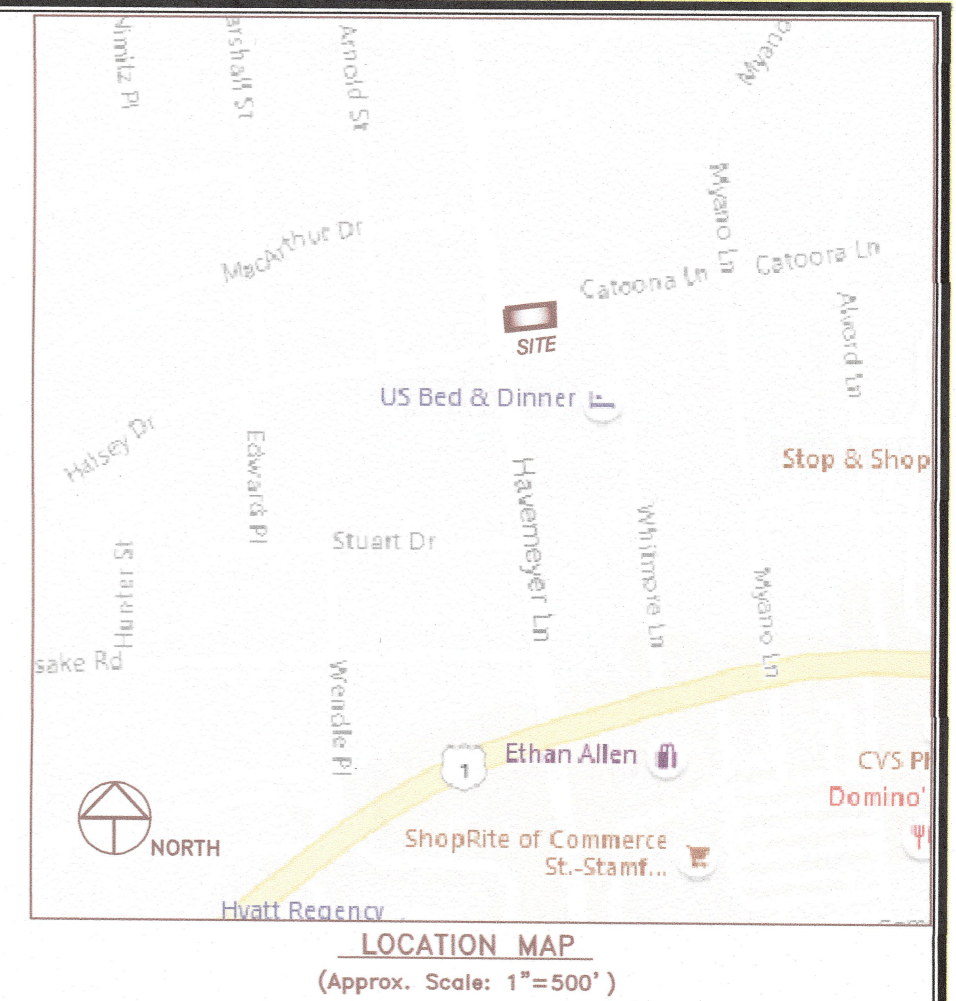
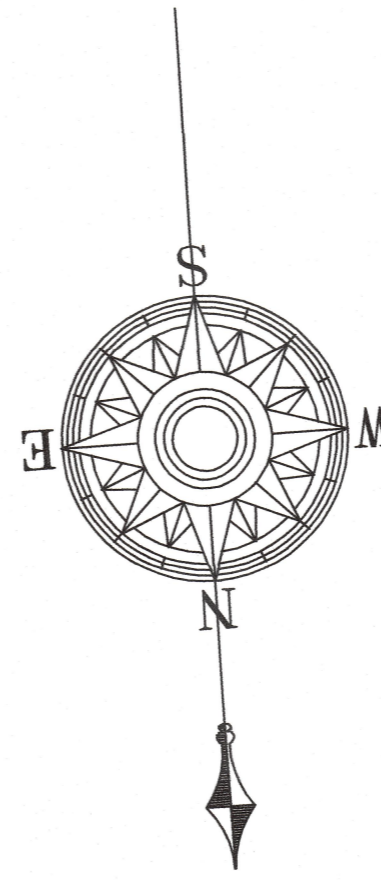


STANDARD	MINIMUM/REQUIRED MAXIMUM/ALLOWED	EXISTING CONDITIONS	PROPOSED	AS-BUILT	STANDARD	MINIMUM/REQUIRED MAXIMUM/ALLOWED	EXISTING CONDITIONS	PROPOSED	AS-BUILT
Minimum Lot Area	7,500 sq. ft.	6,962 ± sq. ft.	6,962 ± sq. ft.		Minimum Lot Area (lot area)	5000	6962 ± SF	6962 ± SF	
Minimum Frontage	65.0'	199.33'	199.33'		Minimum Circle on Lot (Dia.)	---	---	---	
Minimum Rectangle on Lot	45.0' x 85.0'	45.0' x 85.0'	45.0' x 85.0'		Minimum Lot Frontage	50	199.33'	199.33'	
Minimum Setback Street Line	25.0'	28.9'	28.9'		Minimum Sq. Ft. per Family	---	---	---	
Minimum Setback From One Side Property Line	5.0' / TOTAL = 15.0'	5.3'	5.3'		Maximum Families on Lot	1	1	1	
Minimum Rear Setback	25.0'	N/A	N/A		Maximum Number of Stories Per Building	2 1/2	2	2	
Floor Area Ratio	.36	N/A	N/A		Maximum Height for a Building or Structure	30'	26.9'	26.9'	
Maximum Number of Stories Per Building	2 1/2	2	2		Maximum Building Area as a Percentage of Lot Area	30%	19.2%	21.3%	
Maximum Height for a Building or Structure	35.0'	26.9'	26.9'		Minimum Setback Street Line	20'	11.9'	21.1'	
Minimum Percent Green Area	50.0%	65.4%	64.6%		Minimum Setback from Center of Street	45'	36.9'	46.1'	
GREENWICH BUILDING ZONE: R-7					STAMFORD BUILDING ZONE: R-5				



GENERAL NOTES:

- This Map has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 26, 1996.
- This Survey conforms to Class A-2 & Class T-2.
- The Type of survey performed is a Limited Property / Boundary Survey, and is intended to be Existing Building Location Survey.
- Boundary determination is based upon a Dependent Resurvey (see MAP REFERENCES and Record Deeds.)
- North Arrow is based on Map Reference # 1.
- This map is NOT VALID without a LIVE SIGNATURE and EMBOSSED SEAL.
- This map is NOT VALID if altered or used by any party other than the one depicted in title block of this map.
- Property Lines Established According to Record Deeds as exist.
- Physical Features Such as Stone Walls, Wire Fences, Monuments, Iron Pins or Pipes, Etc. taken under consideration to establish current deed lines.
- Underground Utility, Structure and facility Locations depicted and noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or government agencies, from parole testimony and from other sources. These Locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this firm. The size, Location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. CALL BEFORE YOU DIG 1-800-922-4455.
- Lot served by town sewer system and public water supply.
- Elevations are based on N.A.V.D. Datum.

