

Capital Project Appropriation Request

4/23/2024

FY 23/24			Oracle Date	2024-04-22
			Commitments	\$0.00
Project:	CP4000011	Julia Stark - LTFP DM/AR	Obligations	\$63,090.00
Agency:	0900	Board of Education: Capital	YTD Balance	\$12,722,145.00
Total Request: \$4,158,249.00			Amount Available	\$17,145.00
			Unfunded	\$12,705,000.00

Part A - Description of Request

The City is seeking a grant for Asset Renewal and Improvements to Julia A. Stark Elementary School, the project cost of \$14,347,081 of which the City is seeking reimbursement of 60%. This requires an adjustment to the grant authorized portion of CP4000011.


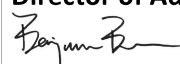


Part B - Appropriation Request Detail

Fund Source	FY 23/24	Capital Forecast						Total
	Amount	FY 24/25	FY 25/26	FY 26/27	FY 27/28	FY 28/29	FY 29/30	
State Grant	4,158,249.00	0	0	0	0	0	0	4,158,249.00
Total	\$4,158,249.00	\$0	\$0	\$0	\$0	\$0	\$0	\$4,158,249.00

Part C - Project History

Fiscal Year	Authorizations	Encumbered	Expenditure	Balance
2024	12,800,000.00	63,090.00	14,765.00	12,722,145.00
Total	\$12,800,000.00	\$63,090.00	\$14,765.00	\$12,722,145.00

Part D - Approvals

Preparer <i>OPM Dept</i>	Date 04/23/24	OPM Director/OPM Asst Director  <small>Eida Sinani (Apr 25, 2024 17:08 EDT)</small>	Date Apr 25, 2024
Department Head <i>Katherine LoBalbo</i>	Date Apr 25, 2024	Director of Administration 	Date Apr 29, 2024
Director  <small>Matt Quiñones (Apr 25, 2024 16:52 EDT)</small>	Date Apr 25, 2024	Mayor 	Date Apr 30, 2024

JULIA STARK ELEMENTARY SCHOOL

398 GLENBROOK ROAD, STAMFORD, CT
STAMFORD PUBLIC SCHOOLS

ALTERATIONS PROJECT

ABATEMENT, ACCESSIBILITY, ROOF, WINDOW & EXTERIOR DOOR REPLACEMENT
CT STATE PROJECT #: TBD

DRAWING SCHEDULE

C-000	COVER SHEET INDEX & NOTES
D-101	GROUND FLOOR - DEMOLITION
D-102	SECOND FLOOR - DEMOLITION
A-101	GROUND FLOOR PLAN - EXTERIOR DOORS
A-102	GROUND FLOOR PLAN - CONSTRUCTION
A-103	SECOND FLOOR PLAN - CONSTRUCTION
A-104	ROOF PLAN
A-201	BUILDING ELEVATIONS
A-202	BUILDING ELEVATIONS
A-203	BUILDING ELEVATIONS
A-204	BUILDING ELEVATIONS
A-205	BUILDING ELEVATIONS
A-206	BUILDING ELEVATIONS

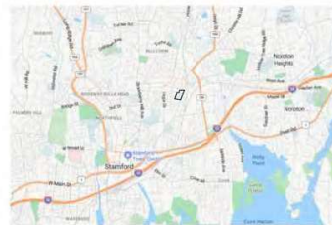


GENERAL NOTES - COVER

- REFER TO THE FOLLOWING REPORTS FOR ADDITIONAL INFORMATION ON EXISTING CONDITIONS:
 - CITY RFP - ARCHITECTURAL, ENGINEERING, PLANNING, ESTIMATING, AND EDUCATIONAL SPECIFICATION SERVICES FOR JULIA STARK ELEMENTARY SCHOOL, CREATED BY CITY OF STAMFORD.
 - ARCHITECT INSPECTION REPORTS AND ASBESTOS MANAGEMENT PLAN (CREATED BY PERKINS EASTMAN) APRIL 2022
 - LEAD-BASED PAINT INSPECTION REPORT (CREATED BY PERKINS EASTMAN) APRIL 2022
 - SOIL & SLOPE STABILITY FOR IMPROVED BUILDING FOOTINGS REPORT BY FOSTER & HANLEY, DATED BY FOSTER & HANLEY APRIL 2022
 - STARK ELEMENTARY SCHOOL FACILITY ASSESSMENT & ANALYSIS REPORT (CREATED BY GLA AND STAMFORD) NOVEMBER 2021
 - EXTERIOR ENVELOPE INVESTIGATION (CREATED BY SILVER PETERCELLI ASSOCIATES) SEPTEMBER 2018



STATE MAP



VICINITY MAP



LOCAL MAP

draft

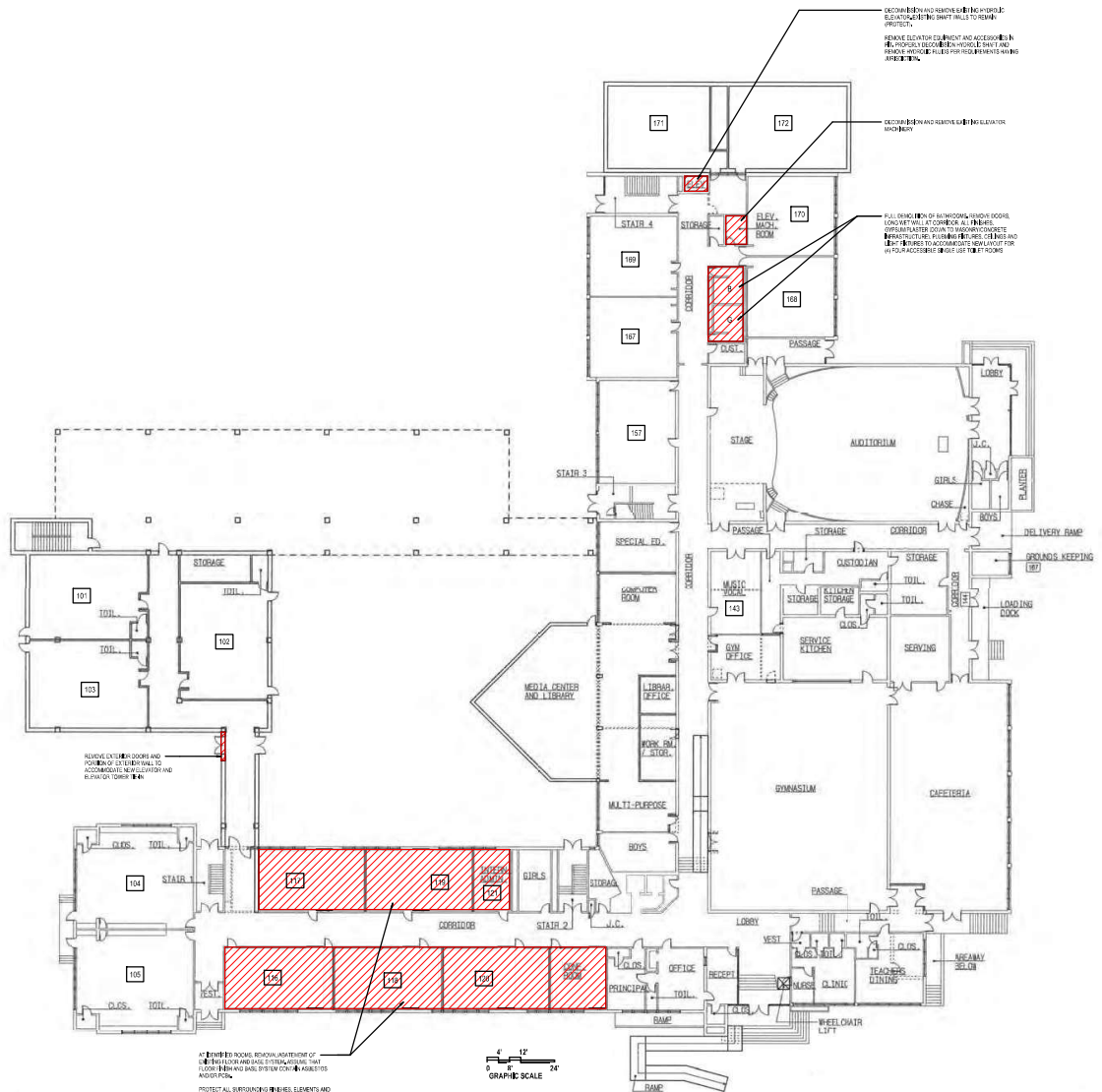
CURRENT LOCAL PROJECT NO. 146 - Julia Stark Elementary School, 398 Glenbrook Rd., Stamford, CT 06906
4/9/2024 11:03:37 AM

GENERAL NOTES - DEMO

- REFER TO CONSTRUCTION DRAWINGS FOR RE-ELEMENT DOOR, WINDOW, ROOF AND OTHER EXTERIOR WORK. CONSTRUCTION OF THIS PROJECT IS PART OF THE SCOPE, BUT NOT SHOWN ON THE DEMOLITION DRAWINGS.
- SEE ROOF PLAN FOR ROOF REPLACEMENT SCOPE AND RELATED SAFETY PROTECT.

