

#020-21

CITY OF STAMFORD
ZONING BOARD OF APPEALS

Stamford Government Center
888 Washington Blvd.
P.O. Box 10152
Stamford, CT 06904-2152

Coastal
ZBA

Telephone 203.977.4160 - Fax 203.977.4100 - E-mail mjjudge@stamfordct.gov

PLEASE PRINT ALL INFORMATION IN INK

1. I/we hereby apply to the Zoning Board of Appeals for:

- Variance(s)
- Special Permit
- Appeal from Decision of Zoning Enforcement Officer
- Extension of Time
- Motor Vehicle Approval:**

New Car Dealer () Used Car Dealer () General Repairer () Limited Repairer () Gasoline Station ()

2. Address of affected premises:

24 Ponus Ave

street

zip code

Property is located on the north () south () east (x) west () side of the street.

Block: 139 147 B Zone: R-6 Sewered Property (x) yes () no

Is the structure 50 years or older (x) yes () No

Corner Lots Only: Intersecting Street: _____

Within 500 feet of another municipality: No (x) Yes () Town of _____

3. **Owner of Property:** Leigh Frecker

Address of Owner: 24 Ponus Avenue, Stamford CT Zip 06902

Applicant Name: Leigh Frecker

Address of Applicant: 24 Ponus Avenue, Stamford CT Zip 06902

Agent Name: Roger van Loveren, AIA, Architect

Address of Agent: 6 Spruce Pons Lane
Bedford, NY 10506 Zip _____
914-234-7823

EMAIL ADDRESS: rvlarch@aol.com
(Must be _____ its from letters of referral)

Telephone # of Agent _____ Telephone # of Owner 203 921 7074

(CONTACT IS MADE WITH AGENT, IF ONE)

4. List all structures and uses presently existing on the affected property: 1 Story single Family Residence

5. Describe in detail the proposed use and give pertinent linear and area dimensions:

Continued use as a single family residence: 40'-7" deep by 28'9" wide L-shaped,

First Floor: 1,023.75sf Building coverage, 908.25sf finished space

Proposed 2nd. Floor: 35'6" x 20'7" T-shaped, 572.25 finished space

VARIANCES (complete this section for variance requests only)
See a Zoning Enforcement Officer for help in completing this section

Variance(s) of the following section(s) of the Zoning Regulations is requested
(provide detail of what is sought per the applicable section(s) of the Zoning Regulations):

Variance's of Table III Appendix "B":

Front Yard: 25' minimum street line allowed, 13.5' requested for non-conforming existing residence

50' minimum from street center allowed, 38.5' requested for non-conforming existing residence

6' minimum side yard allowed, 3.5' requested for non-conforming existing residence

30' minimum rear yard allowed, 4.8' requested for non-conforming existing residence

25% Maximum building coverage allowed, 32.5% requested for proposed renovated & altered residence

ZONING ENFORCEMENT APPROVAL
For Submission To Zoning Board Of Appeals
Sheet _____ of _____
Authorized Signature _____ Date 5/19/21

Variations of the Zoning Regulations may be granted where there is unusual hardship in the way of carrying out the strict letter of the Regulations solely with respect to a parcel of land where conditions especially affect such parcel but do not affect generally the district in which it is situated. In your own words:

A. Describe the unusual hardship in being unable to carry out the strict letter of the Zoning Regulations:

Subject property can be considered lawfully, non-conforming having a lot area of 3,192 Sqft or approximately

63% of the minimum 5,000 Sqft lot area required

B. Explain why the variance(s) is/are the minimum to afford relief:

All proposed building additions utilizes the existing dwelling foot print and proposed 2nd floor is set-back to 6' from side and rear yard

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C. Explain why granting of the variance(s) would not be injurious to the neighborhood.

The proposed building additions are no closer to any boundary lines than the existing dwelling is presently

SPECIAL PERMIT

(Complete this section **only** for special exceptions)

SPECIAL EXCEPTION is requested as authorized by Section(s) _____
of the Zoning Regulations.