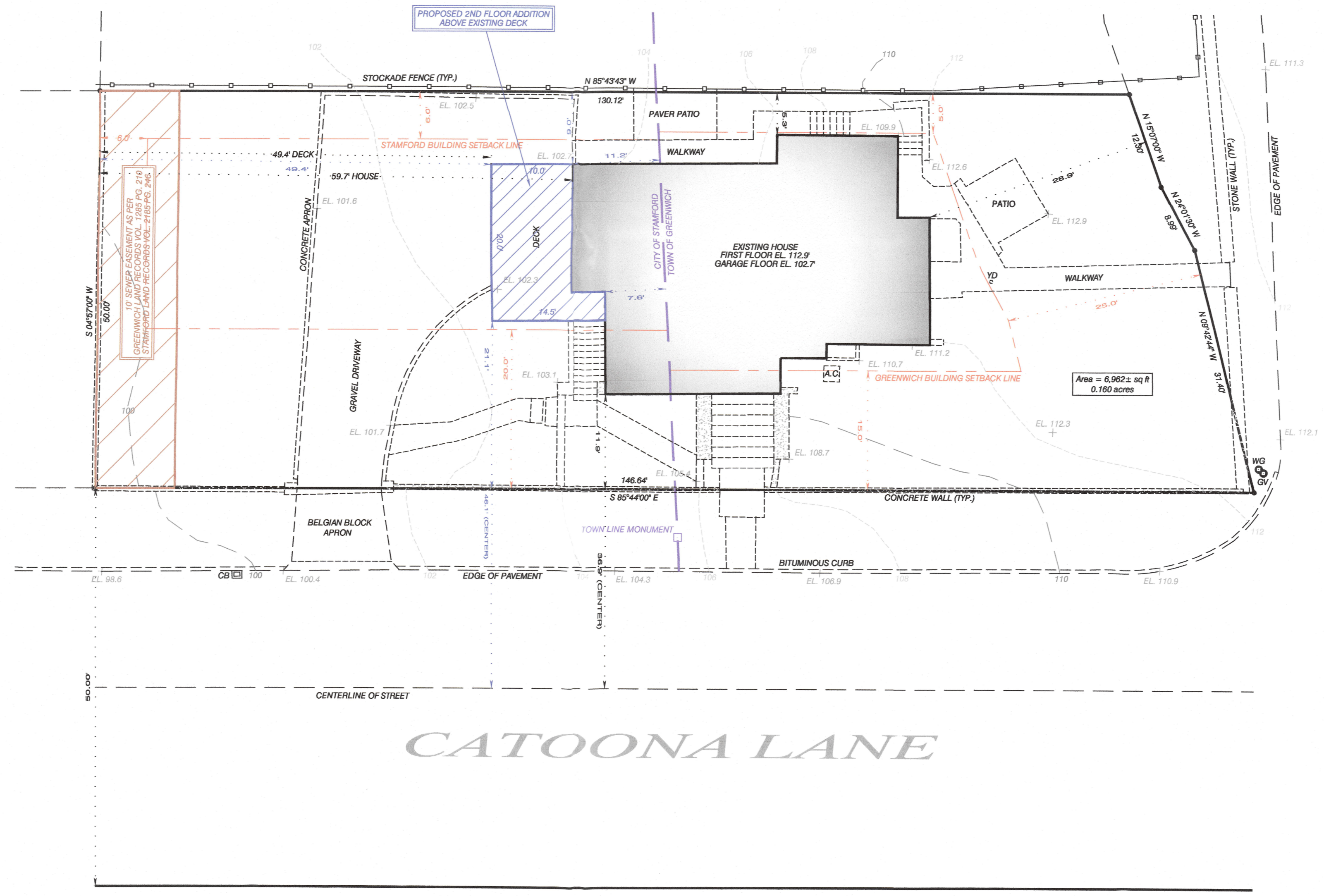
MAP REFERENCES:

- RECORD MAP # 1005.
- RECORD MAP # 2523.

