

**CITY OF STAMFORD  
ZONING BOARD OF APPEALS**

Stamford Government Center  
888 Washington Blvd.  
P.O. Box 10152  
Stamford, CT 06904-2152

*Coastal*

Telephone 203.977.4160 - Fax 203.977.4100 - E-mail [mjudge@stamfordct.gov](mailto:mjudge@stamfordct.gov)

**PLEASE PRINT ALL INFORMATION IN INK**

1. I/we hereby apply to the Zoning Board of Appeals for:

- Variance(s)
- Special Permit
- Appeal from Decision of Zoning Enforcement Officer
- Extension of Time
- Motor Vehicle Approval:**

New Car Dealer ( ) Used Car Dealer ( ) General Repairer ( ) Limited Repairer ( ) Gasoline Station ( )

2. Address of affected premises:

54 ALBIN ST 06902  
street zip code

Property is located on the north ( ) south ( ) east ( ) west  side of the street.

Block: 138 Zone: R-7 1/2 Sewered Property  yes ( ) no

Is the structure 50 years or older  yes ( ) No

Corner Lots Only: Intersecting Street: N/A

Within 500 feet of another municipality: No  Yes ( ) Town of \_\_\_\_\_

3. Owner of Property: RICCIARDO GALLO & BARBARA KING

Address of Owner: 54 ALBIN ST Zip 06902

Applicant Name: RICCIARDO GALLO & BARBARA KING

Address of Applicant: 54 ALBIN ST Zip 06902

Agent Name: RICCIARDO GALLO & BARBARA KING

Address of Agent: 54 ALBIN ST Zip 06902

EMAIL ADDRESS: HARBORLANDINGLLC@GMAIL.COM  
(Must be provided to receive comments from letters of referral)

Telephone # of Agent 917-399-4715 Telephone # of Owner 917-399-4715

(CONTACT IS MADE WITH AGENT, IF ONE)

4. List all structures and uses presently existing on the affected property:

EXISTING SINGLE FAMILY DWELLING AND GARAGE

5. Describe in detail the proposed use and give pertinent linear and area dimensions:

PROPOSED 3'-0" X 8'-4" BUILDING ADDITION UNDER PROPOSED 5'-6" X 29'-0" COVERED POOL

VARIANCES (complete this section for variance requests only) See a Zoning Enforcement Officer for help in completing this section

Variance(s) of the following section(s) of the Zoning Regulations is requested (provide detail of what is sought per the applicable section(s) of the Zoning Regulations):

VARIANCES OF TABLE III, APPENDIX B STREET LINE AND STREET CENTER ARE REQUESTED FOR PROPOSED BUILDING ADDITION.

A 26.4' STREET LINE SETBACK REQUESTED FOR PROPOSED BUILDING ADDITION IN LIEU OF 30' MIN ALLOWED AND

A 51.4' STREET CENTER SET BACK REQUESTED FOR PROPOSED BUILDING ADDITION IN LIEU 55' MIN ALLOWED

Variations of the Zoning Regulations may be granted where there is unusual hardship in the way of carrying out the strict letter of the Regulations solely with respect to a parcel of land where conditions especially affect such parcel but do not affect generally the district in which it is situated. In your own words:

A. Describe the unusual hardship in being unable to carry out the strict letter of the Zoning Regulations:

THE INTERNAL CONFIGURATION IS HAZARDOUS. A BUMP-OUT IS BEING REQUESTED TO CORRECT EXISTING ISSUE AND CREATE SAFE ACCESS.

DO NOT WRITE ON BACK OF PAGE

ZONING ENFORCEMENT APPROVAL For Submission To Zoning Board Of Appeals Sheet of 3/31/20 Authorized Signature Date

B. Explain why the variance(s) is/are the minimum necessary to afford relief:

BUILDING ADDITION IS MINOR WITH JUST ENOUGH SPACE TO CORRECT HAZARDOUS ACCESS FOR EVERYONE, ESPECIALLY OUR ELDERLY FAMILY MEMBERS.

C. Explain why granting of the variance(s) would not be injurious to the neighborhood.

THE BUMP-OUT WOULD BE DESIGNED TO BE VISUALLY APPEALING AND WOULD BLEND IN WITH ORIGINAL DESIGN OF EXISTING HOME.

**SPECIAL PERMIT**

(Complete this section **only** for special exceptions)

SPECIAL EXCEPTION is requested as authorized by Section(s) \_\_\_\_\_ of the Zoning Regulations.