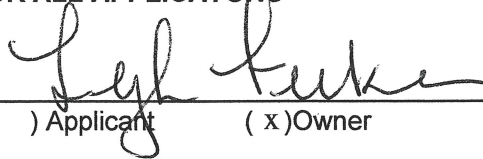
Provide details of what is being sought:

MOTOR VEHICLE APPLICATIONS

(Complete this section only for Motor Vehicle/Service Dealers Applications)

Provide details of what is being sought.

SIGNATURE REQUIRED FOR ALL APPLICATIONS



Signature of: () Agent () Applicant (x) Owner

Date Filed: 5/18/21

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Zoning Enforcement Officer Comments:

DECISION OF THE ZONING ENFORMENT OFFICER

(Complete this section **only** for appeals of zoning enforcement officer decision

DECISION OF THE ZONING ENFORCEMENT OFFICER dated _____ is appealed because:

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CITY OF STAMFORD
ZONING BOARD OF APPEALS

APPLICATION PACKET

Board Members
Claire D. Friedlander, Chair
John A. Sedlak
Nino Antonelli
Joseph Pigott
Lauren Jacobson

Alternate
Ernest Matarasso
Matthew Tripolitsiotis

Land Use Administrative Assistant
Mary Judge

ALL APPLICATIONS MUST BE APPROVED AND REVIEWED BY THE
ZONING ENFORCEMENT AT LEAST ONE WEEK PRIOR TO THE
SUBMITTAL DATE

Zoning Enforcement:

[Signature]

Date:

5/19/24

Is the project situated in the coastal boundary?

Yes (X) No ()

Is the project exempt from the coastal regulation?

Yes () Exemption #

No (X) N/A ()

Environmental Protection:

[Signature]

Date:

4/1/24

CAM Review by:

Zoning Board

ZBA

APPLICANT NAME: Leigh Frecker

ADDRESS: 24 Ponus Avenue, Stamford, CT 06902

PHONE: (203) 921-7074

CONTACT FOR QUESTIONS: Leigh Frecker (203-921-7074 or lfrecker@gmail.com)

ACREAGE OF PROJECT PARCEL: 0.073 acres (3,192 SF)

SQUARE FEET OF PROPOSED BUILDING: 1,023.75 SF footprint

ZONING DISTRICT OF PROJECT PARCEL: R-6

PROJECT DESCRIPTION:

Renovation of existing 1 story residence on crawlspace and partial slab on grade, net 58.25 addition on 1st floor, 681.5 SF 2nd story addition. Two bedrooms move upstairs with two new bathrooms and small study. Ground floor kitchen, living, dining spaces, laundry room and powder room get renovated.

Coastal resources on which the project is located or which will be affected by the project: (See "Index of Policies" Planning Report 30)

Coastal policies affected by the project: (See "Index of Policies" Planning Report 30)

- a. bluffs or escarpments
- b. rocky shorefront
- c. beaches and dunes
- d. intertidal flats
- e. tidal wetlands
- f. freshwater wetlands
- g. estuarine embayments
- h. coastal flood hazard areas
- i. Coastal erosion hazard area
- j. developed shorefront
- k. islands
- l. coastal waters
- m. shorelands
- n. shellfish concentration areas
- o. general resource
- p. air resources

- a. water dependent uses
- b. ports and harbors
- c. coastal structures & filing
- d. dredging & navigation
- e. boating
- f. fisheries
- g. coastal recreation access
- h. sewer & water lines
- i. energy facilities
- j. fuel, chemicals & hazardous materials
- k. transportation
- l. solid waste
- m. dams, dikes & reservoirs
- n. shellfish concentration
- o. general development
- p. open space

If the project is adjacent to coastal waters, is the project water dependent? (See C.G.S. sec. 22a-93)
Yes No Not Applicable

If yes, in what manner?