NIF DOROTHY MONTELL VOL.4309 , PAGE 37

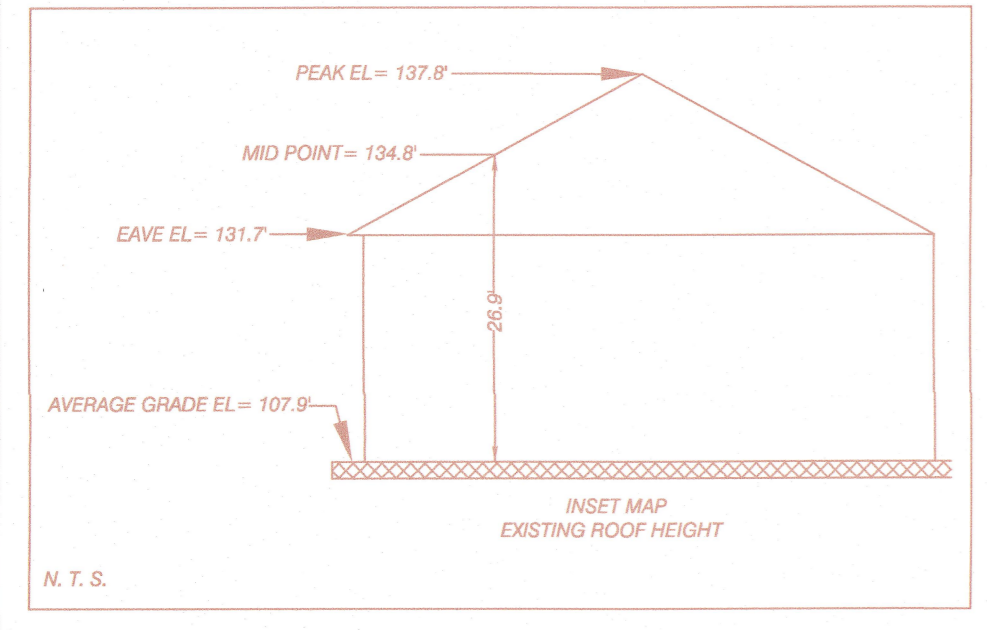
NIF JOSEPH WEED VOL.6474 , PAGE 345

NIF MANJIT KAUR VOL.1369 , PAGE 244



HAVEMEYER LANE

CATOONA LANE

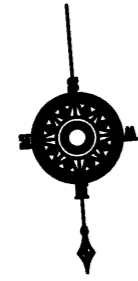
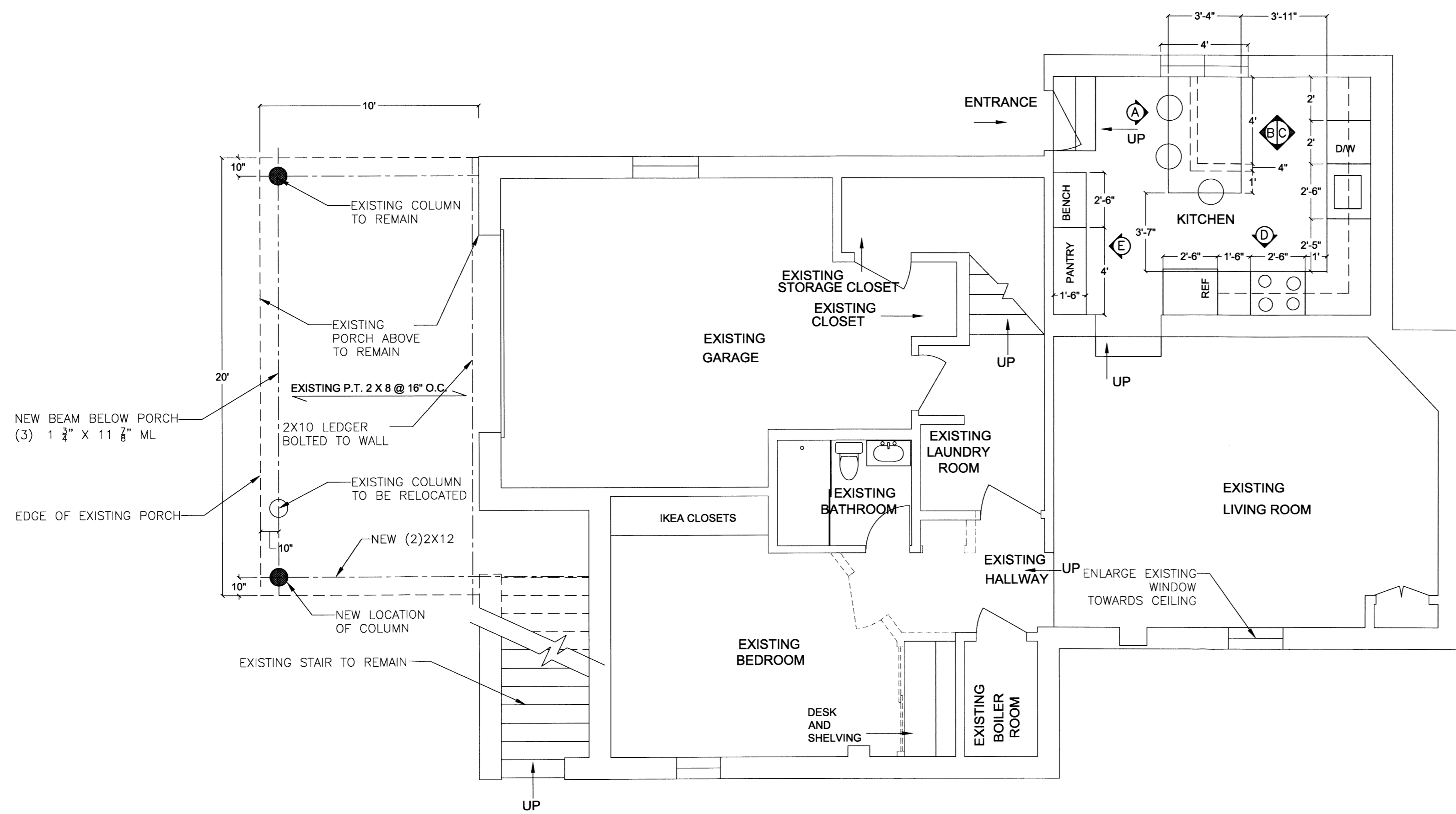


#009-21

<p>LAND SURVEYING SERVICES, LLC 1275 POST ROAD, SUITE A-20 FAIRFIELD, CONNECTICUT 06824 TEL: (203) 522-4177 FAX: (203) 915-0123 EMAIL: info@A2survey.com</p>	<p>TITLE BLOCK</p> <p>ASSESSORS MAP # 12 , PARCEL # 1052/S ZONE: R-7 APPLICANT: SAME AS OWNER</p>		<p>DATE: DESCRIPTION REVISIONS</p>
	<p>DESCRIPTIVE TITLE: PROPOSED ADDITION To the best of my knowledge and belief this map is substantially correct as noted hereon.</p> <p>NEAL K. JAIN L.S. # 18130</p>		

IMPROVEMENT LOCATION SURVEY
PREPARED FOR
VITALY TROPP
33 HAVEMEYER LANE, OLD GREENWICH, CONNECTICUT

SCALE: 1" = 10'
DATE: OCT. 30, 2020



GROUND FLOOR PLAN SHOWING NEW FRAMING FOR THE FLOOR ABOVE

APPLICABLE CODES:

2015 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO-FAMILY WITH 2018 CONNECTICUT AMMENDMENTS

ZONING NOTES:

PROPERTY LIES PARTIALLY ON GREENWICH AND PARTIALLY IN STAMFORD, CT
 PROPOSED ADDITION IS IN STAMFORD, ZONE R-7
 ALL ZONING REQUIREMENTS CONFORMANCE ARE ANALYZED BY:
LAND SURVEYING SERVICES, LLC
 1275 POST ROAD, SUITE A-20
 FAIRFIELD, CONNECTICUT 06824
 TEL. (203) 522-4177
 FAX. (203) 615-0123
 EMAIL: info@A2survey.com
 PLEASE REFER TO SURVEY AND SITE PLAN.

LEGEND:

- EXISTING INTERIOR PARTITION TO REMAIN
- EXISTING EXTERIOR WALL TO REMAIN
- NEW PARTITION SEE DETAIL-1/35
- NEW EXTERIOR WALL SEE DETAIL-2/35
- DEMOLITION

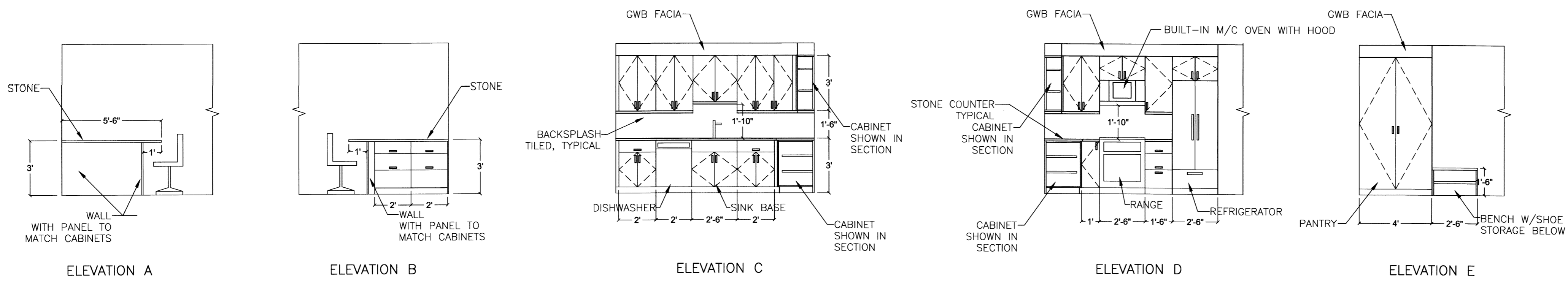
NOTE:
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No.	Date	Revision

