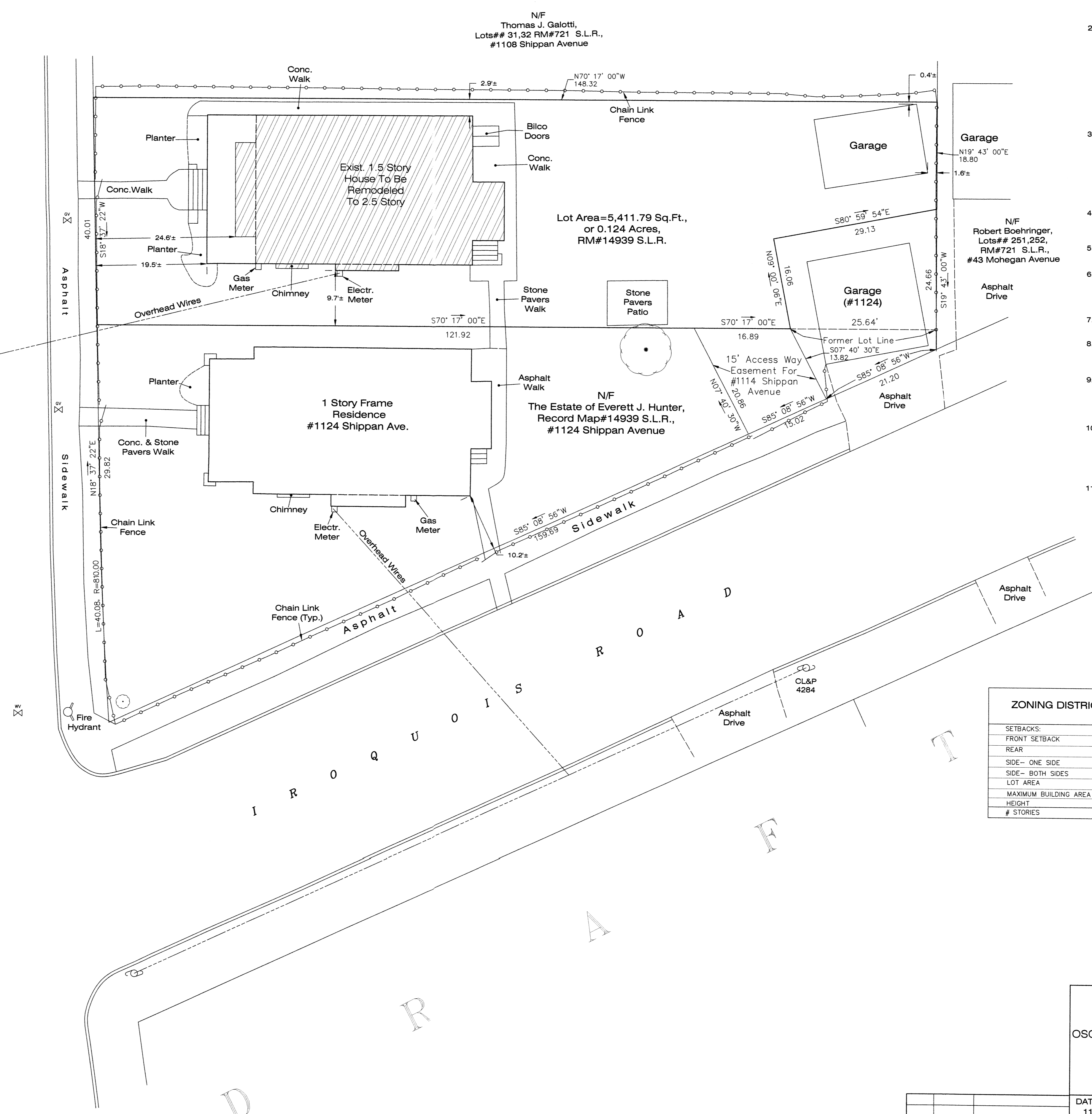


S H I P P A N A V E N U E



- NOTES:**
- This survey and map has been prepared in accordance with the Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Survey and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is an Improvement Location Survey based upon a Dependent Resurvey and conforms to Horizontal Accuracy Class A-2. It is intended to depict the position of existing or proposed improvements with respect to applicable municipal setback requirements and zoning regulations.
  - Reference is made to the following maps on file in the Stamford Town Clerks Office:
    - Map Showing Lot Line Revision Prepared For Estate of Everett J. Hunter #1114 & 1124 Shippan Avenue, Stamford Connecticut, dated:02-12-2018, Record Map#14939 S.L.R.
    - "Amended Map Showing Property Owned by the Beach-Manor Company, Stamford, Conn." dated: August 21, 1920, Record Map#721 S.L.R.;
    - City of Stamford Map & Profile of Shippan Ave., from Magee Ave. to Long Island Sound, Showing Location of Proposed New Layout of Street Lines & Grades, dated: July 1931, Section 1 of 3, Record Map#2097 A S.L.R.
  - The underground utilities shown, if any, have been located from visible field survey information. No attempt has been made as a part of this survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utilities or municipal/public service facilities. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area either in service or abandoned. For information regarding these utilities or facilities, please contact the appropriate agencies.
  - This parcels are subject to utility easements, if any, for overhead and/or underground services. Substructures and/or their encroachments below grade, if any, not shown.
  - Distances shown ± from buildings to property lines are for reference purposes only and are not to be used to establish boundaries.
  - Property is located in unshaded Zone X (areas determined to be outside the 0.2% annual change floodplain) as per Flood Insurance Rate Map Number as per Flood Insurance Rate Map Number 09001C00517 G, effective data July 6, 2013, published by FEMA.
