

**CITY OF STAMFORD
ZONING BOARD OF APPEALS**

Stamford Government Center
888 Washington Blvd.
P.O. Box 10152
Stamford, CT 06904-2152

Telephone 203.977.4160 - Fax 203.977.4100 - E-mail mjudge@stamfordct.gov

PLEASE PRINT ALL INFORMATION IN INK

1. I/we hereby apply to the Zoning Board of Appeals for:

- Variance(s)
- Special Permit
- Appeal from Decision of Zoning Enforcement Officer
- Extension of Time
- Motor Vehicle Approval:**

New Car Dealer () Used Car Dealer () General Repairer () Limited Repairer () Gasoline Station ()

2. Address of affected premises:

65 Lantern Circle
_____ street _____ zip code

Property is located on the north () south () east west () side of the street.

Block: 324 Zone: _____ Sewered Property yes () no

Is the structure 50 years or older () yes No

Corner Lots Only: Intersecting Street: _____

Within 500 feet of another municipality: No () Yes () Town of _____

3. Owner of Property: USHA S. Naalakaran & Sivakumar Thiagarajar

Address of Owner: 65 Lantern Circle. Zip _____

Applicant Name: Douglas Alderman

Address of Applicant 155 High View Av. Zip 06907

Agent Name: Douglas Alderman

Address of Agent: 155 High View Av. Zip 06907

EMAIL ADDRESS: Info@CWIStamford.Com
(Must be provided to receive comments from letters of referral)

Telephone # of Agent 203-322-3081 Telephone # of Owner 203-326-0222

(CONTACT IS MADE WITH AGENT, IF ONE)

4. List all structures and uses presently existing on the affected property:

Single family dwelling

5. Describe in detail the proposed use and give pertinent linear and area dimensions:

Extend Garage and make Bedroom
about 24x18'-4";

VARIANCES (complete this section for variance requests only)
See a Zoning Enforcement Officer for help in completing this section

Variance(s) of the following section(s) of the Zoning Regulations is requested
(provide detail of what is sought per the applicable section(s) of the Zoning Regulations):

Side yard Variance East & South
Side for Garage & Bedroom above
TABLE # App B

SIDE YARD of 3.7' where of 10'-0" REQ
TOTAL SIDE YARD of 13.7' - where of 20'-0" REQ

ZONING ENFORCEMENT APPROVAL
For Submission To Zoning Board Of Appeals
Sheet 1 of 1
Authorized Signature [Signature] Date 4/1/21

Variances of the Zoning Regulations may be granted where there is unusual hardship in the way of carrying out the strict letter of the Regulations solely with respect to a parcel of land where conditions especially affect such parcel but do not affect generally the district in which it is situated. In your own words:

A. Describe the unusual hardship in being unable to carry out the strict letter of the Zoning Regulations:

Lot Configuration

DO NOT WRITE ON BACK OF PAGE

B. Explain why the variance(s) is/are the minimum necessary to afford relief:

Lot Configuration House is on Slab No Storage

C. Explain why granting of the variance(s) would not be injurious to the neighborhood.

Will Not make any change

SPECIAL PERMIT

(Complete this section **only** for special exceptions)

SPECIAL EXCEPTION is requested as authorized by Section(s) _____ of the Zoning Regulations.

Provide details of what is being sought:

MOTOR VEHICLE APPLICATIONS

(Complete this section **only** for Motor Vehicle/Service Dealers Applications)

Provide details of what is being sought.

SIGNATURE REQUIRED FOR ALL APPLICATONS



Signature of: Agent Applicant Owner

Date Filed: 3/22/21

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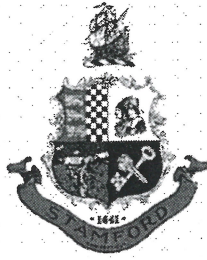
Zoning Enforcement Officer Comments:

DECISION OF THE ZONING ENFORMENT OFFICER

(Complete this section **only** for appeals of zoning enforcement officer decision

DECISION OF THE ZONING ENFORCEMENT OFFICER dated _____ is appealed because:

DO NOT WRITE ON BACK OF PAGE



**CITY OF STAMFORD
ZONING BOARD OF APPEALS**

APPLICATION PACKET

Board Members
Claire D. Friedlander, Chair
John A. Sedlak
Mary Savage
Nino Antonelli
Joseph Pigott

Alternate
Ernest Matarasso
Matthew Tripolitsiotis
Lauren Jacobson

Land Use Administrative Assistant
Mary Judge

**ALL APPLICATIONS MUST BE APPROVED AND REVIEWED BY THE
ZONING ENFORCEMENT AT LEAST ONE WEEK PRIOR TO THE
SUBMITTAL DATE**

Zoning Enforcement: _____

Date: _____

4/1/21

3/22/21

Is the project situated in the coastal boundary? Yes () No ()

Is the project exempt from the coastal regulation? Yes () Exemption # _____ No () N/A ()