Rev. Description Date

draft



AT THE END OF EACH ROOM, REMOVAL LIMITS OF THE PROJECT ARE SHOWN. THESE LIMITS ARE BASED ON THE SYSTEMS AND ARE SUBJECT TO MODIFICATION.

PROTECT ALL UNDERGROUND SERVICES ELEMENTS AND SYSTEMS TO REMAIN.

0' 12' 24'

GRAPHIC SCALE

1 GROUND FLOOR PLAN - DEMOLITION
1/8" = 1'-0"

PERKINS EASTMAN
STAMFORD, CT

Client: **STAMFORD PUBLIC SCHOOLS**
899 WASHINGTON BOULEVARD, 5TH FLOOR
STAMFORD, CT 06901
Construction Manager:

PROJECT NAME:

JULIA STARK ELEMENTARY SCHOOL

398 GLENBROOK RD, STAMFORD, CT 06906

PROJECT No: 012050

DRAWING TITLE:

GROUND FLOOR - DEMOLITION

SCALE: 1/8" = 1'-0"

D-101

GRANT APPLICATION

04/30/2024

GENERAL NOTES- DEMO
1. REFER TO CONSTRUCTION DRAWINGS FOR RE-ACCENT DOOR, WINDOW, ROOF AND OTHER SYSTEMS WORK. CONSTRUCTION OF THIS RELATED SHALL BE PART OF THE SCOPE, BUT NOT SHOWN ON THE DEMO DRAWING.
2. SEE ROOF PLAN FOR ROOF REPLACEMENT SCOPE AND RELATED WATERPROOFING.

No.	Description	Date

draft



1 SECOND FLOOR PLAN - DEMOLITION
1/16" = 1'-0"

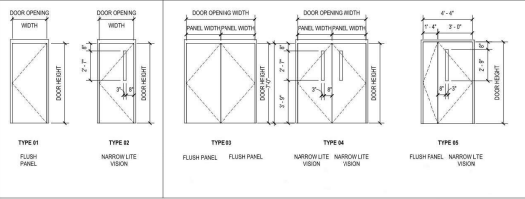
PERKINS EASTMAN
317 WASHINGTON ST.
STAMFORD, CT 06901
TEL: 203-271-1900
FAX: 203-261-1911

Client: **STAMFORD PUBLIC SCHOOLS**
899 BRIDGEPORT BOULEVARD, 5TH FLOOR
STAMFORD, CT 06901
Construction Manager:

PROJECT # 10-16
**JULIA STARK
ELEMENTARY
SCHOOL**
398 GLENBROOK RD, STAMFORD, CT
06506
PROJECT No: 012050
DRAWING TITLE:
**SECOND FLOOR -
DEMOLITION**

SCALE: As Indicated
D-102
GRANT APPLICATION
04/29/2024

REPLACEMENT DOOR PANEL & FRAME TYPES



SEE KEYNOTE 1
TYPE 04

KEYNOTES - EXTERIOR DOORS & FRAMES

1. NEW THERMALLY SEPARATED STOREFRONT SYSTEM SHALL FOLLOW EXISTING MULTIGLazing PATTERN, EXCEPT BASE (BOTTOM LIGHT) SHALL BE A FINISHED SOLID BRICK WALL.
2. ALUMINUM NEW ALUMINUM SYSTEM TO MATCH EXISTING BOTTOM PANEL SHALL BE FILLED WITH AN UNGLAZED FRAME.

SCOPE NOTES - EXTERIOR DOORS & FRAMES

1. AS INDICATED, REMOVE EXISTING DOOR, FRAME, TRANSOM & SIDELIGHTS PERHANG OPENINGS FOR NEW ALUMINUM (NEW DOOR, FRAME, TRANSOM & SIDELIGHTS).
2. REPLACE EXISTING DOOR PANELS & SILL MATCH EXISTING TYPE INDICATED.
3. ALL REPLACEMENT EXTERIOR DOORS SHALL RECEIVE DOOR PASTEN BUSHINGS & ALL LOCKS SHALL RECEIVE NEW HARDWARE WITH SPECIFICATIONS SHALL BE PROVIDED BY ARCHITECT.
4. ALL UNITS SHALL BE PROVIDED AND REPAIRS SHALL BE PROVIDED BY ARCHITECT. STRUCTURAL ENGINEER AND OWNER WHERE UNITS ARE IN A CONDITION THAT REQUIRES FOR REPAIR.
5. SEE FUGA & SNELL ENVIRONMENTAL REPORT FOR RELATED STATEMENT WORK.

SEE KEYNOTE 1
TYPE 04



SEE KEYNOTE 1
REPLACE ENTIRE STOREFRONT SYSTEM



SEE KEYNOTE 1
REPLACE ENTIRE STOREFRONT SYSTEM



DOORS NOT BEING REPLACED IN THIS SCOPE. ADD INTRUDER RESISTANT FILM



DOORS NOT BEING REPLACED IN THIS SCOPE. ADD INTRUDER RESISTANT FILM



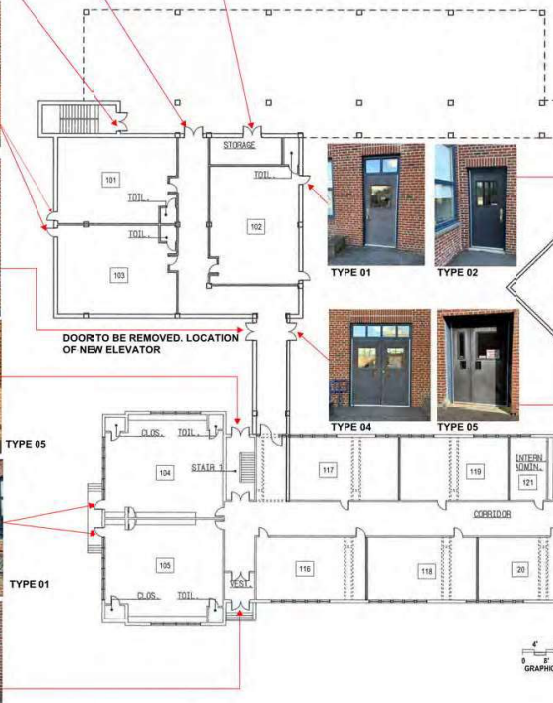
TYPE 04 — TYPE 03



TYPE 01 - RIGHT DOOR ONLY

LEFT DOOR IS BEING DEMOLISHED AND BRICK INFILL. (LEFT DOOR WORK NOT IN THIS PROJECT SCOPE)

AREAWAY DOORS



1 GROUND FLOOR PLAN
1/11" = 1'-0"



draft



PERKINS EASTMAN
600 West 11th Street
Chicago, IL 60604
T +1 312 271 4000
F +1 312 271 4400

Client: STAMFORD PUBLIC SCHOOLS
888 WASHINGTON BOULEVARD, 5TH FLOOR
STAMFORD, CT 06901
Construction Manager:

PROJECT TITLE:
JULIA STARK ELEMENTARY SCHOOL

398 GLENROCK RD, STAMFORD, CT 06906

PROJECT No: 012050
Drawing Title:
GROUND FLOOR PLAN - EXTERIOR DOORS

SCALE: As indicated

A-100

GRANT APPLICATION

04/30/2024

CURRENT LOCAL PROJECTS: Julia Stark Elementary School, PEG, St. Ann's Church, CT, 06904

FIRST FLOOR PLUMBING FIXTURES

	WATER CLOSETS & URINALS				LAVATORIES			
	STAIR	WOM	URINA	NEUTRAL	STAIR	WOM	URINA	NEUTRAL
GANG 1	2	2			2	2		
GANG 2	3	2	3		3	3		
INDERGARTEN					5			5
STAFF	1	1			1	1		
TOTAL	6	5	3	5	6	6	5	5

draft

GENERAL NOTES - CONSTRUCTION

ALL PLUMBING SHALL BE DONE BY A LICENSED PLUMBER. CONCRETE AREAS SHALL BE REPAIRED TO ORIGINAL FINISH. ALL PLUMBING SHALL BE DONE BEFORE THE CEILING IS INSTALLED. ALL PLUMBING SHALL BE DONE BEFORE THE ROOFING IS COMPLETED. ALL PLUMBING SHALL BE DONE BEFORE THE FINISH FLOORING IS COMPLETED.

BATHROOM NOTES

- CONCRETE FLOOR SHALL BE REPAIRED TO ORIGINAL FINISH.
- ALL PLUMBING SHALL BE DONE BEFORE THE CEILING IS INSTALLED.
- ALL PLUMBING SHALL BE DONE BEFORE THE ROOFING IS COMPLETED.
- ALL PLUMBING SHALL BE DONE BEFORE THE FINISH FLOORING IS COMPLETED.
- REPAIR AND REFINISH ALL DRAINAGE TO ACCOMMODATE NEW PLUMBING.