TROPP RESIDENCE
 33 HAVEMEYER STREET
 GREENWICH, CT
 PROPOSED INTERIOR
 RENOVATIONS AND ADDITION

EK
 ELENA KALMAN
 ARCHITECT

AIA
 99 WILD DUCK ROAD
 STAMFORD, CT. 06903
 TEL. (203) 329-3074
 ELENA@KALMANDSIGN.COM



GROUND FLOOR KITCHEN ELEVATIONS

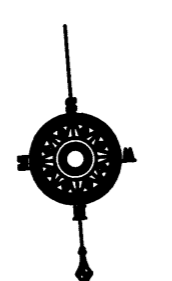
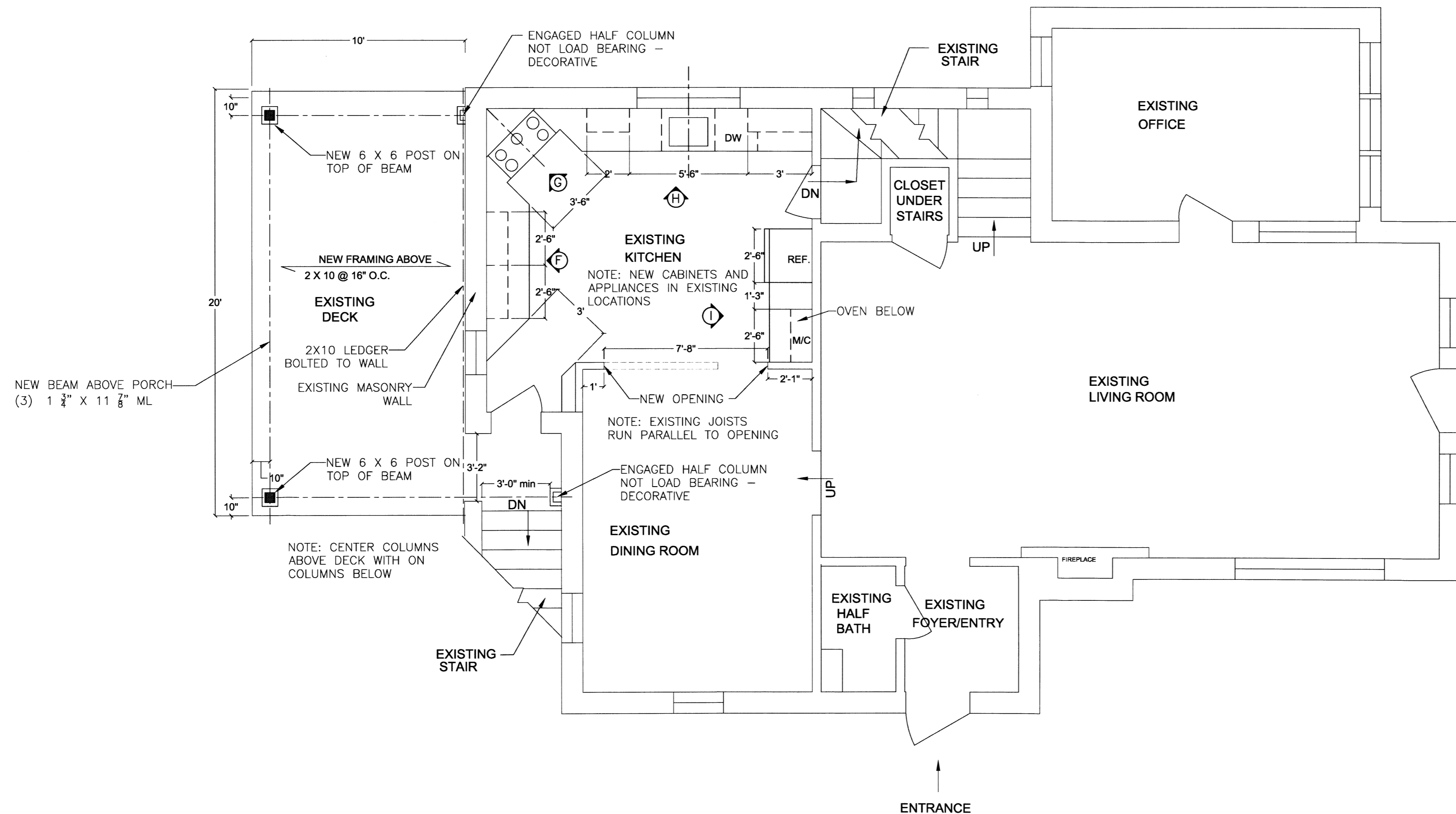
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Drawing Title

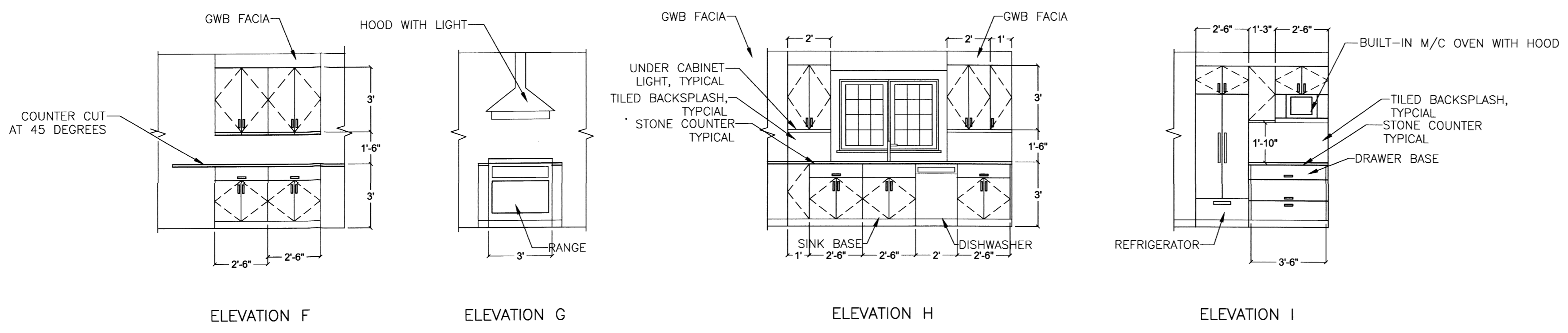
GROUND FLOOR PLAN AND CORRESPONDING INTERIOR DETAILS CODE AND ZONING DATA

Drawn By	EK
Checked By	EK
Project No.	33 HAVEMEYER
Scale	1/4" = 1'-0"
Date	11-7-20
File Name	VT
Drawing No.	

A-1



MAIN FLOOR PLAN SHOWING NEW FRAMING FOR THE FLOOR ABOVE



MAIN KITCHEN ELEVATIONS

LEGEND:

	EXISTING INTERIOR PARTITION TO REMAIN
	EXISTING EXTERIOR WALL TO REMAIN
	NEW PARTITION SEE DETAIL- ⁽¹⁾ / ₍₃₎
	NEW EXTERIOR WALL SEE DETAIL- ⁽²⁾ / ₍₅₎
	DEMOLITION

NOTE:

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Date	Issue

No.	Date	Revision

TROPP RESIDENCE
 33 HAVEMEYER STREET
 GREENWICH, CT
 PROPOSED INTERIOR
 RENOVATIONS AND ADDITION

ELENA KALMAN ARCHITECT

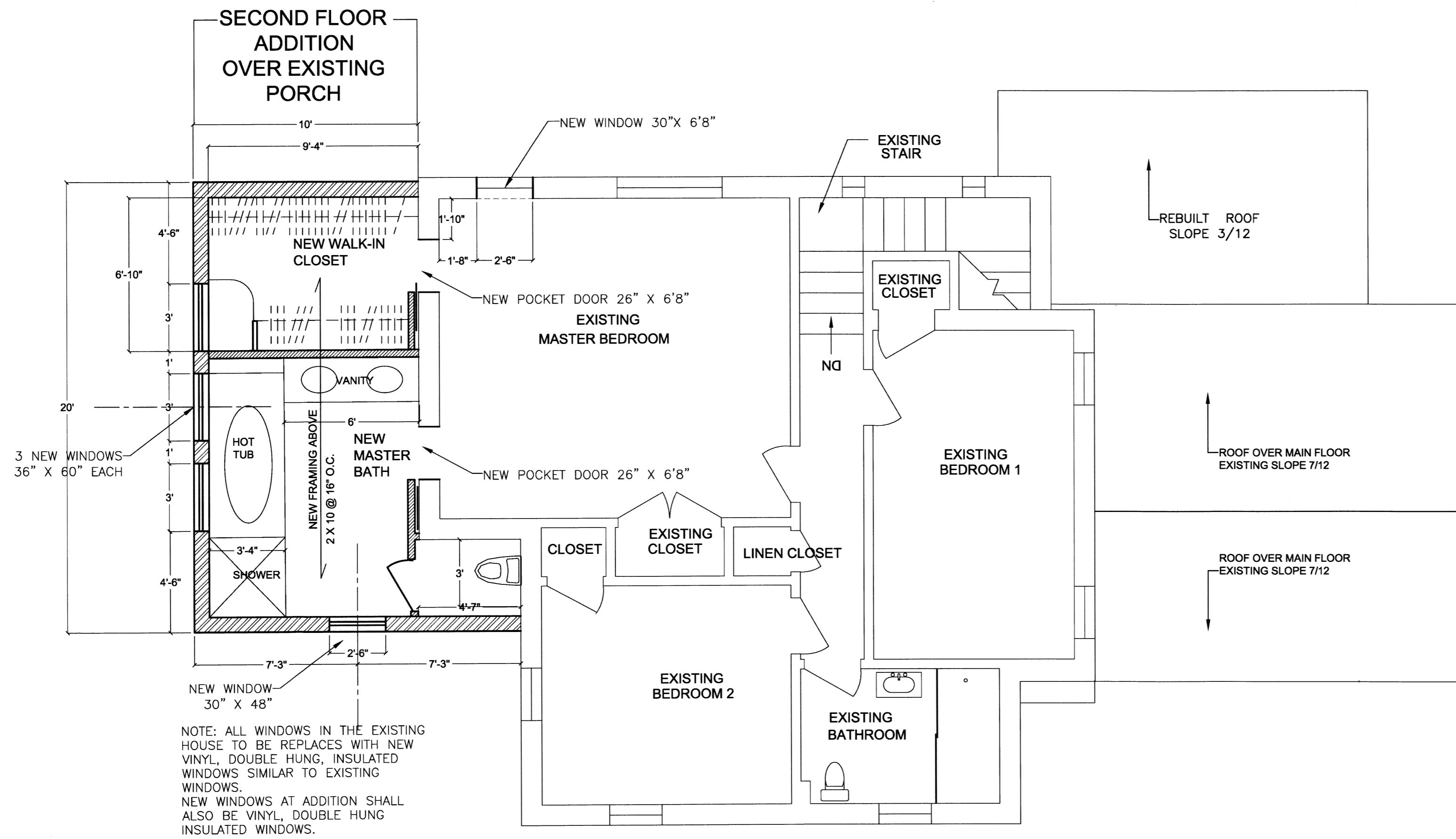
AIA

99 WILD DUCK ROAD
 STAMFORD, CT. 06903
 TEL. (203) 329-3074
 ELENA@KALMANDSIGN.COM

Drawing Title

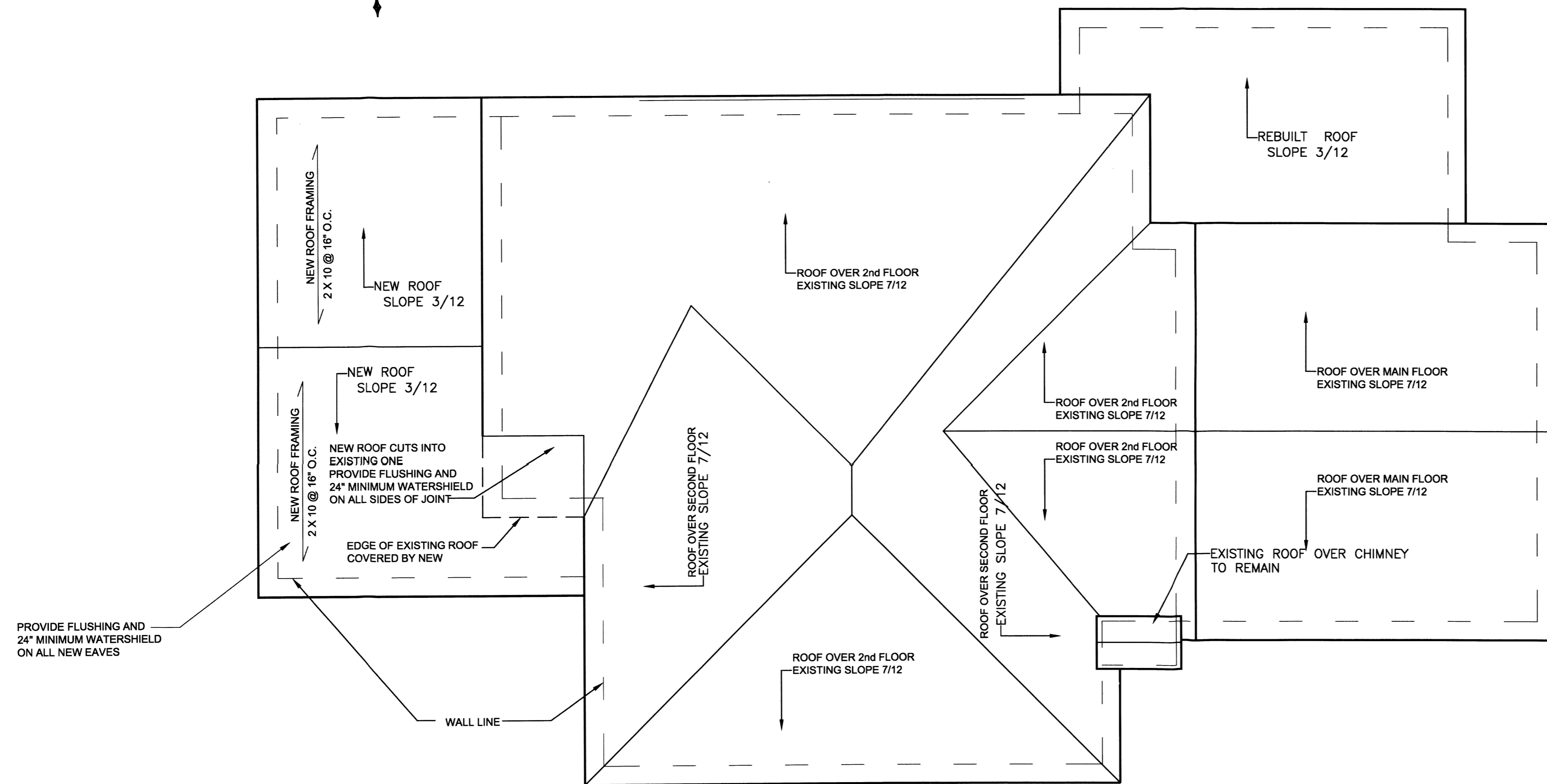
MAIN FLOOR PLAN AND CORRESPONDING INTERIOR DETAILS

Drawn By	EK
Checked By	EK
Project No.	33 HAVEMEYER
Scale	1/4" = 1'-0"
Date	11-7-20
File Name	VT
Drawing No.	