Provide details of what is being sought:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

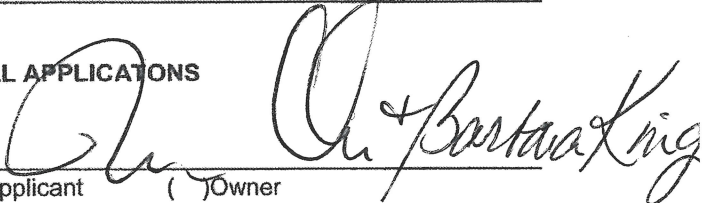
**MOTOR VEHICLE APPLICATIONS**

(Complete this section only for Motor Vehicle/Service Dealers Applications)

Provide details of what is being sought.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**SIGNATURE REQUIRED FOR ALL APPLICATIONS**



Signature of :     Agent     Applicant     Owner

Date Filed: 3-28-2021

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Zoning Enforcement Officer Comments:

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**DECISION OF THE ZONING ENFORMENT OFFICER**

(Complete this section **only** for appeals of zoning enforcement officer decision

DECISION OF THE ZONING ENFORCEMENT OFFICER dated \_\_\_\_\_ is appealed because:

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**CITY OF STAMFORD  
ZONING BOARD OF APPEALS**

**APPLICATION PACKET**

Board Members  
**Claire D. Friedlander, Chair**  
**John A. Sedlak**  
**Mary Savage**  
**Nino Antonelli**  
**Joseph Pigott**

Alternate  
**Ernest Matarasso**  
**Matthew Tripolitsiotis**  
**Lauren Jacobson**

Land Use Administrative Assistant  
**Mary Judge**

**ALL APPLICATIONS MUST BE APPROVED AND REVIEWED BY THE  
ZONING ENFORCEMENT AT LEAST ONE WEEK PRIOR TO THE  
SUBMITTAL DATE**

Zoning Enforcement: \_\_\_\_\_

Date: \_\_\_\_\_

3/31/21

Is the project situated in the coastal boundary?

Yes (  ) No (  )

Is the project exempt from the coastal regulation?

Yes (  ) Exemption # \_\_\_\_\_

No (  ) N/A (  )