PERKINS EASTMAN
 55 WATER ST., SUITE 200
 STAMFORD, CT 06901
 TEL: 203.261.1900
 FAX: 203.261.1911

Client: STAMFORD PUBLIC SCHOOLS
 899 SOUTH STAMFORD BOULEVARD, 5TH FLOOR
 STAMFORD, CT 06901
 Construction Manager:

PROJECT FILE #:
**JULIA STARK
 ELEMENTARY
 SCHOOL**

398 GLENBROOK RD., STAMFORD, CT 06906

PROJECT No: 012050

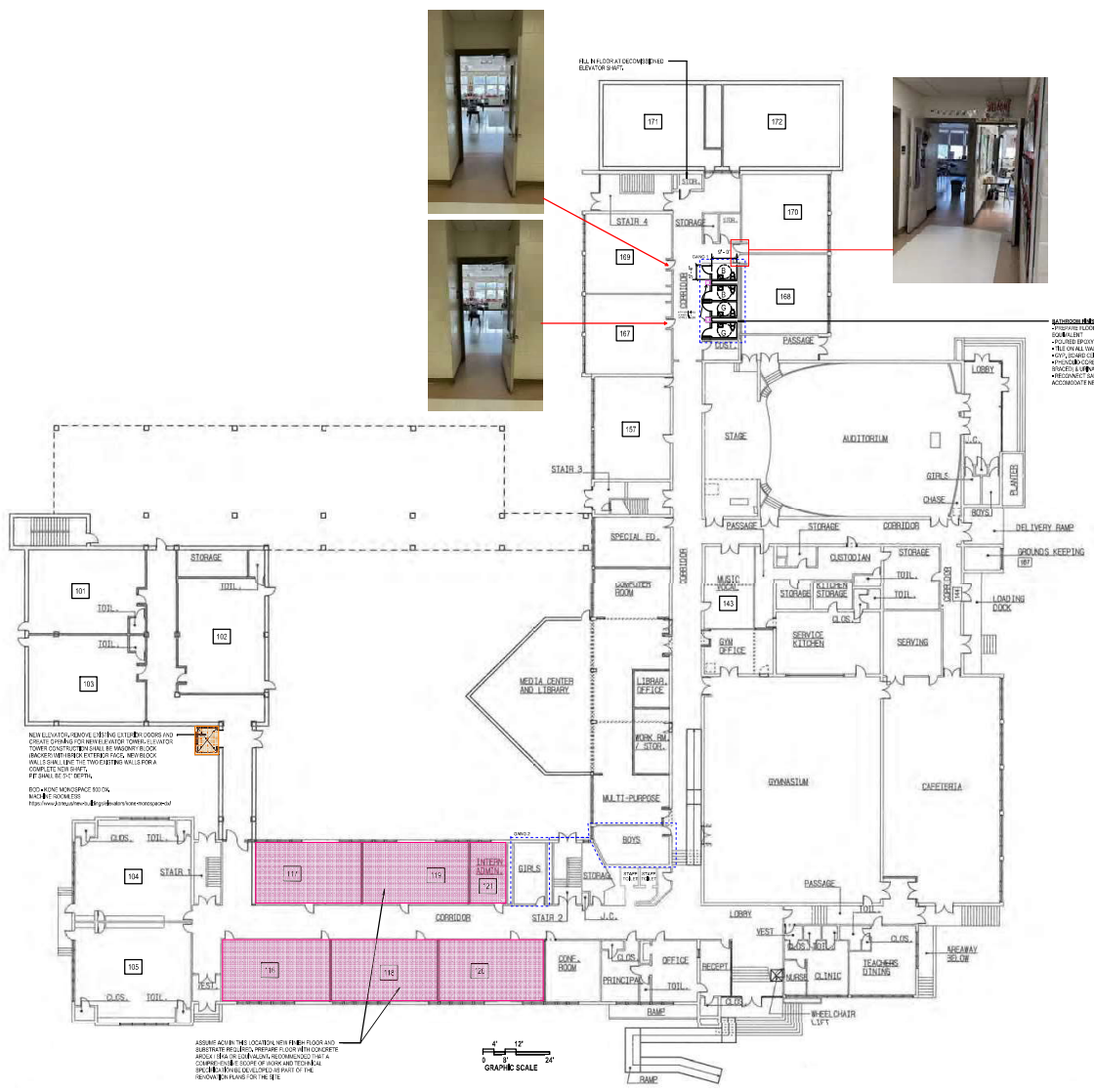
DATE: 01/11/2022
**GROUND FLOOR
 PLAN -
 CONSTRUCTION**

SCALE: As Indicated

A-101

GRANT APPLICATION

04/20/2024



1 **GROUND FLOOR PLAN FINISH FLOORS**
1" = 1'-0"

CURRENT LOCAL PROJECT NO: 2022015 - Julia Stark Elementary School Renovation Schematic Draft
 4/18/2024 2:00:51 PM

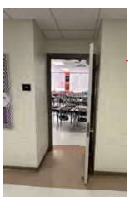
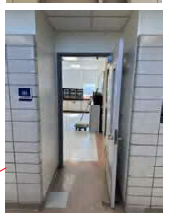
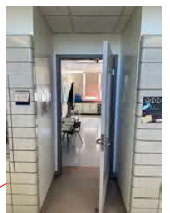
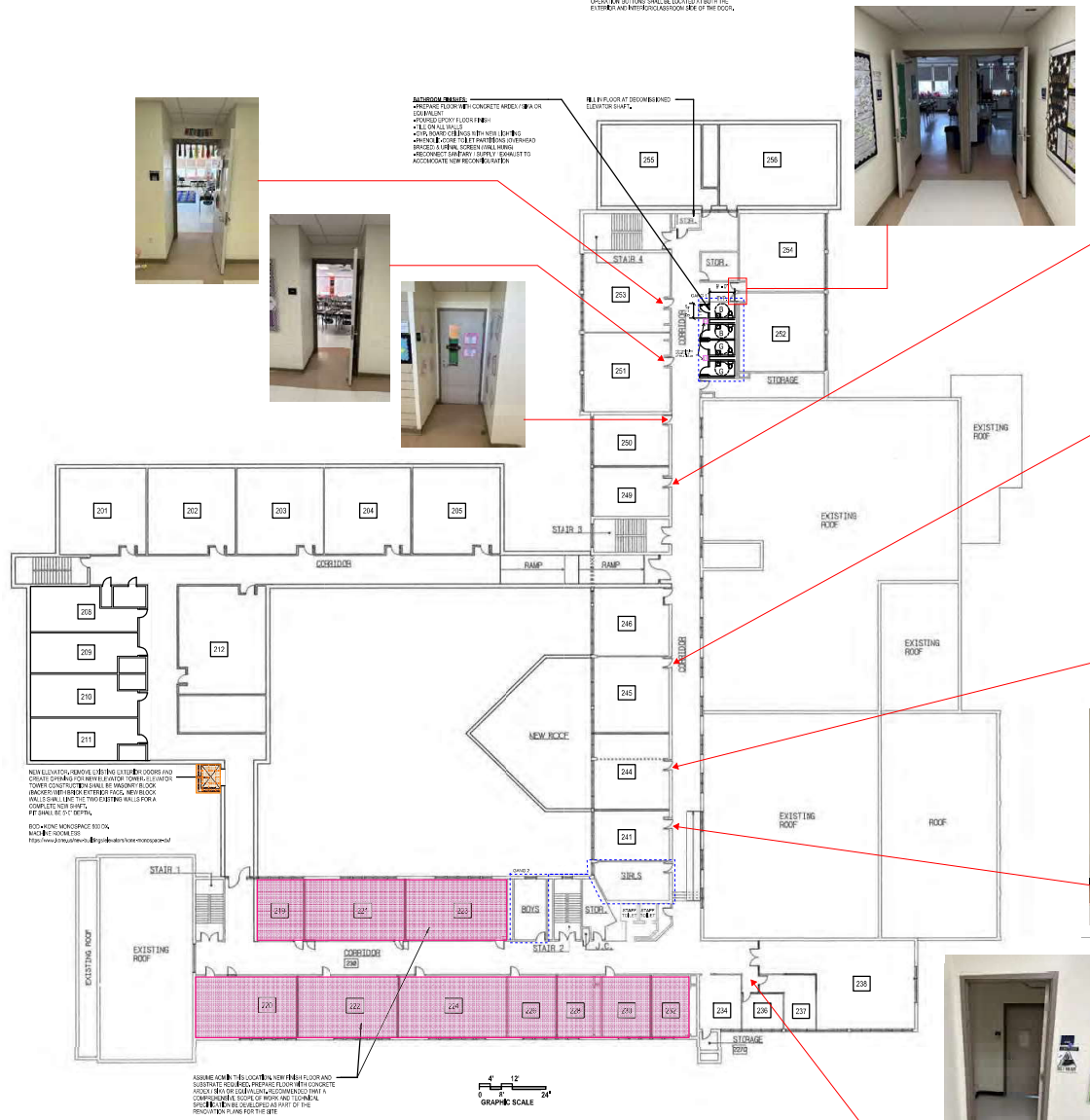
draft

GENERAL NOTES - CONSTRUCTION

1. ALL BEING REBUILT AREAS THAT DO NOT HAVE PROPER ACCESSIBLE MANEUVERING CLEARANCES OR ELECTRICAL BOXES, SWITCHES, DOOR SIZES, ETC. SHALL BE REBUILT TO MEET THE EXISTING AND INTERFERING ROOM AREA OF THE FLOOR.