NOTE: ALL WINDOWS IN THE EXISTING HOUSE TO BE REPLACES WITH NEW VINYL, DOUBLE HUNG, INSULATED WINDOWS SIMILAR TO EXISTING WINDOWS. NEW WINDOWS AT ADDITION SHALL ALSO BE VINYL, DOUBLE HUNG INSULATED WINDOWS.

SECOND FLOOR PLAN SHOWING NEW FRAMING FOR THE CEILING ABOVE



ROOF PLAN AND FRAMING FOR NEW ROOFS

LEGEND:

- EXISTING INTERIOR PARTITION TO REMAIN
- EXISTING EXTERIOR WALL TO REMAIN
- NEW PARTITION SEE DETAIL-12
- NEW EXTERIOR WALL SEE DETAIL-13
- DEMOLITION

NOTE:

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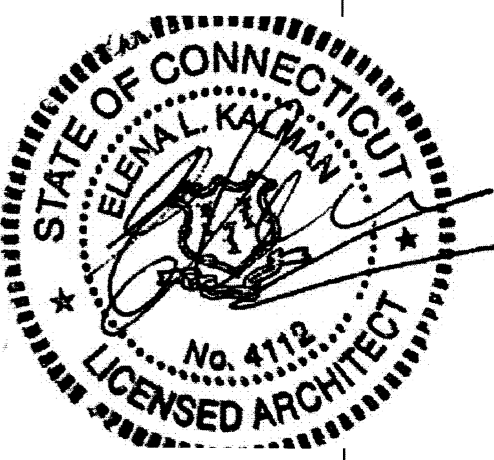
WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR REVIEW BEFORE PROCEEDING WITH FABRICATION.

No.	Date	Revision

TROPP RESIDENCE
 33 HAVEMEYER STREET
 GREENWICH, CT
 PROPOSED INTERIOR
 RENOVATIONS AND ADDITION

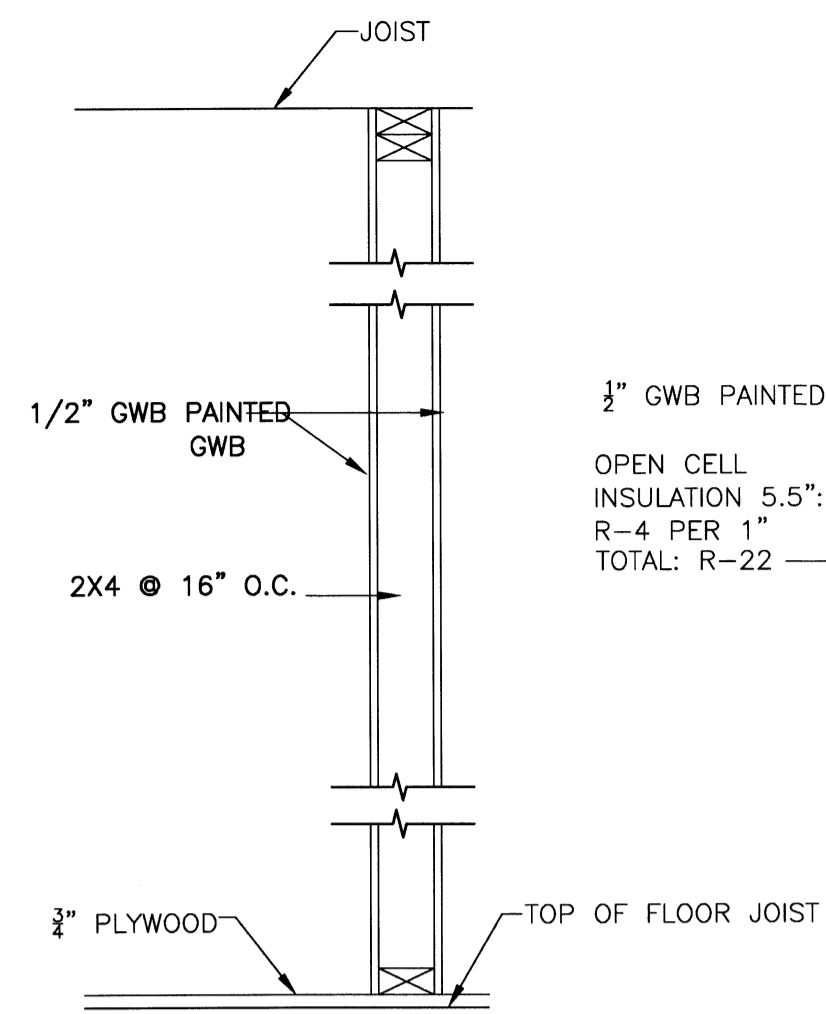
EK
 ELENA
 KALMAN
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AIA
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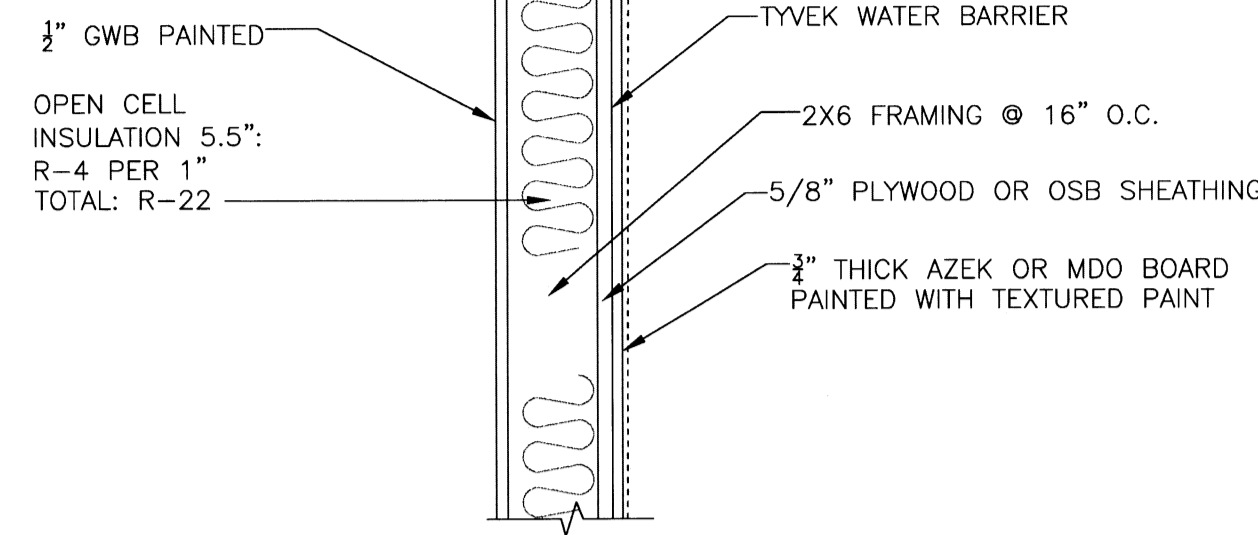