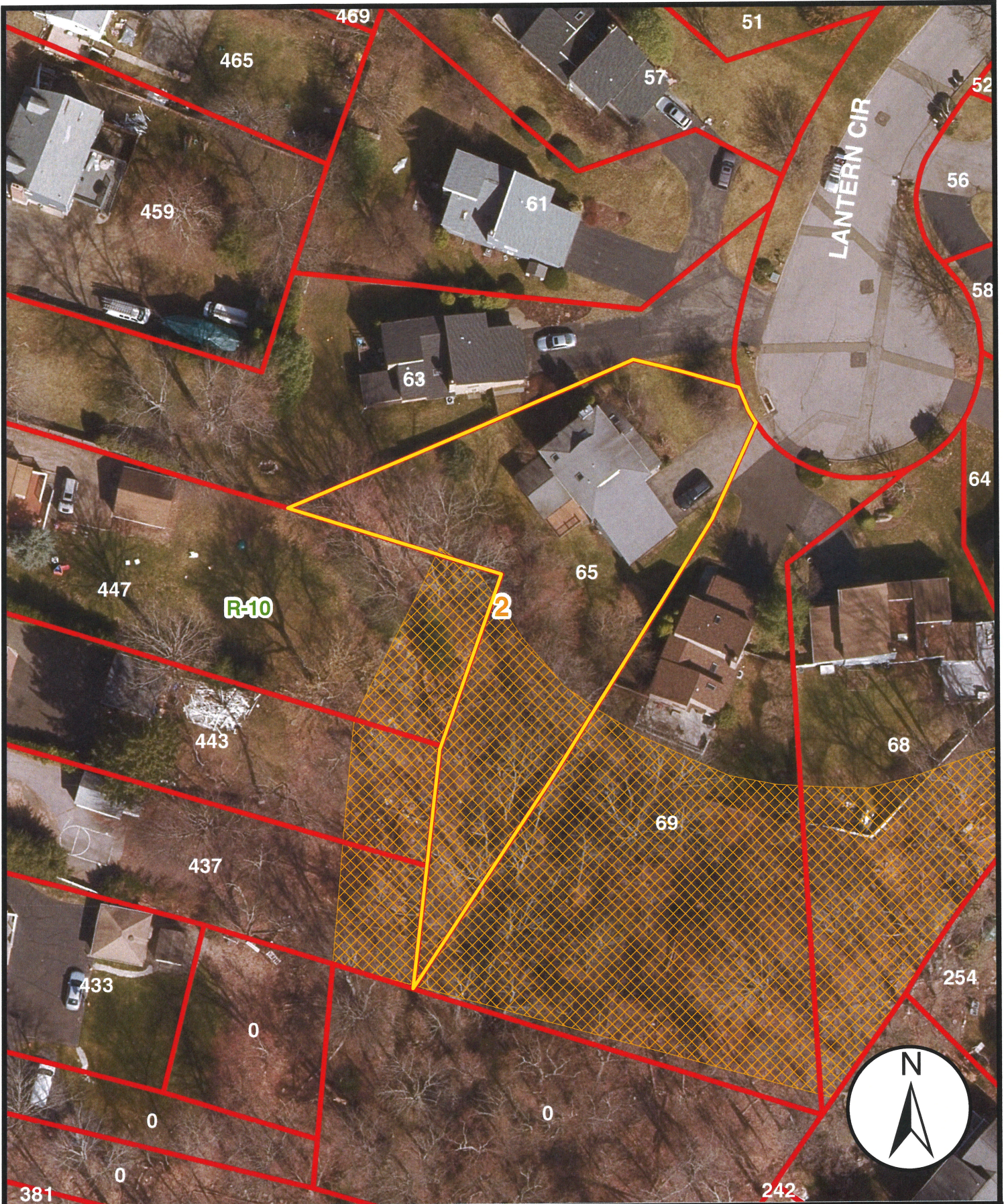
Environmental Protection: _____

Date: _____

CAM Review by:

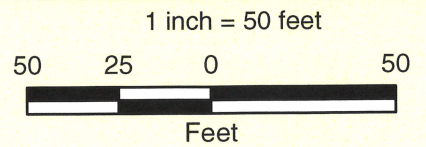
Zoning Board

ZBA



ZBA Application #014-21
65 Lantern Circle

Date: 4/19/2021



#014-21

'M P R O V E M E N T L O C A T I O N S U R V E Y - P R O P O S E D

P R E P A R E D F O R

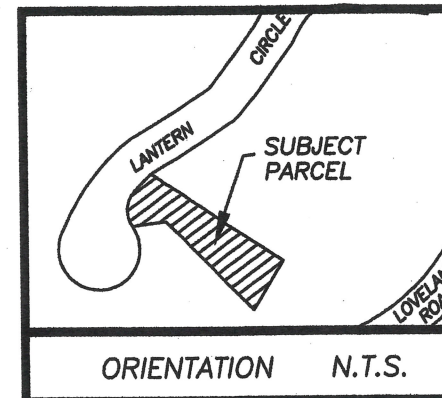
U S H A S . N E E L A K A N D A N & S I V A K I M A R T H I A G A R A J A N

S T A M F O R D , C O N N E C T I C U T

G R A P H I C S C A L E



1" = 30' (IN FEET)



O R I E N T A T I O N N . T . S .

R E V I S I O N S / P R I N T S

NO.	DATE	DESCRIPTION	BY
1	10/16/2020	APPROVAL PRINTS ISSUED	R.T.H.

S U R V E Y S P E C I F I C A T I O N S :

The type of survey performed hereon is a "IMPROVEMENT LOCATION SURVEY"

Boundary determination/opinion is based on "DEPENDENT RESURVEY"

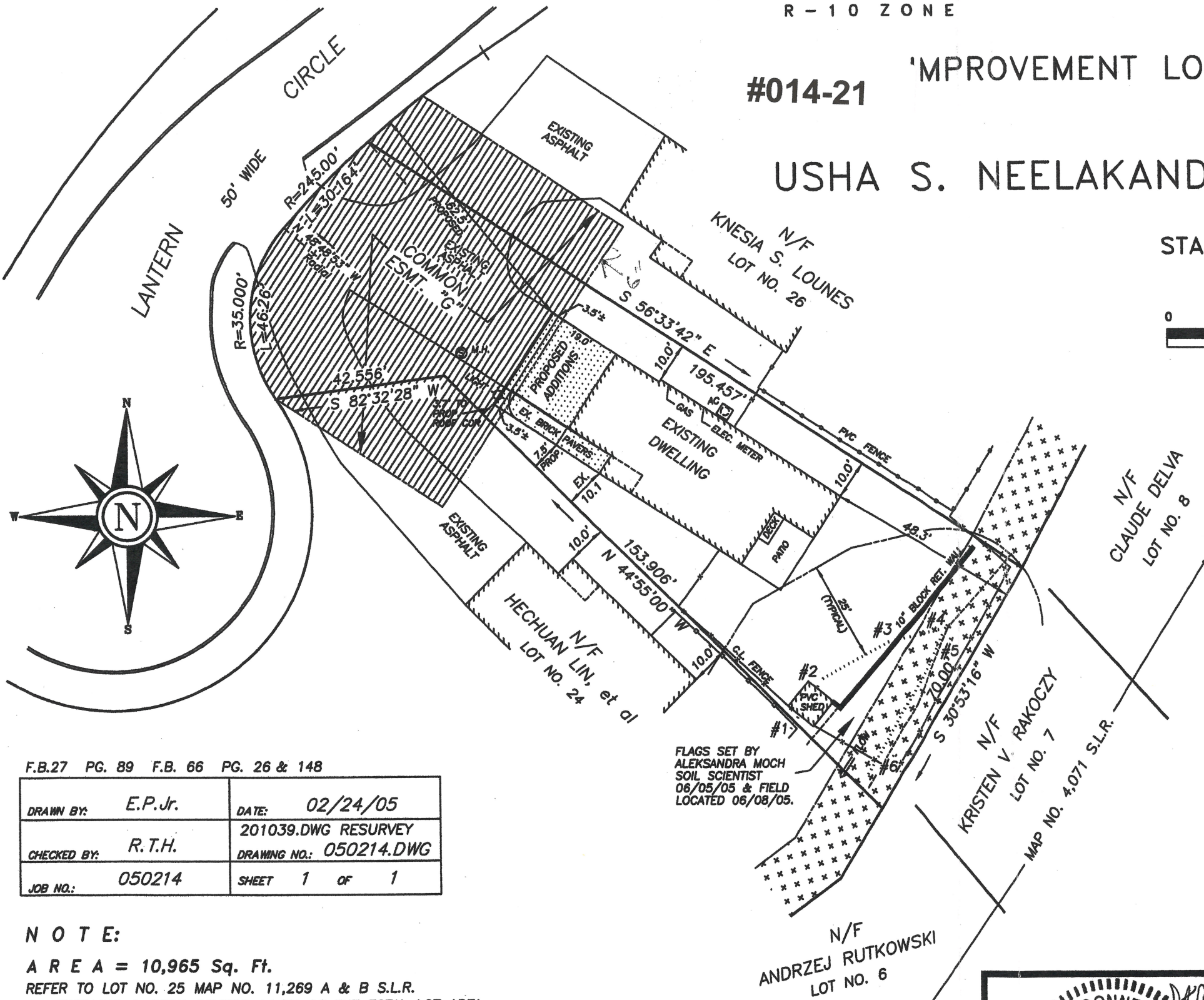
To the best of my knowledge & belief this map is substantially correct as noted hereon, and this survey was prepared in accordance with the standards of a Class A-2 survey as defined in Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Surveys and Maps in the State of Connecticut."