SECOND FLOOR PLUMBING FIXTURES

GANG	WATER CLOSETS & URINALS				LAVATORIES		
	FEMALE	MALE	URINAL	NEUTRAL	FEMALE	MALE	NEUTRAL
GANG 1	2	2			2	2	
GANG 2	4	2	3		3	2	
INDERGARTEN	N/A	N/A	N/A	N/A	N/A	N/A	N/A
STAFF	1	1			1	1	1
TOTAL	7	5	3	1	6	5	1



INDOOR WALLS
 INTERIOR WALLS TO BE CONCRETE MASONRY ON CONCRETE FLOOR WITH 1/2" GYPSUM BOARD. INTERIOR WALLS TO BE CONCRETE MASONRY ON CONCRETE FLOOR WITH 1/2" GYPSUM BOARD. INTERIOR WALLS TO BE CONCRETE MASONRY ON CONCRETE FLOOR WITH 1/2" GYPSUM BOARD. INTERIOR WALLS TO BE CONCRETE MASONRY ON CONCRETE FLOOR WITH 1/2" GYPSUM BOARD.

NEW ELEVATOR
 REMOVE EXISTING ELEVATOR DOORS AND CONCRETE CURB AND FORM ELEVATOR TOWER. CONCRETE CURB SHALL BE WASHED, BROOM FINISHED AND REPAIRED. REPAIR WORK SHALL BE DONE WITH THE EXISTING WALLS FOR A 12" MINIMUM SETBACK.

RELOCATE WOODEN STAIRS
 REMOVE EXISTING STAIRS AND RELOCATE TO NEW LOCATION. REPAIR WORK SHALL BE DONE WITH THE EXISTING WALLS FOR A 12" MINIMUM SETBACK.

REMOVE EXISTING FLOORING
 REMOVE EXISTING FLOORING AND SUBSTITUTE WITH CONCRETE FLOOR WITH CONCRETE MASONRY ON CONCRETE FLOOR WITH 1/2" GYPSUM BOARD. INTERIOR WALLS TO BE CONCRETE MASONRY ON CONCRETE FLOOR WITH 1/2" GYPSUM BOARD.



1 SECOND FLOOR PLAN FINISH FLOOR



STAMFORD PUBLIC SCHOOLS
 889 SOUTH STAMFORD BOULEVARD, 5TH FLOOR
 STAMFORD, CT 06901
 Construction Manager

PROJECT FILE:
**JULIA STARK
 ELEMENTARY
 SCHOOL**

398 GLENBROOK RD, STAMFORD, CT
 06906

PROJECT No: 012050
 DRAWING TITLE:
**SECOND FLOOR
 PLAN -
 CONSTRUCTION**

SCALE: As Indicated

A-102

GRANT APPLICATION

04/09/2024

CURRENT LOCAL PROJECT NO. 4-1832024-020001 FIN

draft



VIEW 1

ROOF LEGEND

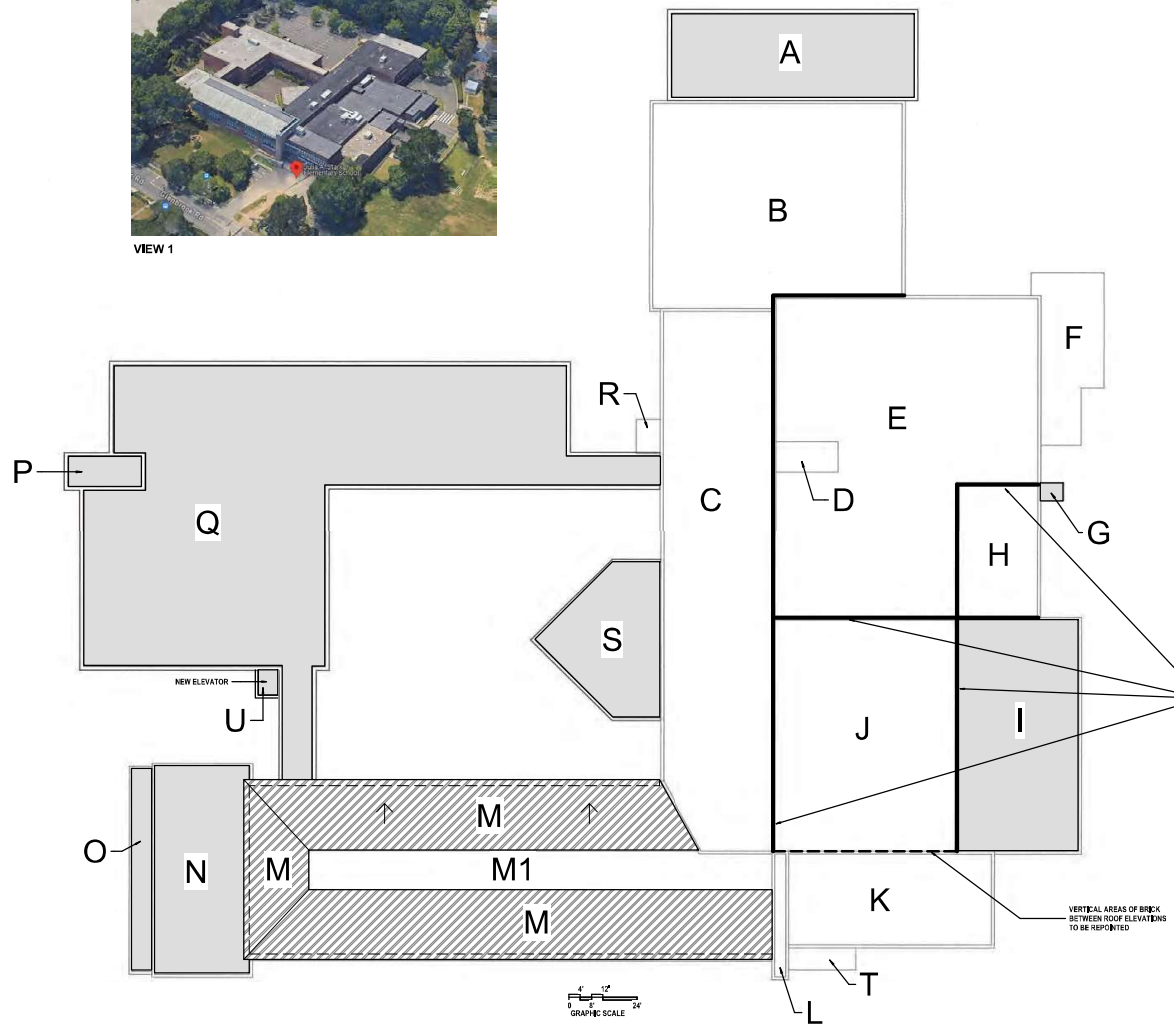
- ROOF GREYER THAN 20 YRS (REPLACE)
- ROOF LESS THAN 20 YRS (REMAIN)
- ORIGINAL SLATE ROOF (REMAIN)
- VERTICAL AREA BETWEEN ROOF ELEVATIONS TO BE ROOFTOP
- VERTICAL AREA OF BRICK BETWEEN ROOF ELEVATIONS TO BE REPORTED

GENERAL NOTES-ROOF

1. ROOF AREAS Hatched shall be replaced (R) AND/OR ROOF AREAS Shaded shall remain (M).
2. SCOPE SHALL INCLUDE REMOVAL OF EXISTING ROOF AND BRICK BETWEEN ROOF ELEVATIONS AND INSTALLATION OF NEW ROOF SYSTEM AS NECESSARY FOR THE GENERAL CONTRACTOR'S RETAILER OF NEW ROOF SYSTEM.
3. METALLIC FLASHING SHALL BE INSTALLED AT ALL ROOF ELEVATION CHANGES AND AT ALL ROOF PENETRATIONS. FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
4. ALL ROOF PENETRATIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
5. ALL ROOF PENETRATIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
6. ALL ROOF PENETRATIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
7. ALL ROOF PENETRATIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
8. ALL ROOF PENETRATIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
9. ALL ROOF PENETRATIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
10. ALL ROOF PENETRATIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

ROOF AREAS

ROOF	AREA IN SQ. FT.
A	2,387
B	5,876
C	6,992
D	224
E	9,215
F	357
G	48
H	1,232
I	3,360
J	4,278
K	2,267
L	347
M	8,112
M1	2,058
N	2,280
O	412
P	448
Q	11,912
R	85
S	1,210
T	46
U	61



AT EXISTING BRICK VERTICAL WALL BETWEEN ROOFS AT LOCATIONS WHERE ROOFING SYSTEM FROM 'I' AND 'J' ARE TURNED UP, ASSURE "TURN UP" SHALL BE MINIMUM OF 24" HIGH.

AT EXISTING BRICK WALLS BETWEEN EXISTING ROOFS AT DIFFERENT ELEVATIONS USE SLAB OF Gypsum BOARD OR CURB LIQUID APPLIED WATERPROOFING SYSTEM ON EXISTING BRICK WALL FOLLOW MANUFACTURER'S RECOMMENDATIONS TO PREPARE EXISTING BRICK.

COORDINATE WINDOW REPLACEMENT AT WALL BETWEEN ROOF 'C' AND ADJACENT LOWER ROOFS ('J', 'I', 'E').

