	EXISTING GAS LINE
	EXISTING STORM SEWER
	EXISTING ELECTRIC
X	EXISTING FENCE
L₽ ^{‡‡}	EXISTING SITE LIGHT
0	STORM DRAINAGE MANHOLE
	CATCH BASIN
S	SANITARY SEWER MANHOLE
	TREE SYMBOLS
Q	UTILITY POLE
•	DRILL HOLE
0	IRON PIN
	DRAINAGE EASEMENT
	TRAFFIC EASEMENT
V 77 / 77 / 77	SANITARY EASEMENT
	SLOPE EASEMENT
	25' WETLAND BUFFER

ZONING LOCATION SURVEY EXISTING CONDITIONS SURVEY

PREPARED FOR

800 LONG RIDGE LLC 800 LONG RIDGE ROAD STAMFORD, CONNECTICUT

COPYRIGHT © 2023

SCALE: 1" = 60' AUGUST 15, 2023

REVISED: AUGUST 16, 2023 — GENERAL REVISIONS

AUGUST 29, 2023 — GENERAL REVISIONS

OCTOBER 3, 2023 — REVISE TOTAL COV. CALCS.

PROJ. NO.: 0713



LAND SURVEYING - LAND PLANNING
Street Phone: (860) 274-50

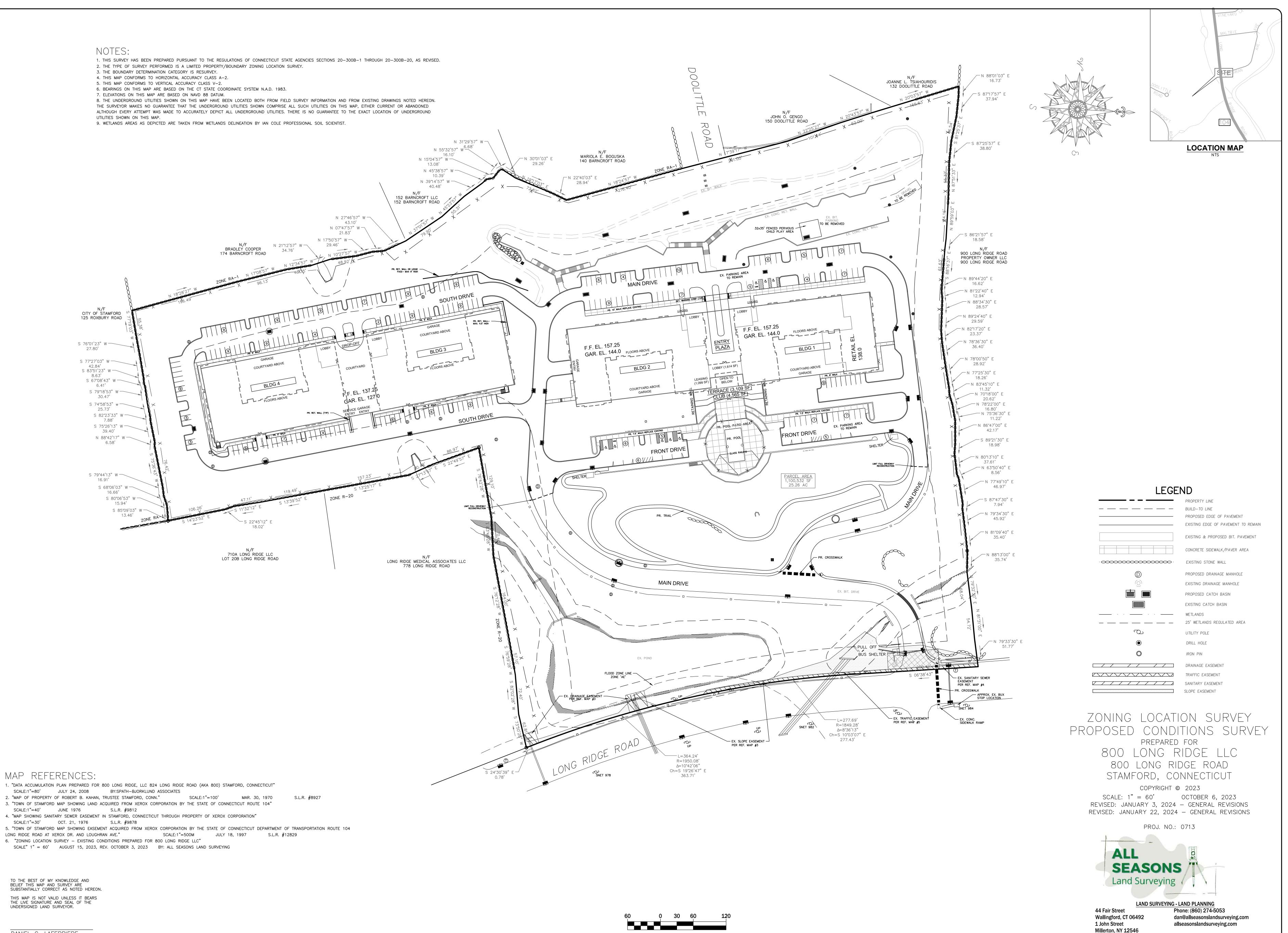
44 Fair Street
Wallingford, CT 06492
1 John Street
Millerton, NY 12546

G - LAND PLANNING
Phone: (860) 274-5053
dan@allseasonslandsurveying.com
allseasonslandsurveying.com

LICENSED LAND SURVEYOR, REG# 70492

UNDERSIGNED LAND SURVEYOR.