ROBERT T. HAMILTON
PROFESSIONAL LAND SURVEYORS L L C
Stamford, Connecticut

Phone (203) 322-1975

Fax (203) 329-2155



F.B.27 PG. 89 F.B. 66 PG. 26 & 148

DRAWN BY: E.P.Jr.	DATE: 02/24/05
CHECKED BY: R.T.H.	201039.DWG RESURVEY DRAWING NO.: 050214.DWG
JOB NO.: 050214	SHEET 1 OF 1

N O T E :

- A R E A = 10,965 Sq. Ft.
- REFER TO LOT NO. 25 MAP NO. 11,269 A & B S.L.R.
- EX. DWELLING & DECK COVERS 14.8% OF THE TOTAL LOT AREA.
- PROPERTY SUBJECT TO PRIVATE RESTRICTIONS OF RECORD, IF ANY.
- EX. DWELLING, DECK, & PROP. ADDTN. COVERS 20.2% OF THE TOTAL LOT AREA.
- SUBSTRUCTURES AND/OR THEIR ENCROACHMENTS, IF ANY, ARE NOT SHOWN.
- SUBJECT TO ELECTRIC AND/OR TELEPHONE CO. EASEMENTS UNDERGROUND OR OVERHEAD.
- NO ABSTRACT OF TITLE PROVIDED.
- PROPERTY MAY BE SUBJECT TO ANY OR ALL NOTES APPEARING IN REFERENCED MAPS HEREON IF APPLICABLE.
- EXTERIOR FEATURES AND/OR THEIR ENCROACHMENTS, IF ANY, ARE NOT SHOWN.
- AREA SHOWN CROSSED IS OPEN SPACE PRESERVE.

GENERAL NOTES:

ALL WORK SHALL CONFORM TO LOCAL RULES, REGULATION CODES AND ORDINANCES, AND ANY OTHER LOCAL, STATE, OR COUNTY DEPARTMENTS HAVING JURISDICTION OVER THE INSTALLATION OF THE STRUCTURAL SYSTEM AND IS TO BE CARRIED OUT IN ACCORDANCE WITH THE STRUCTURAL DRAWINGS SPECIFICATIONS AND THE REQUIREMENTS OF THE CONNECTICUT STATE BUILDING CODE LATEST EDITION.

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, ELEVATIONS, AND SIZES BEFORE FABRICATION AND TO BE RESPONSIBLE FOR FIT AND ALIGNMENT OF ALL NEW WORK. ANY DEVIATION WHICH MAY BE NECESSARY FROM CONTRACT DESIGN DRAWINGS DUE TO FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD FOR MODIFICATION.

THE DRAWINGS REQUIRE COORDINATION WITH OTHER TRADES AND DISCIPLINES. CONTRACTOR IS RESPONSIBLE FOR COORDINATION.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED DURING THE EXECUTION OF THE WORK.

CONTRACTOR SHALL HAVE A COPY OF THE 2016 INTERNATIONAL RESIDENTIAL BUILDING CODE WITH CONNECTICUT AMENDMENTS ON SITE ALL THE TIME CONSTRUCTION IS IN PROGRESS.

CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY DEPARTMENT OF BUILDINGS RULES AND REGULATIONS.

SAFETY PROVISIONS OF APPLICABLE FEDERAL (OSHA), STATE AND LOCAL LAWS, AND CONSTRUCTION CODES SHALL BE OBSERVED AND MAINTAINED BY THE CONTRACTOR AT ALL TIMES. IN THE EVENT OF A DISCREPANCY BETWEEN THE VARIOUS STANDARDS OF SAFETY REQUIRED, THE MOST STRINGENT PROVISION SHALL BE CONSIDERED TO BE APPLICABLE IN ANY GIVEN SITUATION.

THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.

THE CONTRACTOR IS CAUTIONED TO MAKE CONTINUOUS OBSERVATIONS OF THE EXISTING STRUCTURE DURING THE PERFORMANCE OF HIS WORK. SHOULD HE BECOME AWARE OF ANY SITUATION THAT REQUIRES FURTHER INVESTIGATION OR STUDY (SUCH AS CRACKED BEAMS, EXCESSIVE DEFLECTION, ETC.) HE SHALL NOTIFY THE ENGINEER IMMEDIATELY.

ALL TESTS REQUIRED FOR CONTROLLED INSPECTIONS SHALL BE PERFORMED BY A CERTIFIED MATERIALS TESTING LABORATORY, HIRED & PAID BY THE OWNER.

CONSTRUCTION THAT IS TO BE REPLACED AFTER REMOVAL WORK SHALL BE REPLACED WITH CONSTRUCTION OF EQUAL STRENGTH AND DESIGN.

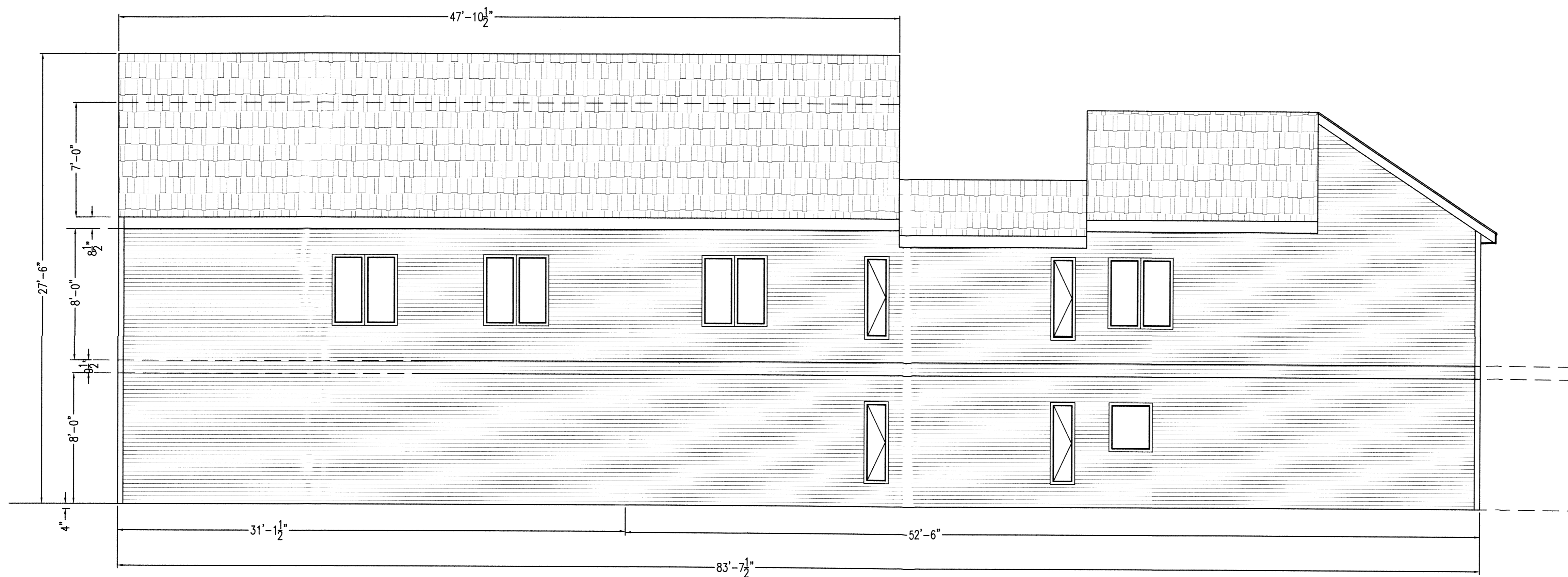
ANY CONSTRUCTION TO BE LEFT IN PLACE THAT IS WEAKENED OR DAMAGED SHALL BE RESTORED TO THE CONDITION THAT EXISTED PRIOR TO SUCH DAMAGE.