ALTERNATE:
REMOVE AND REPLACE EXISTING BRICK AT WALLS BETWEEN THE VARYING ELEVATIONS. NEW BRICK WALLS SHALL INCLUDE CONTINUOUS REGLET AND WREPS.

VERTICAL AREAS OF BRICK BETWEEN ROOF ELEVATIONS TO BE REPORTED



VIEW 1

1 ROOF PLAN
1/8" = 1'-0"



Client: STAMFORD PUBLIC SCHOOLS
898 GLENBROOK BOULEVARD, 5TH FLOOR
STAMFORD, CT 06901
Construction Manager:

PROJECT # 18-01
JULIA STARK ELEMENTARY SCHOOL
398 GLENBROOK RD, STAMFORD, CT 06906
PROJECT No: 012050
DRAWING TITLE:
ROOF PLAN

SCALE: As Indicated
A-105
GRANT APPLICATION
04/20/2024

CURRENT LOCAL PROJECT NO. 18-01
4/18/2024 12:28:29 PM
Julia Stark Elementary School_PEL_Architects_CDD.rvt

LEGEND:

REMOVE AND REPLACE EXISTING BRICK

- 1. REMOVE AND REPLACE EXISTING BRICK WITH NEW BRICK MATCHING THE EXISTING BRICK IN COLOR AND TYPE.
- 2. REMOVE AND REPLACE EXISTING BRICK WITH NEW BRICK MATCHING THE EXISTING BRICK IN COLOR AND TYPE.
- 3. REMOVE AND REPLACE EXISTING BRICK WITH NEW BRICK MATCHING THE EXISTING BRICK IN COLOR AND TYPE.
- 4. REMOVE AND REPLACE EXISTING BRICK WITH NEW BRICK MATCHING THE EXISTING BRICK IN COLOR AND TYPE.
- 5. REMOVE AND REPLACE EXISTING BRICK WITH NEW BRICK MATCHING THE EXISTING BRICK IN COLOR AND TYPE.
- 6. REMOVE AND REPLACE EXISTING BRICK WITH NEW BRICK MATCHING THE EXISTING BRICK IN COLOR AND TYPE.
- 7. REMOVE AND REPLACE EXISTING BRICK WITH NEW BRICK MATCHING THE EXISTING BRICK IN COLOR AND TYPE.
- 8. REMOVE AND REPLACE EXISTING BRICK WITH NEW BRICK MATCHING THE EXISTING BRICK IN COLOR AND TYPE.
- 9. REMOVE AND REPLACE EXISTING BRICK WITH NEW BRICK MATCHING THE EXISTING BRICK IN COLOR AND TYPE.
- 10. REMOVE AND REPLACE EXISTING BRICK WITH NEW BRICK MATCHING THE EXISTING BRICK IN COLOR AND TYPE.

NEW BRICK MATCHING EXISTING

- 1. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 2. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 3. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 4. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 5. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 6. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 7. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 8. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 9. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 10. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.

NEW BRICK MATCHING EXISTING - BLUE

- 1. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 2. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 3. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 4. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 5. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 6. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 7. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 8. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 9. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 10. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.

NEW BRICK MATCHING EXISTING - BROWN

- 1. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 2. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 3. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 4. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 5. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 6. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 7. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 8. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 9. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 10. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.

NEW BRICK MATCHING EXISTING - RED

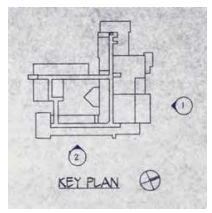
- 1. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 2. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 3. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 4. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 5. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 6. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 7. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 8. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 9. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.
- 10. NEW BRICK MATCHING EXISTING BRICK IN COLOR AND TYPE.

ELEVATION LEGEND

REMOVE AND REPLACE EXISTING BRICK
 BRICK MATCHING EXISTING
 BRICK MATCHING EXISTING - BLUE
 BRICK MATCHING EXISTING - BROWN
 BRICK MATCHING EXISTING - RED

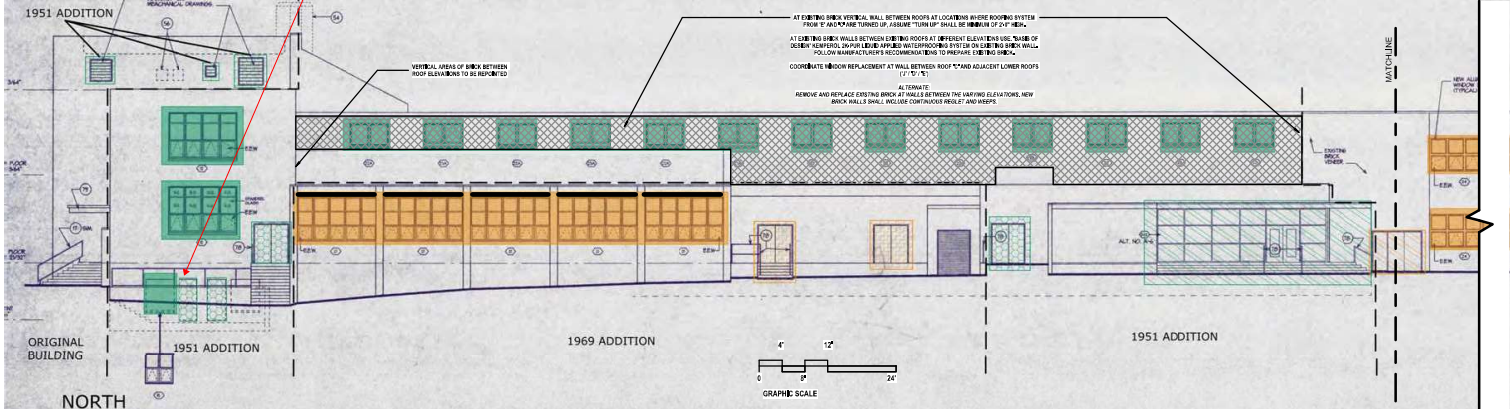
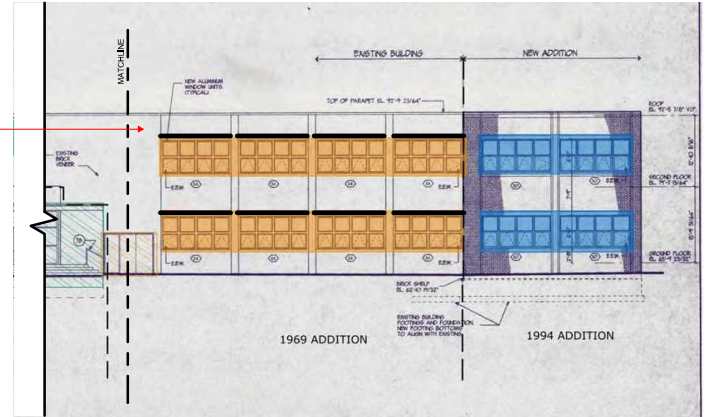
GENERAL NOTES-EXTERIOR

- UNIFORM REPLACEMENT SCOPE NOTES**
- REMOVE AND REPLACE ALL EXISTING EXTERIOR BRICK.
 - NEW BRICK SHALL BE MATCHED TO THE EXISTING BRICK IN COLOR AND TYPE. THE COLOR AND TYPE SHALL BE INDICATED BY THE SHADING AND NOTATION AS SHOWN BY THE LEGEND.
 - REMOVE AND REPLACE ALL EXISTING EXTERIOR BRICK WITH NEW BRICK MATCHING THE EXISTING BRICK IN COLOR AND TYPE. THE COLOR AND TYPE SHALL BE INDICATED BY THE SHADING AND NOTATION AS SHOWN BY THE LEGEND.
 - REMOVE AND REPLACE ALL EXISTING EXTERIOR BRICK WITH NEW BRICK MATCHING THE EXISTING BRICK IN COLOR AND TYPE. THE COLOR AND TYPE SHALL BE INDICATED BY THE SHADING AND NOTATION AS SHOWN BY THE LEGEND.
 - REMOVE AND REPLACE ALL EXISTING EXTERIOR BRICK WITH NEW BRICK MATCHING THE EXISTING BRICK IN COLOR AND TYPE. THE COLOR AND TYPE SHALL BE INDICATED BY THE SHADING AND NOTATION AS SHOWN BY THE LEGEND.
 - REMOVE AND REPLACE ALL EXISTING EXTERIOR BRICK WITH NEW BRICK MATCHING THE EXISTING BRICK IN COLOR AND TYPE. THE COLOR AND TYPE SHALL BE INDICATED BY THE SHADING AND NOTATION AS SHOWN BY THE LEGEND.
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 - REMOVE AND REPLACE ALL EXISTING EXTERIOR BRICK WITH NEW BRICK MATCHING THE EXISTING BRICK IN COLOR AND TYPE. THE COLOR AND TYPE SHALL BE INDICATED BY THE SHADING AND NOTATION AS SHOWN BY THE LEGEND.
- GENERAL NOTES**
- AT THE TIME AND USE INDICATED BY THE SHADING AND NOTATION, THE OWNER SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF THE BRICKS AND SHALL BE RESPONSIBLE FOR THE COST OF THE WORK. THE OWNER SHALL BE RESPONSIBLE FOR THE COST OF THE WORK.
 - AT ALL OTHER TIMES, THE OWNER SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF THE BRICKS AND SHALL BE RESPONSIBLE FOR THE COST OF THE WORK.
 - AT ALL OTHER TIMES, THE OWNER SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF THE BRICKS AND SHALL BE RESPONSIBLE FOR THE COST OF THE WORK.
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 - AT ALL OTHER TIMES, THE OWNER SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF THE BRICKS AND SHALL BE RESPONSIBLE FOR THE COST OF THE WORK.