- Docks, piers, etc.
- Industrial process or cooling waters
- General public access
- Other, please specify:

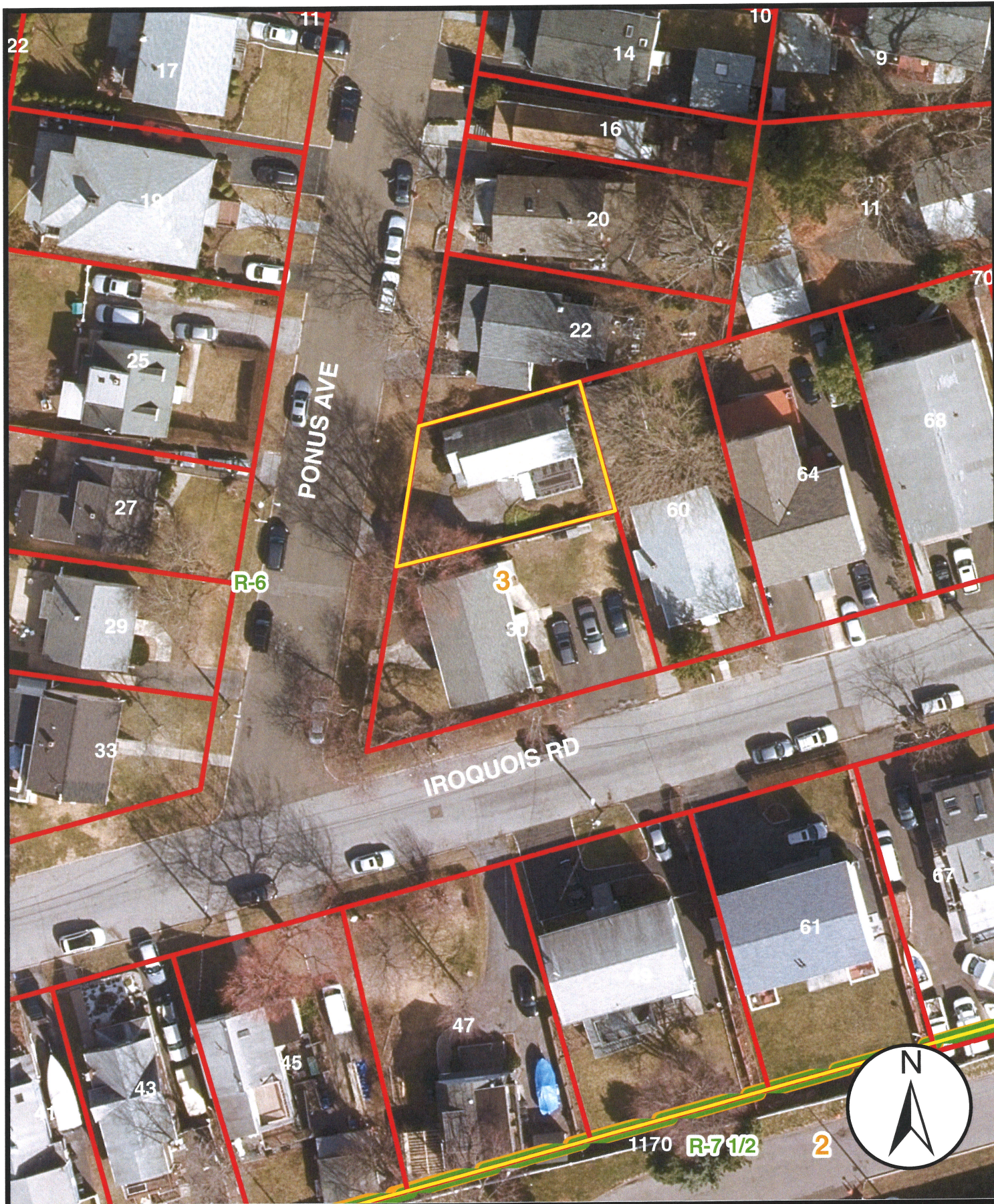
What possible adverse or beneficial impacts may occur as a result of the project?

