

CITY OF STAMFORD
ZONING BOARD OF APPEALS

Stamford Government Center
888 Washington Blvd.
P.O. Box 10152
Stamford, CT 06904-2152

Application # 016-21

Telephone 203.977.4160 - Fax 203.977.4100 - E-mail mjjudge@stamfordct.gov

PLEASE PRINT ALL INFORMATION IN INK

1. I/we hereby apply to the Zoning Board of Appeals for:

- Variance(s)
 Special Permit
 Appeal from Decision of Zoning Enforcement Officer
 Extension of Time
 Motor Vehicle Approval:

New Car Dealer () Used Car Dealer () General Repairer () Limited Repairer () Gasoline Station ()

2. Address of affected premises:

1114 Shippan Avenue 06902
street zip code

Property is located on the north () south () east west () side of the street.

Block: 145 Zone: R-6 Sewered Property yes () no

Is the structure 50 years or older yes () No

Corner Lots Only: Intersecting Street: N/A

Within 500 feet of another municipality: No () Yes () Town of N/A

3. Owner of Property: Oscar Muñoz

Address of Owner: 1114 Shippan Ave Zip 06902

Applicant Name: Oscar Muñoz

Address of Applicant same Zip _____

Agent Name: Oscar Muñoz

Address of Agent: 1114 Shippan Ave Zip 06902

EMAIL ADDRESS: ou.munoz@yahoo.com
(Must be provided to receive comments from letters of referral)

Telephone # of Agent 203-530-3943 Telephone # of Owner 203-530-3943

(CONTACT IS MADE WITH AGENT, IF ONE)

single family dwelling with detached
one car garage

5. Describe in detail the proposed use and give pertinent linear and area dimensions:

Single family use to continue with a second
floor addition. No portion of addition shall extend
beyond existing foot print

VARIANCES (complete this section for variance requests only)
See a Zoning Enforcement Officer for help in completing this section

Variance(s) of the following section(s) of the Zoning Regulations is requested
(provide detail of what is sought per the applicable section(s) of the Zoning Regulations):

Table III Appendix B
Requesting a 2.9' sideyard setback
in lieu of 6.0' required.

ZONING ENFORCEMENT APPROVAL
For Submission To Zoning Board Of Appeals
Sheet 1 of 1
Authorized Signature [Signature] Date 9/28/21

Variations of the Zoning Regulations may be granted where there is unusual hardship in the way of carrying out the strict letter of the Regulations solely with respect to a parcel of land where conditions especially affect such parcel but do not affect generally the district in which it is situated. In your own words:

A. Describe the unusual hardship in being unable to carry out the strict letter of the Zoning Regulations:

This is a non-conforming pre-existing
condition

How is the proposal consistent with all applicable goals and policies of the CAM Act?

- There will be no changes to the site conditions as a result of the interior renovations and the second-floor addition, because it is within the existing condition.

What measures are being taken to mitigate adverse impacts and eliminate inconsistencies with the CAM Act?

- We are not changing the site. Therefore, no adverse impact will occur to the coastal waters. Also, there will be no excavation done to any part of the site.

B. Explain why the variance(s) is/are the minimum necessary to afford relief:

Variance, if granted, shall provide owner
rightful use of property.

C. Explain why granting of the variance(s) would not be injurious to the neighborhood.

Addition will not largen the existing footprint
of the house. Run off shall not change

SPECIAL PERMIT

(Complete this section **only** for special exceptions)

SPECIAL EXCEPTION is requested as authorized by Section(s) _____
of the Zoning Regulations.

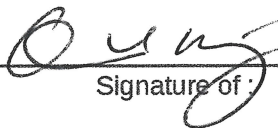
Provide details of what is being sought:

MOTOR VEHICLE APPLICATIONS

(Complete this section **only** for Motor Vehicle/Service Dealers Applications)

Provide details of what is being sought.

SIGNATURE REQUIRED FOR ALL APPLICATONS



Signature of: () Agent () Applicant (X) Owner

Date Filed: _____

DO NOT WRITE ON BACK OF PAGE

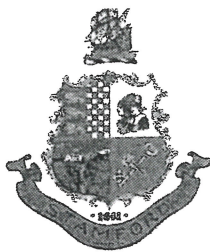
Zoning Enforcement Officer Comments:

DECISION OF THE ZONING ENFORMENT OFFICER

(Complete this section **only** for appeals of zoning enforcement officer decision

DECISION OF THE ZONING ENFORCEMENT OFFICER dated _____ is appealed because:

DO NOT WRITE ON BACK OF PAGE



**CITY OF STAMFORD
ZONING BOARD OF APPEALS**

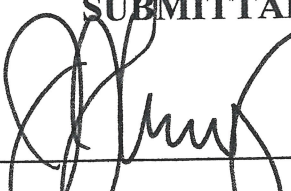
APPLICATION PACKET

Board Members
Claire D. Friedlander, Chair
John A. Sedlak
Nino Antonelli
Joseph Pigott
Lauren Jacobson

Alternate
Ernest Matarasso
Matthew Tripolitsiotis

Land Use Administrative Assistant
Mary Judge

**ALL APPLICATIONS MUST BE APPROVED AND REVIEWED BY THE
ZONING ENFORCEMENT AT LEAST ONE WEEK PRIOR TO THE
SUBMITTAL DATE**

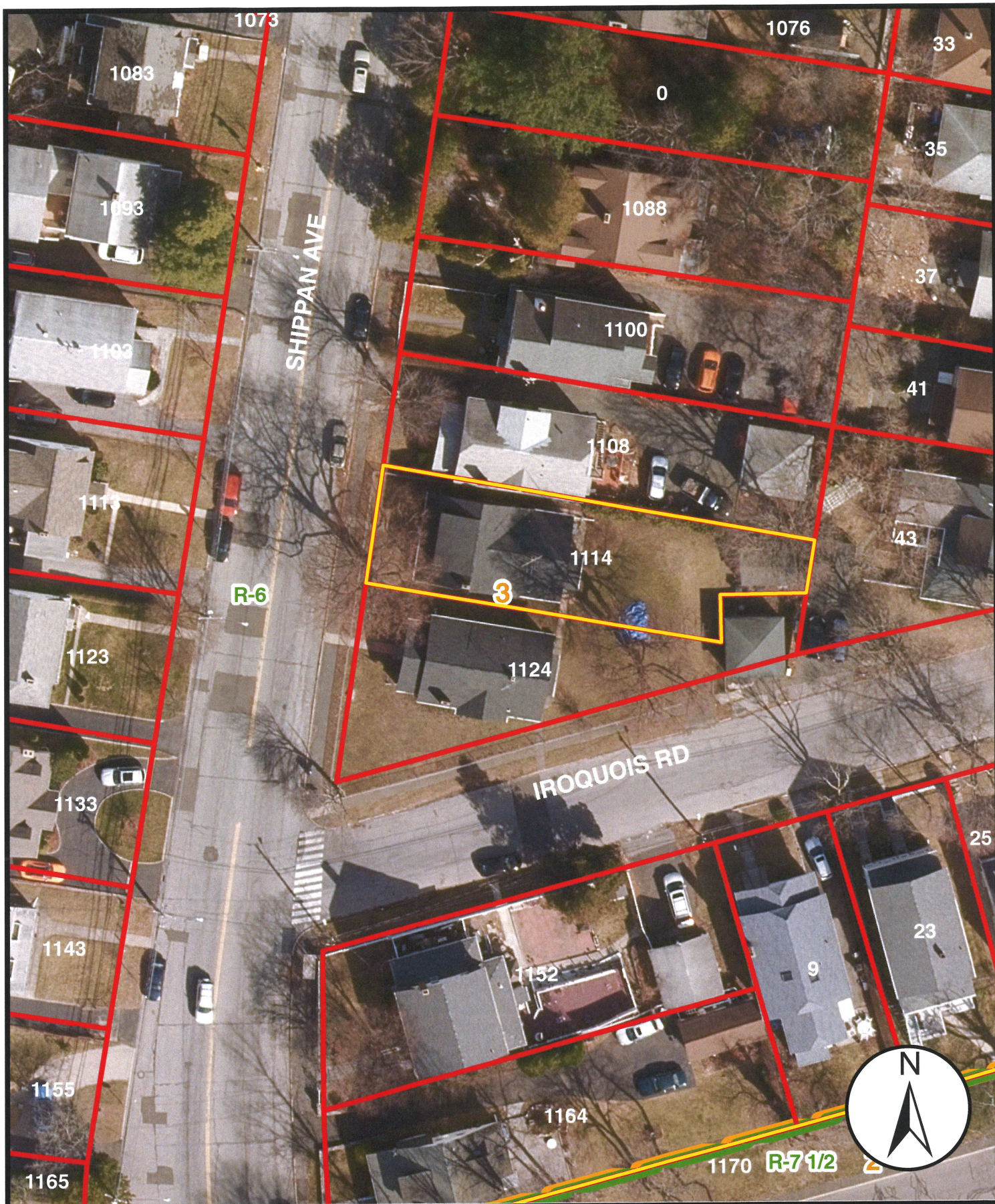
Zoning Enforcement:  Date: 4/20/21

Is the project situated in the coastal boundary? Yes (X) No ()