1 Proposed Front Elevation
SCALE: 1/4" = 1'-0"

TEMPORARY WORK NOTES:

1. ALL TEMPORARY WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE BUILDING CODE.
2. THE DRAWINGS INDICATE THE COMPLETED STRUCTURE. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL TEMPORARY MEASURES NECESSARY FOR ERECTION.
3. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE EXISTING STRUCTURE PRIOR TO, DURING, AND AFTER THE REMOVAL OF ANY MASONRY WALL AND ALL STRUCTURAL MODIFICATIONS HAVE BEEN COMPLETED.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN STRUCTURAL INTEGRITY DURING ALL TEMPORARY SHORING, NEEDLING, OR BRACING WORK OF THE EXISTING STRUCTURE.
5. MEANS AND METHODS OF TEMPORARY SHORING, NEEDLING, OR BRACING OF THE EXISTING STRUCTURE IS THE CONTRACTOR'S RESPONSIBILITY.
6. CONTRACTOR SHALL NOTIFY THIS OFFICE IN WRITING IF THERE ARE ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS.



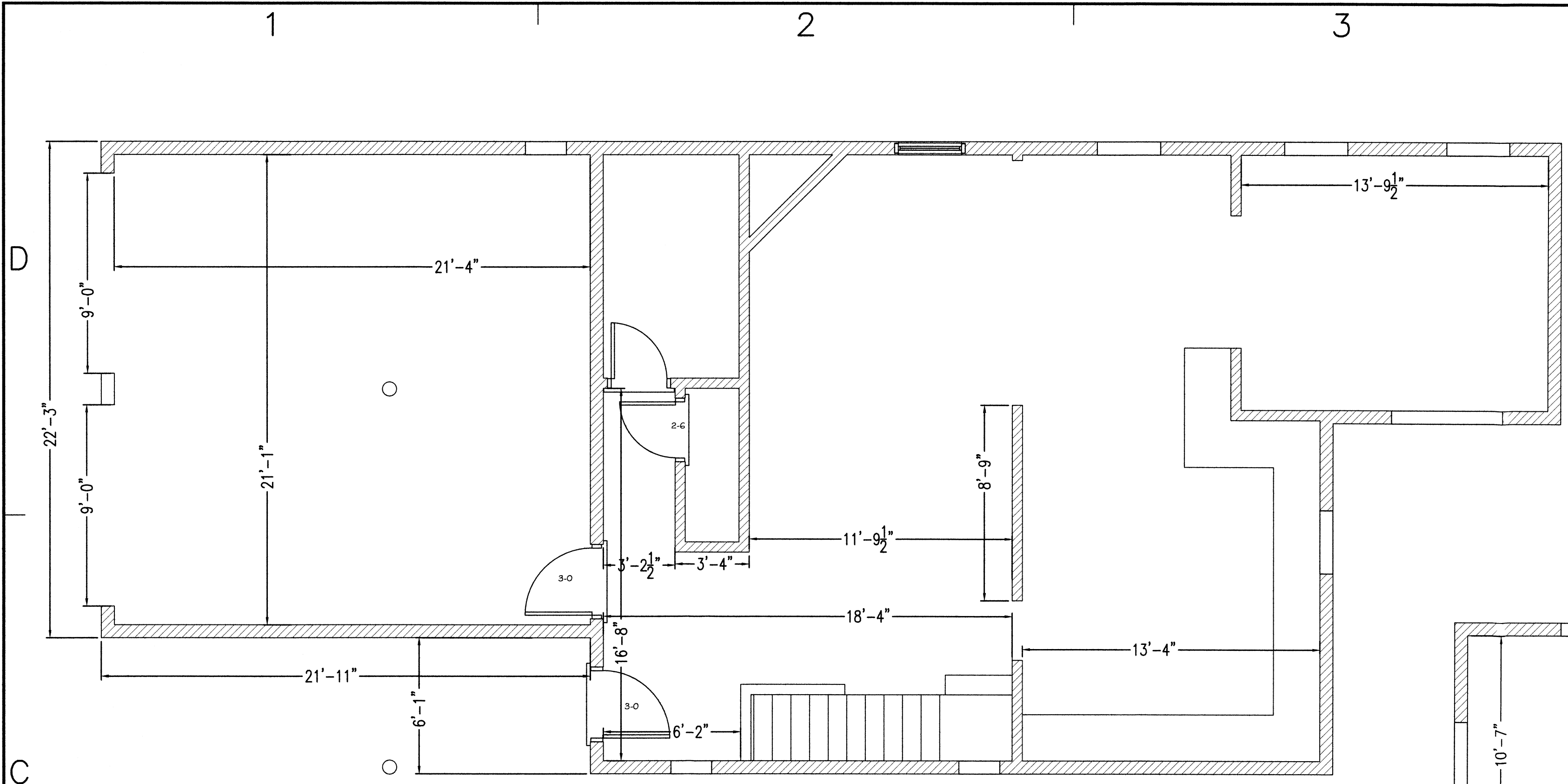
2 Proposed Right Side Elevation
SCALE: 1/4" = 1'-0"