(Attach additional sheet if necessary)

No adverse impact from the work as increase in coverage is only 2% on the 3,192 SF lot and most of the work is for the new 2nd floor. The aesthetic upgrades and improvements to the residence are of general benefit to the community

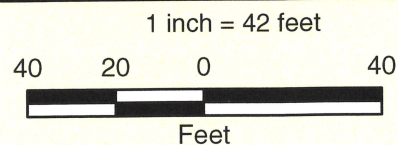
How is the proposal consistent with all applicable goals and policies of the CAM Act?

The Site impact of the work is kept to an absolute minimum and increase of impervious service is minimal



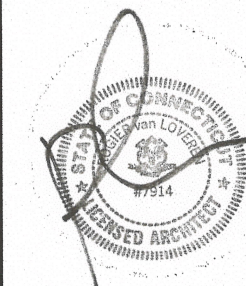
ZBA Application #020-21
24 Ponus Avenue

Date: 6/8/2021





Architecture



Roger van Loveren,
AIA, Architect
6 Spruce Pond Lane
Bedford, NY 10506
(914) 234-7823

Proposed Addition &
Alterations
to the residence of
for Leigh Frecker
24 Ponus Avenue
Stamford, CT

Project Title

As Build Floor Plan

Drawing Title

Tag	Description	Date
1	ZBA submission	5/17/21
2		

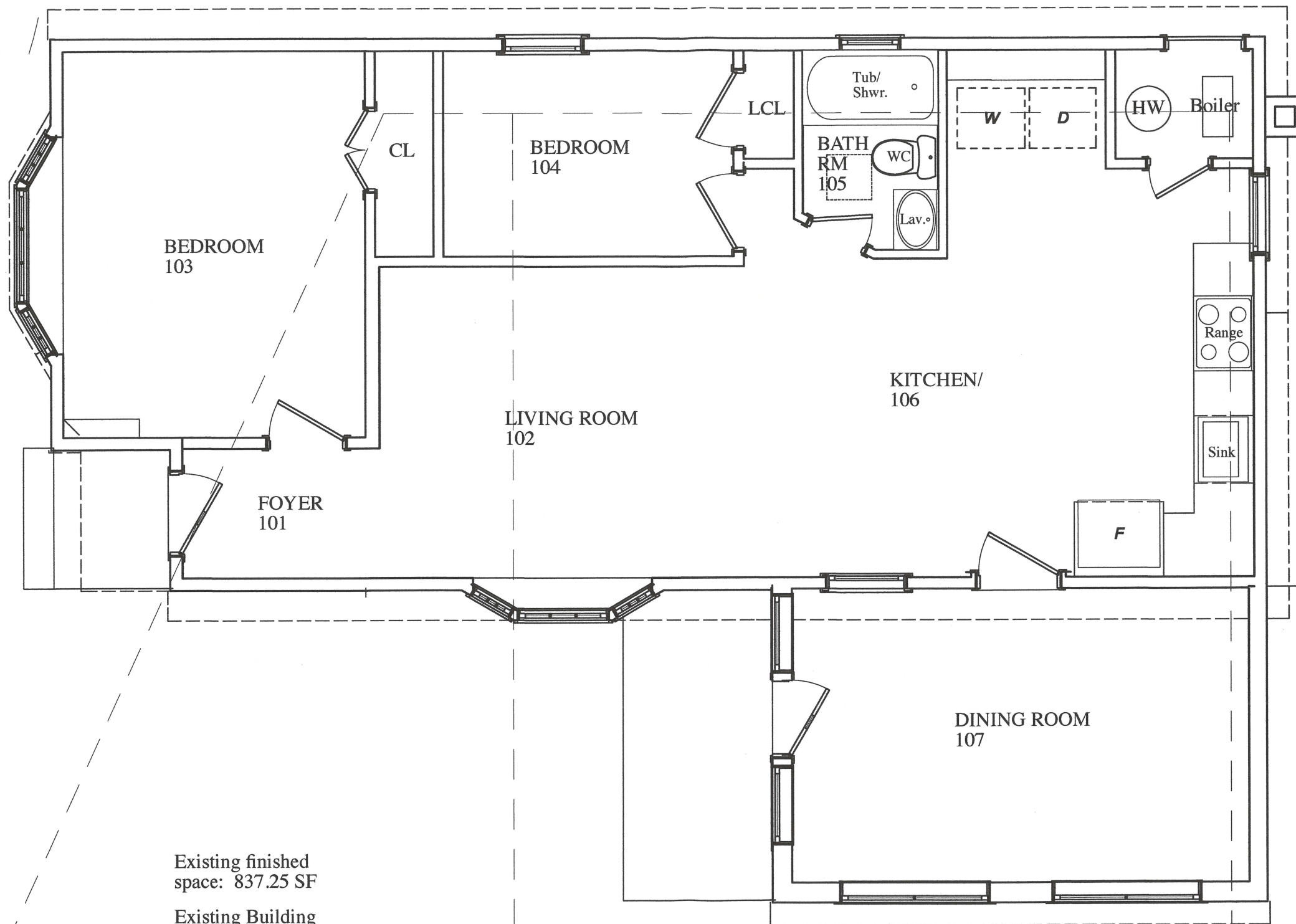
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Project #