Is the project exempt from the coastal regulation?
Yes () Exemption # _____ No () N/A ()

Environmental Protection: _____ Date: _____

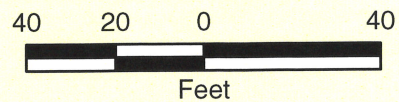
CAM Review by: Zoning Board ZBA



ZBA Application #016-21
1114 Shippan Avenue

Date: 5/11/2021

1 inch = 42 feet



APPLICATION FOR COASTAL SITE PLAN REVIEW

(Please print or type)

PROJECT LOCATION: 1114 Shippan Ave Stamford, CT 06902

PROPERTY OWNER: Oscar Muñoz

APPLICANT NAME: Oscar Muñoz

ADDRESS: 18 Pettom Rd Norwalk CT 06850

PHONE: (203) 530-3943 or (787) 414-0384

CONTACT FOR QUESTIONS: Same

ACREAGE OF PROJECT PARCEL: 5,412 square feet (lot area)

SQUARE FEET OF PROPOSED BUILDING: 586 square feet (second floor addition total)

ZONING DISTRICT OF PROJECT PARCEL: R-6

PROJECT DESCRIPTION: Single family use to continue with a second floor addition. No portion of addition shall extend beyond existing foot print.

Coastal resources on which the project is located or which will be affected by the project: (See "Index of Policies" Planning Report 30)

Coastal policies affected by the project: (See "Index of Policies" Planning Report 30)

- a. bluffs or escarpments
- b. rocky shorefront
- c. beaches and dunes
- d. intertidal flats
- e. tidal wetlands
- f. freshwater wetlands
- g. estuarine embayments
- h. coastal flood hazard areas
- i. Coastal erosion hazard area
- j. developed shorefront
- k. islands
- l. coastal waters
- m. shorelands
- n. shellfish concentration areas
- o. general resource
- p. air resources

- a. water dependent uses
- b. ports and harbors
- c. coastal structures & filing
- d. dredging & navigation
- e. boating
- f. fisheries
- g. coastal recreation access
- h. sewer & water lines
- i. energy facilities
- j. fuel, chemicals & hazardous materials
- k. transportation
- l. solid waste
- m. dams, dikes & reservoirs
- n. shellfish concentration
- o. general development
- p. open space

If the project is adjacent to coastal waters, is the project water dependent? (See C.G.S. sec. 22a-93)
 Yes No Not Applicable

If yes, in what manner?

- Docks, piers, etc.
- Industrial process or cooling waters
- General public access
- Other, please specify: _____

What possible adverse or beneficial impacts may occur as a result of the project?

(Attach additional sheet if necessary) - No adverse impact on coastal waters:

- Addition will not largen the existing footprint of the house.
 - Project will improve the esthetics of the neighborhood.
- How is the proposal consistent with all applicable goals and policies of the CAM Act?
- Run off shall not change. See attached.