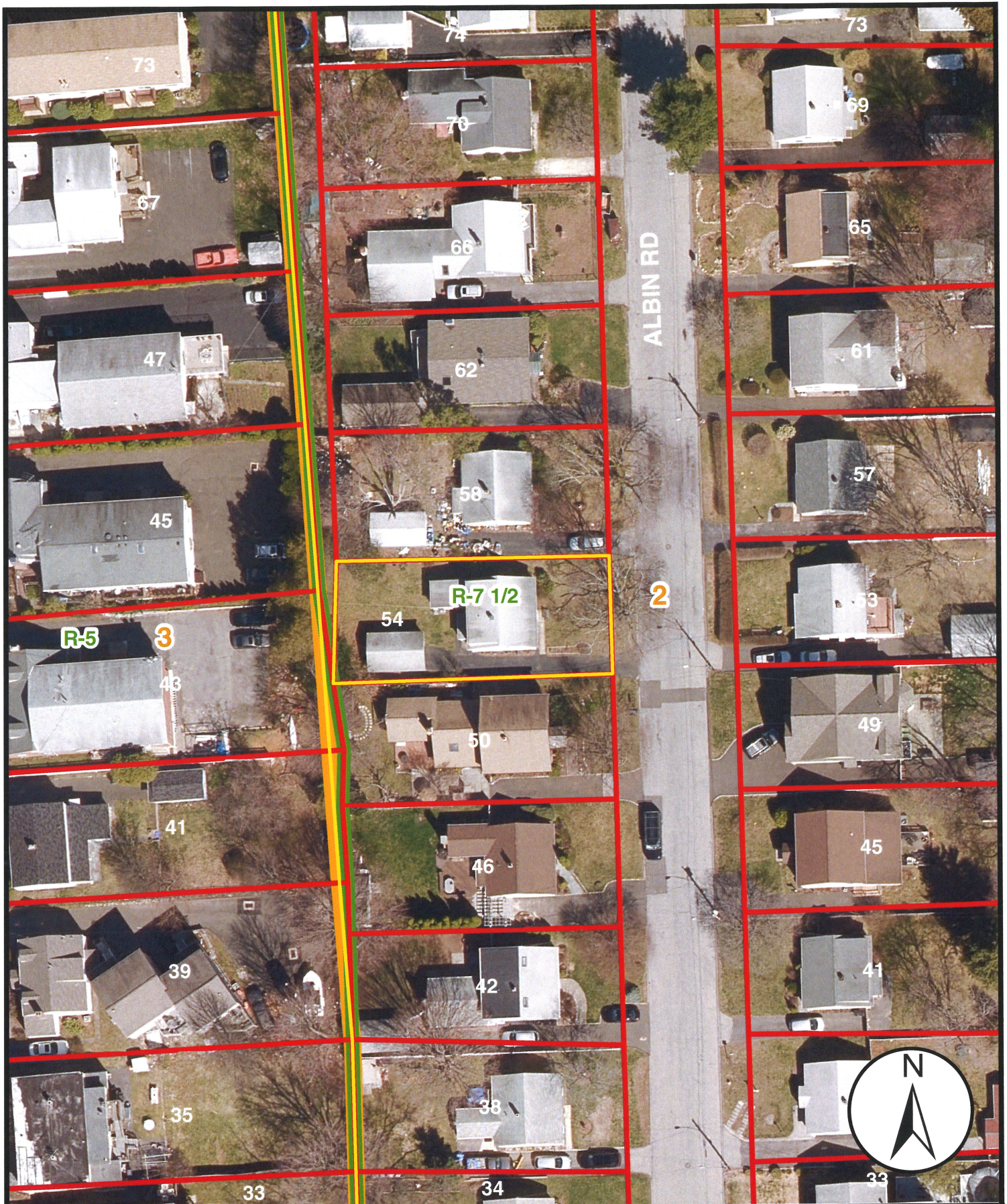
Environmental Protection: \_\_\_\_\_

Date: \_\_\_\_\_

CAM Review by:

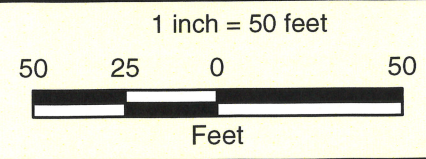
Zoning Board

ZBA



**ZBA Application #013-21**  
**54 Albin Road**

Date: 4/19/2021



R 7 1/2  
 R-7 1/2 ZONE BUILDING SETBACK REQUIREMENTS  
 Front Street Line Setback..... 30'  
 Center Line Of Street Setback..... 55'  
 Rear Yard Setback..... 30'  
 Side Yard Setback..... 6' W/ Total Of... 12'  
 Max. Building Coverage..... 25% Of Lot Area  
 Max. Building Height ..... 2 1/2 Stories (30')  
 Max. Families Per Plot ..... 1  
 Min. Lot Area ..... 7,500 sq ft  
 ZONING INFORMATION IS SUBJECT TO THE REVIEW AND APPROVAL BY THE APPROPRIATE GOVERNING AUTHORITIES.