DD1

Drawing #



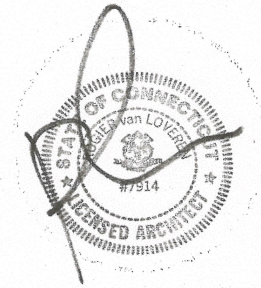
#020-21

Existing finished
space: 837.25 SF

Existing Building
coverage: 955.5 SF



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Stamford, CT

Project Title

As Build Roof Plan

Drawing Title

Tag	Description	Date
1	ZBA submission	5/17/21
2		

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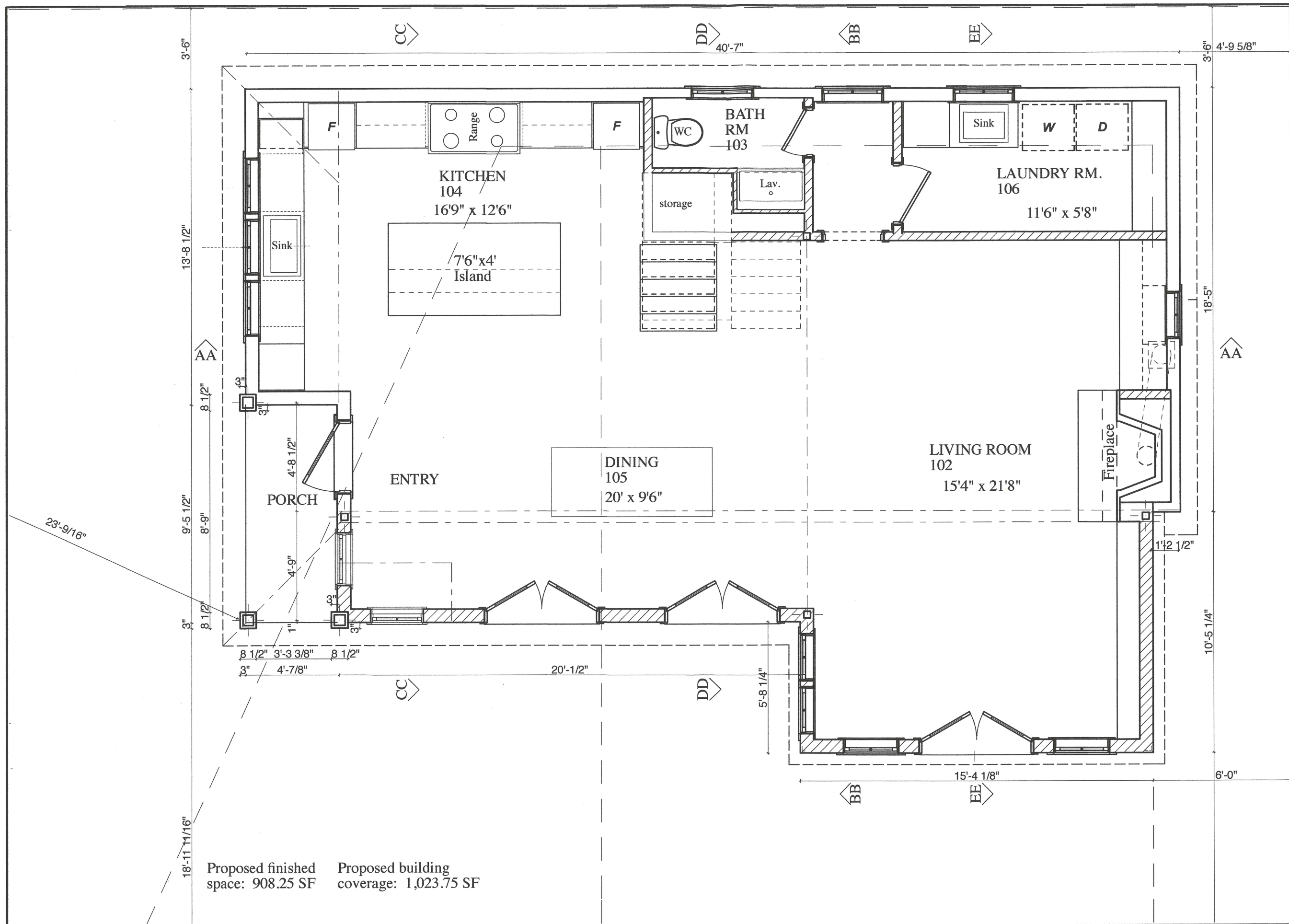
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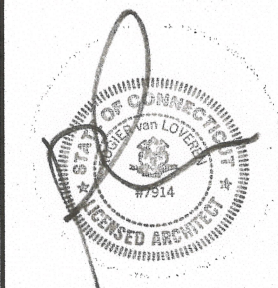
DD2