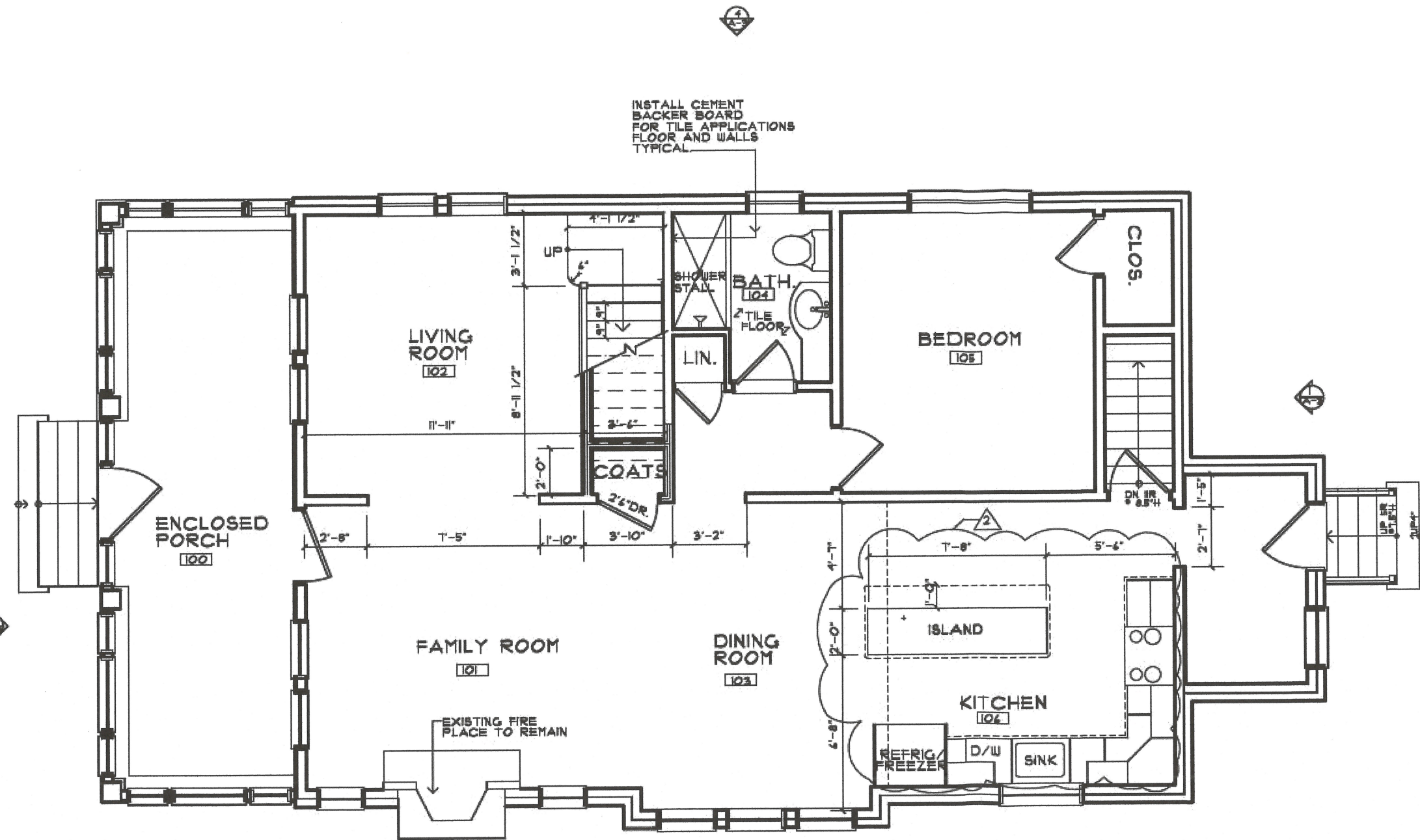
What measures are being taken to mitigate adverse impacts and eliminate inconsistencies with the CAM Act?

(Attach additional sheet if necessary) Project to be completed by a licensed and well trained contractor. See attached.

Applicant Signature: [Signature]

NOTES:

1. ALL DIMENSIONS ARE TO ONE SIDE OF FRAMING MEMBERS UNLESS OTHERWISE NOTED.
2. IN ALL BATHROOM TUB & SHOWER SURROUNDS INSTALL 1/2" CEMENT BACKER BOARD SCREWED TO WALL STUDS.
IN ALL BATHROOMS WITH TILE FLOORING INSTALL OVER 3/4" SUB FLOOR, 1/4" CEMENT BACKER BOARD GLUED WITH PL400 ADHESIVE AND SCREWED TO FLOOR FRAMING MEMBERS.
3. ALL CONSTRUCTION AND WORK IN ALL TRADES SHALL CONFORM TO ALL APPLICABLE LOCAL STATE AND FEDERAL CODE REQUIREMENTS.
4. ALL DIMENSIONS AND FILED CONDITIONS SHALL BE VERIFIED BY CONTRACTOR AND SUBCONTRACTORS. NO ALLOWANCES FOR ANY EXTRA EXPENSE WILL BE MADE WITHOUT ARCHITECT'S APPROVAL DUE TO FAILURE OR NEGLIGENCE BY CONTRACTORS TO MAKE SUCH EXAMINATIONS.
5. ALL FEES REQUIRED FOR THE COMPLETE AND PROPER CONSTRUCTION OF THIS JOB ARE TO BE PAID BY THE CONTRACTOR AND SUBCONTRACTORS.
6. AT THE END OF THE WORK DAY THE JOB SITE SHALL BE LEFT IN SUCH CONDITION THAT NO HAZARD OR INCONVENIENCE SHALL BE IMPOSED.
7. GLASS IN HAZARDOUS LOCATIONS SHALL BE OF SAFETY TYPE.
8. ALL MANUFACTURERS MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC. SHALL BE INSTALLED AND HANDLED IN ACCORDANCE WITH PROVISIONS OF THE APPLICABLE ICBO RESEARCH RECOMMENDATIONS AND THE MANUFACTURER'S INSTRUCTIONS.
9. CONSTRUCTION LOADS SHALL NOT OVERLOAD THE STRUCTURE NOR SHALL BE IN EXCESS OF THE DESIGN LOADS.
10. THE CONTRACTOR SHALL VERIFY ALL MATERIALS, DIMENSIONS, AND CONDITIONS SHOWN ON THE DRAWINGS OR NOTED IN THE SPECIFICATIONS. ANY VARIANCES WITHIN THE DRAWINGS AND SPECIFICATIONS, OR WITH CONDITIONS ENCOUNTERED AT THE JOB SITE SHALL BE REPORTED TO THE ARCHITECT IN WRITING BEFORE COMMENCEMENT OF ANY WORK AFFECTED BY SUCH VARIANCE.
11. IF INFORMATION IS MISSING AND/OR DISCREPANCIES ARE FOUND IN THE DRAWINGS, CONTACT ARCHITECT IMMEDIATELY FOR CLARIFICATION. ARCHITECT SHALL NOT BE RESPONSIBLE FOR DECISIONS MADE BY OTHERS.
12. UNLESS OTHERWISE NOTED, ALL CLOSETS SHALL RECEIVE A 14" DEEP SOLID SHELF AND A METAL COLSET POLE.