Drawing Title
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 ROOF PLAN**

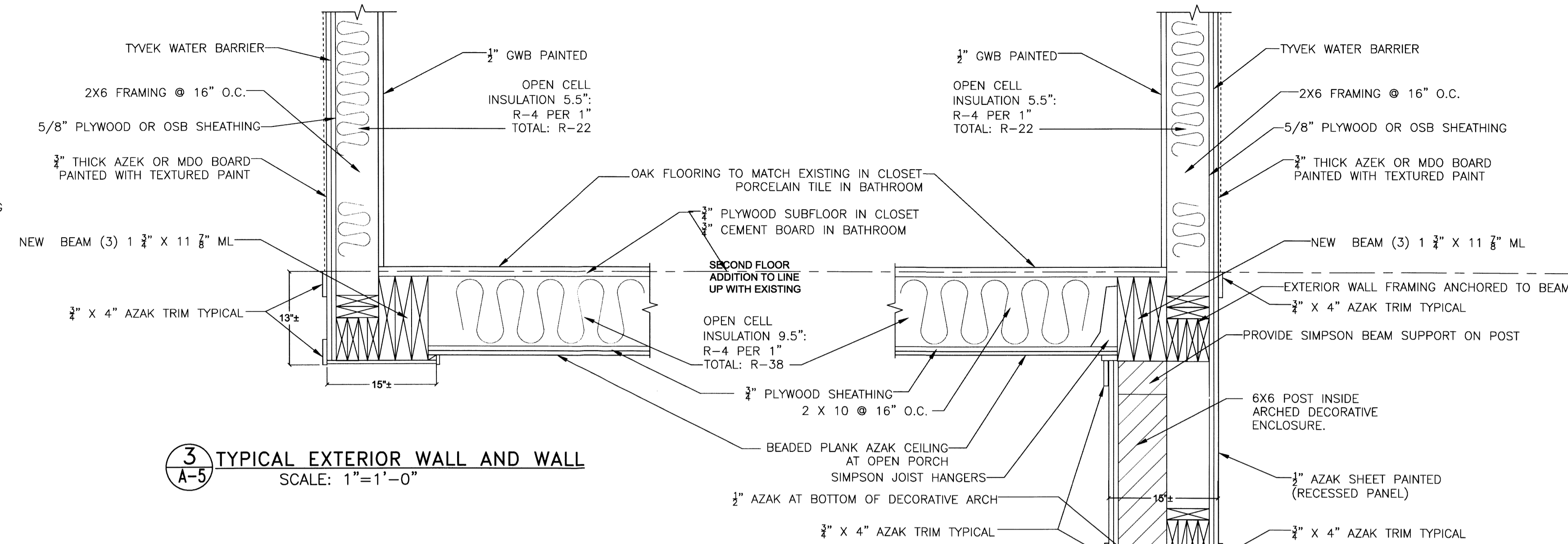
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Date	11-7-20
File Name	VT
Drawing No.	



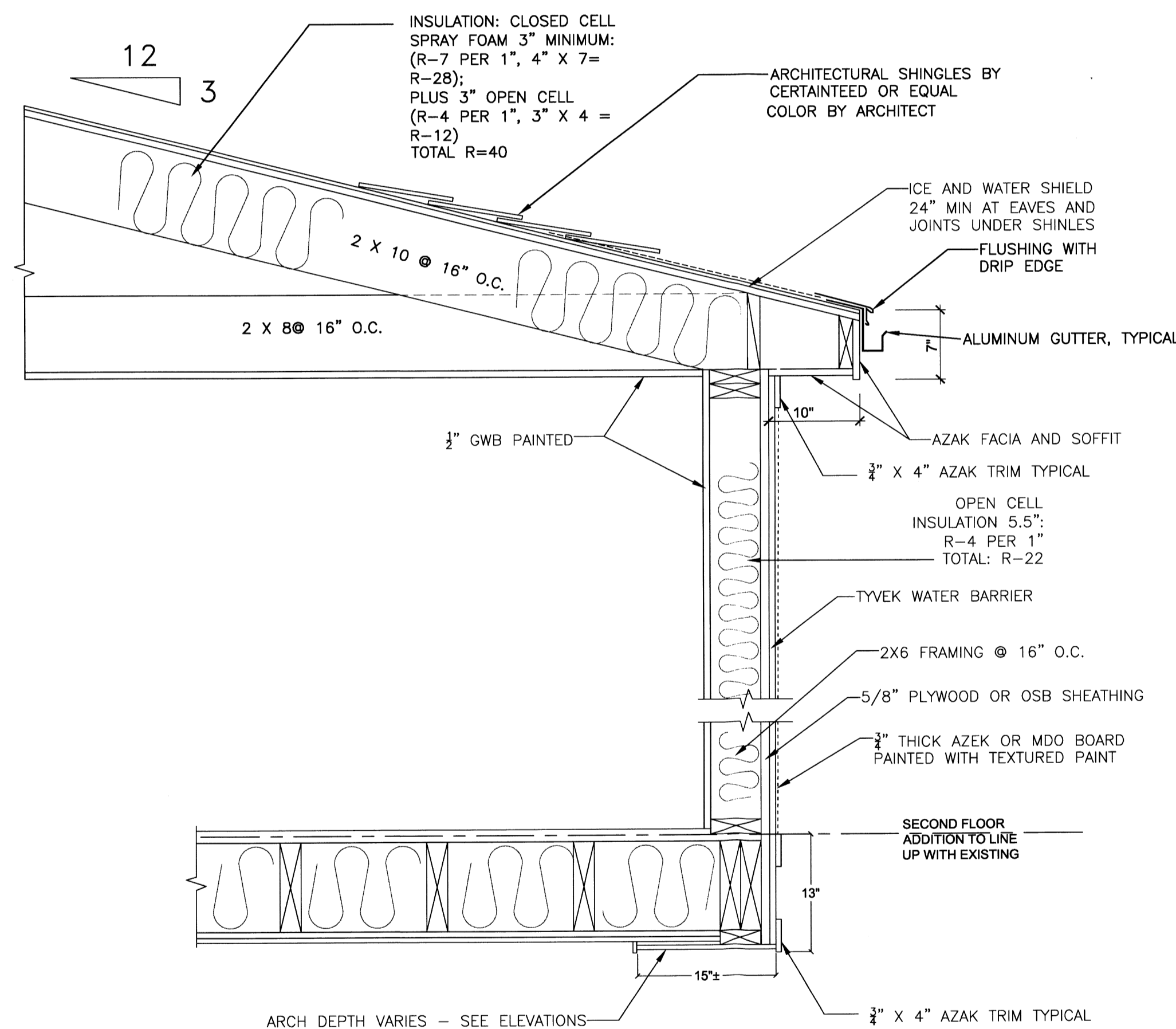
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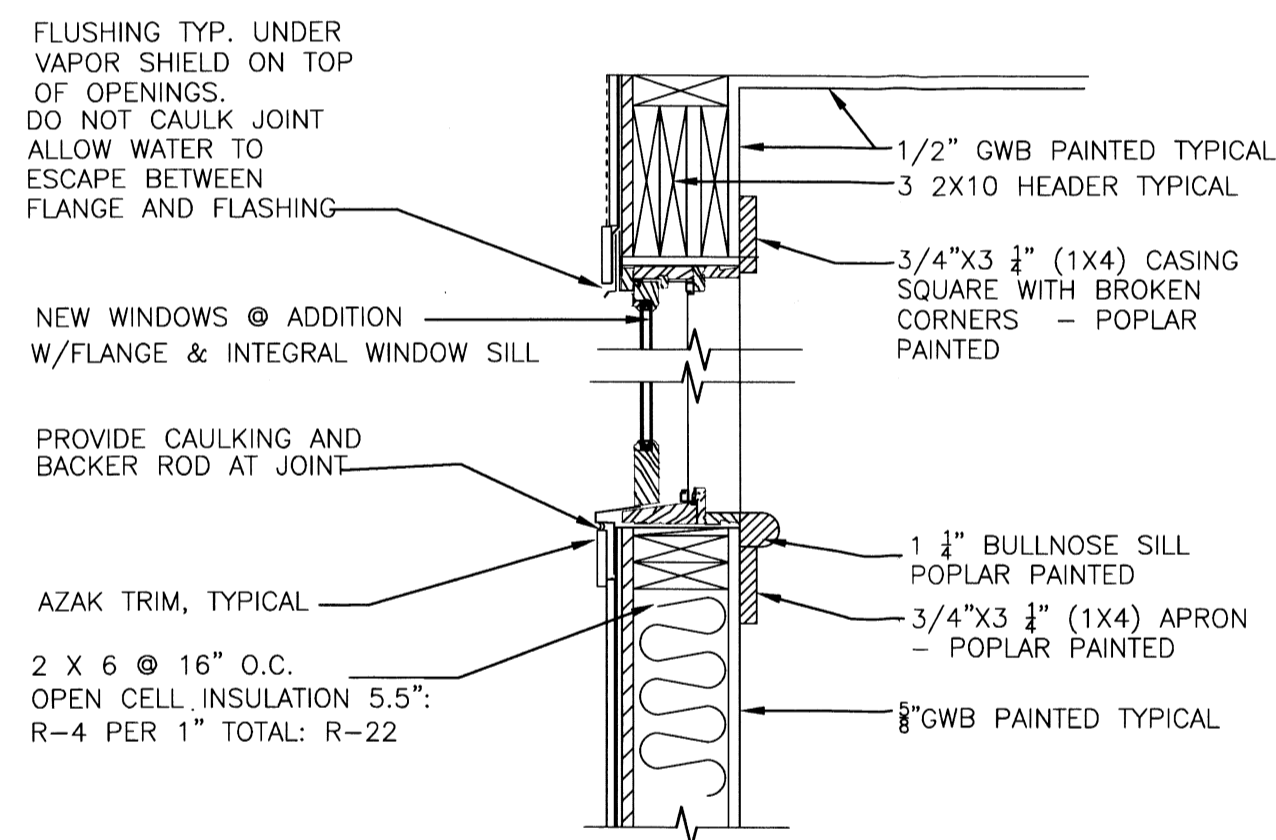
2 TYPICAL EXTERIOR WALL
A-5 SCALE: 1"=1'-0"