Drawing #





Architecture



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 AIA, Architect
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Proposed Addition &
 Alterations
 to the residence of
 Leigh Frecker
 24 Ponus Avenue
 Stamford, CT

Project Title

Proposed 1st. Floor

Drawing Title

Tag	Description	Date
1	ZBA submission	5/17/21
2		

Drawn by

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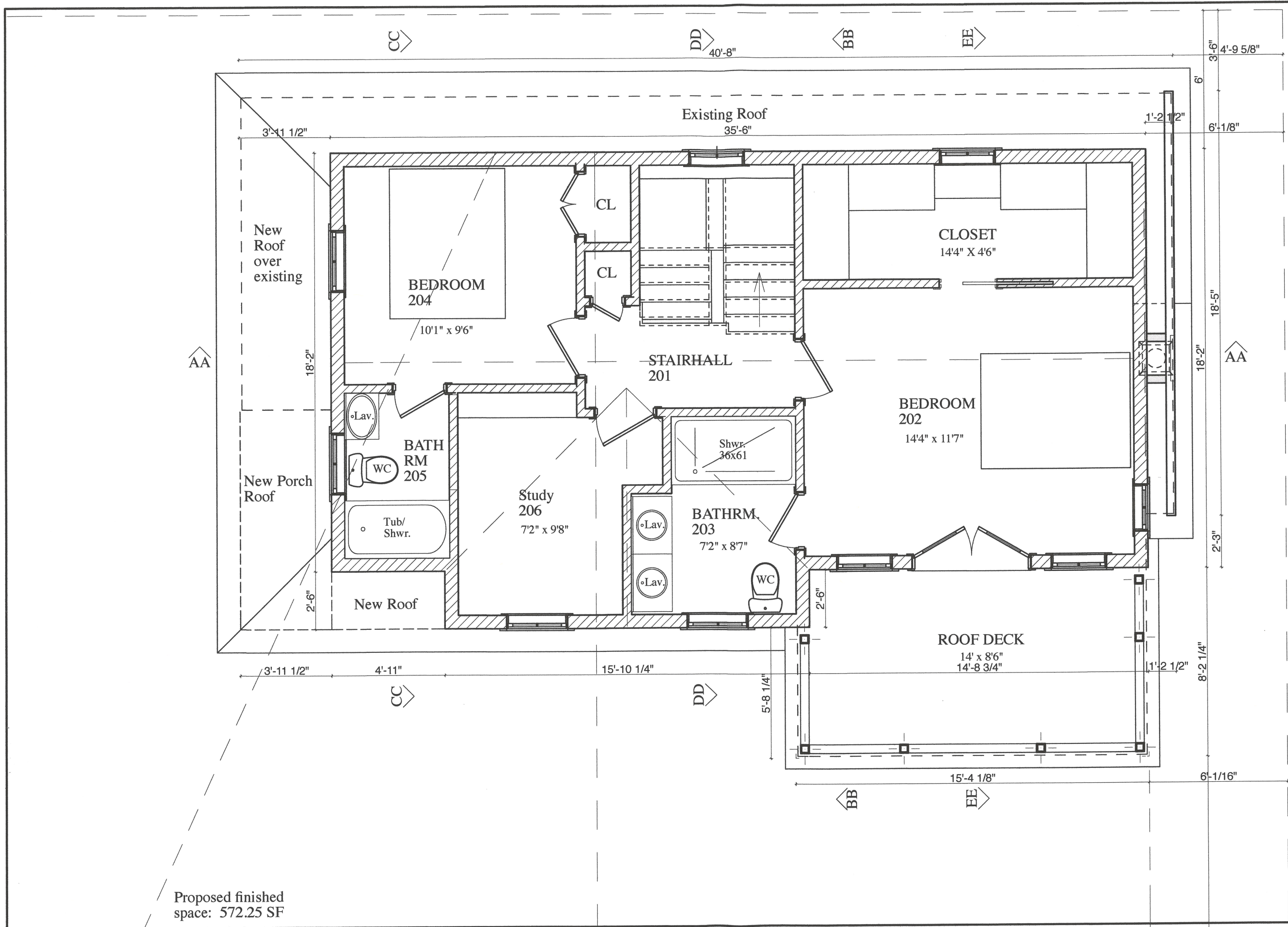
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Project #