GROUND FLOOR PLAN
SCALE 3/16" = 1'-0"

#016-21

PARTITION LEGEND	
WALLS TO REMAIN	=====
WALL TO REMOVE	-----
NEW WALLS	=====

NO.	DATE	REMARKS
2.	2-10-21	REVISE KITCHEN LAYOUT
1.	3-30-14	ISSUED FOR PERMIT

ALL RIGHTS RESERVED
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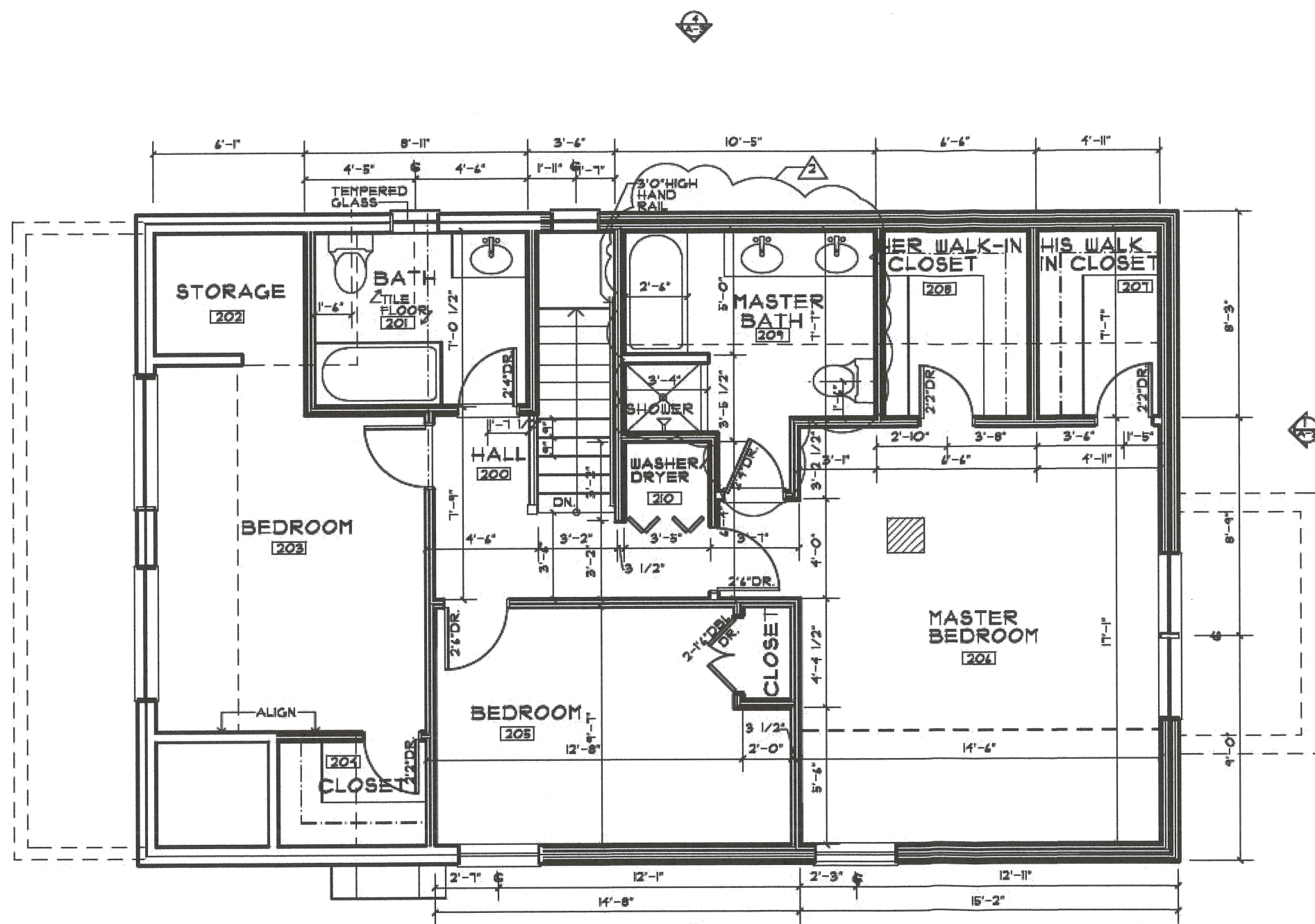
**THE RESIDENCE OF
MR. OSCAR MUNOZ**
1114 SHIPPAN AVENUE
STAMFORD, CT.