No.	Description	Date

No.	Description	Date



CURRENT LOCAL PROJECT NO. 41820201.020108 PM

1 ELEVATION 1



PERKINS EASTMAN
 575 UNIVERSITY AVENUE
 SUITE 200
 NEWTON, MASSACHUSETTS 02459
 TEL: 617.552.2400
 FAX: 617.552.2401

Client: **STAMFORD PUBLIC SCHOOLS**
 899 SOUTHINGTON BOULEVARD, 5TH FLOOR
 STAMFORD, CT 06903
 Construction Manager:

PROJECT # 012050
JULIA STARK ELEMENTARY SCHOOL
 398 GLENBROOK RD, STAMFORD, CT 06906

PROJECT No: 012050
 DRAWING TITLE:
BUILDING ELEVATIONS

SCALE: As Indicated

A-201

GRANT APPLICATION

04/26/2024

LEGEND:

REMOVE AND REPLACE:	REPAIR OR MAINTAIN:
REPLACE WITH:	INSTALL:
REMOVE:	REPAIR:
REPLACE WITH:	INSTALL:

GENERAL NOTES - EXTERIOR

1. REMOVE AND REPLACE ALL EXISTING EXTERIOR WINDOWS.

2. NEW WINDOWS SHALL BE FULL GLASS DOUBLE INSULATED UNITS AND SHALL MATCH THE COLOR, STYLE AND FINISH OF EXISTING WINDOWS AS SHOWN BY THE SCHEDULE.

3. WINDOW SILLING SHALL BE 1/2" ALUMINUM OR STEEL, FINISH TO MATCH THE FINISH OF THE EXISTING SILLING.

4. WINDOW CASES SHALL BE 1/2" ALUMINUM OR STEEL, FINISH TO MATCH THE FINISH OF THE EXISTING CASES.

5. WINDOW OPERATING DEVICES SHALL BE 1/2" ALUMINUM OR STEEL, FINISH TO MATCH THE FINISH OF THE EXISTING DEVICES.

6. WINDOW GLASS SHALL BE 1/2" THICK CLEAR GLASS WITH AN INTERIOR LAMINATE LAYER.

7. WINDOW GLASS SHALL BE 1/2" THICK CLEAR GLASS WITH AN INTERIOR LAMINATE LAYER.

8. WINDOW GLASS SHALL BE 1/2" THICK CLEAR GLASS WITH AN INTERIOR LAMINATE LAYER.

9. WINDOW GLASS SHALL BE 1/2" THICK CLEAR GLASS WITH AN INTERIOR LAMINATE LAYER.

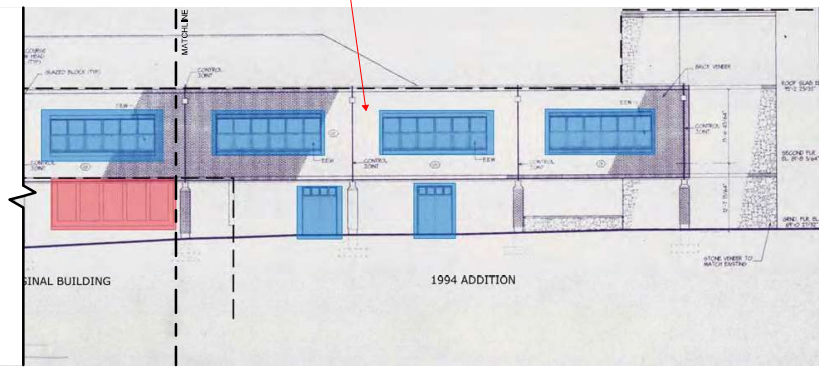
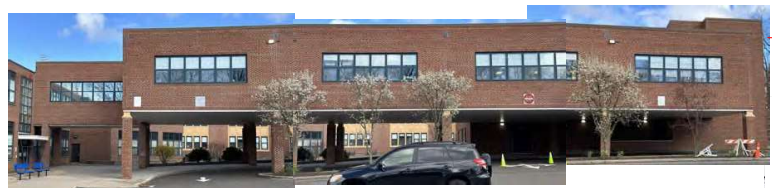
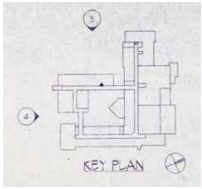
10. WINDOW GLASS SHALL BE 1/2" THICK CLEAR GLASS WITH AN INTERIOR LAMINATE LAYER.

ELEVATION LEGEND

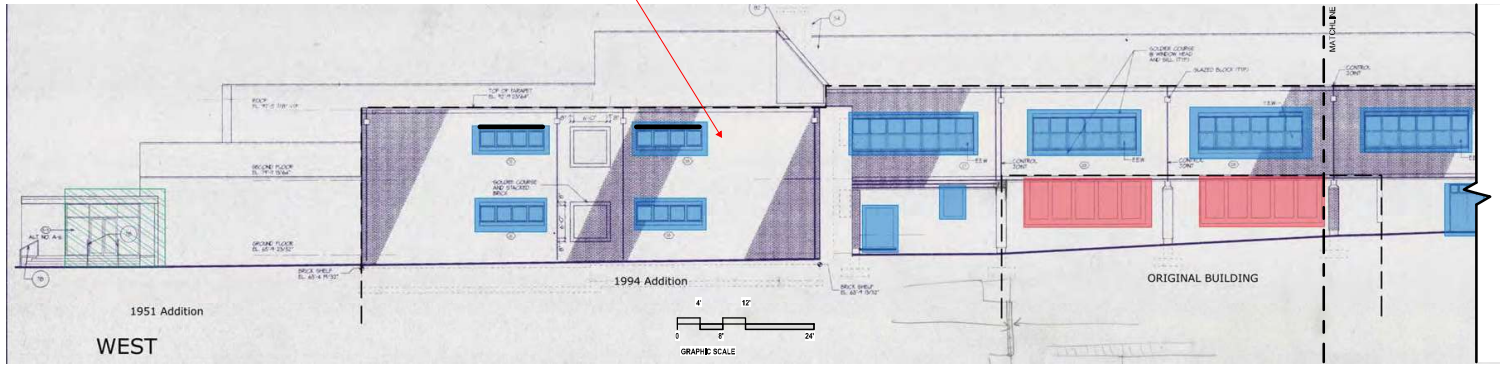


GENERAL NOTES - EXTERIOR

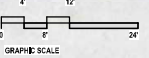
1. REMOVE AND REPLACE ALL EXISTING EXTERIOR WINDOWS.
2. NEW WINDOWS SHALL BE FULL GLASS DOUBLE INSULATED UNITS AND SHALL MATCH THE COLOR, STYLE AND FINISH OF EXISTING WINDOWS AS SHOWN BY THE SCHEDULE.
3. WINDOW SILLING SHALL BE 1/2" ALUMINUM OR STEEL, FINISH TO MATCH THE FINISH OF THE EXISTING SILLING.
4. WINDOW CASES SHALL BE 1/2" ALUMINUM OR STEEL, FINISH TO MATCH THE FINISH OF THE EXISTING CASES.
5. WINDOW OPERATING DEVICES SHALL BE 1/2" ALUMINUM OR STEEL, FINISH TO MATCH THE FINISH OF THE EXISTING DEVICES.
6. WINDOW GLASS SHALL BE 1/2" THICK CLEAR GLASS WITH AN INTERIOR LAMINATE LAYER.
7. WINDOW GLASS SHALL BE 1/2" THICK CLEAR GLASS WITH AN INTERIOR LAMINATE LAYER.
8. WINDOW GLASS SHALL BE 1/2" THICK CLEAR GLASS WITH AN INTERIOR LAMINATE LAYER.
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14. WINDOW GLASS SHALL BE 1/2" THICK CLEAR GLASS WITH AN INTERIOR LAMINATE LAYER.
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16. WINDOW GLASS SHALL BE 1/2" THICK CLEAR GLASS WITH AN INTERIOR LAMINATE LAYER.
17. WINDOW GLASS SHALL BE 1/2" THICK CLEAR GLASS WITH AN INTERIOR LAMINATE LAYER.
18. WINDOW GLASS SHALL BE 1/2" THICK CLEAR GLASS WITH AN INTERIOR LAMINATE LAYER.
19. WINDOW GLASS SHALL BE 1/2" THICK CLEAR GLASS WITH AN INTERIOR LAMINATE LAYER.
20. WINDOW GLASS SHALL BE 1/2" THICK CLEAR GLASS WITH AN INTERIOR LAMINATE LAYER.



ELEVATION 3 - CONT.