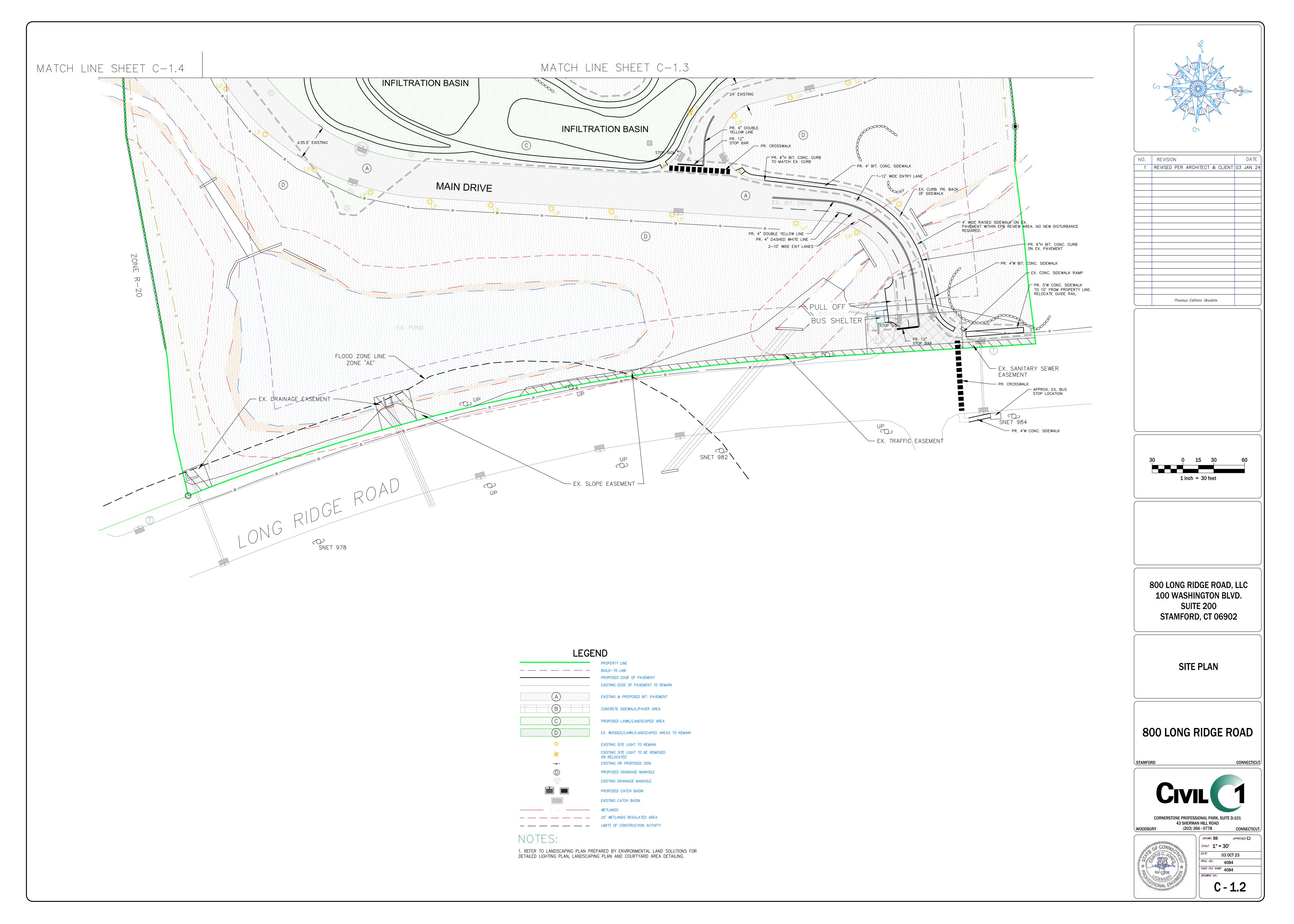
THIS MAP IS NOT VALID UNLESS IT BEARS
THE LIVE SIGNATURE AND SEAL OF THE

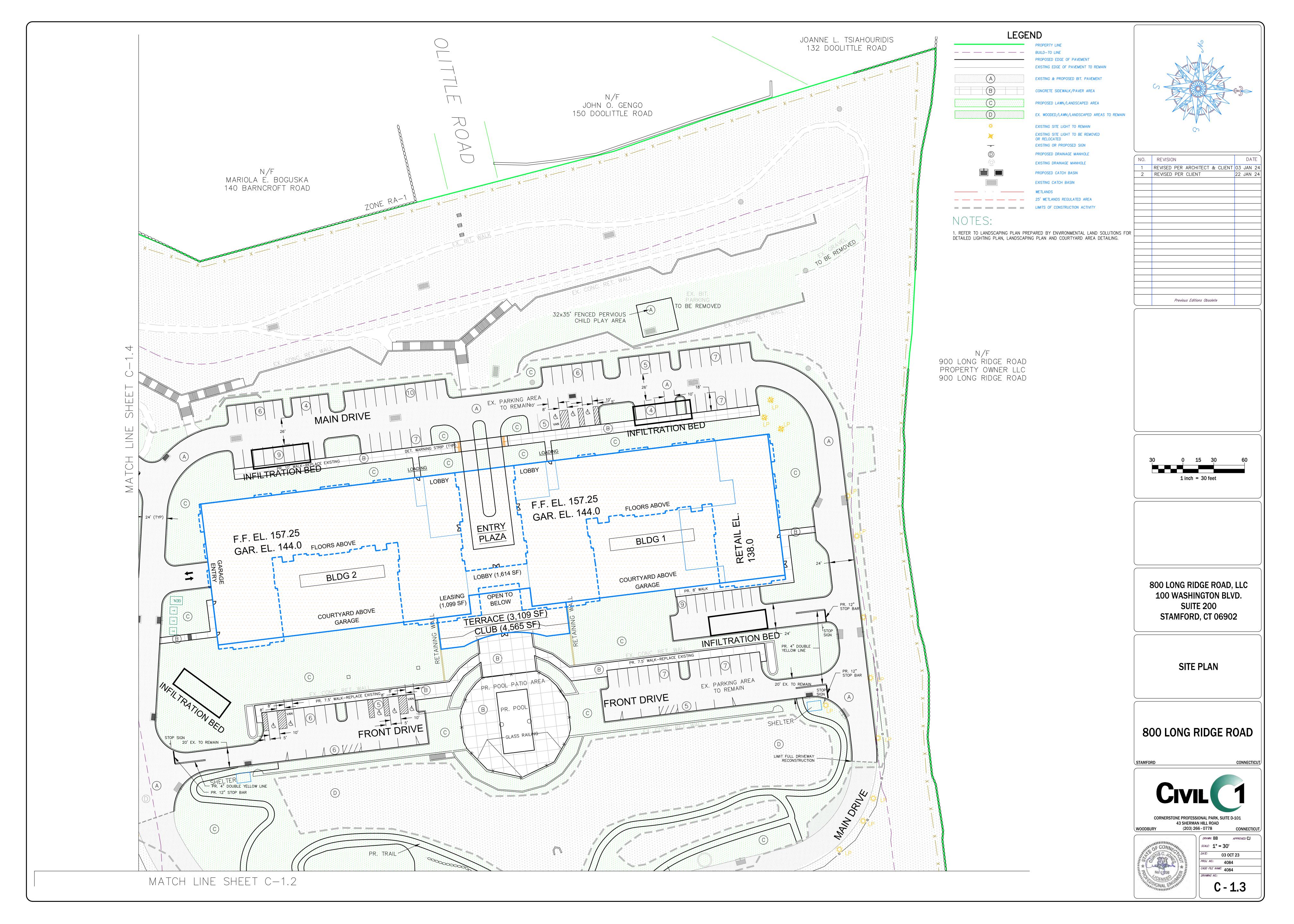


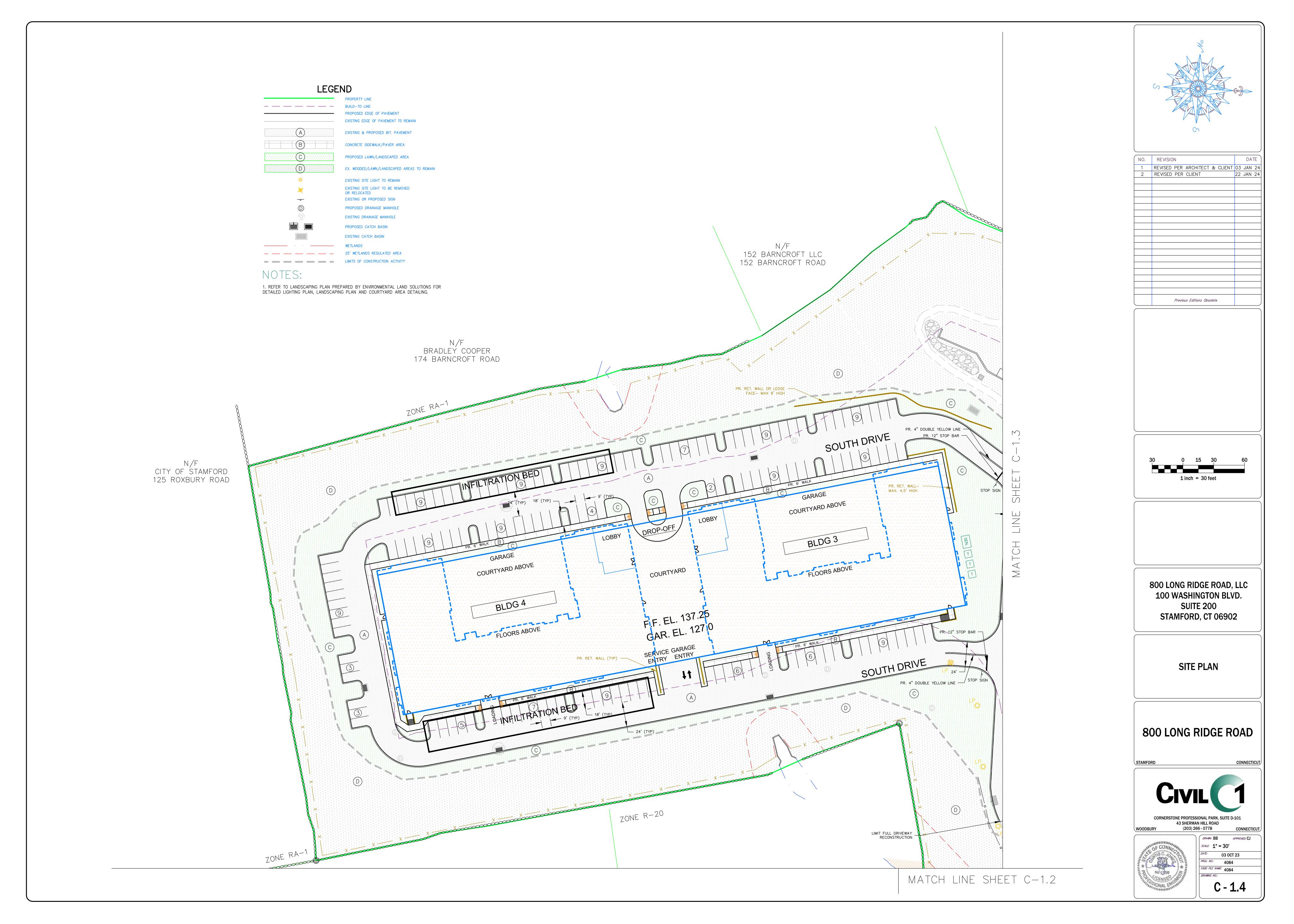
1 inch = 60 feet

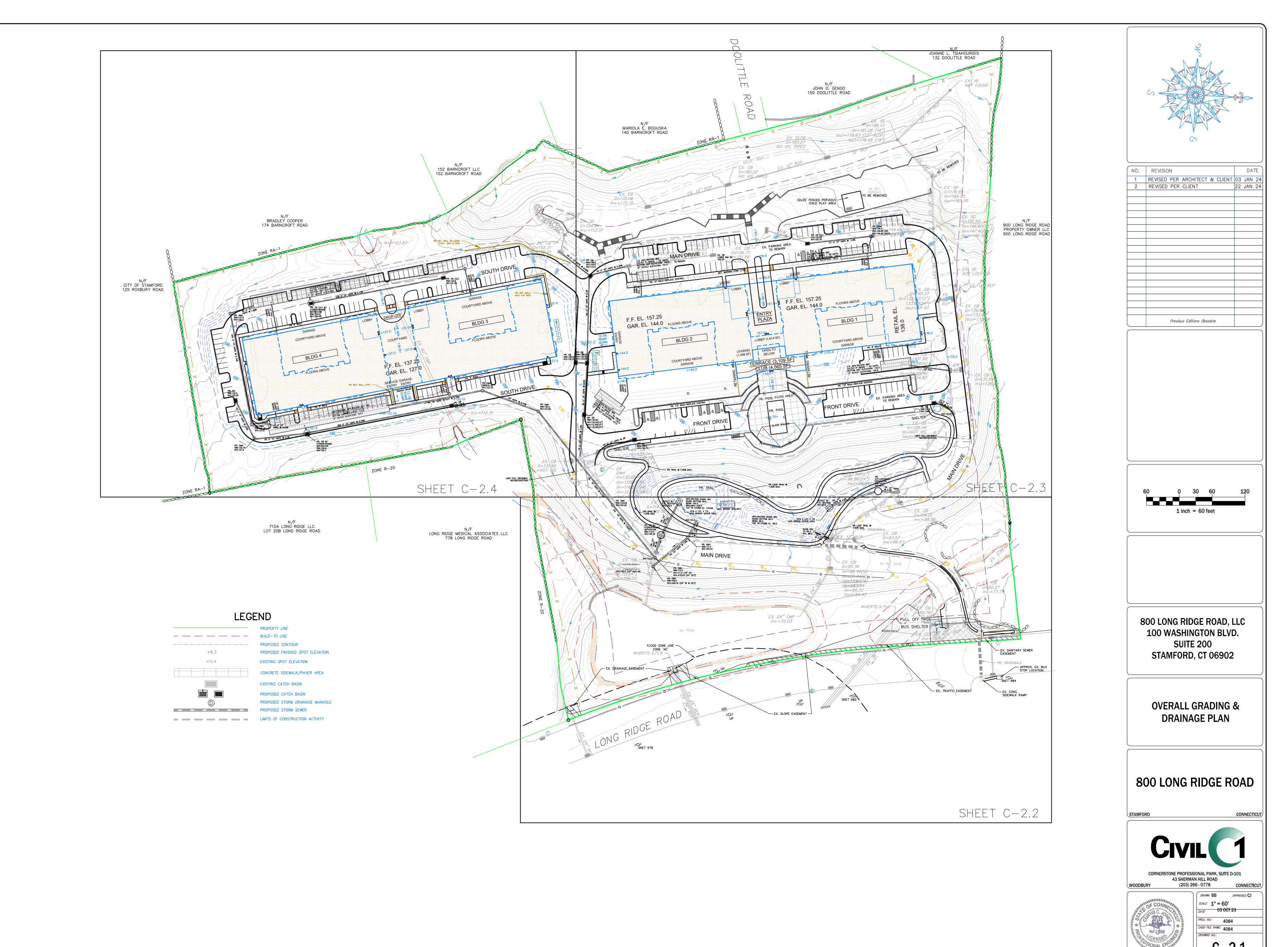
DANIEL C. LAFERRIERE LICENSED LAND SURVEYOR, REG# 70492

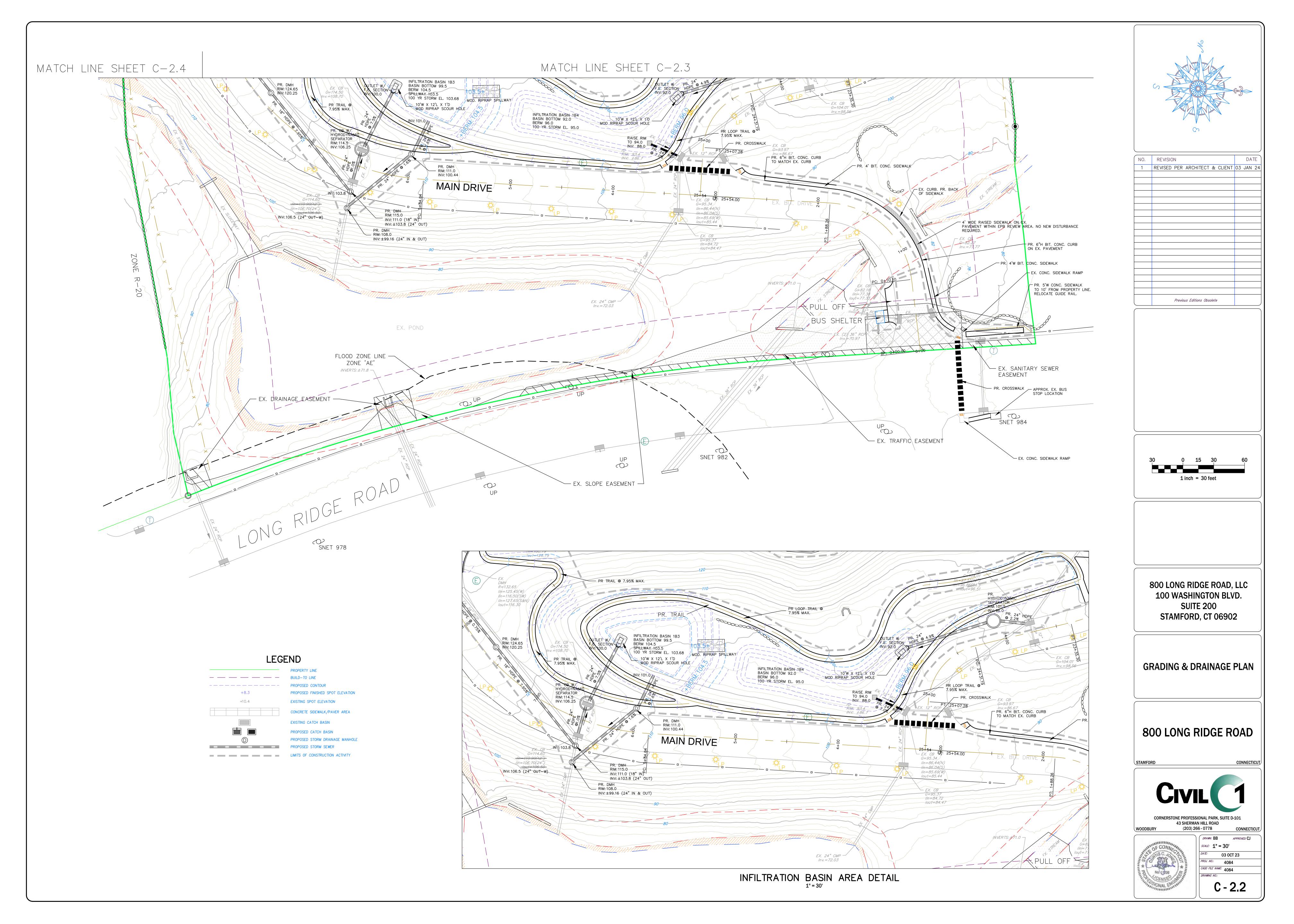


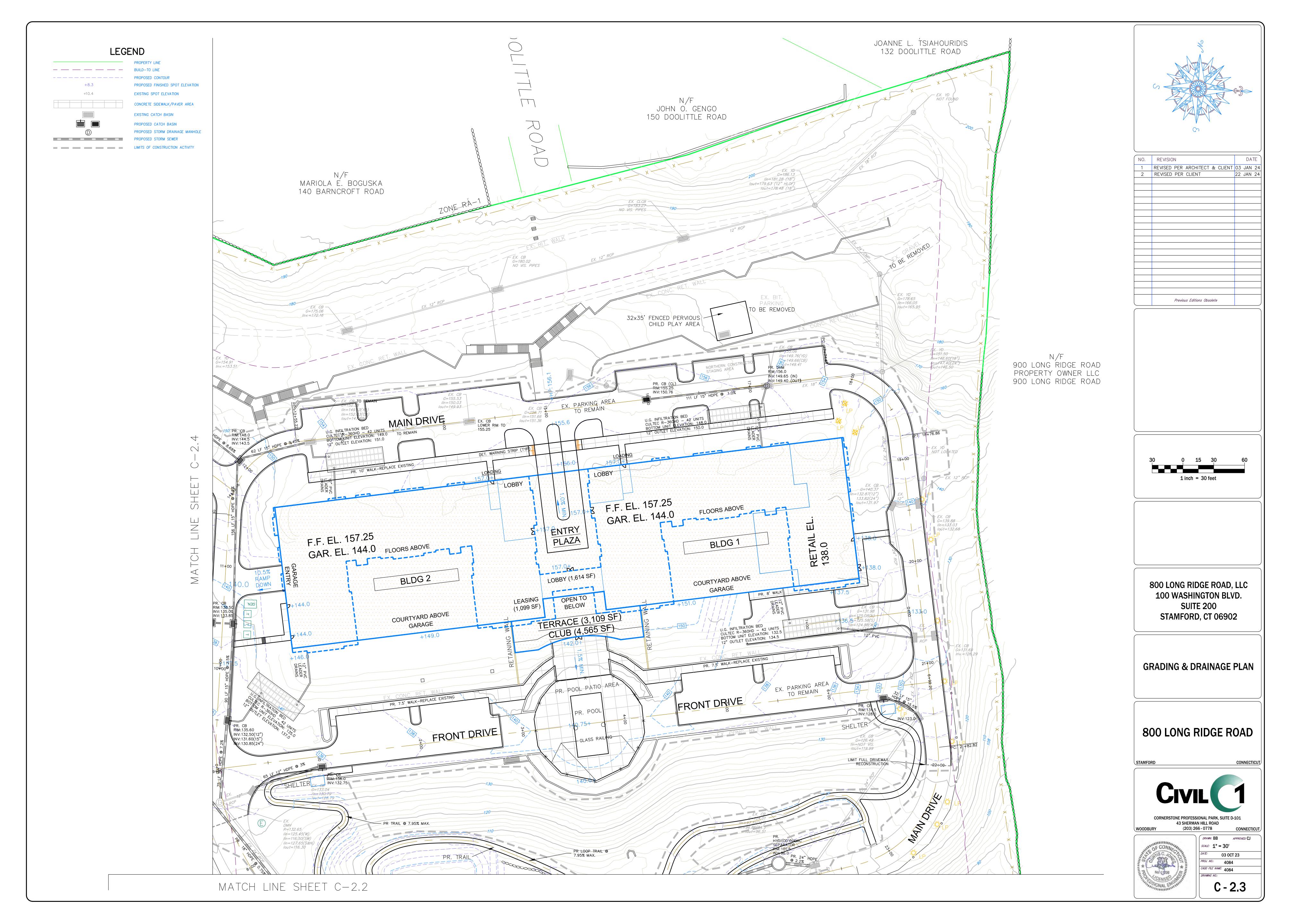


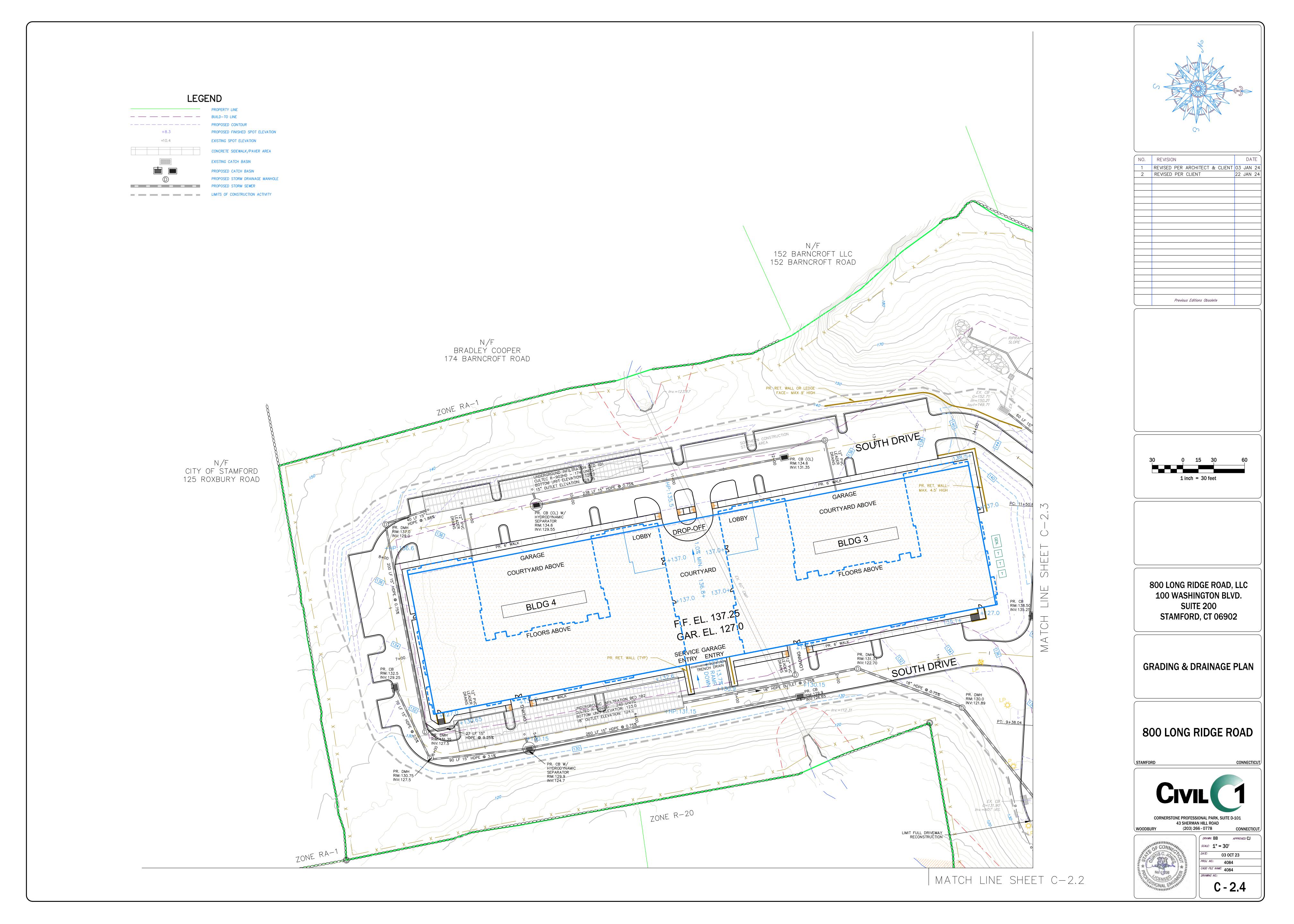