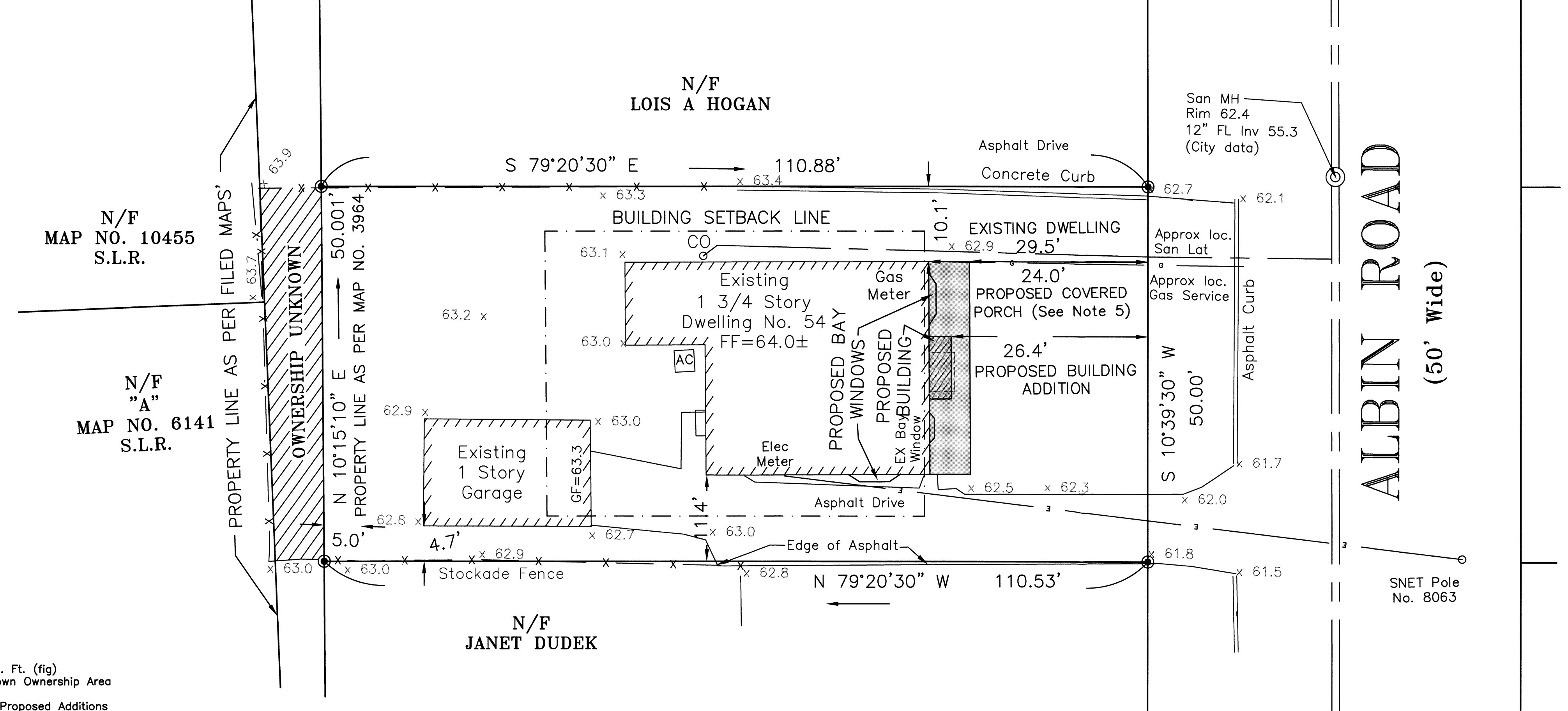
Block No. 138

**LEGEND**

Stone Wall	Existing	Manhole	⊙
Concrete Wall	-----	Yard Drain	⊞
Fence	X - X	Light Pole	⊕
Catch Basin (In Curb)	⊞	Sign	⊕
Catch Basin (Flush)	⊞	Clean Out	⊞
Gas Box	⊞	Metal Cover	⊞
Gas Meter	⊞		
Electric Meter	⊞		
Water Box	⊞		
Monitoring Well	⊞		

Property Lines Not Staked By Contractual Agreement  
 Soil Types Not Delineated By Contractual Agreement