  - Properties are served by public water and sewer.
  - Zoning information shown on this map has been reviewed and approved by the Planning & Zoning Department City of Stamford.
  - It is the owner and, or contractor responsibility to obtain any and all required permits and, or variances that may be required prior to any construction activity.
  - Proposed calculations are based on architectural plans submitted by the client. It is the contractors responsibility to adjust for sidings that will be added to a structure with respect to coverage and setbacks. The surveyor assumes no responsibility for details that are not submitted for his review.
  - Unauthorized alterations or additions to this survey, which bears the surveyor's embossed seal, renders any declaration shown hereon null and void

**Legend**

	EDGE OF PAVEMENT
	CURB LINE
	UTILITY POLE
	CHAIN LINK FENCE
	FIRE HYDRANT
	WATER VALVE
	GAS VALVE
	CATCH BASIN
	PROPOSED CONDITIONS
	TREES (SIZE AND TYPE AS SHOWN)
	DECIDUOUS EVERGREEN

ZONING DISTRICT RA-6	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS
<b>SETBACKS:</b>			
FRONT SETBACK	25' (MIN)	19.5±	19.5±
REAR	30' (MIN)	76.0±	76.0±
SIDE - ONE SIDE	6' (MIN)	2.9±	2.9±
SIDE - BOTH SIDES	12' (MIN)	12.6±	12.6±
LOT AREA	5,000 SQ.FT	5,411.79 SQ.FT	5,411.79 SQ.FT
MAXIMUM BUILDING AREA	25.0%	28.4%	28.4%
HEIGHT	30' (MAX)	16.0±	23.6±
# STORIES	2 1/2	1 1/2	2 1/2

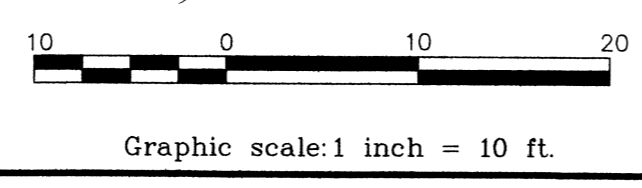
ASSESSORS MAP# 139; BLOCK# 145; LOTS#33 To 34  
 ZONE: R-6  
 PROPOSAL: PROPOSED CONDITIONS  
 DATE: 12-03-2018

**#016-21**

**ZONING LOCATION SURVEY**  
 PREPARED FOR  
**OSCAR U. MUNOZ, HEIDI M. CIFUENTES & OSCAR MUNOZ**  
 #1114 SHIPPAN AVENUE,  
 STAMFORD, CONNECTICUT

DATE: 11-29-2018      SCALE: 1"=10'      SHEET 1 OF 1

**ADVANCED SURVEYING**  
 LAND SURVEYORS  
 203.340.4798  
 EMAIL: info@landsurveyingct.com



THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE & EMBOSSED SEAL.  
 TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.  
 GREGORY KOGAN, LAND SURVEYOR, CONN. LIC #70112

NO.	DATE	DESCRIPTION