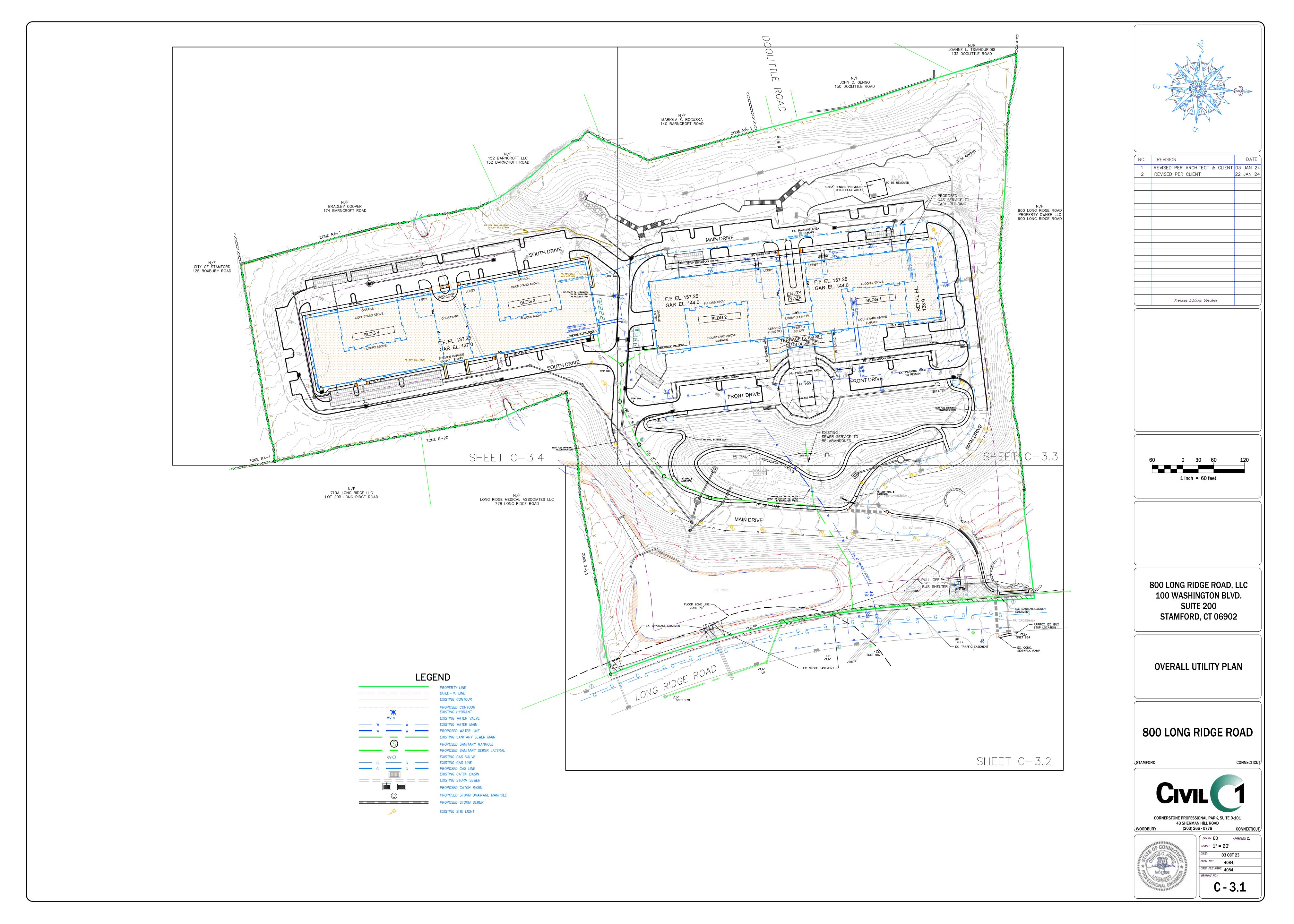


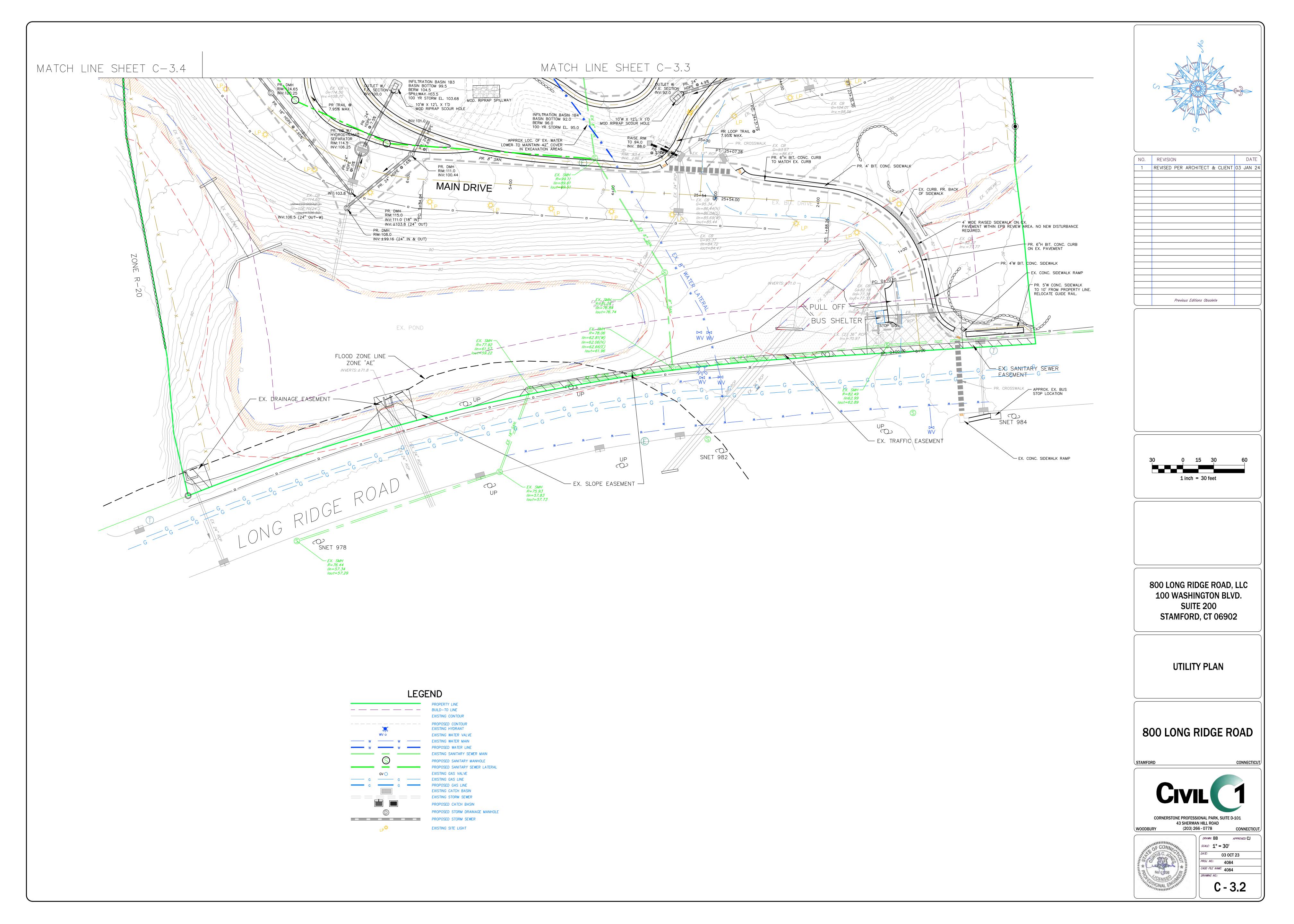


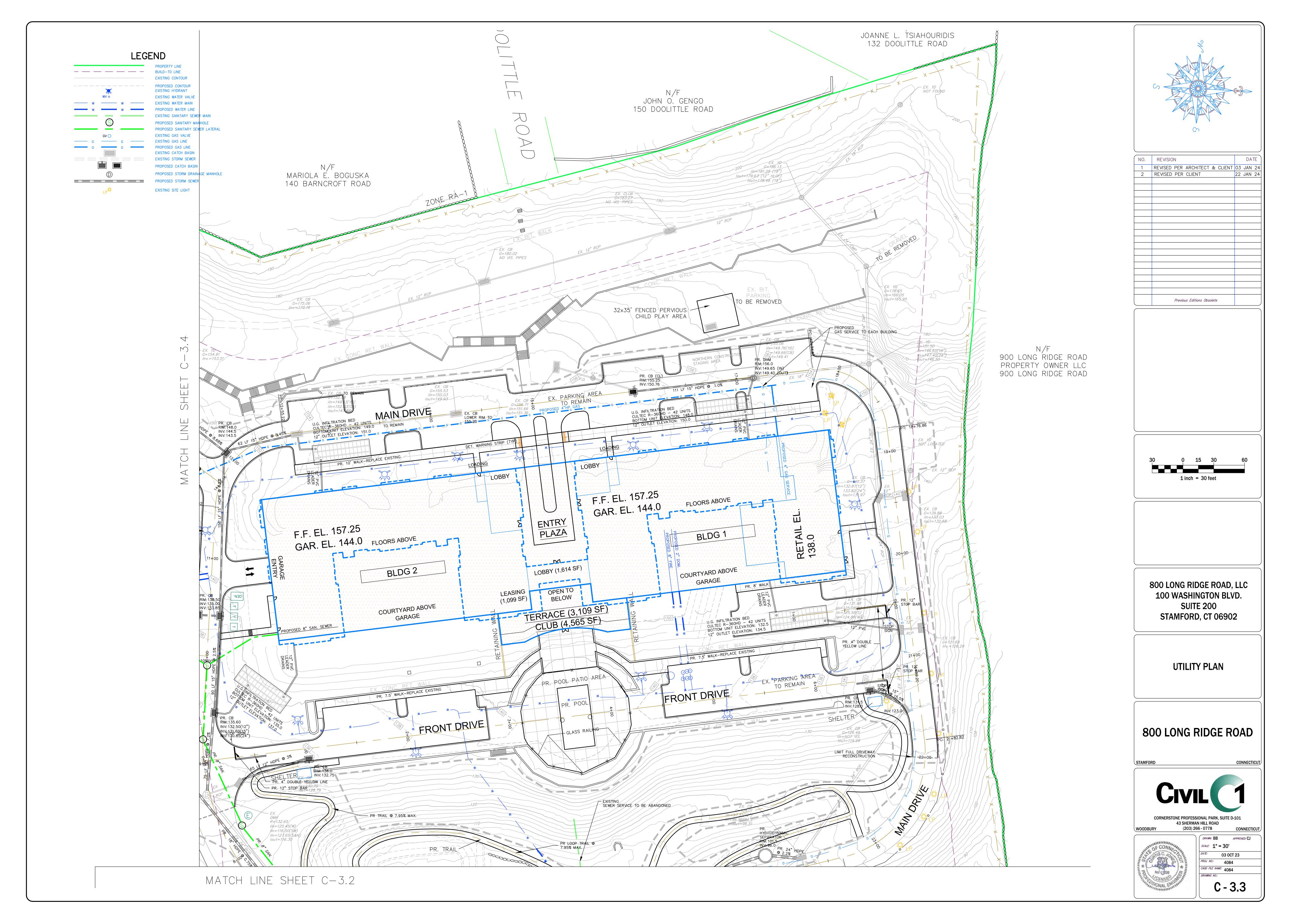


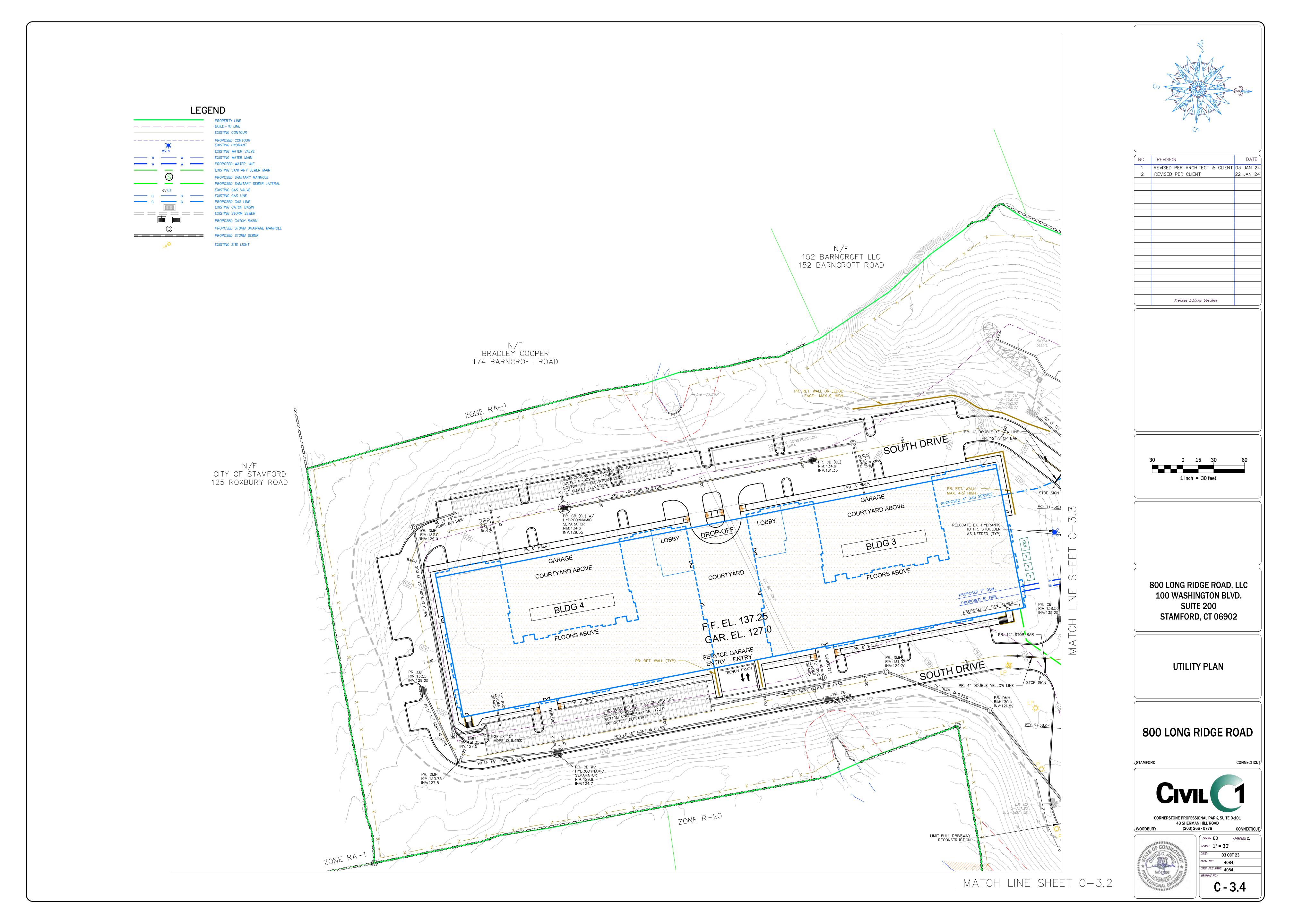


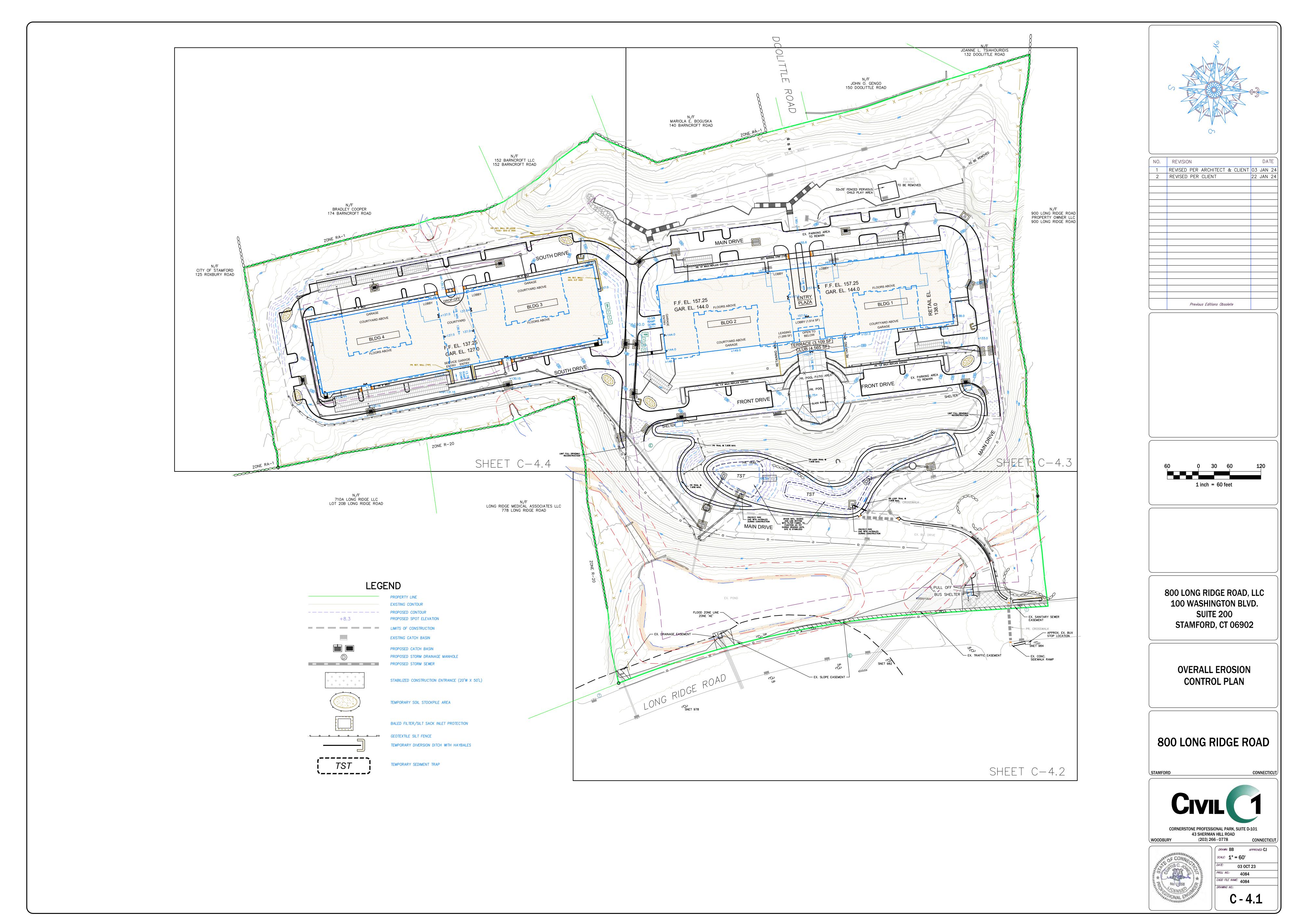


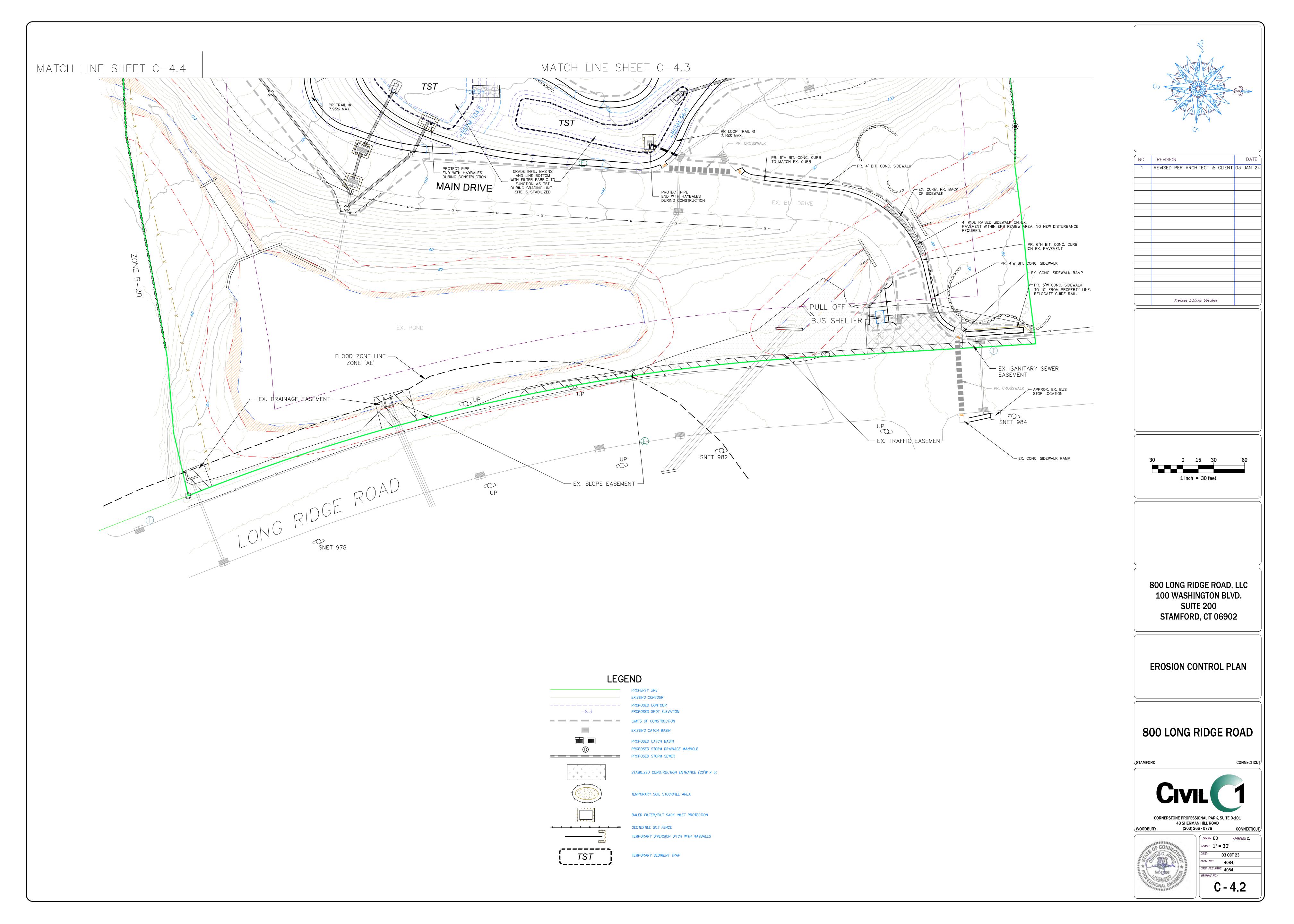


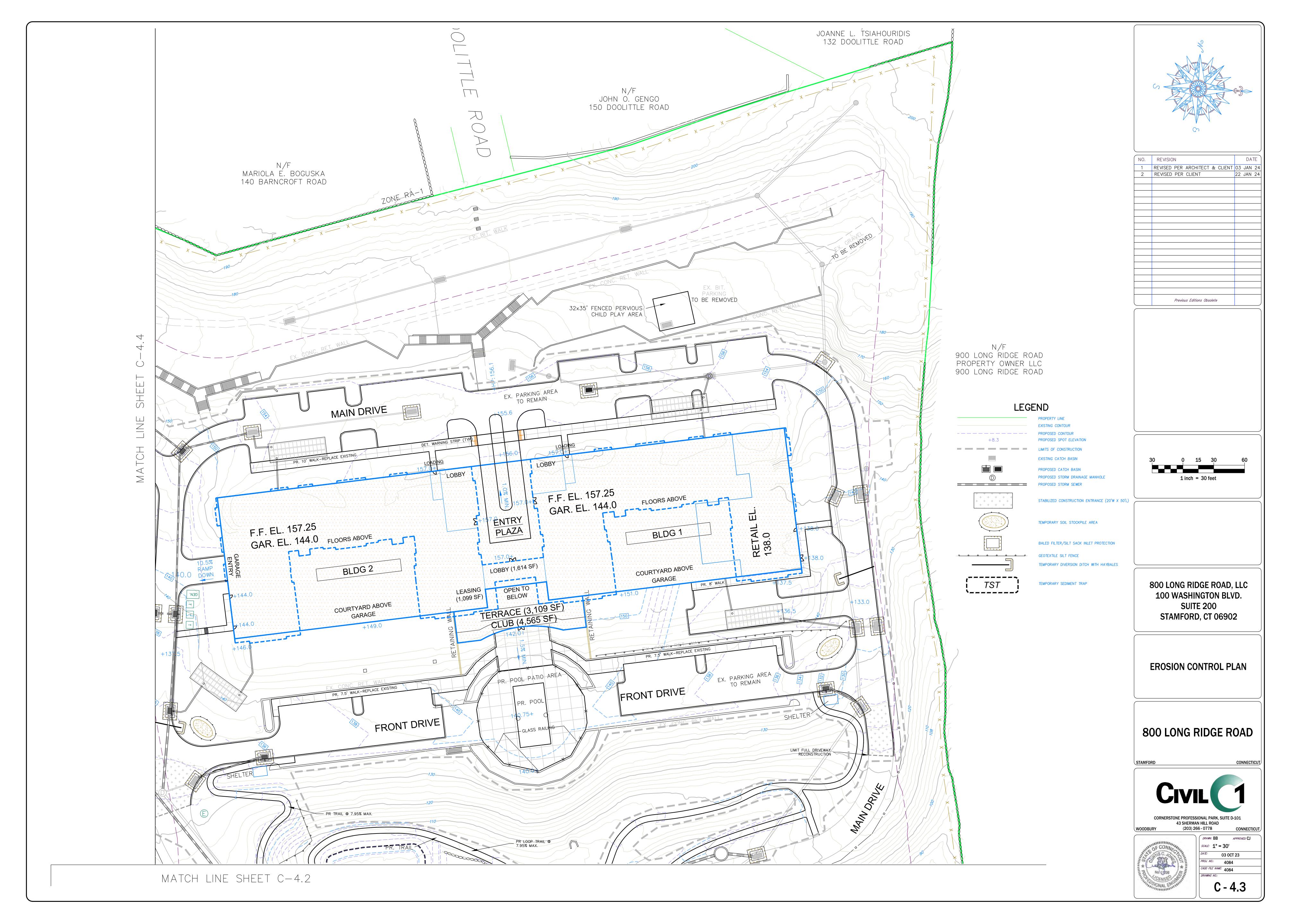


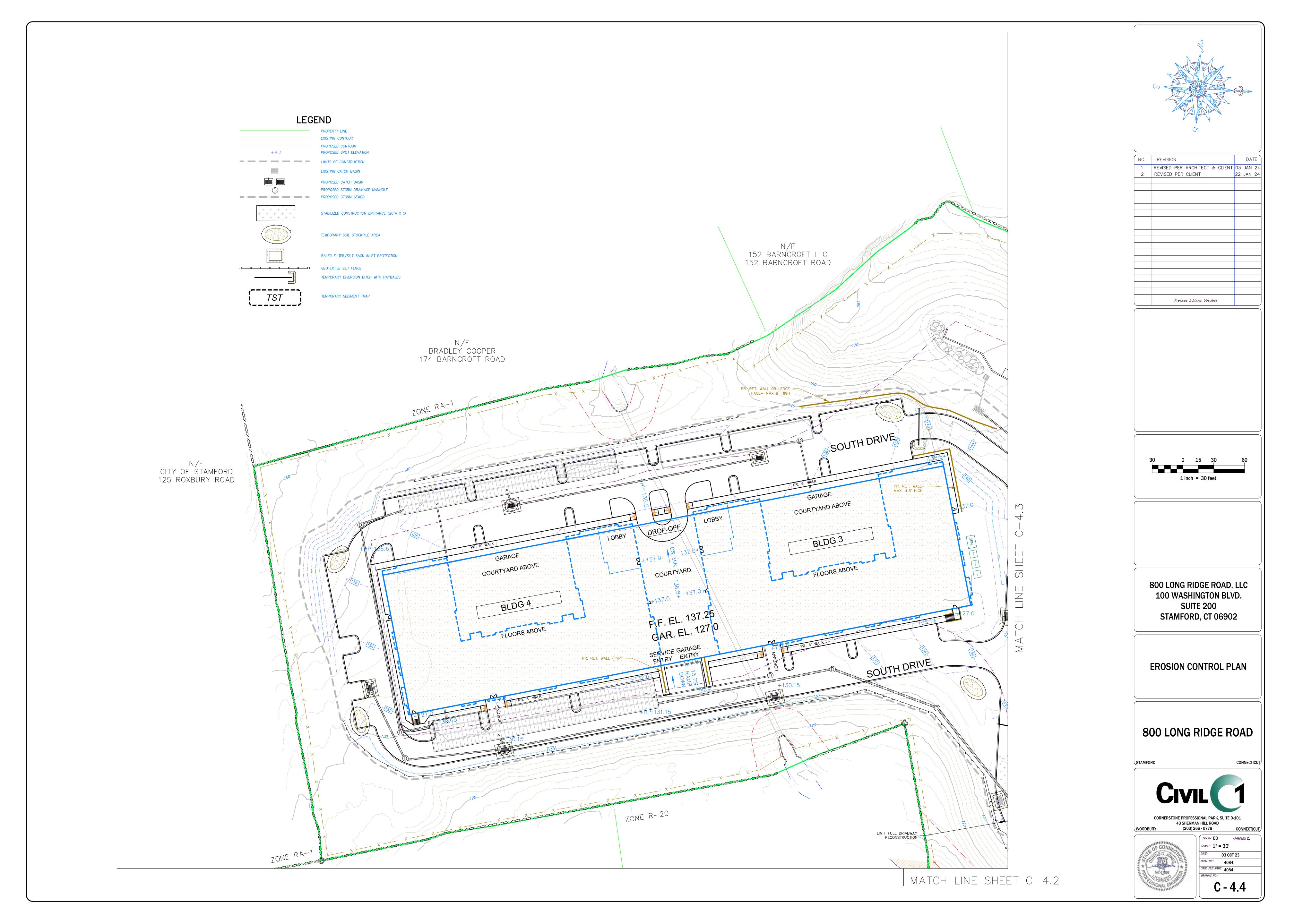


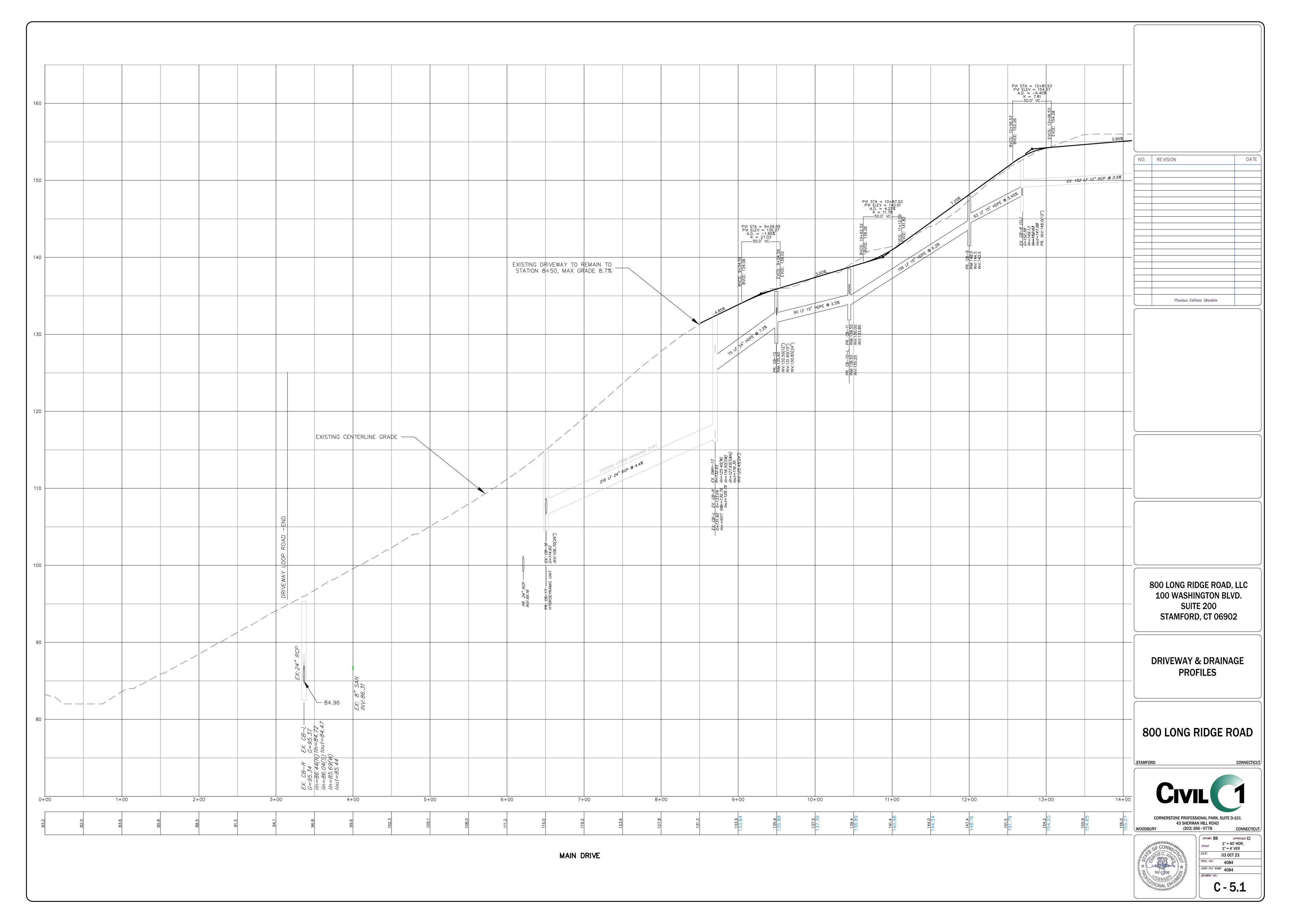


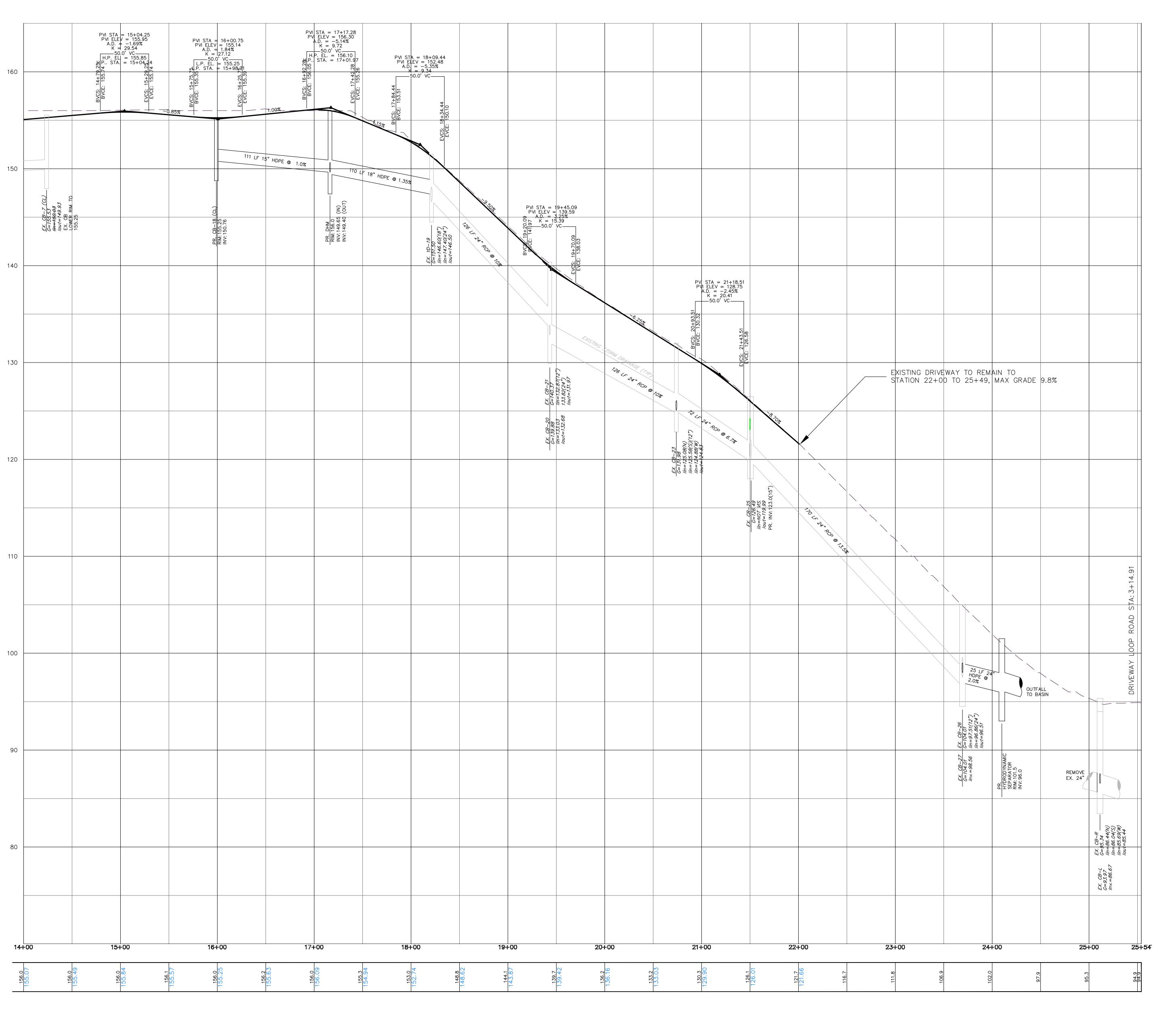