**ORIENTATION**



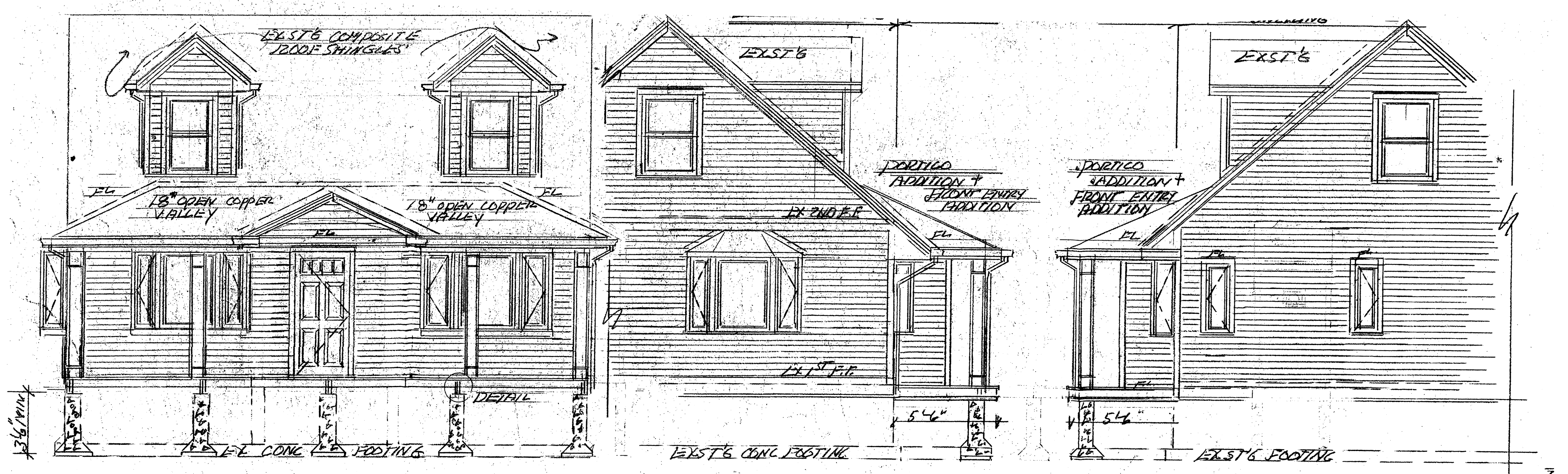
Refer To:  
 Lot No. 25  
 Map No. 3964

Area = 5,535 Sq. Ft. (fig)  
 Exclusive of Unknown Ownership Area

Existing Dwelling Proposed Additions  
 and Garage Cover 23.3% of Lot Area  
 (Exclusive of Proposed Covered Porch)

Scale: 1" = 10'

- NOTES:**
- Property Subject to Title Verification, utility easements, Restrictive Covenants and or Private Agreements if any, in addition to those Depicted and or referenced on this Map. No Title Information Provided. Refer to 7320 P 344 S.L.R.
  - Underground utility, structure and facility locations depicted and noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or governmental agencies, from parcel testimony and from other sources. These locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to Edward J. Frattaroli, Inc. The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction.
  - The contractor shall notify all public utility companies by calling Call-Before-You-Dig at 1-800-922-4455 at least 72 hours prior to crossing their lines.
  - ELEVATIONS ON NAVD-88 DATUM (BASED ON INFORMATION PROVIDED BY THE CITY OF STAMFORD)
  - Refer to 7.C. The following features may extend into any required Front Yard not to exceed the distances specified and which in no case project beyond the Street Line of the Lot:  
 3. An uncovered porch, deck, patio or terrace with its first floor no higher than that of the entrance to the Building: six feet (6'). A railing no higher than forty-two inches (42") or as required by the Building Code may be placed around such terrace or porch. Said terrace or porch may be covered if open on the sides and front, and shall not count towards Building Coverage. Zoning information is Subject to the Review and Approval by the Appropriate governing authorities (204-04, 210-40)
  - SIZE AND LOCATION OF PROPOSED BUILDING ADDITION AND SITE DEVELOPMENT PROVIDED BY OTHERS - IT IS SUBJECT TO THE REVIEW AND APPROVAL BY THE APPROPRIATE GOVERNING AUTHORITIES. Variance's of Table III, Appendix "B" (Street Line & Street Center) Are requested for Proposed building Addition depicted on this map
- 40' Minimum Street Line Setback Allowed  
 26.4' Requested for Proposed Building Addition
- 65' Minimum Street Center Setback Allowed  
 51.4' Requested for Proposed Building Addition
- ADDITIONAL VARIANCES MAY BE REQUIRED PENDING THE REVIEW AND APPROVAL BY THE APPROPRIATE GOVERNING AUTHORITIES



PROPOSED EAST ELEVATION 1/4" = 1/8"

PROPOSED PARTIAL SOUTH ELEVATION 1/4" = 1/8"

PROPOSED PARTIAL NORTH ELEVATION 1/4" = 1/8"

ADDITION & ALTERATION  
 RICHARD GALLO & PARTNER  
 54 ALBIN RD  
 STAMFORD, CT

ELEVATION OF PROPOSED DEVELOPMENT PROVIDED BY OTHER

Scale: 1" = 4'

#013-21

**PLOT PLAN  
 PREPARED FOR  
 RICHARD GALLO  
 54 ALBIN ROAD  
 STAMFORD, CONNECTICUT**

SCALE IN FEET

This survey and map has been prepared in accordance with Section 20-300b-1 thru 20-300b-20 of the Regulation of Connecticut State Agencies - "Minimum Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a "ZONING LOCATION SURVEY" based on a "DEPENDENT RESURVEY" conforming to horizontal Accuracy Class "A-2" and intended to be used for Compliance and Noncompliance with Existing Requirements.

To my knowledge and belief this plan is substantially correct as noted hereon.

revised march 17, 2021 (Proposed Development)

BY: *Edward J. Frattaroli*

FOR: EDWARD J. FRATTAROLI, INC.  
 Land Surveyors - Engineers - Land Planners  
 Unauthenticated alterations render any declaration hereon null and void. STAMFORD, CONNECTICUT FEBRUARY 17, 2021