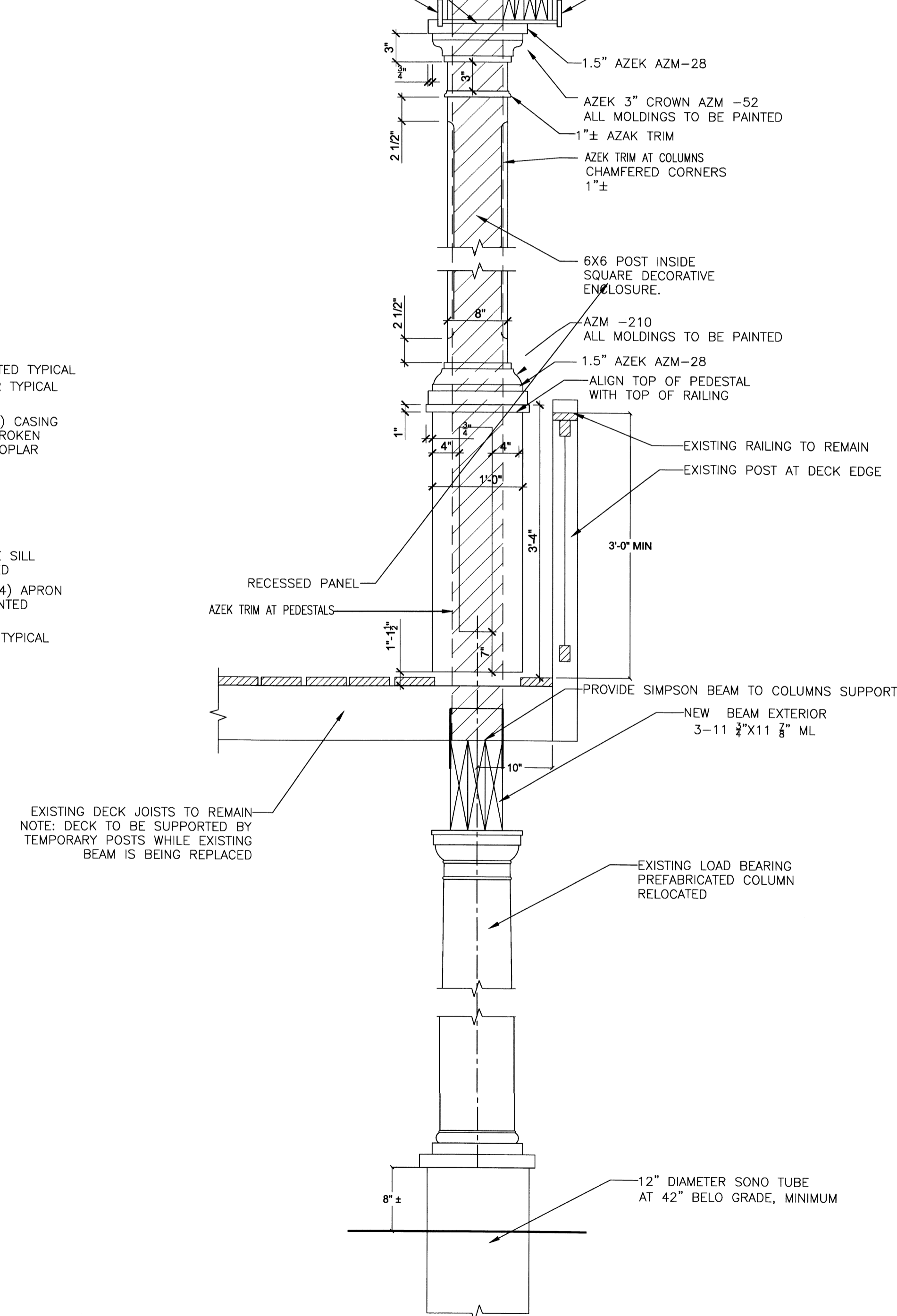
3 TYPICAL EXTERIOR WALL AND WALL
A-5 SCALE: 1"=1'-0"



4 TYPICAL EXTERIOR WALL, FLOOR AND ROOF
A-5 SCALE: 1"=1'-0"



5 TYPICAL WINDOW
A-5 SCALE: 1"=1'-0"



6 SECTION AND COLUMN DETAIL
A-5 SCALE: 1"=1'-0"

NOTE:

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Date	Issue	
No.	Date	Revision

TROPP RESIDENCE
33 HAVEMEYER STREET
GREENWICH, CT
PROPOSED INTERIOR
RENOVATIONS AND ADDITION

Drawing Title

ADDITION DETAILS

Drawn By	EK
Checked By	EK
Project No.	33 HAVEMEYER
Scale	1/2" = 1'-0"
Date	11-7-20
File Name	VT
Drawing No.	