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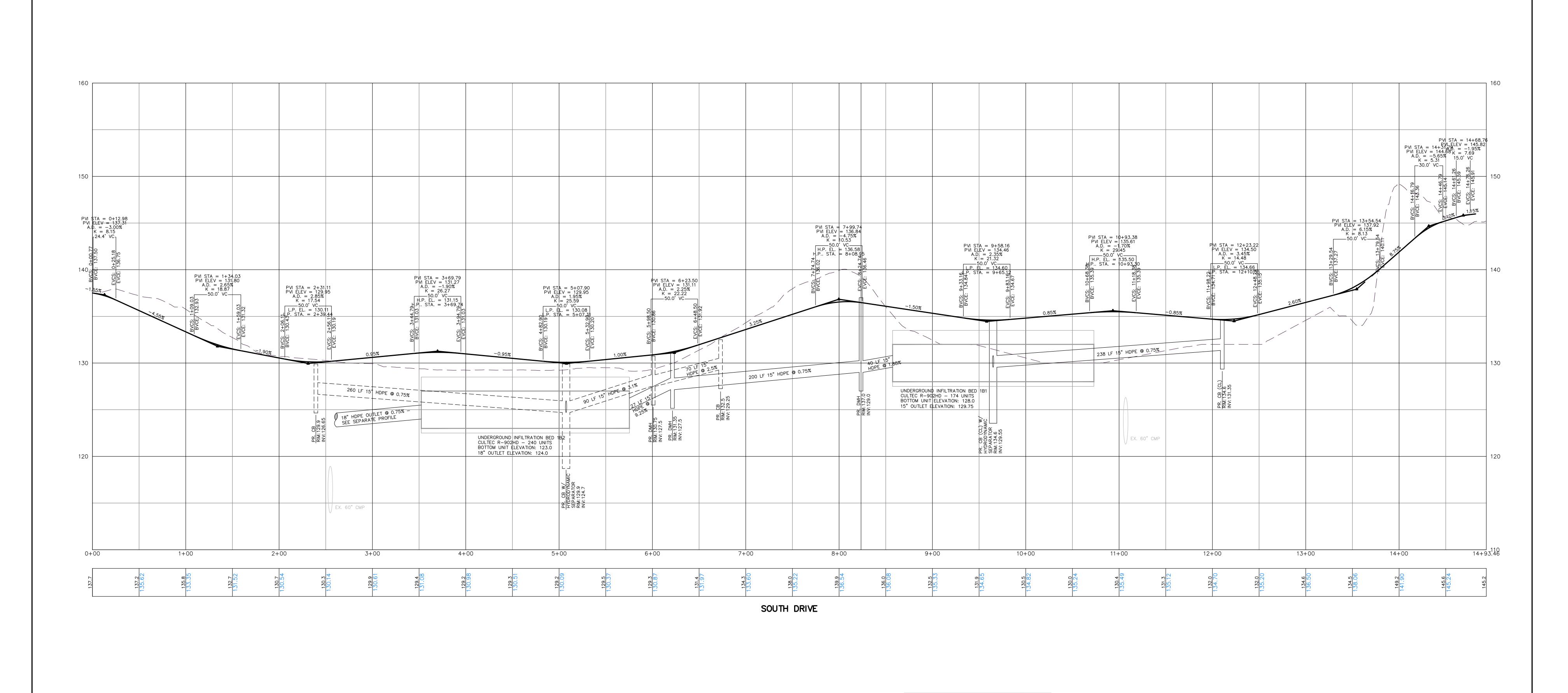
800 LONG RIDGE ROAD, LLC 100 WASHINGTON BLVD. SUITE 200 STAMFORD, CT 06902

DRIVEWAY & DRAINAGE PROFILES

800 LONG RIDGE ROAD

CORNERSTONE PROFESSIONAL PARK, SUITE D-101
43 SHERMAN HILL ROAD
WOODBURY (203) 266 - 0778 CONNECT





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Previous Editions Obsolete

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100 WASHINGTON BLVD.