MICHAEL BLANG & ASSOCIATES
ARCHITECTS-PLANNERS
20 Hoyt Street
Stamford, CT 06905
203 357-8061

GROUND FLOOR PLAN	
SCALE: AS NOTED	SHEET NO. A-1
DATE: 3-14-14	

NOTES:

1. ALL DIMENSIONS ARE TO ONE SIDE OF FRAMING MEMBERS UNLESS OTHERWISE NOTED.
2. IN ALL BATHROOM TUB & SHOWER SURROUNDS INSTALL 1/2" CEMENT BACKER BOARD SCREWED TO WALL STUDS. IN ALL BATHROOMS WITH TILE FLOORING INSTALL OVER 3/4" SUB FLOOR, 1/4" CEMENT BACKER BOARD GLUED WITH PL400 ADHESIVE AND SCREWED TO FLOOR FRAMING MEMBERS.
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SECOND FLOOR PLAN

SCALE 3/16" = 1'-0"

#016-21

NO.	DATE	REMARKS
2.	2-10-21	REVISE BATHROOM LAYOUT #201 AND MASTER BATHROOM #209
1.	3-30-14	ISSUED FOR PERMIT

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**THE RESIDENCE OF
MR. OSCAR MUNOZ**
114 SHIPPAN AVENUE
STAMFORD, CT.