#014-21

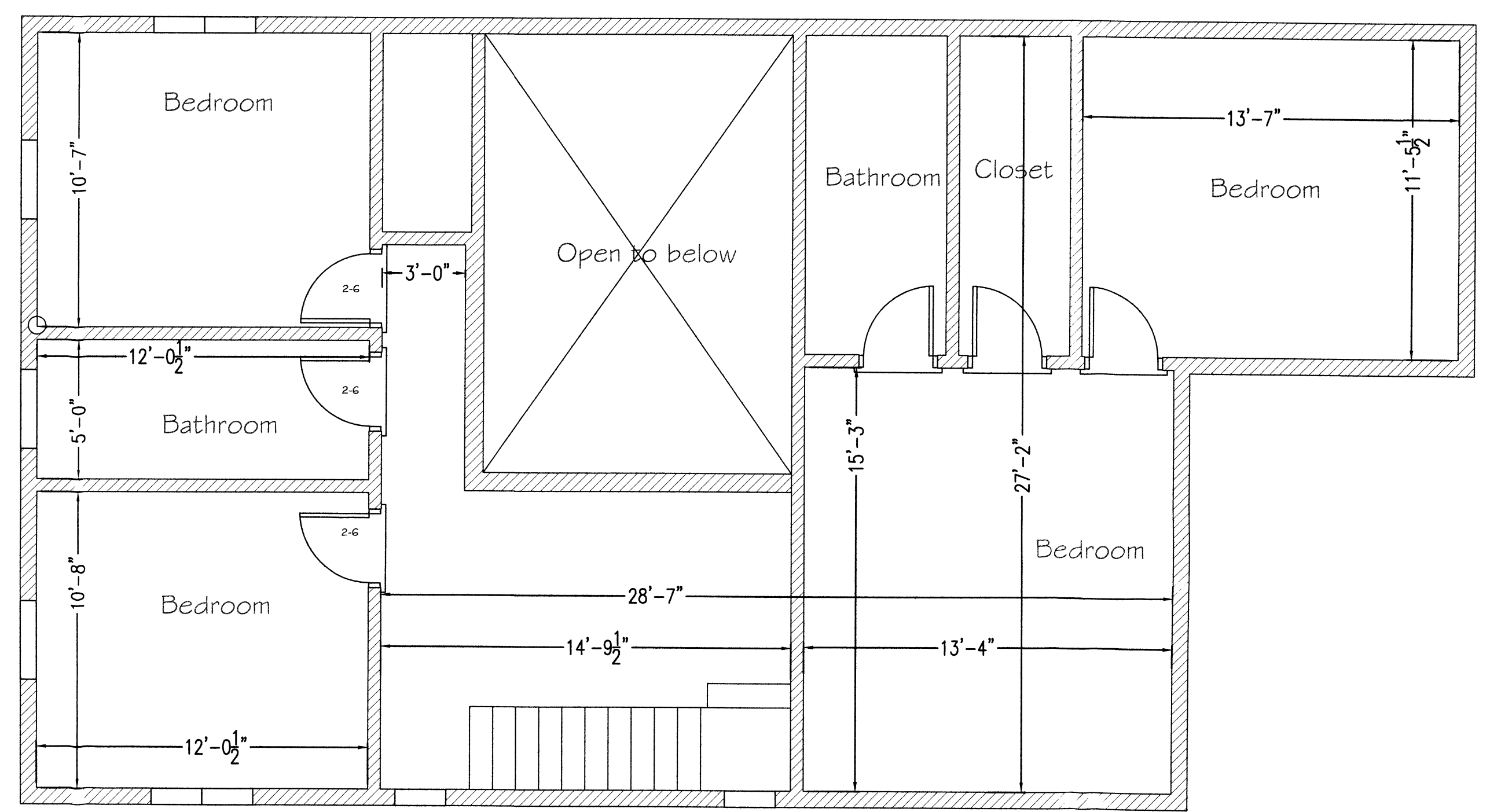
A-1

CONSULTANTS		
OWNER		
MARK	DATE	DESCRIPTION
PROJECT NO:		
CAD DWG FILE:		
DRAWN BY:	TB	
CHK'D BY:		
COPYRIGHT:	12/12/20	
SHEET TITLE		
Thiagarajan Residence Renovations 56 Lantern Circle Stamford, CT 06902		
Front & Side Proposed		
SHEET	1	OF 5

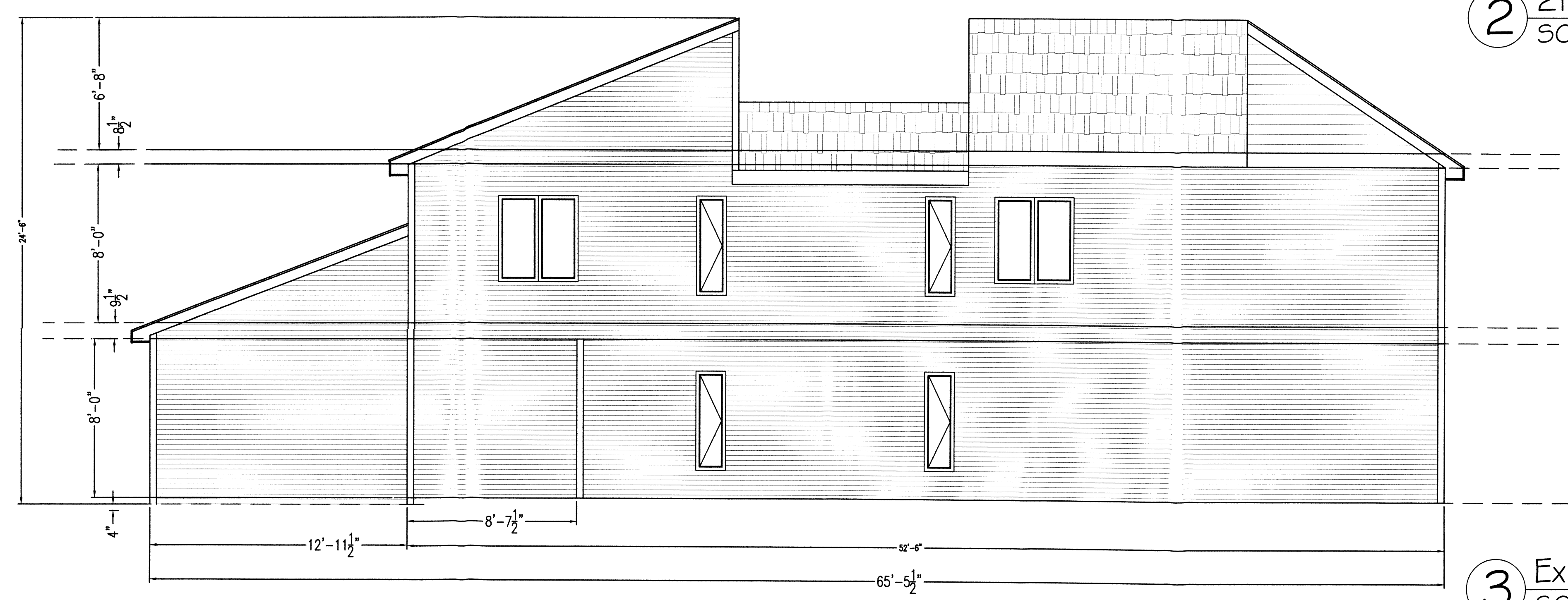
A-2



1 1st Floor PLAN
SCALE: 1/4" = 1'-0"



2 2nd Floor PLAN
SCALE: 1/4" = 1'-0"

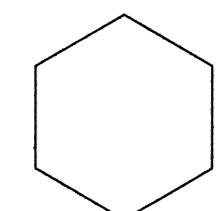


3 Existing Side Elevation
SCALE: 1/4" = 1'-0"

CONSULTANTS		
OWNER		
MARK	DATE	DESCRIPTION
PROJECT NO:		
CAD DWG FILE:		
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SHEET TITLE		
Thiagarajan Residence Renovations 56 Lantern Circle Stamford, CT 06902		
1st-2nd Existing		
SHEET	2	OF 5

#014-21

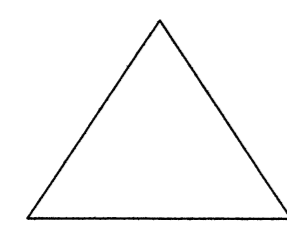
Doors



- 1=3-0 RHS
- 2=3-0 LHS
- 3=2-6 LHS
- 4=2-0 LHS
- 5=2-6 RHS
- 6=2-6 LHS
- 7=2-6 LHS
- 8=2-6 RHS
- 9=2-6 (1)RHS/(1)LHS
- 10=2-6 LHS
- 11=2-6 LHS
- 12=2-6 RHS
- 13=5-0 RHS