SUITE 200

STAMFORD, CT 06902

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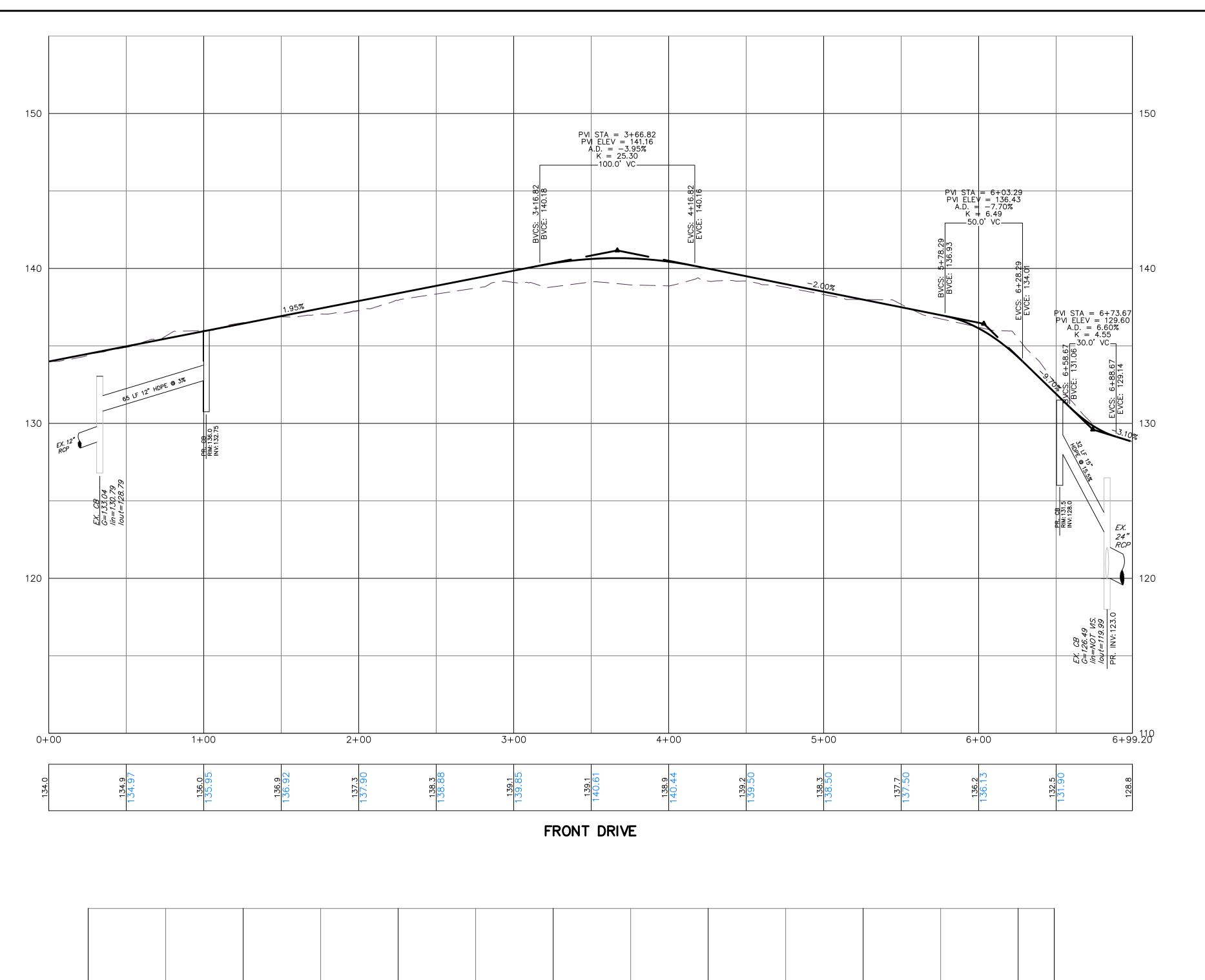
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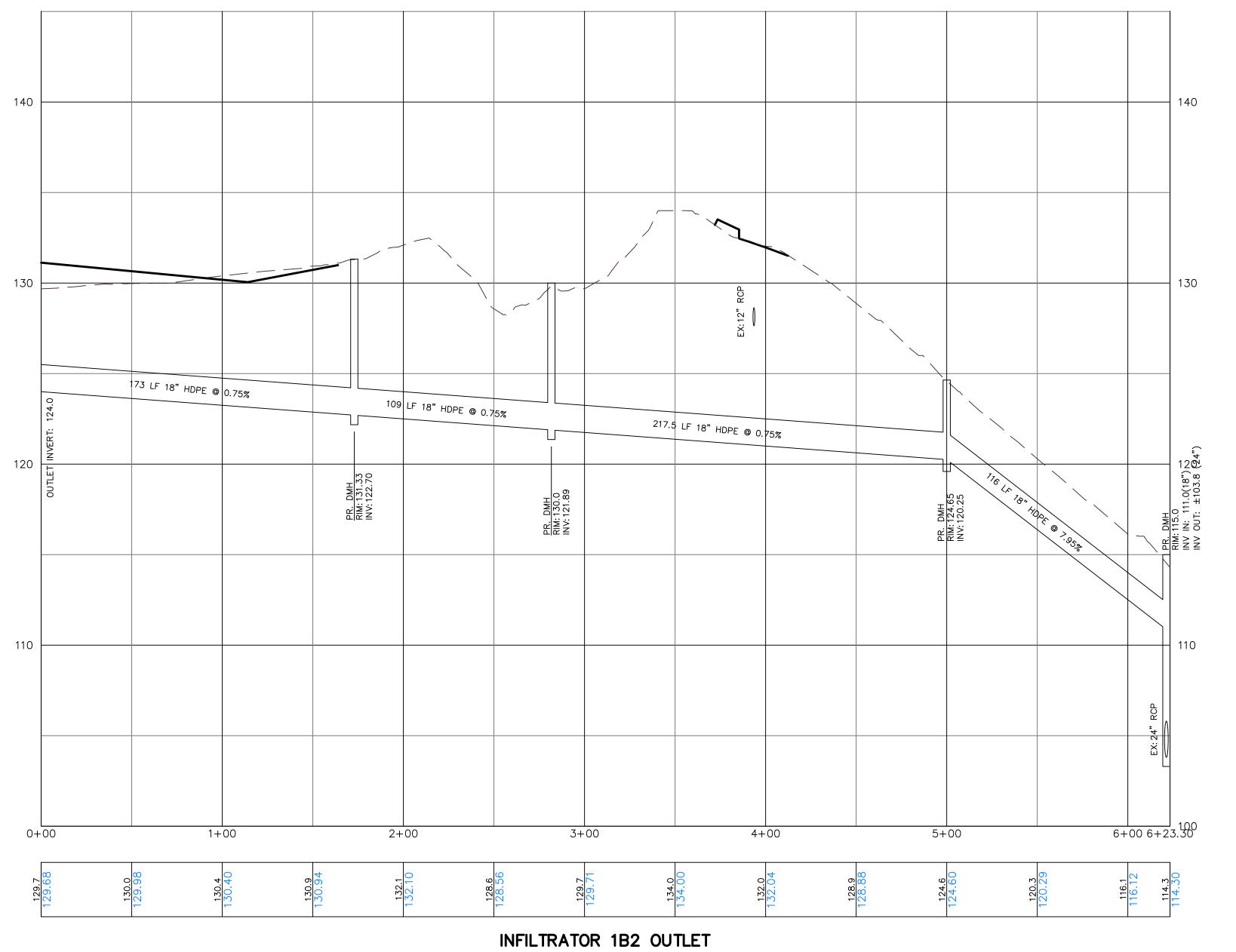
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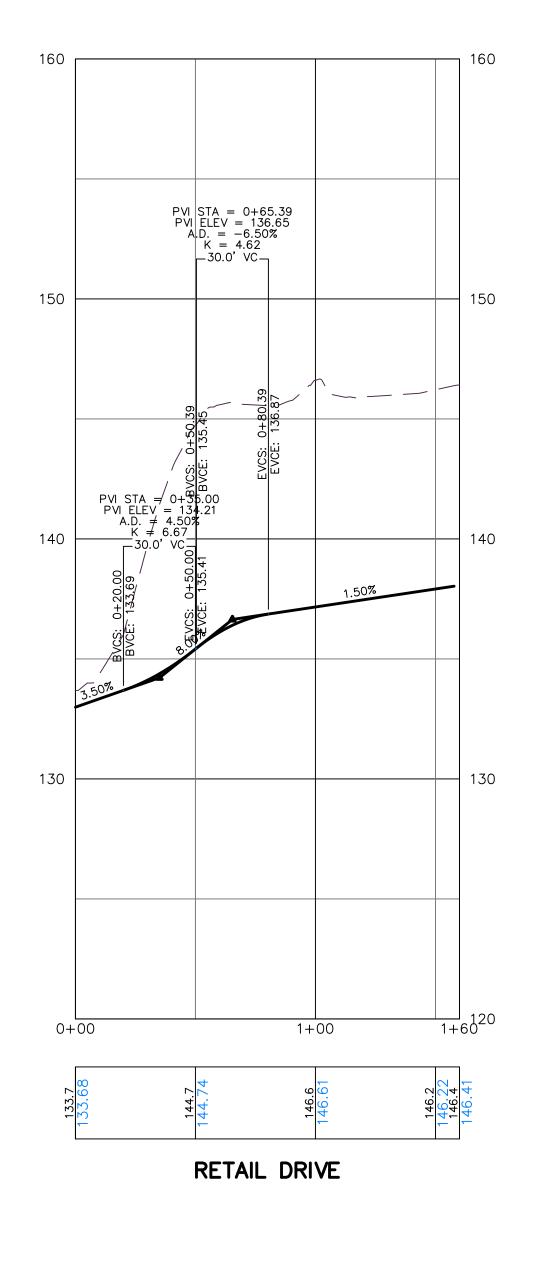
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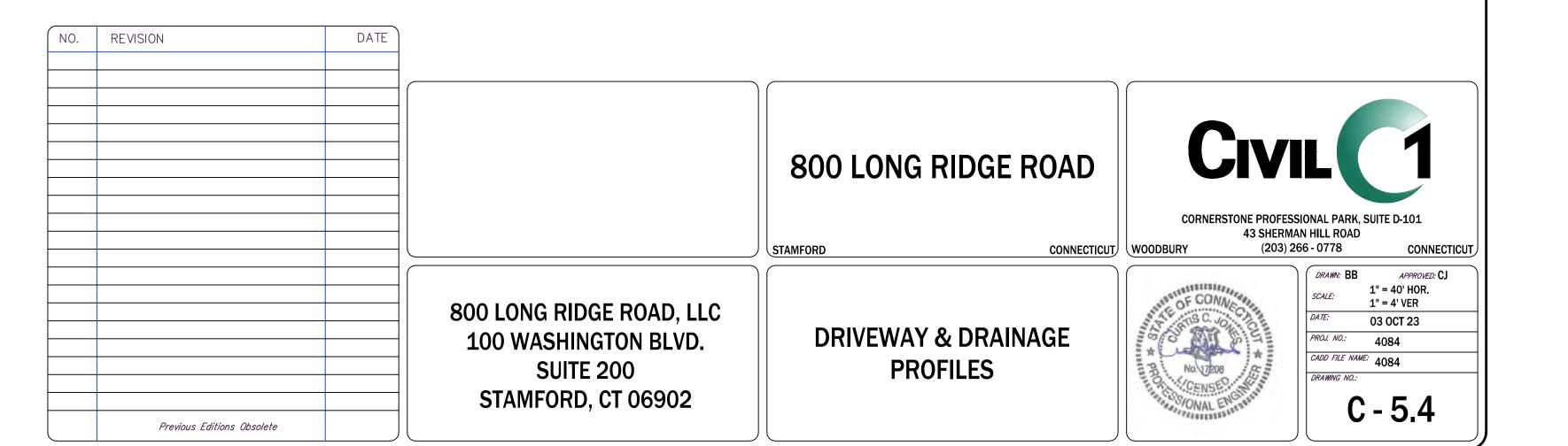
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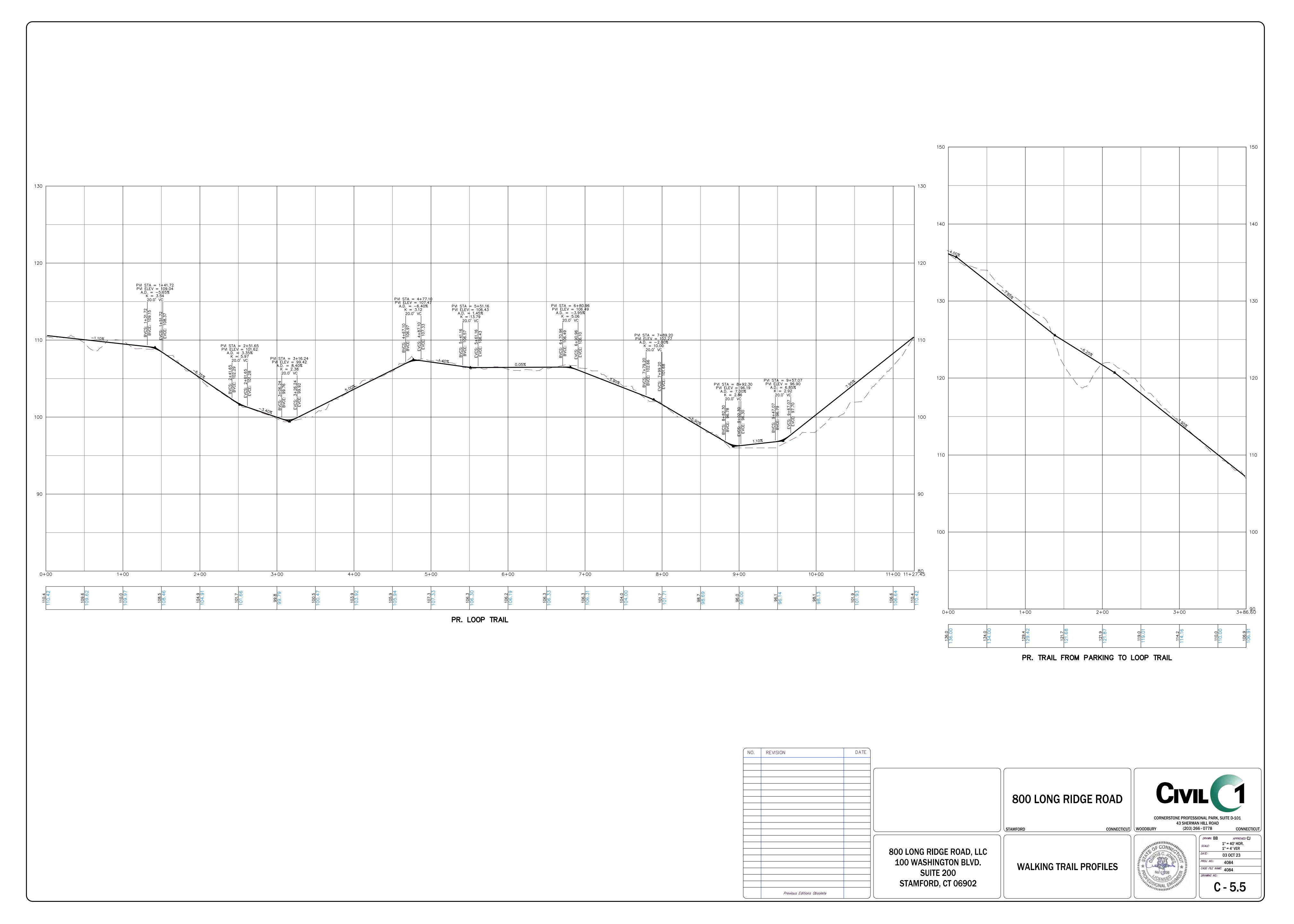
CONNECTICUT WOODBURY

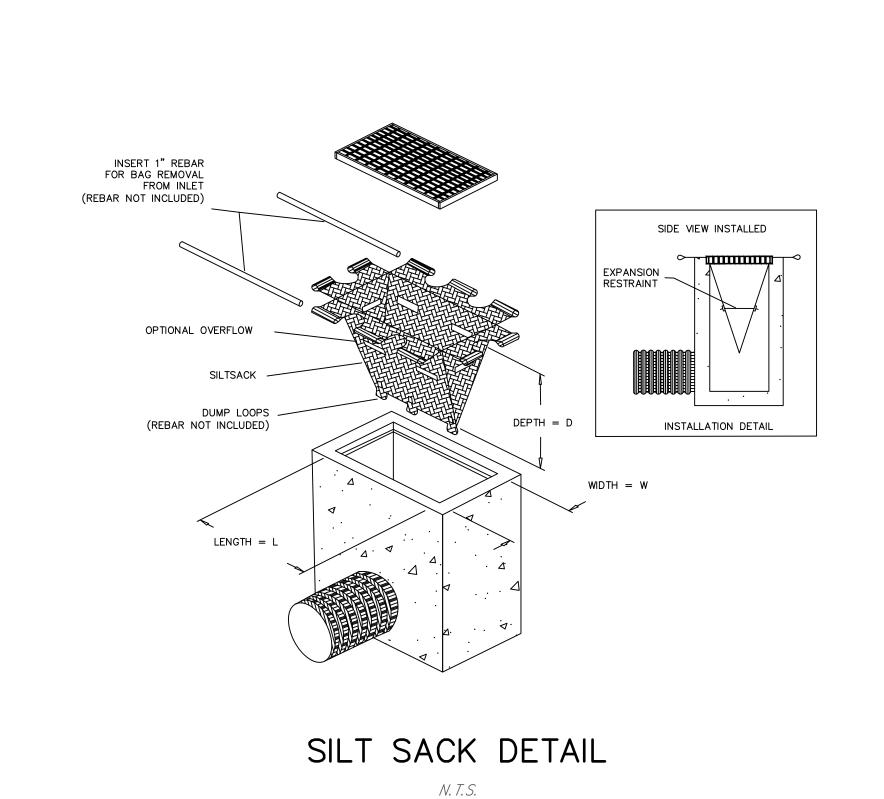


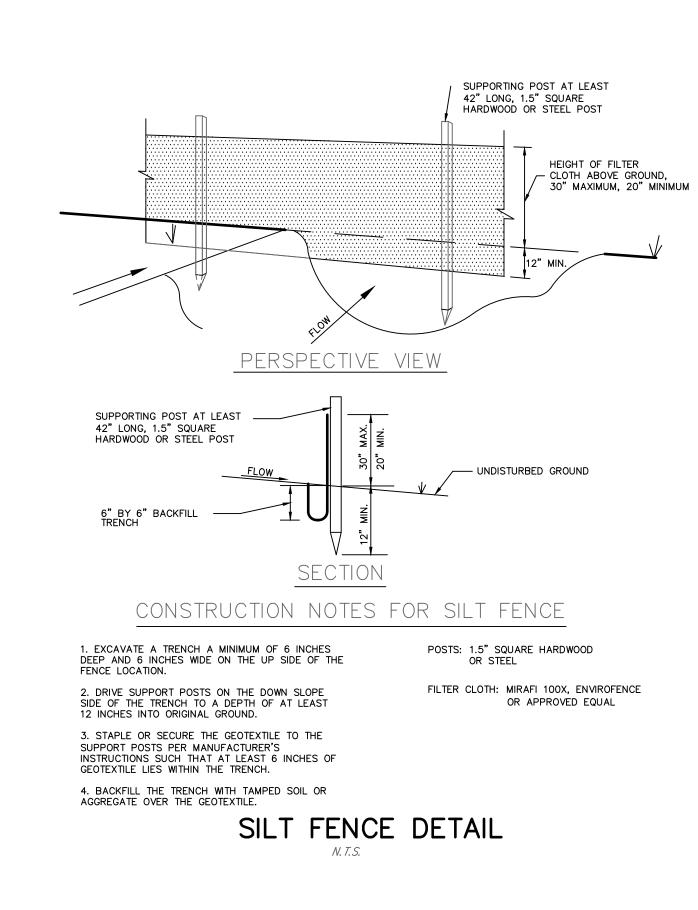


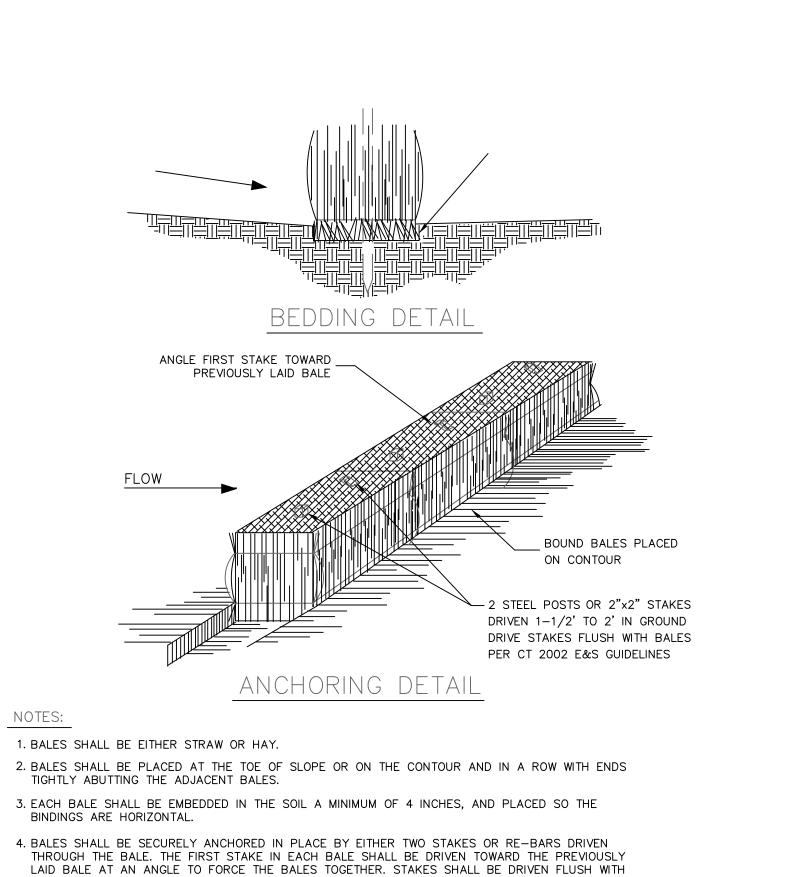






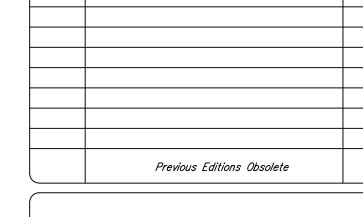






5. INSPECTION SHALL BE FREQUENT, AND REPAIR AND/OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED TO MAINTAIN EFFECTIVENESS OF INSTALLATION.

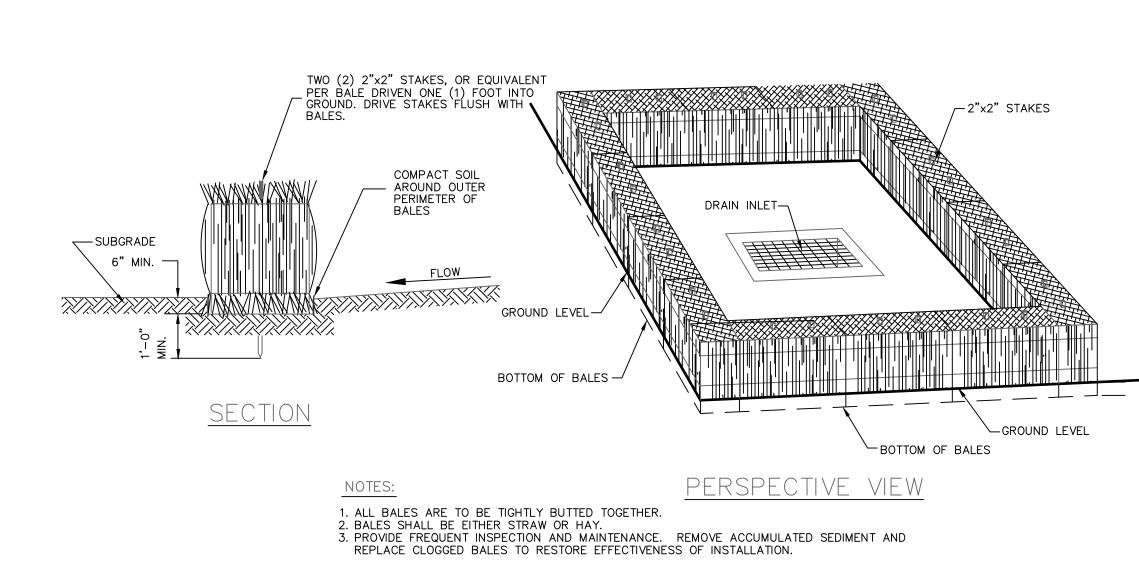
6. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.



DATE

NO. | REVISION

STAKED HAY BALE BARRIER



BALED FILTER

DETAILS

800 LONG RIDGE ROAD, LLC

100 WASHINGTON BLVD.

SUITE 200

STAMFORD, CT 06902

800 LONG RIDGE ROAD

STOCKPILE MANAGEMENT PER 2002 CT GUIDELINES FOR E & S CONTROL: 1. LOCATE STOCKPILE SO THAT NATURAL DRAINAGE IS NOT OBSTRUCTED.

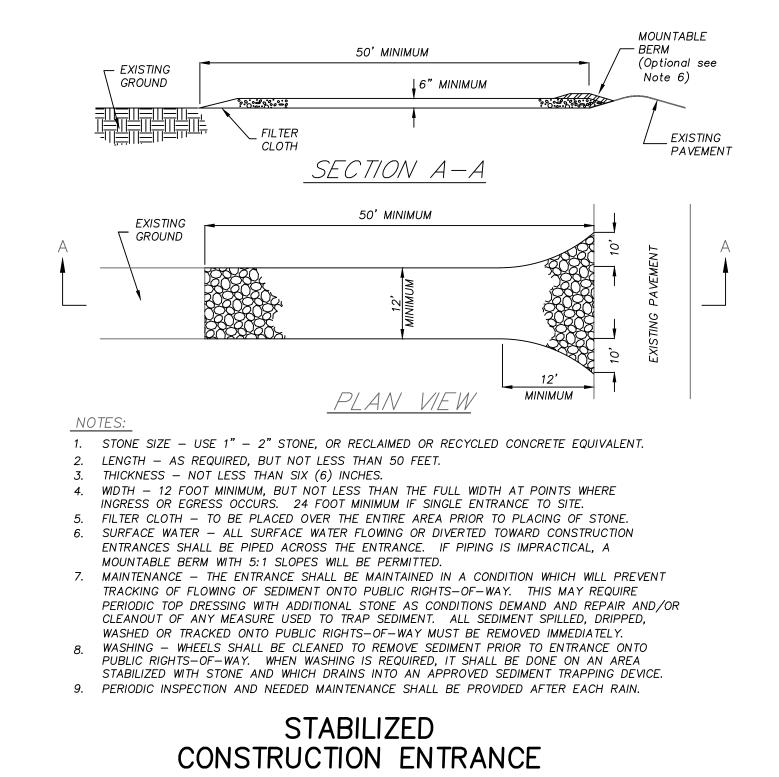
4. THE SIDE SLOPES OF STOCKPILED MATERIAL SHOULD BE NO STEEPER THAN 2:1. 5. STOCKPILES THAT ARE NOT TO BE USED WITHIN 30 DAYS NEED TO BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE. 6. AFTER STOCKPILE HAS BEEN REMOVED, THE SITE SHOULD BE GRADED AND PERMANENTLY STABILIZED.