ELEVATION 3



CURRENT LOCAL ORDINANCES: Stamford Elementary School, 4/18/2024, 2:28:15 PM

PERKINS EASTMAN

575 WEST WASHINGTON STREET, SUITE 200
 STAMFORD, CT 06901
 TEL: 203.229.7800
 FAX: 203.229.7974

Client: STAMFORD PUBLIC SCHOOLS
 898 WASHINGTON BOULEVARD, 5TH FLOOR
 STAMFORD, CT 06901
 Construction Manager:

PROJECT TITLE:
JULIA STARK ELEMENTARY SCHOOL

398 GLENBROOK RD, STAMFORD, CT 06906

PROJECT No: 012050
 DRAWING TITLE:
BUILDING ELEVATIONS

SCALE: As Indicated

A-203

GRANT APPLICATION

04/29/2024

LEGEND:

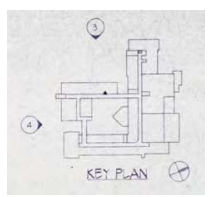
	REMOVE AND REPLACE		REPAIR AND REFINISH
	REPLACE WITH NEW		REPAIR AND REFINISH WITH NEW MATERIALS
	REPAIR AND REFINISH WITH EXISTING MATERIALS		REPAIR AND REFINISH WITH EXISTING MATERIALS AND NEW FINISHES
	REPAIR AND REFINISH WITH EXISTING MATERIALS AND NEW FINISHES		REPAIR AND REFINISH WITH EXISTING MATERIALS AND NEW FINISHES
	REPAIR AND REFINISH WITH EXISTING MATERIALS AND NEW FINISHES		REPAIR AND REFINISH WITH EXISTING MATERIALS AND NEW FINISHES
	REPAIR AND REFINISH WITH EXISTING MATERIALS AND NEW FINISHES		REPAIR AND REFINISH WITH EXISTING MATERIALS AND NEW FINISHES

ELEVATION LEGEND

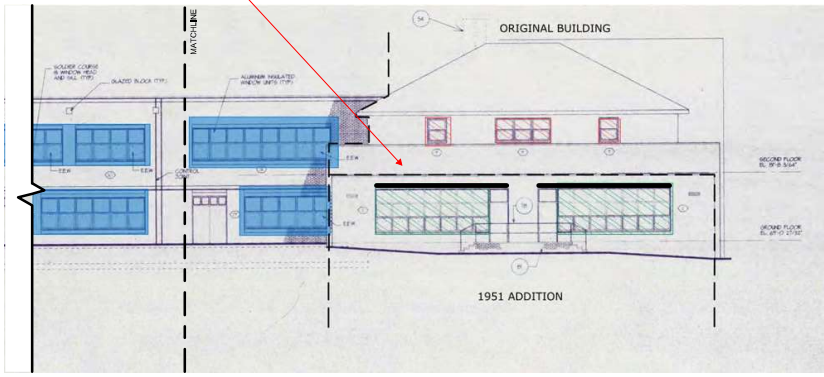
REMOVE AND REPLACE WITH NEW STEEL LINTEL, BRASS/ALUMINUM WATERPROOFING AND METALS, SEE NOTES TO MATCH FINISHING

GENERAL NOTES - EXTERIOR

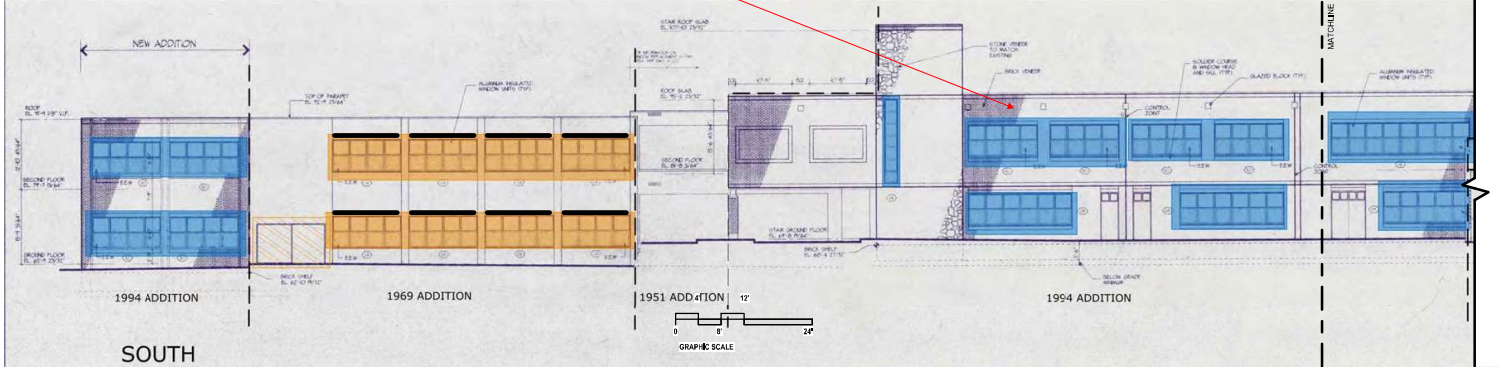
- 1. WINDOW REPLACEMENT SCOPE NOTES**
- 1.1 REMOVE AND REPLACE ALL EXISTING EXTERIOR WINDOWS.
 - 1.2 NEW WINDOWS SHALL BE REFINISHED TO MATCH EXISTING AND SHALL MATCH THE COLOR, MATERIAL, FINISH AND OPERATIONS AS GRAPHICALLY SHOWN BY WINDOW TYPES.
 - 1.3 WINDOW OPERATIONS SHALL BE IDENTICAL TO EXISTING WINDOW OPERATIONS.
 - 1.4 FINISHING SHALL BE IDENTICAL TO EXISTING WINDOW FINISHING.
 - 1.5 FINISHING SHALL BE IDENTICAL TO EXISTING WINDOW FINISHING.
 - 1.6 FINISHING SHALL BE IDENTICAL TO EXISTING WINDOW FINISHING.
 - 1.7 FINISHING SHALL BE IDENTICAL TO EXISTING WINDOW FINISHING.
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 - 1.11 FINISHING SHALL BE IDENTICAL TO EXISTING WINDOW FINISHING.
 - 1.12 FINISHING SHALL BE IDENTICAL TO EXISTING WINDOW FINISHING.
 - 1.13 FINISHING SHALL BE IDENTICAL TO EXISTING WINDOW FINISHING.
 - 1.14 FINISHING SHALL BE IDENTICAL TO EXISTING WINDOW FINISHING.
 - 1.15 FINISHING SHALL BE IDENTICAL TO EXISTING WINDOW FINISHING.
 - 1.16 FINISHING SHALL BE IDENTICAL TO EXISTING WINDOW FINISHING.
 - 1.17 FINISHING SHALL BE IDENTICAL TO EXISTING WINDOW FINISHING.
 - 1.18 FINISHING SHALL BE IDENTICAL TO EXISTING WINDOW FINISHING.
 - 1.19 FINISHING SHALL BE IDENTICAL TO EXISTING WINDOW FINISHING.
 - 1.20 FINISHING SHALL BE IDENTICAL TO EXISTING WINDOW FINISHING.
- 2. WINDOW FRAMES**
- 2.1 WINDOW FRAMES SHALL BE IDENTICAL TO EXISTING WINDOW FRAMES.
 - 2.2 WINDOW FRAMES SHALL BE IDENTICAL TO EXISTING WINDOW FRAMES.
 - 2.3 WINDOW FRAMES SHALL BE IDENTICAL TO EXISTING WINDOW FRAMES.
 - 2.4 WINDOW FRAMES SHALL BE IDENTICAL TO EXISTING WINDOW FRAMES.
 - 2.5 WINDOW FRAMES SHALL BE IDENTICAL TO EXISTING WINDOW FRAMES.
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 - 2.11 WINDOW FRAMES SHALL BE IDENTICAL TO EXISTING WINDOW FRAMES.
 - 2.12 WINDOW FRAMES SHALL BE IDENTICAL TO EXISTING WINDOW FRAMES.
 - 2.13 WINDOW FRAMES SHALL BE IDENTICAL TO EXISTING WINDOW FRAMES.
 - 2.14 WINDOW FRAMES SHALL BE IDENTICAL TO EXISTING WINDOW FRAMES.
 - 2.15 WINDOW FRAMES SHALL BE IDENTICAL TO EXISTING WINDOW FRAMES.
 - 2.16 WINDOW FRAMES SHALL BE IDENTICAL TO EXISTING WINDOW FRAMES.
 - 2.17 WINDOW FRAMES SHALL BE IDENTICAL TO EXISTING WINDOW FRAMES.
 - 2.18 WINDOW FRAMES SHALL BE IDENTICAL TO EXISTING WINDOW FRAMES.
 - 2.19 WINDOW FRAMES SHALL BE IDENTICAL TO EXISTING WINDOW FRAMES.
 - 2.20 WINDOW FRAMES SHALL BE IDENTICAL TO EXISTING WINDOW FRAMES.
- 3. WINDOW GLAZING**
- 3.1 WINDOW GLAZING SHALL BE IDENTICAL TO EXISTING WINDOW GLAZING.
 - 3.2 WINDOW GLAZING SHALL BE IDENTICAL TO EXISTING WINDOW GLAZING.
 - 3.3 WINDOW GLAZING SHALL BE IDENTICAL TO EXISTING WINDOW GLAZING.
 - 3.4 WINDOW GLAZING SHALL BE IDENTICAL TO EXISTING WINDOW GLAZING.
 - 3.5 WINDOW GLAZING SHALL BE IDENTICAL TO EXISTING WINDOW GLAZING.
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 - 3.7 WINDOW GLAZING SHALL BE IDENTICAL TO EXISTING WINDOW GLAZING.
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 - 3.9 WINDOW GLAZING SHALL BE IDENTICAL TO EXISTING WINDOW GLAZING.
 - 3.10 WINDOW GLAZING SHALL BE IDENTICAL TO EXISTING WINDOW GLAZING.
 - 3.11 WINDOW GLAZING SHALL BE IDENTICAL TO EXISTING WINDOW GLAZING.
 - 3.12 WINDOW GLAZING SHALL BE IDENTICAL TO EXISTING WINDOW GLAZING.
 - 3.13 WINDOW GLAZING SHALL BE IDENTICAL TO EXISTING WINDOW GLAZING.
 - 3.14 WINDOW GLAZING SHALL BE IDENTICAL TO EXISTING WINDOW GLAZING.
 - 3.15 WINDOW GLAZING SHALL BE IDENTICAL TO EXISTING WINDOW GLAZING.
 - 3.16 WINDOW GLAZING SHALL BE IDENTICAL TO EXISTING WINDOW GLAZING.
 - 3.17 WINDOW GLAZING SHALL BE IDENTICAL TO EXISTING WINDOW GLAZING.
 - 3.18 WINDOW GLAZING SHALL BE IDENTICAL TO EXISTING WINDOW GLAZING.
 - 3.19 WINDOW GLAZING SHALL BE IDENTICAL TO EXISTING WINDOW GLAZING.
 - 3.20 WINDOW GLAZING SHALL BE IDENTICAL TO EXISTING WINDOW GLAZING.
- 4. WINDOW OPERATIONS**
- 4.1 WINDOW OPERATIONS SHALL BE IDENTICAL TO EXISTING WINDOW OPERATIONS.
 - 4.2 WINDOW OPERATIONS SHALL BE IDENTICAL TO EXISTING WINDOW OPERATIONS.
 - 4.3 WINDOW OPERATIONS SHALL BE IDENTICAL TO EXISTING WINDOW OPERATIONS.
 - 4.4 WINDOW OPERATIONS SHALL BE IDENTICAL TO EXISTING WINDOW OPERATIONS.
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 - 4.12 WINDOW OPERATIONS SHALL BE IDENTICAL TO EXISTING WINDOW OPERATIONS.
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 - 4.14 WINDOW OPERATIONS SHALL BE IDENTICAL TO EXISTING WINDOW OPERATIONS.
 - 4.15 WINDOW OPERATIONS SHALL BE IDENTICAL TO EXISTING WINDOW OPERATIONS.
 - 4.16 WINDOW OPERATIONS SHALL BE IDENTICAL TO EXISTING WINDOW OPERATIONS.
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 - 4.18 WINDOW OPERATIONS SHALL BE IDENTICAL TO EXISTING WINDOW OPERATIONS.
 - 4.19 WINDOW OPERATIONS SHALL BE IDENTICAL TO EXISTING WINDOW OPERATIONS.
 - 4.20 WINDOW OPERATIONS SHALL BE IDENTICAL TO EXISTING WINDOW OPERATIONS.