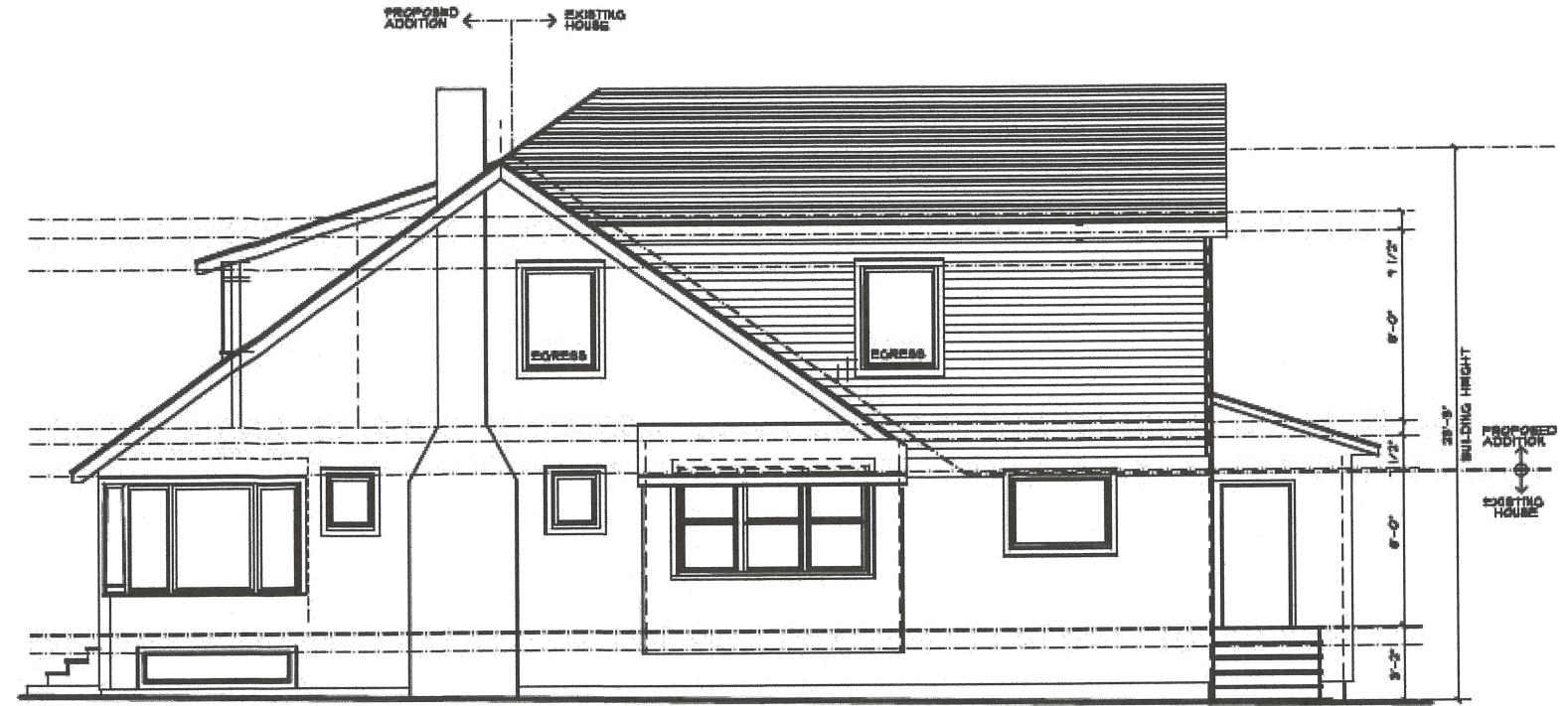
**MICHAEL BLANC
& ASSOCIATES**
ARCHITECTS - PLANNERS
20 Hoyt Street
Stamford, CT 06905
203 357-8081