1st FLR
2nd FLR

Garage



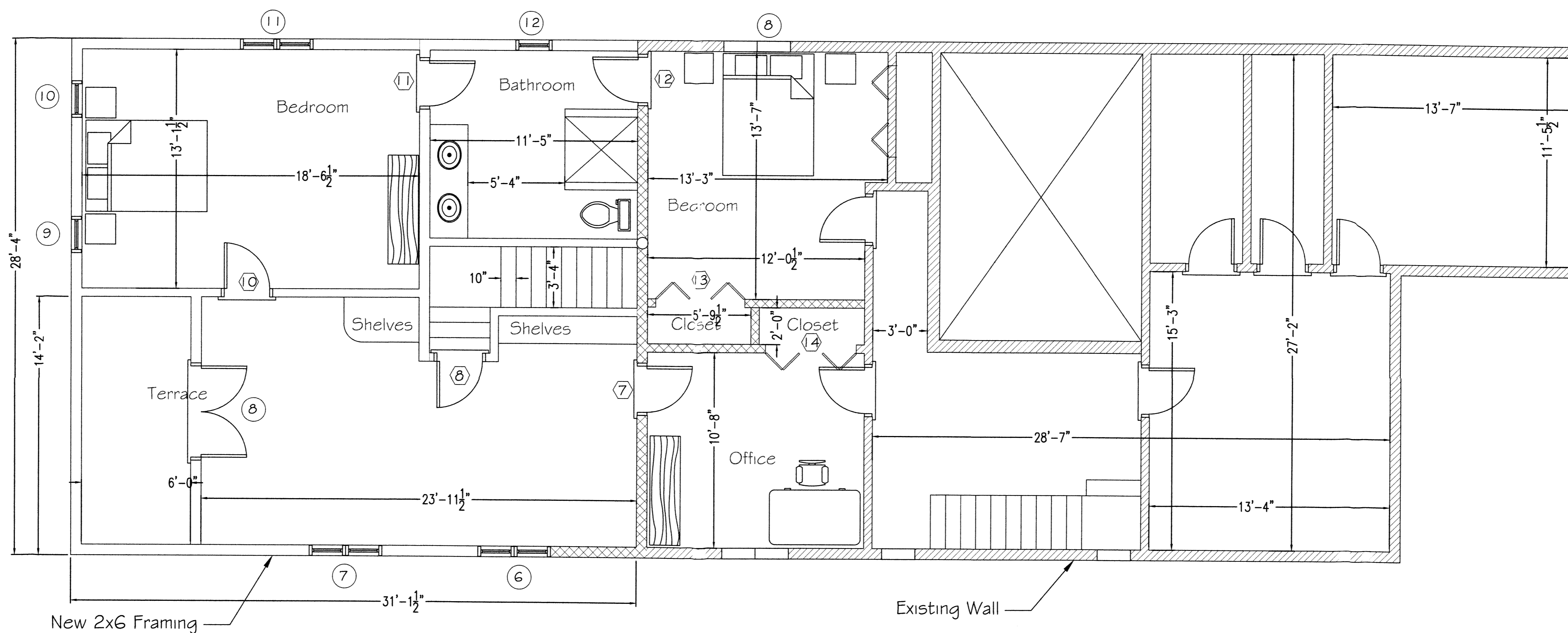
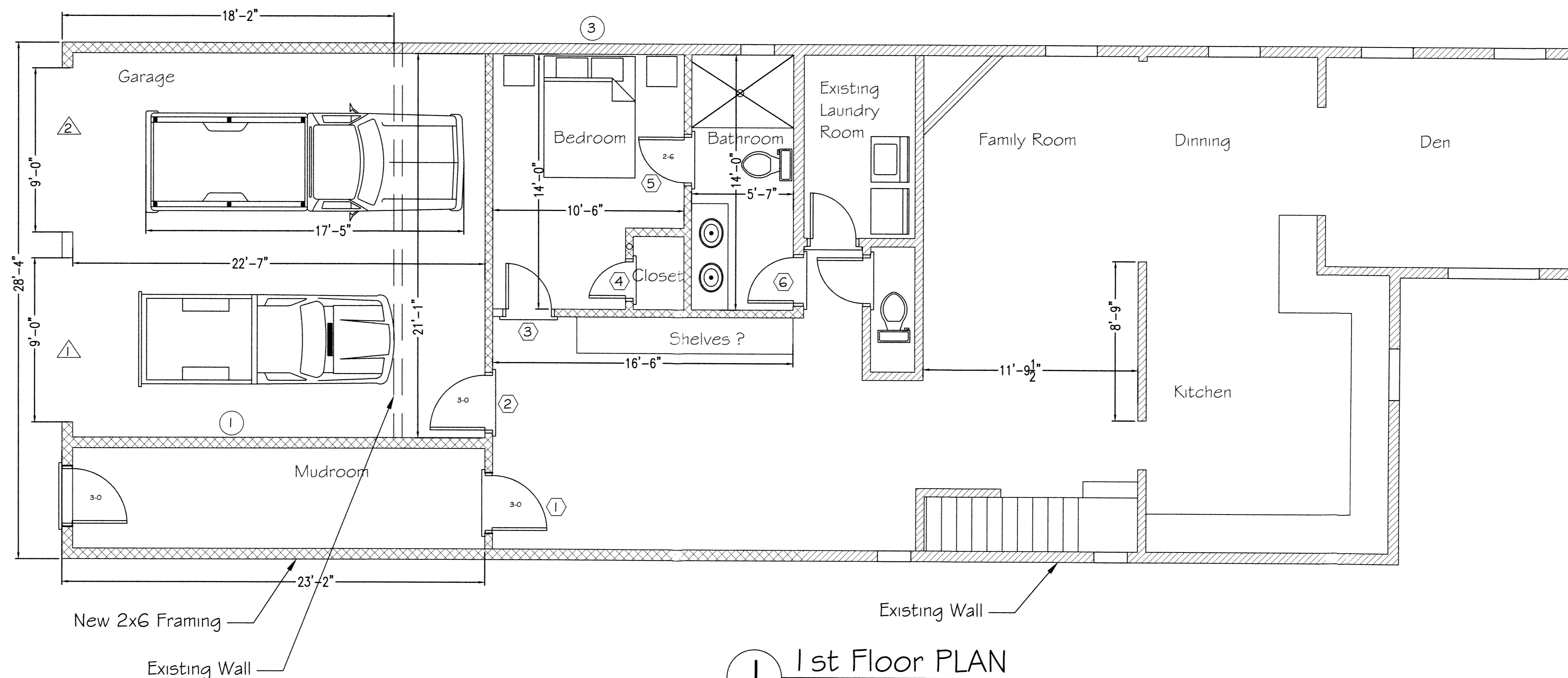
- 1 = 9x8
- 2 = 9x8

Windows



- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8
- 9
- 10
- 11
- 12
- 13

A-3



#014-21

CONSULTANTS		
OWNER		
MARK	DATE	DESCRIPTION
PROJECT NO:		
CAD DWG FILE:		
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CHK'D BY:		
COPYRIGHT:		12/12/20
SHEET TITLE		
Thiagarajan Residence Renovations 56 Lantern Circle Stamford, CT 06902		
1st-2nd Proposed		
SHEET	3	OF 5

A-4

GENERAL NOTES:

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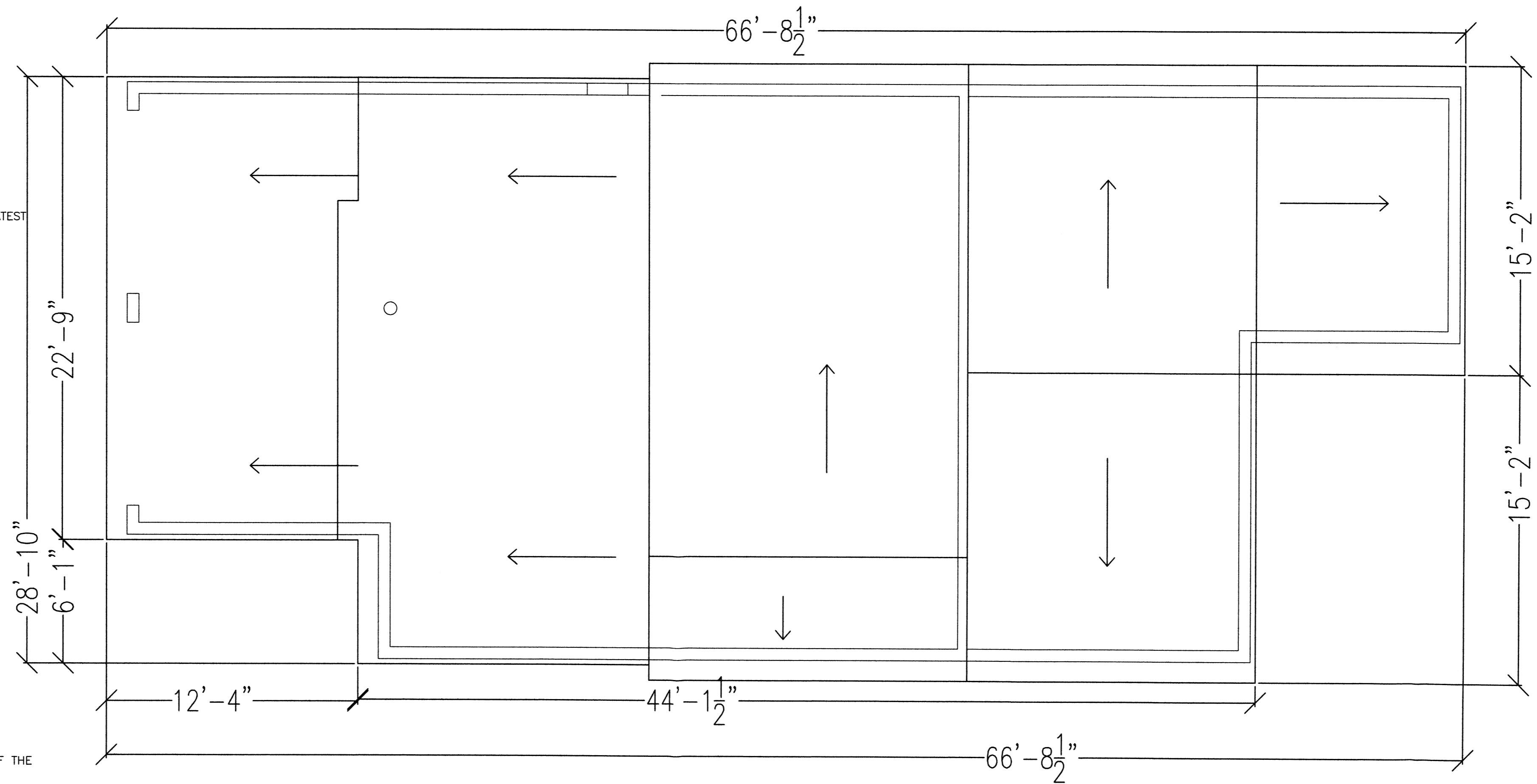
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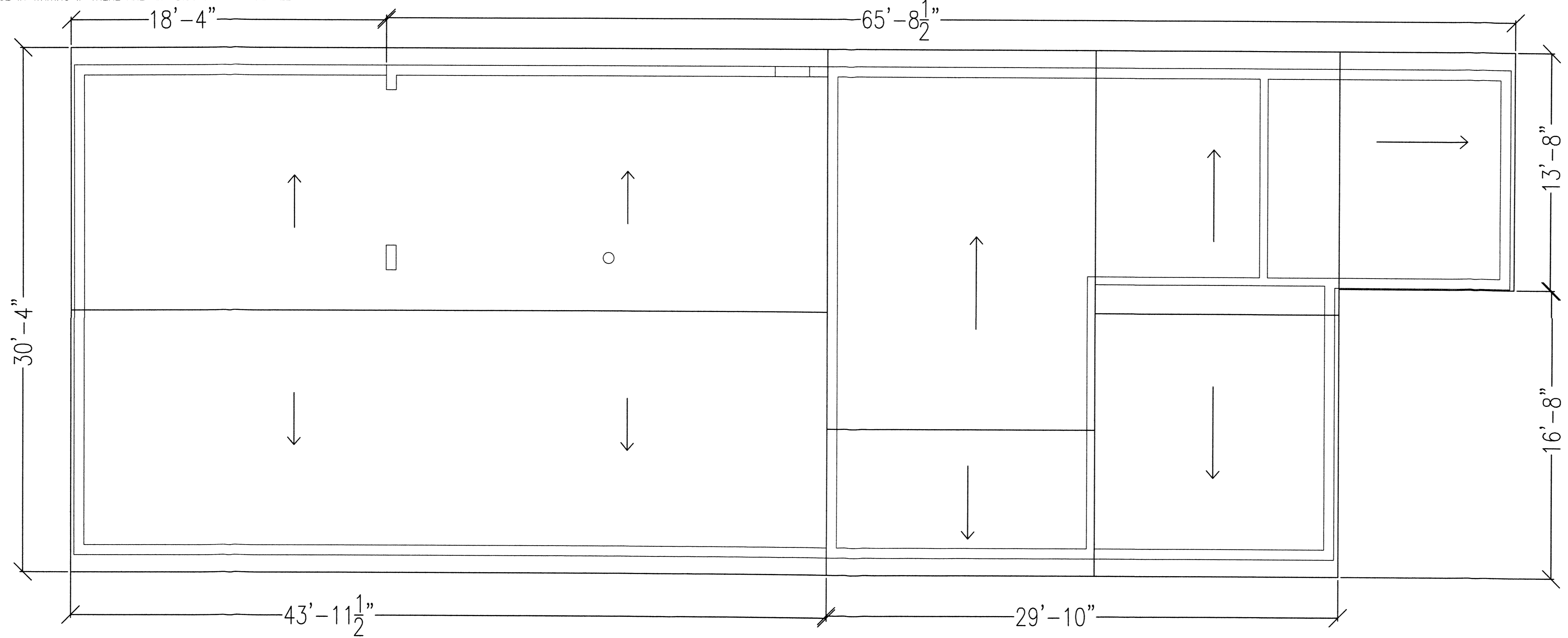
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TEMPORARY WORK NOTES:

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1 Existing Roof PLAN
SCALE: 1/4" = 1'-0"