draft



ELEVATION 4 - CONT.



4 ELEVATION 4

CURRENT LOCAL PROJECT NO. 41832001.020116 PM

PERKINS EASTMAN
 317 WASHINGTON ST
 STAMFORD, CT 06901
 TEL: 203.271.1000
 FAX: 203.271.1011

Client: STAMFORD PUBLIC SCHOOLS
 898 BRACKLETON BOULEVARD, 5TH FLOOR
 STAMFORD, CT 06901
 Construction Manager:

PROJECT NO. 012050
 DRAWING TITLE:
BUILDING ELEVATIONS

SCALE: As Indicated
A-204

GRANT APPLICATION
 04/29/2024

LEGEND:

Remove, Repair, or Replace

- Remove: Indicated by a red box.
- Repair: Indicated by a light blue box.
- Replace: Indicated by a dark blue box.

Material and Finish

- Brick: Indicated by a brick pattern.
- Concrete: Indicated by a solid grey color.
- Stucco: Indicated by a stippled pattern.
- Insulation: Indicated by a wavy line pattern.
- Roof: Indicated by a diagonal line pattern.

Other Material/Finish

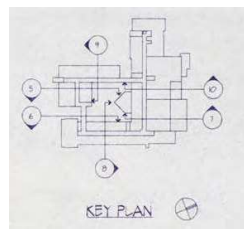
- Green: Indicated by a solid green color.
- Light Blue: Indicated by a solid light blue color.
- Dark Blue: Indicated by a solid dark blue color.
- Yellow: Indicated by a solid yellow color.
- White: Indicated by a solid white color.

ELEVATION LEGEND

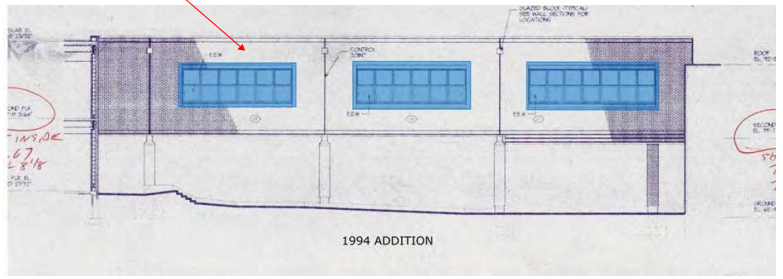
REMOVE REPAIR OR REPLACE

GENERAL NOTES - EXTERIOR

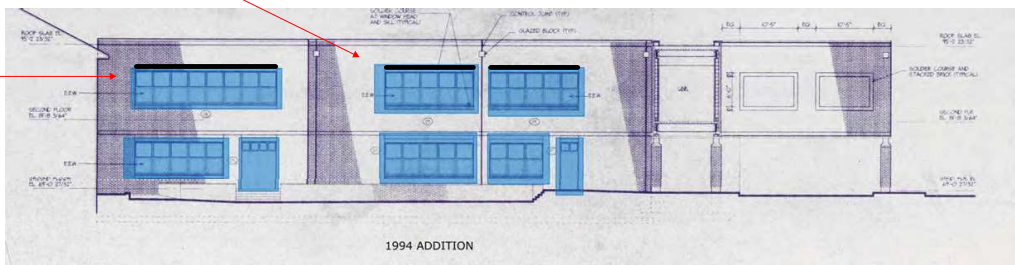
- 1) SEE REPLACEMENT SCOPE NOTES.
- 2) REMOVE AND REPLACE ALL LEAKING EXTERIOR WINDOWS.
- 3) NEW WINDOWS SHALL BE ALIGNED TO THE EXISTING WINDOW SILL LINE UNLESS OTHERWISE NOTED OTHERWISE.
- 4) MATERIALS AND FINISHES SHALL BE IDENTICAL TO THE EXISTING UNLESS OTHERWISE NOTED OTHERWISE.
- 5) ALL MATERIALS AND FINISHES SHALL BE IDENTICAL TO THE EXISTING UNLESS OTHERWISE NOTED OTHERWISE.
- 6) ALL MATERIALS AND FINISHES SHALL BE IDENTICAL TO THE EXISTING UNLESS OTHERWISE NOTED OTHERWISE.
- 7) ALL MATERIALS AND FINISHES SHALL BE IDENTICAL TO THE EXISTING UNLESS OTHERWISE NOTED OTHERWISE.
- 8) ALL MATERIALS AND FINISHES SHALL BE IDENTICAL TO THE EXISTING UNLESS OTHERWISE NOTED OTHERWISE.
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- 14) ALL MATERIALS AND FINISHES SHALL BE IDENTICAL TO THE EXISTING UNLESS OTHERWISE NOTED OTHERWISE.
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- 17) ALL MATERIALS AND FINISHES SHALL BE IDENTICAL TO THE EXISTING UNLESS OTHERWISE NOTED OTHERWISE.
- 18) ALL MATERIALS AND FINISHES SHALL BE IDENTICAL TO THE EXISTING UNLESS OTHERWISE NOTED OTHERWISE.
- 19) ALL MATERIALS AND FINISHES SHALL BE IDENTICAL TO THE EXISTING UNLESS OTHERWISE NOTED OTHERWISE.
- 20) ALL MATERIALS AND FINISHES SHALL BE IDENTICAL TO THE EXISTING UNLESS OTHERWISE NOTED OTHERWISE.



draft



10 ELEVATION 10
10'-1 1/2"



9 ELEVATION 9
10'-1 1/2"

PROJECT LOCAL 1002250 - Julia Stark Elementary School Final Elevation Section 04/24/24 4:18:22 PM



Stamford Public Schools
888 Washington Boulevard, 5th Floor
Stamford, CT 06901

PROJECT # 1002250
**JULIA STARK
ELEMENTARY
SCHOOL**
398 GLENBROOK RD, STAMFORD, CT
06906

PROJECT No: 012050
DRAWING TITLE:
**BUILDING
ELEVATIONS**

SCALE: As Indicated
A-206
GRANT APPLICATION
04/25/2024