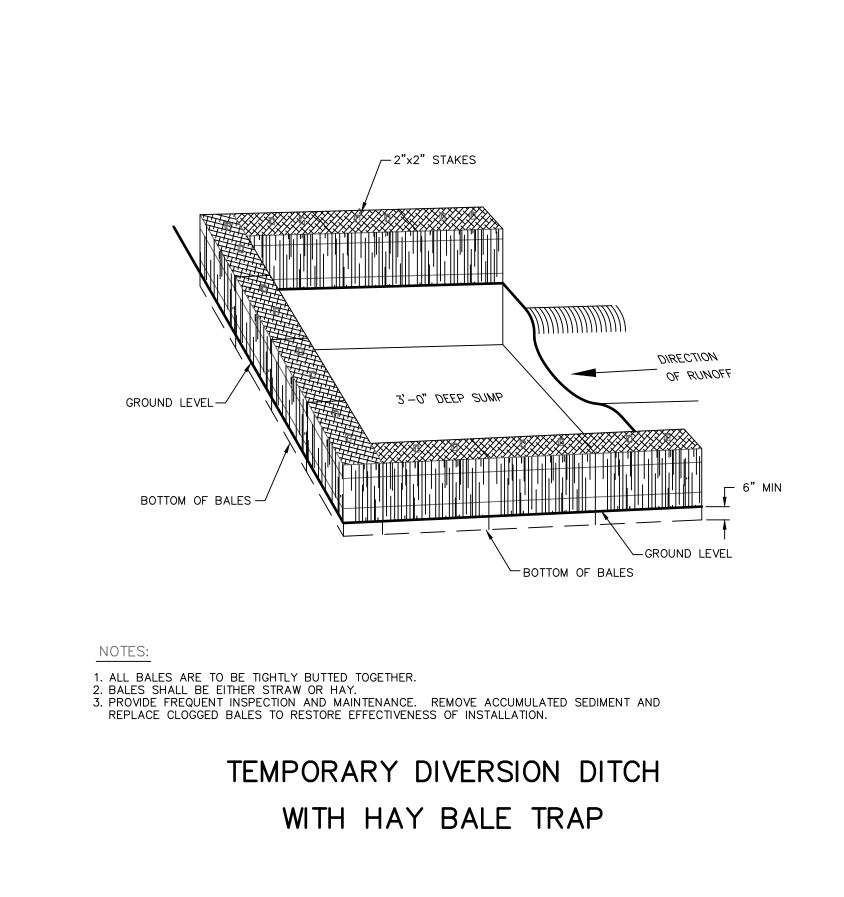
TEMPORARY TOPSOIL STOCKPILE

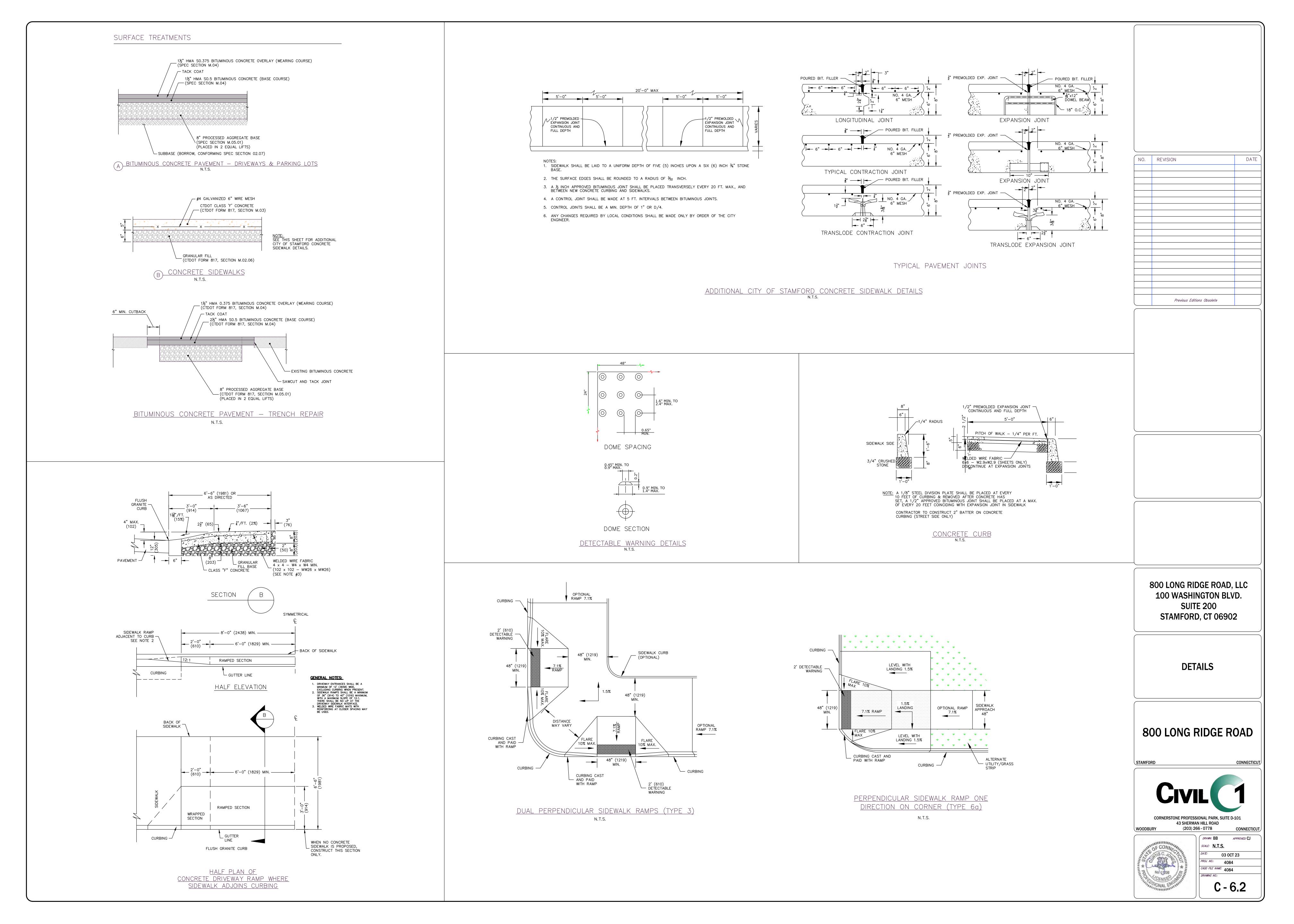
- INSTALL SILT FENCE PER DETAIL 2. DIVERT RUNOFF WATER AWAY FROM OR AROUND THE STOCKPILE. 3. INSTALL A GEOTEXTILE SILT FENCE OR HAY BALE BARRIER AROUND THE STOCKPILE AREA APPROXIMATELY 10 FEET FROM PROPOSED TOE OF THE SLOPE.

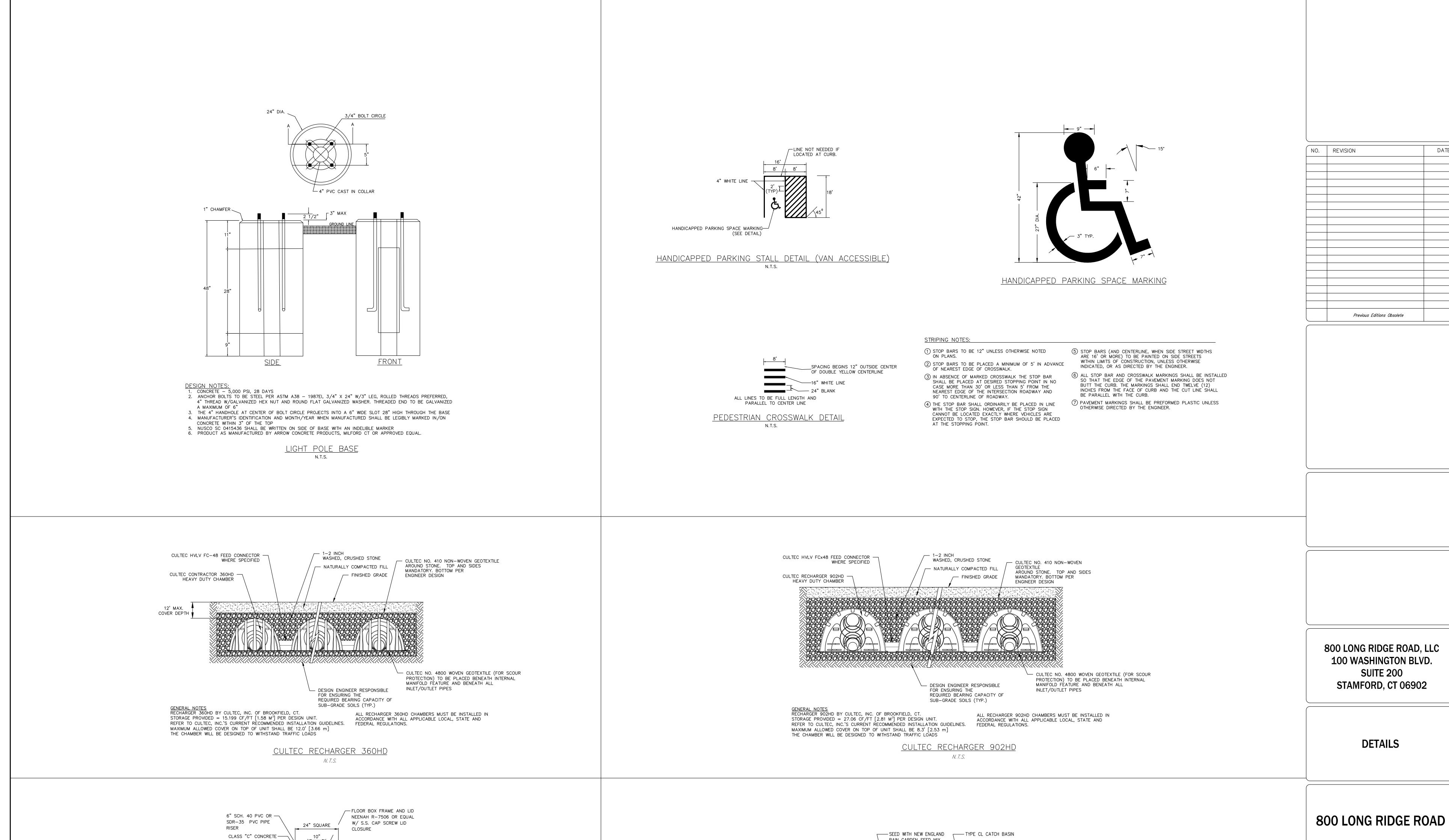
CORNERSTONE PROFESSIONAL PARK, SUITE D-101 43 SHERMAN HILL ROAD (203) 266 - 0778 CONNECTICUT SCALE: N.T.S.

APPROVED: CJ 03 OCT 23 4084 | CADD FILE NAME: 4084 C - 6.1









 $1\frac{1}{2}$ " - 2" WASHED, -

TYPICAL CULTEC CHAMBER -

INSPECTION PORT

CRUSHED STONE

REFER TO RECOMMENDED MIN. - MAX. BURIAL REQUIREMENTS

 $1\frac{1}{2}$ " - 2" WASHED,—

CRUSHED STONE

FINISHED GRADE 2.5" ASPHALT

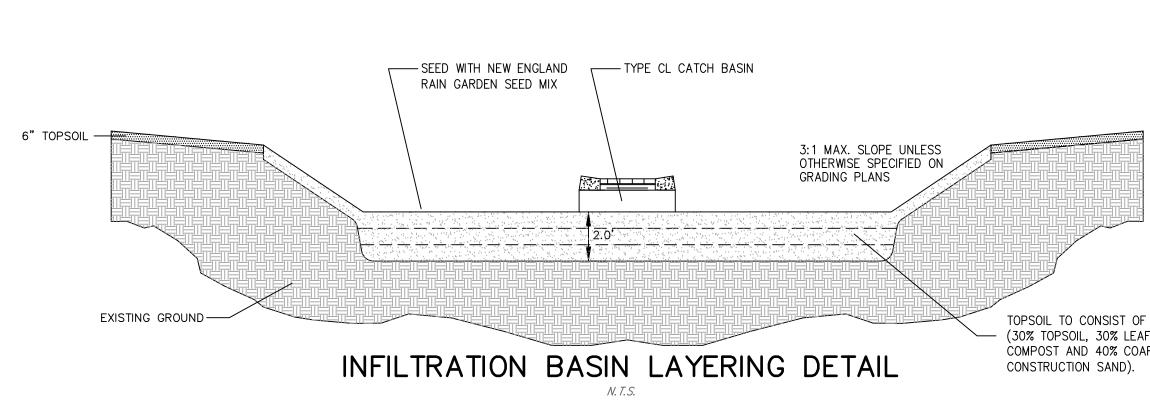
CULTEC No. 410? FILTER FABRIC

6" INTERNAL COUPLING

788888888888888

TYPICAL CULTEC INSPECTION PORT

N. T. S.



-EXCAVATE INFILTRATION BASIN AREAS TO PROPOSED INVERT DEPTHS AND SCARIFY EXISTING SOIL SURFACES, TAKING CARE NOT TO COMPACT THE IN-SITU MATERIALS -PLACE TOPSOIL IN 8"-12" LIFTS, DO NOT COMPACT -LIFTS MAY BE LIGHTLY WATERED TO ENCOURAGE NATURAL COMPACTION
-OVERFILL OF TOPSOIL IS REQUIRED TO ACCOMMODATE NATURAL SETTLEMENT TO PROPER GRADE

TOPSOIL TO CONSIST OF

CONSTRUCTION SAND).

(30% TOPSOIL, 30% LEAF

COMPOST AND 40% COARSE GRAINED

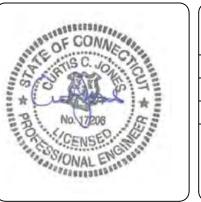
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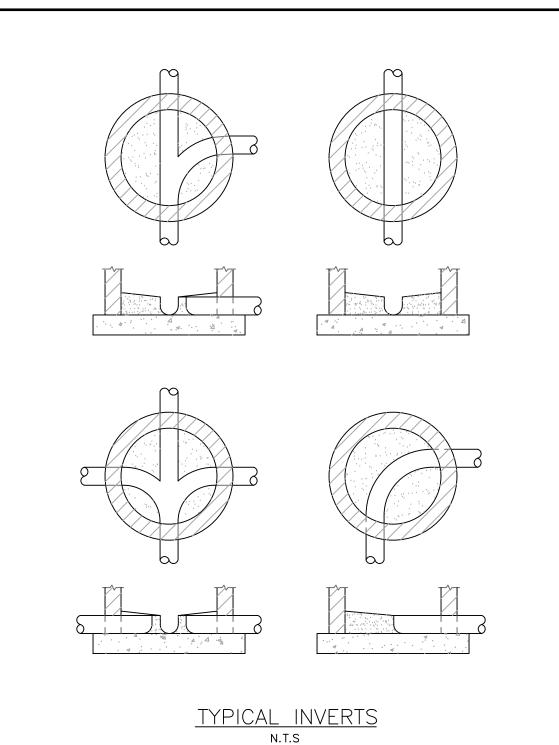
DETAILS