2 Proposed Roof PLAN
SCALE: 1/4" = 1'-0"

#014-21

CONSULTANTS

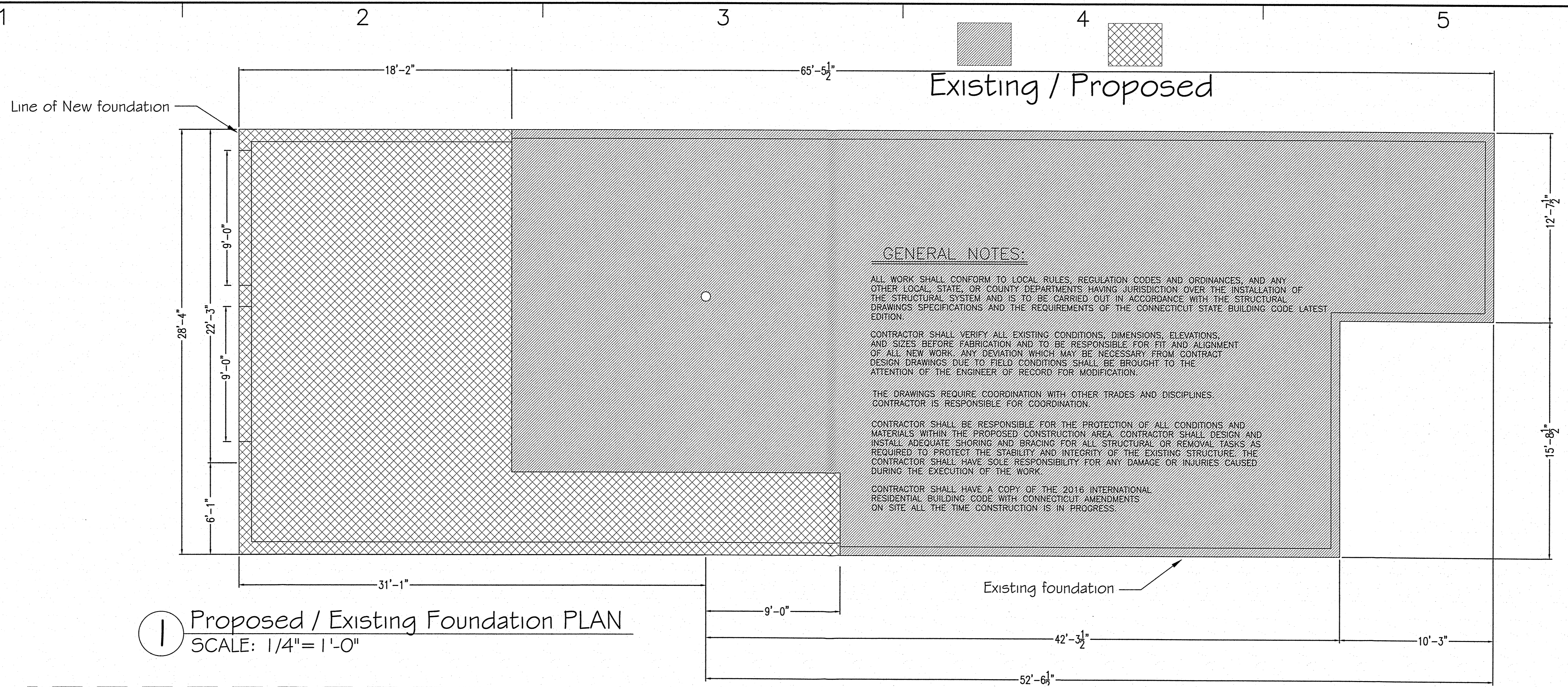
OWNER

MARK	DATE	DESCRIPTION

PROJECT NO:
CAD DWG FILE:
DRAWN BY: TB
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COPYRIGHT: 12/12/20

SHEET TITLE
Thiagarajan Residence
Renovations
56 Lantern Circle
Stamford, CT 06902

A-5



1 Proposed / Existing Foundation PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

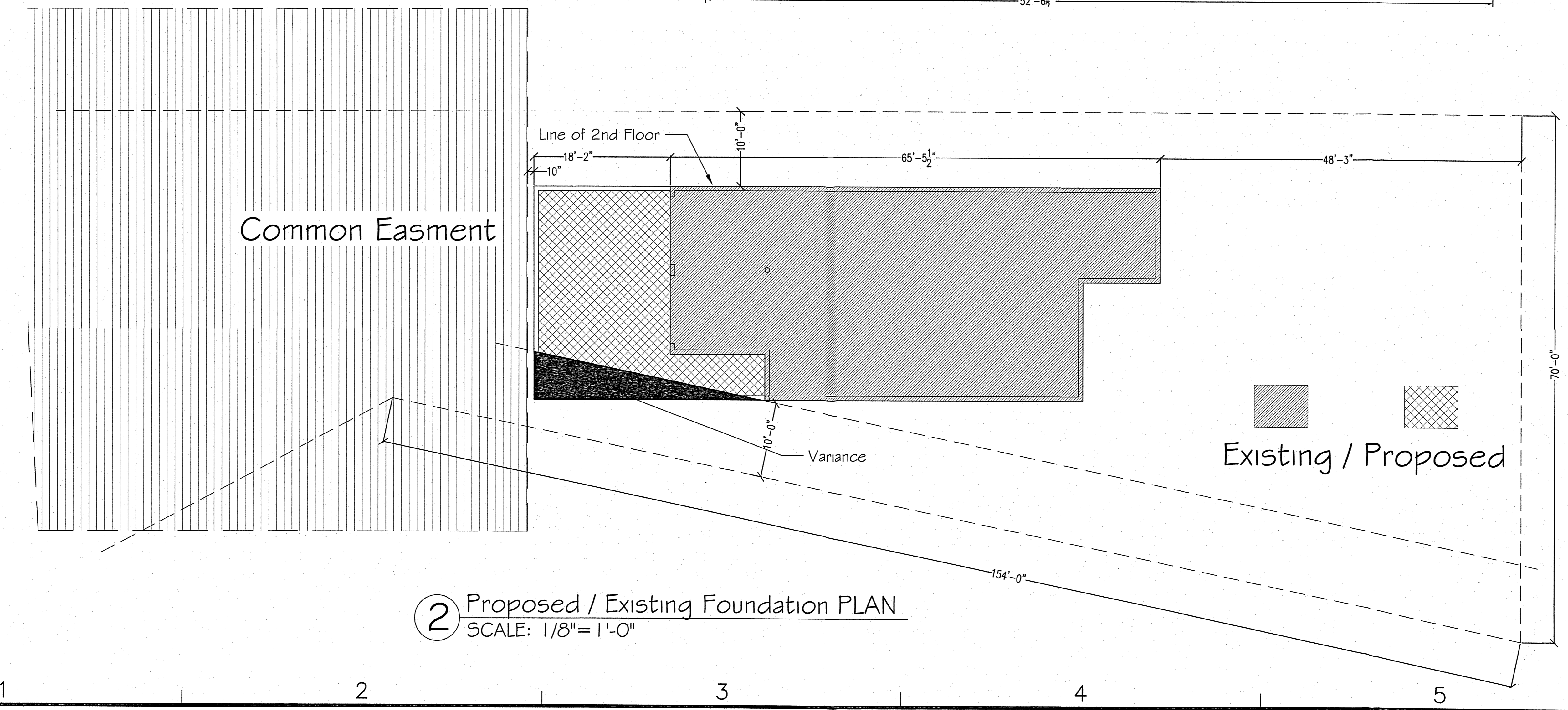
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2 Proposed / Existing Foundation PLAN
SCALE: 1/8" = 1'-0"

CONSULTANTS		
OWNER		
#014-21		
MARK	DATE	DESCRIPTION
PROJECT NO:		
CAD DWG FILE:		
DRAWN BY:		TB
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SHEET TITLE		
Thiagarajan Residence Renovations 56 Lantern Circle Stamford, CT 06902		
Foundation Plan		
SHEET	5	OF 5