SECOND FLOOR PLAN	
SCALE: AS NOTED	SHEET NO: A-2
DATE: 3-19-14	

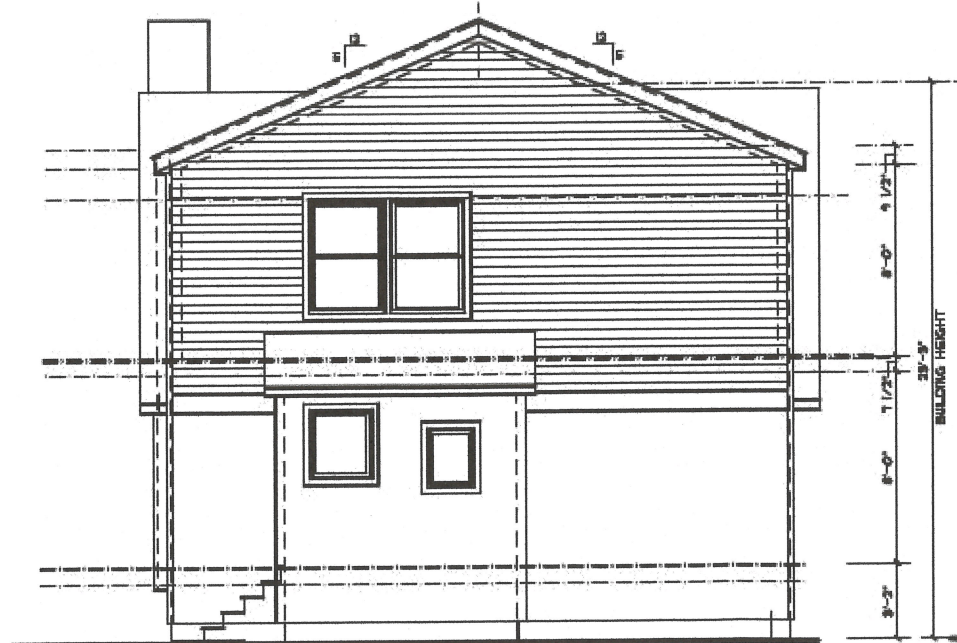
PARTITION LEGEND	
WALLS TO REMAIN	=====
WALL TO REMOVE	-----
NEW WALLS	=====



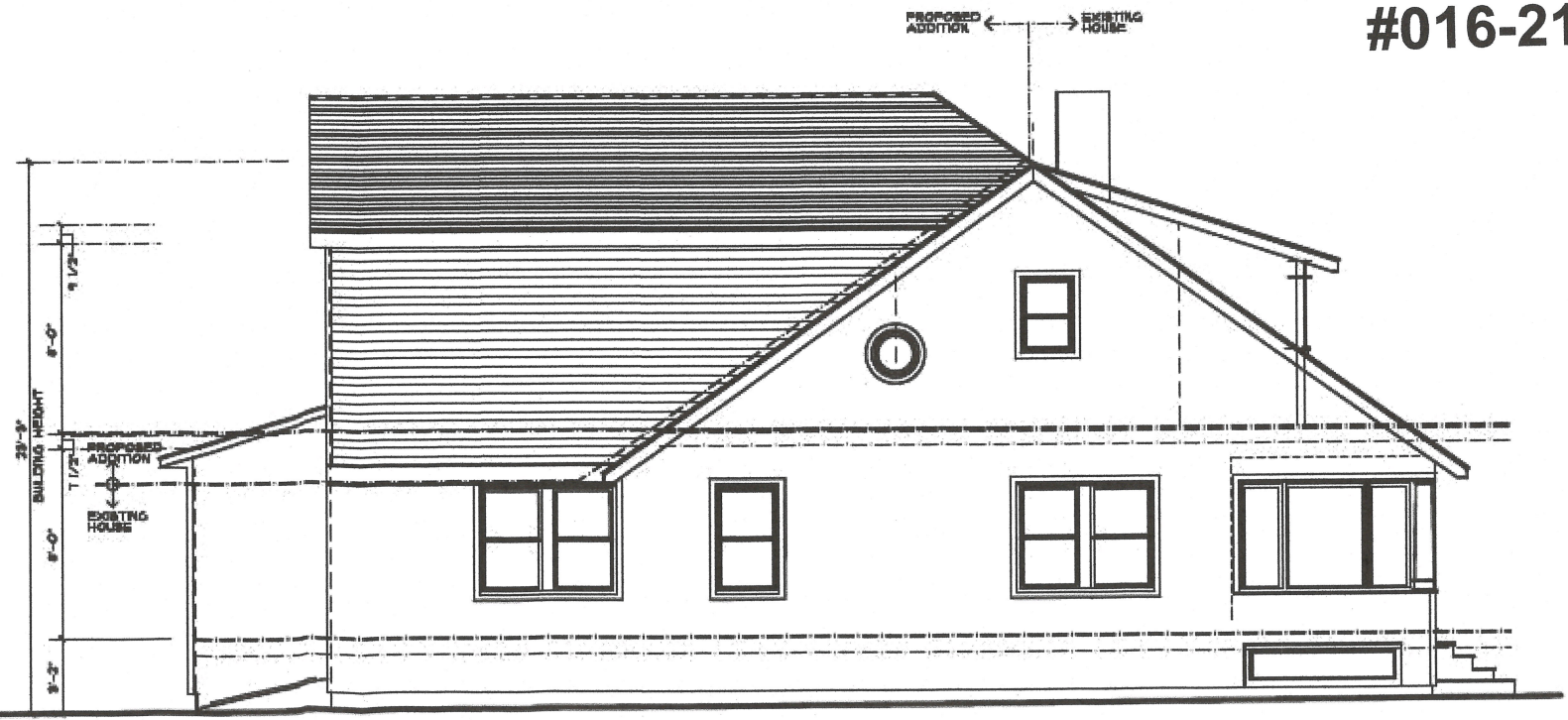
FRONT ELEVATION
SCALE 1/8"=1'-0"



SIDE ELEVATION
SCALE 1/8"=1'-0"



REAR ELEVATION
SCALE 1/8"=1'-0"



SIDE ELEVATION
SCALE 1/8"=1'-0"

#016-21

PARTITION LEGEND	
BALLS TO RETAIN	=====
BALL TO REMOVE	-----
NEW BALLS	=====

NO.	DATE	REVISIONS	BY
1.	3-20-17	ISSUED FOR PERMIT	
2.	3-10-17	REVISED ARCHER LAYOUT	

MICHAEL BLAND ARCHITECT

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RECORDING, OR BY ANY INFORMATION
SYSTEMS WITHOUT PERMISSION IN
WRITING FROM MICHAEL BLAND ARCHITECTS.

THE RESIDENCE OF
MR. OSCAR MUNOZ
114 SHIPPAN AVENUE
STAFFORD, CT.

PROPOSED ELEVATIONS

NO 8077 STREET
STAFFORD, CT

888 887-8881

SCALE	AS SHOWN	HEET NO.
DATE	3-19-17	A-3