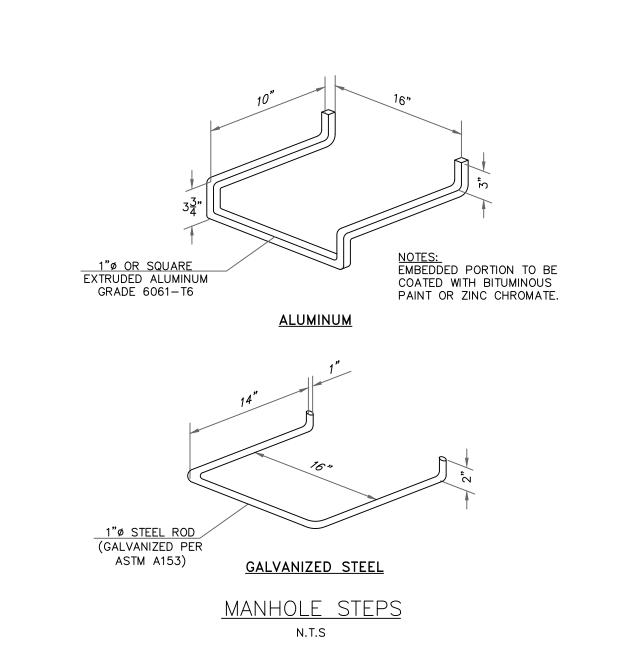


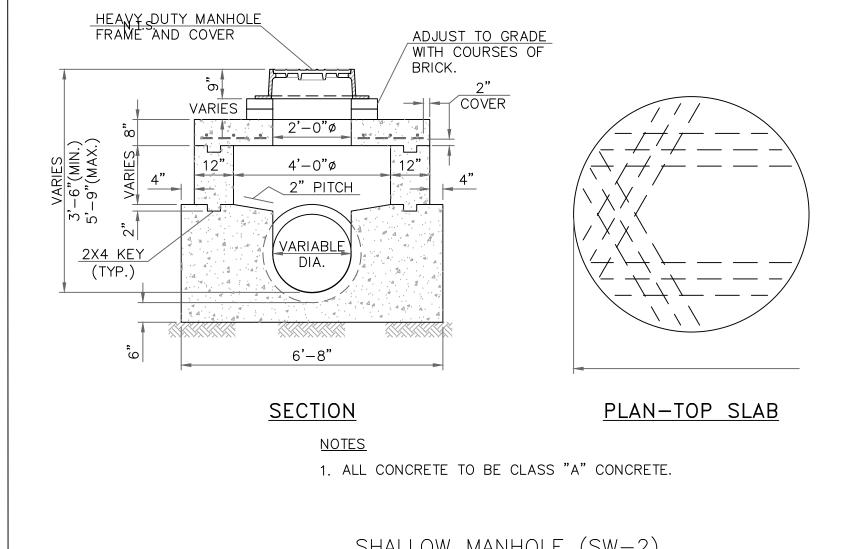


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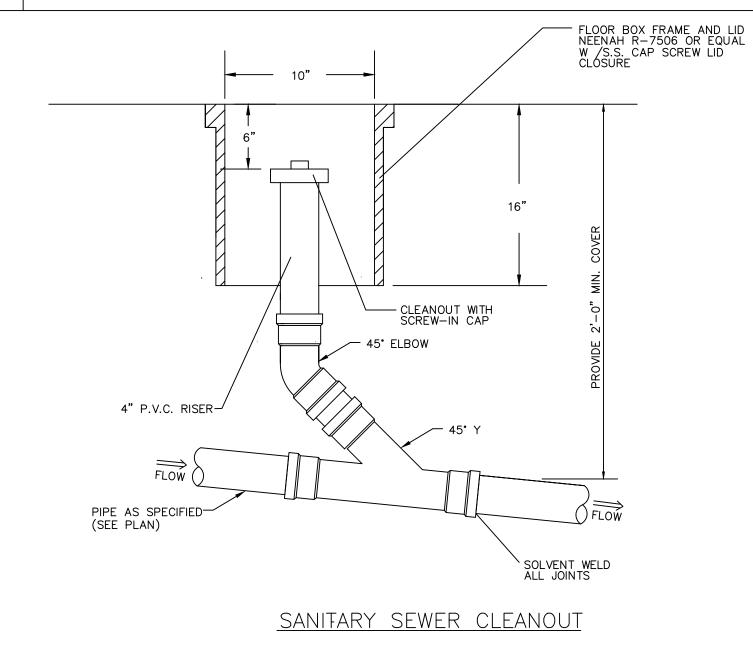
- 1. ALL PRECAST SECTIONS SHALL BE CONSTRUCTED OF REINFORCED CONCRETE, INCLUDING THE SUMP. REINFORCING SHALL CONFORM TO ASTM A615, GRADE 40 OR BETTER. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI.
- 2. COMPACTION AROUND ALL STRUCTURES TO BE HAND TAMPED IN ACCORDANCE WITH SECTION 2.05 OF CONNDOT STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, LATEST
- 3. UNREINFORCED PIPES SHALL BE CUT FLUSH WITH INSIDE FACE OF C.B. WALL. REINFORCED PIPES SHALL BE CUT TO PROVIDE 1" RECESS INTO FACE OF C.B. WALL. CUT END SHALL THEN BE PATCHED WITH MORTAR FLUSH WITH WALL.
- 4. ALL UNUSED KNOCK-OUTS SHALL BE BRICKED UP WHERE DIRECTED BY THE ENGINEER.
- 5. TYPE "C" CATCH BASIN HEAVY DUTY FRAME AND GRATE TO BE CAMPBELL FOUNDRY CO. NO. 2617 OR ENGINEER APPROVED EQUAL.
- 6. TYPE "C-L" CATCH BASIN HEAVY DUTY FRAME AND GRATE TO BE CAMPBELL FOUNDRY CO. NO. 3408 OR ENGINEER APPROVED EQUAL.
- 7. FOR OUTLET PIPES 18"I.D. OR SMALLER C.B. TRAPS TO BE CAMPBELL FOUNDRY NO. 2564 OR ENGINEER APPROVED EQUAL. FOR LARGER PIPES, LARGER TRAPS SHALL BE USED, SUBJECT TO THE APPROVAL OF THE ENGINEER. TRAPS SHALL BE HUNG FROM TWO 1/2" SQUARE STAINLESS STEEL HANGER HOOKS EMBEDDED IN WALL OF C.B.
- 8. AS DIRECTED, THE CONTRACTOR SHALL ADHERE THE APPROPRIATE "DON'T DUMP" PLAQUE FURNISHED BY THE CITY, TO TOPS OF CATCH BASIN FRAMES, AS SHOWN. IN ADDITION TO THE PEEL AND STICK BACKING, CONTRACTOR SHALL BOND PLAQUE TO SUBSTRATE USING EXTERIOR GRADE CONSTRUCTION ADHESIVE. COST OF THIS SHALL BE INCLUDED IN THE COST OF CATCH BASIN WORK.
- 9. CASTINGS DESIGNATED AS "HEAVY DUTY" SHALL SAFELY WITHSTAND AASHTO HS20 HIGHWAY LOADING.
- 10. ALL STEEL TO BE STRUCTURAL GRADE CONFORMING TO ASTM A36.
- 11. CAST IRON SHALL CONFORM TO ASTM A48 CLASS 30.
- 12. SEAT OF MANHOLE FRAMES, EDGES AND BOTTOM OF COVERS SHALL BE MACHINED TO A TRUE SURFACE SO COVERS WILL NOT BIND OR ROCK ON FRAMES.
- 13. FIRST STEP FROM TOP OF MANHOLE SHALL BE SHORTENED SO AS TO EXTEND NOT MORE THAN 4" FROM WALL OF MANHOLE. ALL OTHER STEPS SHALL EXTEND 6" FROM WALL.
- 14. APPROVED CONCRETE BLOCK MAY BE USED IN LIEU OF BRICK IN THE CONSTRUCTION OF CATCH BASINS AND STORM MANHOLES.
- 15. WHERE SHOWN, STEEL ITEMS SHALL BE HOT-DIP GALVANIZED IN ACCORDANCE WITH ASTM A123 FOR
- 16. REINFORCING STEEL SHALL CONFORM TO THE FOLLOWING: BAR REINFORCEMENT ASTM A615, GRADE 60
- 17. UNREINFORCED PIPES SHALL BE CUT FLUSH WITH INSIDE FACE OF C.B. WALL. REINFORCED PIPES

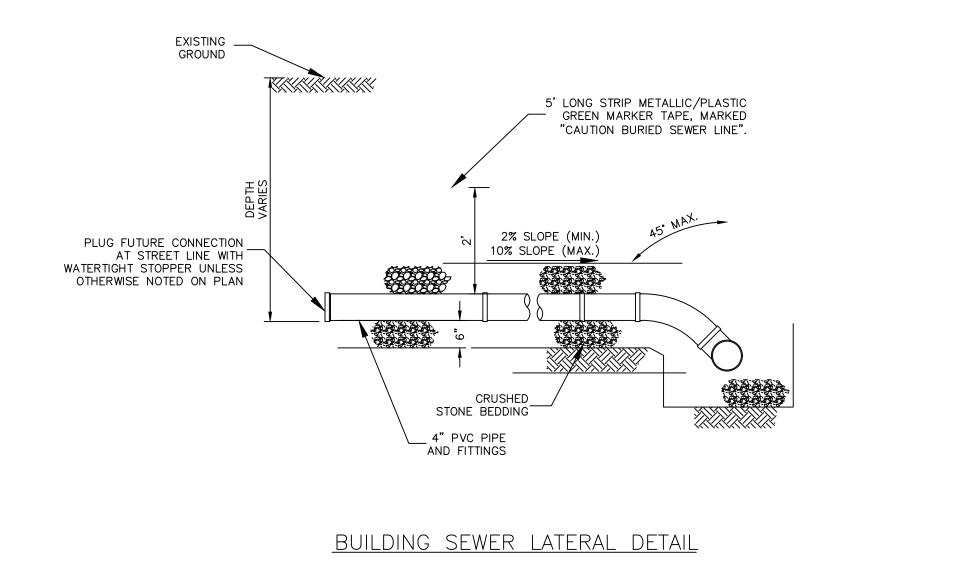


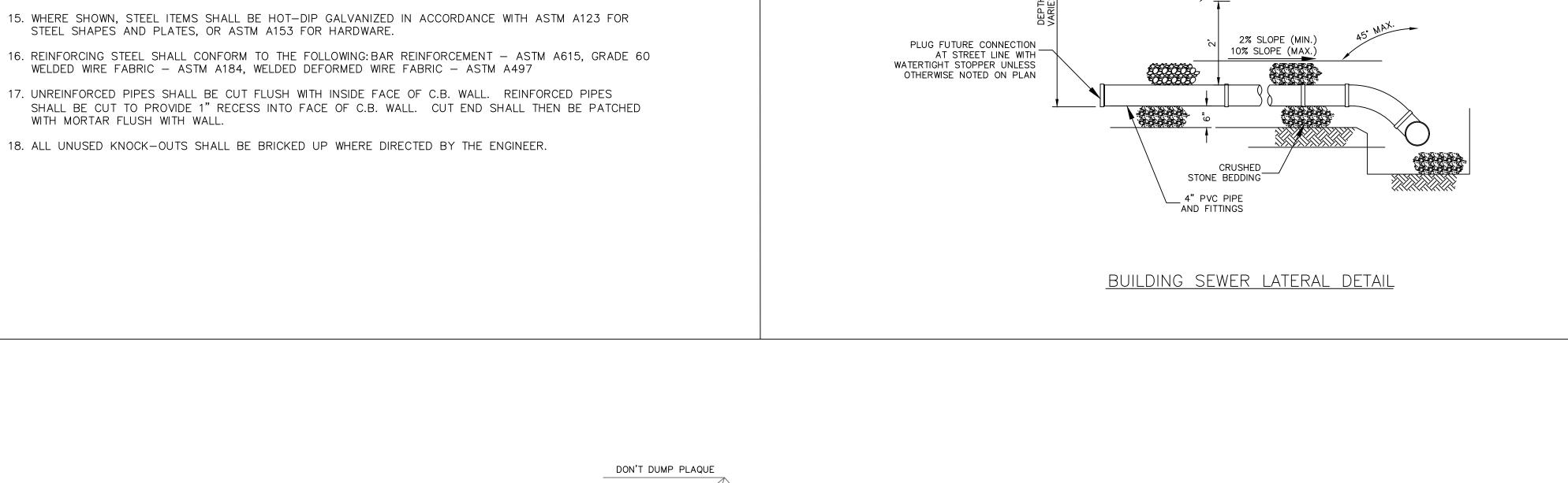


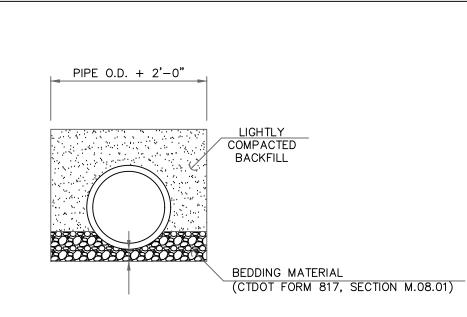


SHALLOW MANHOLE (SW-2) SCALE: 1/2" = 1'-0"

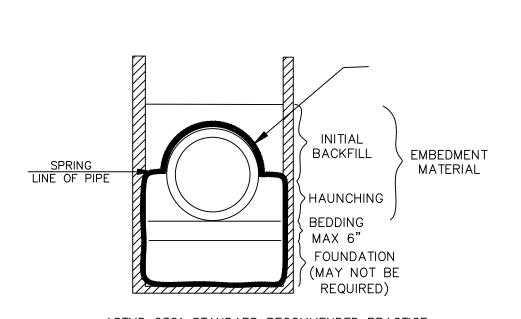








BEDDING DETAIL FOR REINFORCED CONCRETE PIPES N.T.S.

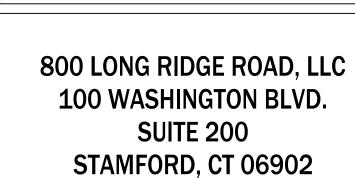


ASTMD 2321 STANDARD RECOMMENDED PRACTICE FOR UNDERGROUND INSTALLATION OF FLEXIBLE THERMOPLASTIC SEWER PIPE DEFINES ACCEPTABLE MATERIALS AS FOLLOWS: CLASS I - ANGULAR, 6 TO 40 mm (1/4" TO 1 1/2") GRADE STONE, INCLUDING A NUMBER OF FILL MATERIALS THAT HAVE REGIONAL SIGNIFICANCE SUCH AS CORAL SLAG, CINDERS CRUSHED STONE, AND CRUSHED SHELLS. CLASS II - COARSE SANDS AND GRAVELS WITH MAXIMUM PARTICLE SIZE OF 140 mm (1 1/2"), INCLUDING VARIOUSLY GRADED SANDS AND GRAVELS CONTAINING SMALL PERCENTAGES OF FINES, GENERALLY GRANULAR AND NON-COHESIVE, EITHER WET OF DRY. SOIL TYPES GW, SW, AND SP ARE INCLUDED IN THIS CLASS. CLASS III - FINE SAND AND CLAYEY GRAVELS, INCLUDING FINE SANDS, SAND-CLAY MIXTURES,

BEDDING DETAIL FOR P.V.C. PIPE (SANITARY SEWER)

AND GRAVEL-CLAY MIXTURES. SOIL TYPES GW,

GC, SM, AND SC ARE INCLUDED IN THIS CLASS



Previous Editions Obsolete

NO. REVISION

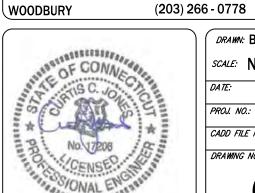
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DETAILS

800 LONG RIDGE ROAD

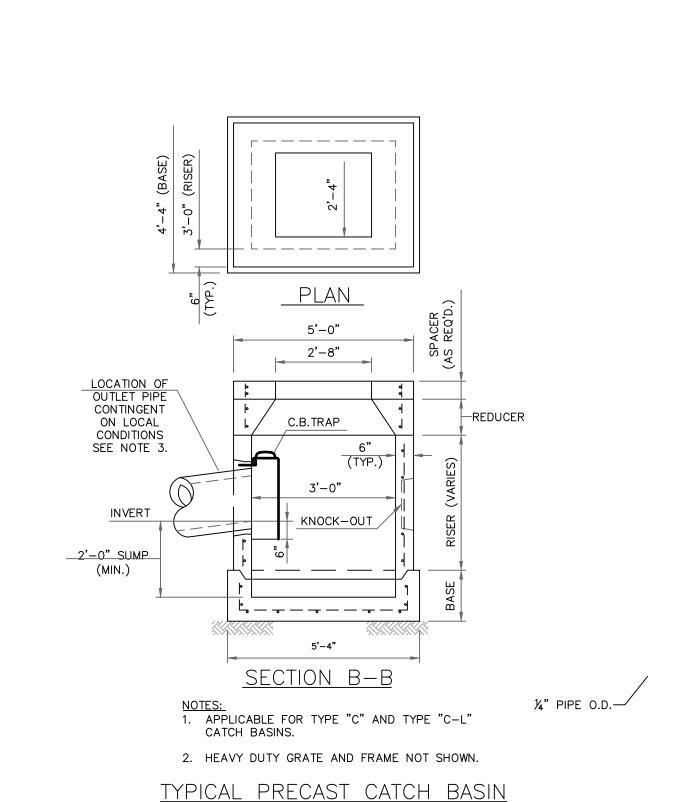
CORNERSTONE PROFESSIONAL PARK, SUITE D-101

43 SHERMAN HILL ROAD



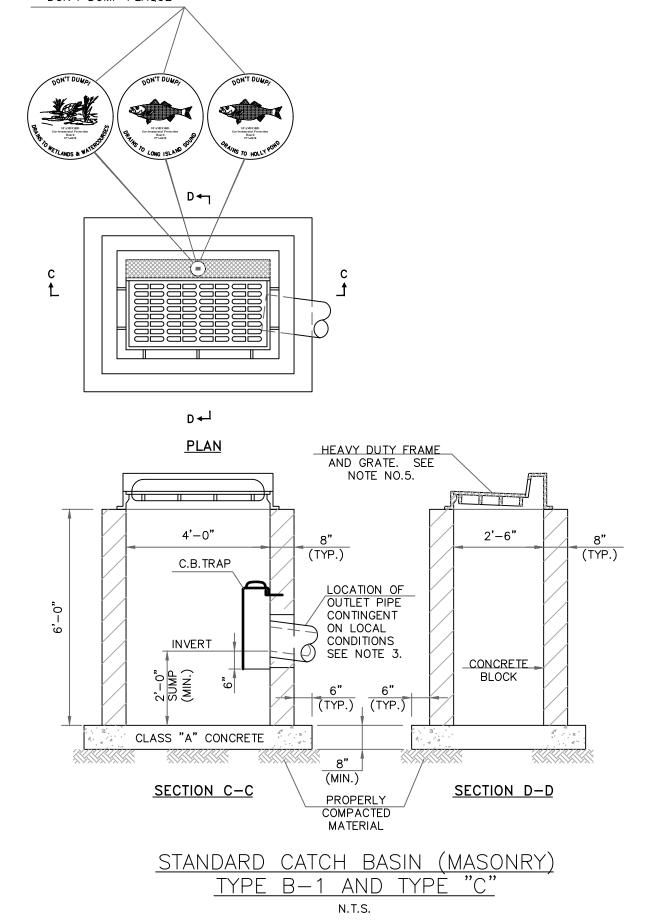
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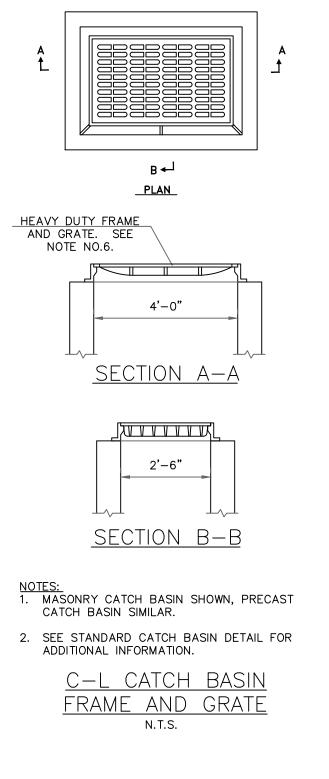
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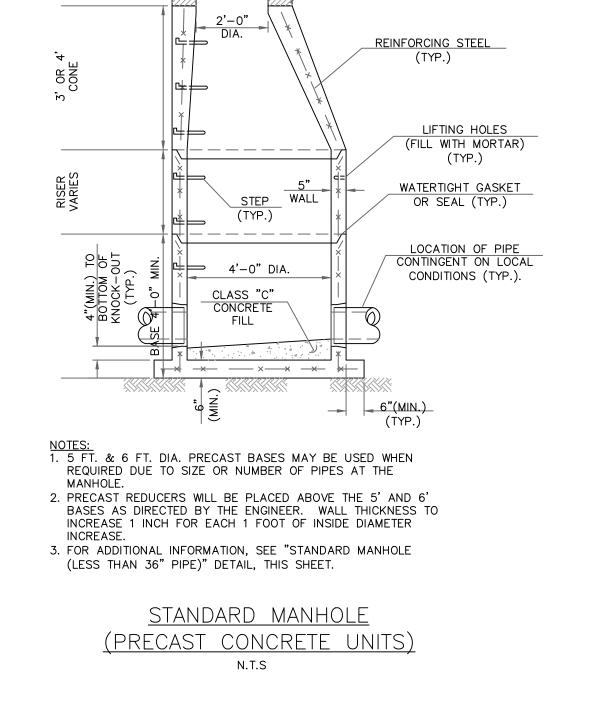


(STANDARD)

N.T.S.







ADJUST TO GRADE WITH MAX. OF FOUR

COURSES OF BRICK

MAINTENANCE PLAN FOR STORM DRAINAGE SYSTEM

CATCH BASINS, SWALES AND PIPE OUTFALLS:

1. Catch basins, swales & all pipe outfalls will be inspected on an annual basis. Any floatables, trash, debris or sediment build up shall be removed by a licensed contractor.

2. Swales will be grass—lined and will be mowed regularly as part of typical landscaping maintenance.

3. The swale outfalls to the infiltration beds will inspected on a semi—annual basis for any sediment & debris build up. Any accumulated sediment or debris will be removed.

INFILTRATION BASINS: First Year of Operation:

1. Watering of newly planted vegetation shall be as necessary to maintain healthy plants during the first growing season.

2. Inspections shall take place after significant rainfall events (one inch or greater) and at least every 6 months thereafter.

Semi-Annual: (Generally Spring and Fall).

1. Cut or mow grass lined slopes and swales. Areas with slopes steeper than 3H:1V shall be cut with a line trimmer.

2. Inspect for and remove invasive vegetation

3. Clean and remove any trash or debris paying particular attention to inlet and outlet areas.

4. Monitor filter bed for evidence of standing water or clogging from accumulated sediments. Sediment shall be removed when the accumulation exceeds one inch, or the capacity of the filter bed is significantly reduced (observed standing water above the design level or drawdown time exceeds 36-48 hours).

5. If standing water remains ponded for more than the above times then the filter media must be mitigated or repaired to correct this condition. This typically involves removal and replacement of the top several inches of discolored material (preferably by hand raking).

6. Remove sediment once it has built up to a depth of 2" or greater near the inlets in the forebay

7. Remove excess leaves and debris. Plant matter shall be left in place over winter months to insulate the soil and add organic matter to the soil. Removal criteria shall include when plant matter is smothering or killing vegetation and aesthetics.

8. Add supplemental plantings or seed as needed to maintain 80% area cover for turf areas and 50% area cover for tree/shrub areas.

CULTEC RECHARGER BEDS:

1. The Cultec Recharger beds will be inspected on a biannual basis. the inspection will take place through the provided inspection ports. if sediment has built up to a depth of 3" or greater in the bottom of the units then sediment build up shall be removed by a licensed contractor with a vac truck and which shall use the up gradient catch basins as the access points for maintenance.

HYDRODYNAMIC SEPARATORS (CONTECH CDS 2015-4 UNITS):

1. Maintenance

The hydrodynamic separator unit must be inspected at regular intervals and maintained in order to ensure optimum performance. inspections shall be done on a biannual basis as listed below.

The hydrodynamic separator must be cleaned when inspection reveals that the sediment depth has accumulated to within six inches of the dry—weather water surface elevation. This determination is made by taking 2 measurements with a stadia rod or similar measuring device; one measurement from the manhole opening to the top of the sediment pole and the other from the manhole opening to the water surface. The system must be cleaned out if the difference between the two measurements is six inches or less. note: to avoid underestimating the volume of sediment in the chamber, the measuring device must be lowered to the top of the sediment pile carefully. Finer, silty particles at the top of the pile typically offer less resistance to the end of the rod than larger particles toward the bottom of the pile.

Cleaning

Maintaining the hydrodynamic separator is easiest when there is no flow entering the system. For this reason, cleanouts must be performed during dry weather. Cleanout of the unit will be done with a vacuum truck as it is the most effective and convenient method of excavating pollutants from the system. Trash will be netted out to separate it from the other pollutants.

Accumulated sediment shall be evacuated through the manhole over the grit chamber. Simply remove the cover and insert the vacuum hose into the grit chamber.

Manhole covers must be securely sealed following cleaning activities, to ensure that surface runoff does not leak into the unit from above unless the unit has been specified with an inlet grate.

RESPONSIBILITY:

The onsite catch basins, hydrodynamic separators, infiltration basins AND the underground stormwater rechargers and all aspects of the storm drainage system must be maintained in good working condition. responsibility for any necessary repairs to storm drainage systems will be the responsibility of the property owner and/or manager.

INSPECTION REPORTS:

After each inspection an inspection report confirming that the maintenance listed above was completed must be submitted to the Stamford Engineering Department.

The the on—site catch basins, swales, infiltration beds, rain gardens pervious pavement and all aspects of the storm drainage system must be maintained in good working condition in accordance with the intent of these site plans.

CONSTRUCTION SEQUENCE

THE SEQUENCE OF CONSTRUCTION WILL BE AS FOLLOWS:

Field stakeout the limits of all construction activities.

Haybales and/or siltation fence and other erosion control features will be placed as shown on the enclosed plan

prior to the start of any construction Remove stumps and vegetation from the area of construction.

Demolish existing building and remove or abandon existing infrastructure that will not be used for the proposed

Install the anti-tracking pad as shown on the plan. At the end of each working day any accumulated silt shall be swept from the existing town roads.

Grade out proposed infiltration basins to be used as temporary sediment traps if necessary during construction.

Install filter fabric in bottom of basins for sediment removal after stabilization for conversion to infiltration

Strip and stockpile topsoil and subsoil material at the locations shown on the plans outside of the wetlands regulated area.

The drainage systems will now be installed. Haybales shall be placed around the catch basins to stop silt from entering the drainage system. The gravel around the catch basin rim shall be graded to ensure that no water enters the catch basin until pavement is installed. Use additional water bars to divert surface runoff away from catch basins, if necessary. The haybales around the catch basins shall be kept in place until the road is paved and the area has sufficient ground cover to control erosion.

Place gravel on driveway and parking area.

The building slab will be excavated and the slab constructed.

The area surrounding the building slab will be final graded and seeded.

The cuts and fills will be made and all slopes loamed, seeded and mulched.

Install any underground utilities.

Construct the building

Pave driveway and parking areas.

Provide temporary seeding measures on all exposed soils which were damaged due to construction activities and are not to be permanently restored or are outside of construction traffic zones for a period in access of 30

Seed all disturbed areas.

Clean all silt from drainage structures.

The starting time for the construction is unknown, however the time limit for the site construction and building

is approximately 360 days. The following general specifications will also be adhered to:

Land disturbance will be kept to a minimum. Restabilization will be scheduled as soon as practical. Haybale filters will be installed at all culvert outlets and along the toe of all critical cut and fill slopes. Catch basins will be protected with haybale filters throughout the construction period and until all disturbed

areas are thoroughly stabilized. All erosion and sediment control measures will be constructed in accordance with the standards and specifications of the Guidelines for Erosion and Sediment Control (2002) of the State of Connecticut.

Erosion and sediment control measures will be installed prior to construction whenever possible. All control measures will be maintained in effective condition throughout the construction period.

Additional control measures will be installed during construction if necessary or required.

GENERAL PRINCIPLES

The following general principles shall be maintained as effective means of minimizing erosion and sedimentation during the development process.

Stripping away of vegetation, regrading or other development shall be done in such a way as to minimize erosion.

Grading and development plans shall preserve important natural features, keep cut and fill operations to a minimum, and insure conformity with topography so as to create the least erosion potential and adequately handle the volume and velocity of surface water runoff.

Whenever feasible, natural vegetation shall be retained, protected and supplemented wherever indicated on the site development plan.

The undisturbed area and the duration of exposure shall be kept to a practical minimum. Disturbed soils shall be stabilized as quickly as possible.

Temporary vegetation and/or mulching shall be used to protect exposed critical areas during development when expected to be exposed in excess of 30 days.

The permanent (final) vegetation and mechanical erosion control measures shall be installed as soon as practical during construction.

Sediment in the runoff water shall be trapped until the disturbed areas is stabilized by the use of debris basins, sediment basins, silt traps or similar

Concentration of surface runoff shall be only permitted by piping and/or through drainage swales or natural watercourses.

Excavation and Fills --

measures.

Slopes created by cuts or fills shall not be steeper than 2:1 and shall be restabilized by temporary or permanent measures, as required during the development process and shown on the site plans.

Adequate provisions shall be made to prevent surface water from damaging the cut face of excavations or the sloping surfaces of fills.

Cut and fills shall not endanger adjoining property.

All fills shall be compacted to provide stability of material and to prevent undesirable settlement. The fill shall be spread in a series of layers each not exceeding twelve (12) inches in thickness and shall be compacted by a sheep roller or other approved method after each layer is spread.

Fills shall not encroach on natural watercourses, constructed channels or regulated flood plain areas, unless permitted by license or permit from authority having jurisdiction in accordance with approved site plans.

Fills placed adjacent to natural watercourses, constructed channels or flood plains shall have suitable protection against erosion during periods of flooding.

Grading shall not be done in such a way as to divert water onto the property of another landowner without their express written consent.

During grading operations, necessary measures for dust control shall be

Sedimentation and erosion control shall be implemented in accordance with the Guidelines for Soil Erosion and Sediment Control (2002) — State of Connecticut DEP Bulletin 34.

The following general specifications will also be adhered to:

Land disturbance will be kept to a minimum. Restabilization will be scheduled as soon as practical.

all critical cut and fill slopes. Catch basins will be protected with haybale filters throughout the construction

Haybale filters will be installed at all culvert outlets and along the toe of

period and until all disturbed areas are thoroughly stabilized. All erosion and sediment control measures will be constructed in accordance with the standards and specifications of the Guidelines for Soil Erosion and Sediment

Control (2002) — State of Connecticut DEP Bulletin 34. Erosion and sediment control measures will be installed prior to construction

All control measures will be maintained in effective condition throughout the construction period.

Additional control measures will be installed during construction if necessary

All erosion control measures shall be inspected weekly and within 24 hours of a rainfall event of 0.5 inches or greater.

RESPONSIBILITY FOR THE PLAN

whenever possible.

Whenever sedimentation is caused by stripping vegetation and/or grading, it shall be the responsibility of the person, corporation or other entity having responsibility to remove sedimentation from all lower properties, drainage systems and watercourses and to repair any damage at their expense as quickly as possible.

All control measures will be maintained in effective condition throughout the construction period. Surface inlets shall be kept open and free of sediment and debris. The system shall be checked after every major storm and

sediment shall be disposed of at an approved location consistent with the plan.

It shall be the responsibility of any person, corporation or other entity engaging in any act on or near any stream, watercourse or swale or upon the flood plain or right—of—way thereof to maintain as nearly as possible in its present state that same stream, watercourse, swale, flood plain or right—of—way for the duration of the activity and to return it to its original or equal condition after such activity is completed.

No person, corporation or other entity shall block, impede the flow of, alter, construct any structure or deposit any material or thing or commit any act which affects normal or flood flow in any communal stream or watercourse without having obtained prior approval from the Town.

SEEDING AND PLANTING REQUIREMENTS

Seedbed Preparation

Fine grade and rake surface to remove stones larger than 2" in diameter. Install needed erosion control devices such as surface water diversions. Grade stabilization structures, sediment basins or drainage channels to maintain grassed areas. Apply limestone at a rate of 2 tons/Ac. or 90 lbs/1000 SF unless otherwise required according to soil test results. Apply fertilizers with 10-10-10 at a rate of 300 lbs./Ac. or 7.5 lbs/1000 SF. At least 50% of the nitrogen shall be from organic sources. Work lime and fertilizer into soil uniformity to a depth of 4" with a whisk, springtooth harrow or other suitable equipment following the contour lines.

Seed Application

Apply grass mixtures at rates specified by hand, cyclone seeder or hydroseeder. Increase seed mixture by 10% if hydroseeder is used. Lightly drag or roll the seeded surface to cover seed. Seeding for selected fine grasses should be done between April 1 and June 1 or between August 15 and October 15. If seeding cannot be done during these times, repeat mulching procedure below until seeding can take place or seed with a quick germinating seed mixture to stabilize slopes. A quick germinating seed mixture (Domestic Rye) can be applied between June 15 through August 15 as approved by the Architect or Engineer.

Immediately following seeding, mulch the seeded surface with straw, hay or wood fiber at a rate of 1.5 to 2 tons/Ac. except as otherwise specified elsewhere. Mulches should be free of weeds and coarse matter. Spread mulch by hand or mulch blower. Punch mulch into soil surface with track machine or disk harrow set straight up. Mulch material should be "tucked" approximately 2-3" into the soil surface. Chemical mulch binders or netting, in combination with the straw, hay or wood fibers, will be used where difficult slopes do not allow harrowing by machines.

Grass Seed Mixtures Temporary Covers

Annual ryegrass

Perennial ryegrass 20 lbs/Ac.

20 lbs/Ac.

Permanent Covers Creeping Red Fescue 40 lbs/Ac. Canada Bluegrass 20 lbs/Ac. EROSION CONTROL NARRATIVE

TEMPORARY CONTROL DEVICES

Soil Erosion and sediment control during construction will be accomplished using the temporary devices and procedures described below:

1. Silt Fences — Silt fences consist of a woven filter fabric stabilized and installed with vertical posts. The fence will be no less than three feet high (refer to detail). Fences will be secured in place by 1-1/2" x 1-1/2" wooden or metal stakes, set at upgradient face of the run and compacted. Join section by overlapping ends to prevent any silt bypassing adjoining sections. Sufficient extension of each end section should be installed upgrade to ensure run-off will be contained and will not flow around the ends. The primary purpose of silt fence is to intercept and detain sediment contained within overland runoff from disturbed areas. In addition, silt fence will physically delineate the down gradient limits of construction. Offset areas shall be provided periodically along long runs of silt fence for wildlife passage.

Installation and Maintenance

a. Silt fences will be installed where the disturbed land is located 200 feet or less from critical areas (streams and wetlands).

b. Silt fences will be installed on down slope of work areas five to ten feet from the base of slope.

c. At the base of drainage ways or where the disturbance will remove natural vegetation within 100 feet of critical areas, the silt fencing will be augmented by a single row of staked hav bales.

d. Filter fabric will be Trevira 1127 or equal.

e. Sediment will be removed from behind siltation fences when sediment has accumulated to 25% of original height of the fence.

2. Hay Bale Barrier — Hay bale barriers will be utilized to intercept sediment and reduce runoff velocities around stockpiled earth materials and diver runoff away from disturbed areas of limited extent. This device will be used both upgradient/downgradient of grading operations.

Installation and Maintenance:

been stabilized.

a. The contributory drainage area will be less than one acre.

b. The bales will be tightly bound, steel pin or hardwood stake anchored, and imbedded four inches below grade, with ends tightly abutting each other.

c. The hay bale berms shall be inspected periodically and deteriorated bales replaced until such time as construction is completed and exposed slopes have

3. Hydroseeding — Hydroseeding will be the primary means of stabilizing areas of disturbed earth. Hydroseeding will not be permitted, however, within cut areas or steep slopes. The seed mix, fertilizer, water, and mulch will be applied as a mixture utilizing power equipment. Fertilizer will not be included in the mix for disturbance within the regulated area adjacent to wetlands. The mix will be applied in two equal applications. Dyes will be used to determine the extent of coverage upon application. After grass has appeared, those areas which fail to show a uniform stand of grass will be reseeded. This process will be repeated until all areas are covered with satisfactory growth. Hydroseeding will be completed with 48 hours following completion of rough grading.

4. Erosion Control Blankets — Blankets will be utilized for slopes > 4:1 to stabilize areas of disturbed earth. The type of blanket shall be as manufactured by North American Green or approved equal in accordance with the following

a. For slopes from 4:1 to 3:1 and low flow swales use S75 Straw Blankets.

b. For slopes from 3:1 to 2:1 and low flow swales use S150 Straw Blankets. c. For slopes steeper than 2:1 stone slope protection or retaining walls shall be

designed by a professional engineer.

Install all blankets in accordance with all manufacturers recommendations.

5. Dust Control = Water will be applied by sprinkler or water truck as necessary during grading operations to minimize sediment transport and maintain acceptable air quality conditions. Repetitive treatments will be done as needed

6. Stabilized Construction Entrance — A ramp of crushed stone extending a minimum distance of 50 feet will be installed at each point of ingress and egress to the site. The purpose of the device is to minimize the potential of

tracking mud from the site onto public rights—of—way. Installation and Maintenance:

15%

until grades are paved.

a. Minimum length will be 50 feet

b. Stone size will be 1.5 to 2.5 inches

d. Thickness of stone will be six inches or greater

c. Stone will be placed upon the full width of the entrance roads

e. Additions of stone will be done periodically to maintain the entrance f. All sediment spilled, dropped, washed or tracked onto public rights—of—way will be removed immediately.

7. Water Bars — A channel with a supporting berm on the down slope side constructed across a construction access road, driveway, log road, or other access way. The Purpose is to minimize the concentration of sheet flow across down slopping roadways and accessways or similar sloping and unstable areas.

Maximum spacing of water bars shall be as follows: Access way slope Spacing (ft.) 245 5% 125 10%

8. Sediment Traps — At appropriate intervals, runoff collected in diversion berms or swales will be directed, via a small dike or ditch, to a sediment trap. The trap consists of a small excavation and/or embankment. The purpose of the trap is to collect runoff, promote settling of sediment and deconcentrate and distribute clean runoff overland through vegetation before entering watercourses

a. Contributory drainage areas less than or equal to five acres.

b. Utilize as part of swales prior to discharge to natural slopes. c. Traps will be placed such that runoff discharging from the trap will flow at least 30 feet overland through natural vegetation before entering stream channels or wetlands.

d. Traps will be designated for a minimum of 134 cubic yards of storage/acre of drainage area received by the trap.

e. Maximum depth of trap will be five feet.

f. Trap embankments shall not exceed five feet in height. Top width shall be four feet and sides shall have a 2:1 or flatter slope.

g. Trap sides shall be compacted during construction.

h. The trap outlet shall have crushed stone rip—rap hand placed over the trap.

i. Traps will be cleaned when sediment has accumulated to 50 percent of design volume and removed sediment deposited so it will not erode.

9. Temporary/Permanent Swales — Both grassed swales and rock—lined swales will be utilized (depending on grade) o convey runoff during construction. Swales generally will be located adjacent to roads, car paths and at the base of slopes. At frequent intervals, runoff in the roadway swales will pass through stone check dams and sediment traps to reduce velocities and remove sediment. As often as possible, runoff in the swales will be directed overland and allowed to filter through natural vegetation.

a. All swales shall be evaluated on an individual basis. Swales should be designed so that the velocity of flow from a 10—year frequency storm shall not exceed the permissible velocity for the type of lining used.

10. Diversion Berm (Soil) — This is a temporary raised berm of compacted soil, placed across a disturbed slope, that intercepts runoff from disturbed areas and directs it to an appropriate outlet. This device will be used mostly on steep slopes above deep excavations. Soil diversion berms should only be used where the intended use is 5 days or less.

a. Diversion berms may be placed on cut and fill slopes exceeding ten feet in

b. Use of temporary fill berms shall be restricted to areas with a contributing drainage area not greater than one acre. For areas with a contributing drainage area exceeding 1 acre and less than 5 acres, design the temporary diversion to the permanent diversion measure standards using the 2-year storm as the design storm. For areas with a contributing drainage area of 25 acres or less employ the use of a permanent diversion designed in accordance with the CT DOT drainage manual.

c. Runoff will be diverted overland by the berms to sediment traps, sedimentation basins, swales, check dams, or bio-infiltration basins.

d. On slopes over two percent, additional stabilization is required in the form of stone rip—rap eight inches vertically along the upslope side of the berm and seven feet upslope from the upslope toe of the berm.

e. Top width of berm will be two feet. The upslope side of the berm slope should be no steeper than 3:1, while the down slope side of the berm shall be no steeper than 1:1.

f. All berms shall be machine compacted.

11. Rock Check Dams = Temporary rock check dams are small dikes (approximately three feet high) constructed at frequent intervals in drainage ways where silt fences and hay bale check dams are impractical due to high flow velocities. The primary function of these devices is to promote deposition of sediment and provide some filtering of runoff water, Check dams will be constructed with a 1.5 to 2.0 inch crushed stone core.

a. Check dams will be placed in drainage ways:

accumulated to 50 percent of original height

b. Downstream of stream crossing where high flow velocities make other sediment filtering devices impractical.

c. Sediment shall be removed from rock check dams when sediment has

d. Peat or other wetlands material will be excavated and stockpiled prior to rock check dam installation and replaced once construction is complete. 12. Temporary Mulching — Temporary mulching of slopes and bare earth shall be

provided where areas are left undisturbed from continuing earthwork operations.

Hay or straw are to be spread over areas, in particular disturbed areas in close

proximity of wetlands and watercourses. Apply a minimum of 2 to 3 inches to a

scarified surface. 13. Dewatering — Dewatering measures will be utilized as necessary to treat

water that is generated during dewatering operations. a. Dewatering of earth materials shall be utilized where excessively wet soil is encountered. Topsoil shall be stripped from the containment area and any surface water shall be diverted away from this area as necessary. Construction of berm around perimeter of containment area shall utilize suitable stable soils. Saturated soil within containment area shall be placed such that drainage can

b. Locate pumps, intake sumps, and other intake structures in areas which will not require constant moving, when possible. Provide protection at outlets from pumping operations to dissipate pumping surges and prevent erosion at the point of discharge.

occur.

contractor:

construction.

the City.

CONTROL PLAN IMPLEMENTATION In addition to the devices and schedules outlined in this soil erosion and sediment control plan, the following procedures will be followed by the earthwork

1. The contractor shall inspect the effectiveness and condition of erosion control devices during storm events, after each rainfall of one—half inch magnitude or greater, prior to weekends, and prior to forecasted storm events.

2. The contractor shall repair or replace damaged erosion control devices

immediately, and in no case, more than four hours after observing such

deficiencies. 3. The contractor shall be prepared to implement interim drainage controls and erosion control measures as may be necessary during the course of

four hours of any impending emergency situation. 5. The contractor shall make a final inspection, clean all cross culverts and sweep off roadways before the road is either accepted by owner or dedicated to

4. The contractor shall make available on—site all equipment, materials and labor

necessary to effect emergency erosion control and drainage improvement within

Previous Editions Obsolete

NO. REVISION

DATE

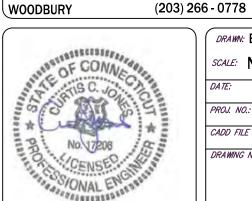
800 LONG RIDGE ROAD, LLC 100 WASHINGTON BLVD. **SUITE 200** STAMFORD, CT 06902

PROJECT NOTES & EROSION CONTROL **NARRATIVE**

800 LONG RIDGE ROAD

CORNERSTONE PROFESSIONAL PARK, SUITE D-101

43 SHERMAN HILL ROAD



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