DD3

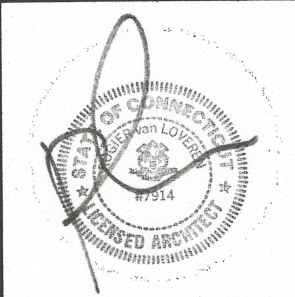
Drawing #



Proposed finished space: 572.25 SF



Architecture



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Proposed Addition &
Alterations
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24 Ponus Avenue
Stamford, CT

Project Title

Proposed 2nd. Floor

Drawing Title

Tag	Description	Date
1	ZBA submission	5/17/21
2		

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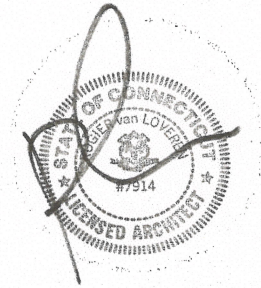
Project #

DD4

Drawing #



Architecture



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Proposed Addition &
Alterations
to the residence of
for Leigh Frecker
24 Ponus Avenue
Stamford, CT

Project Title

Elevations

Drawing Title

Tag	Description	Date
1	ZBA submission	5/17/21
2		

Drawn by

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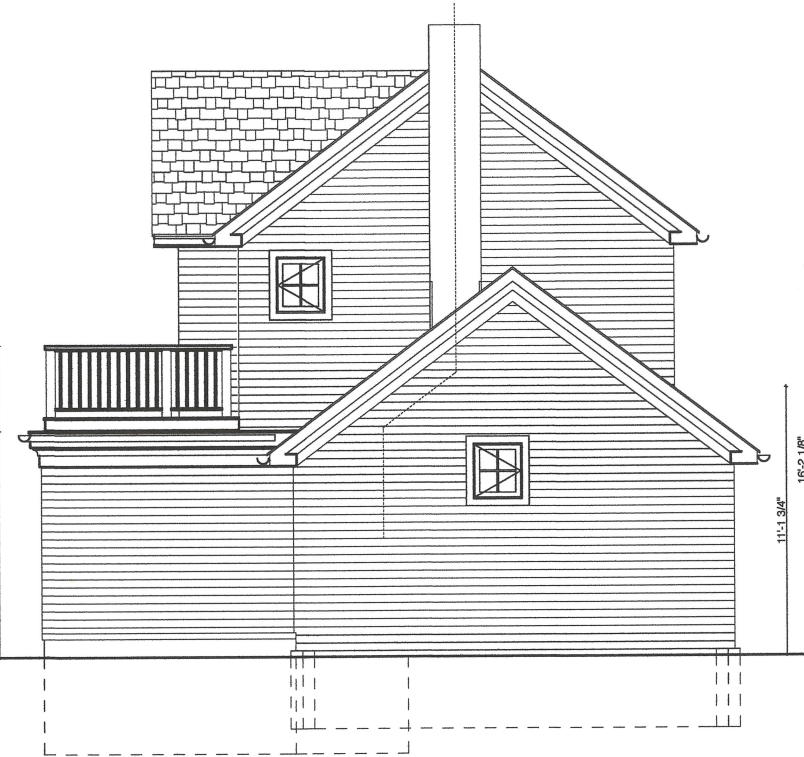
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Project #

DD5

Drawing #



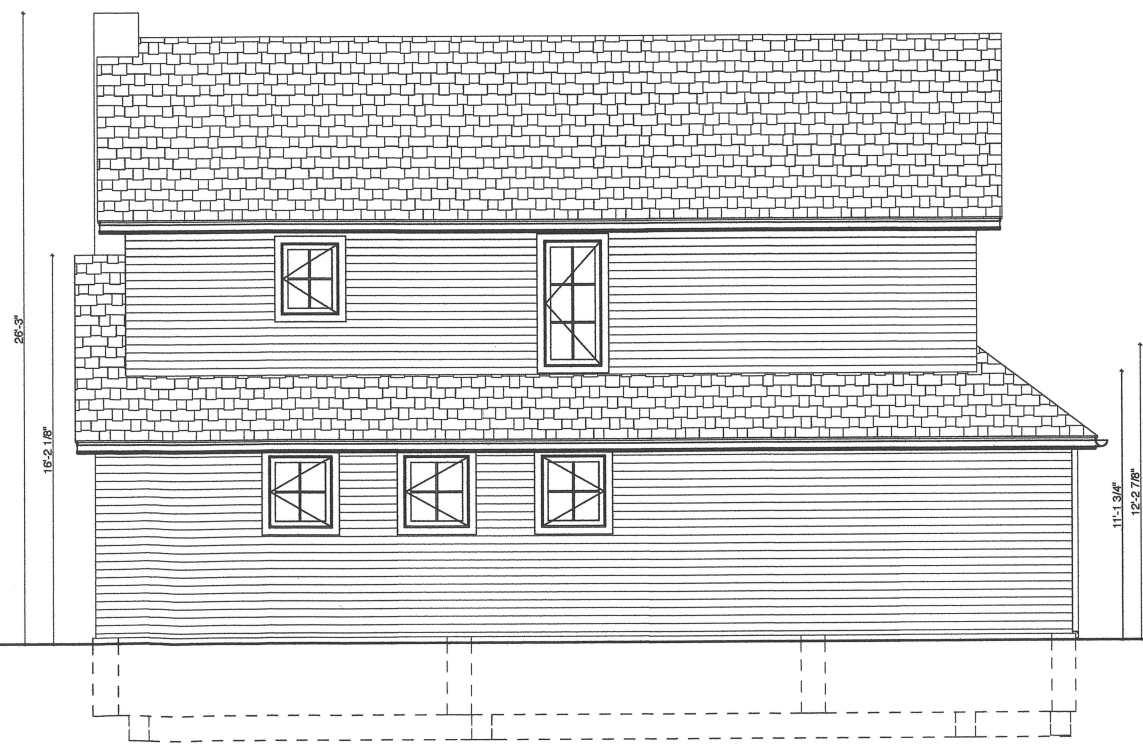
South Elevation



East Elevation



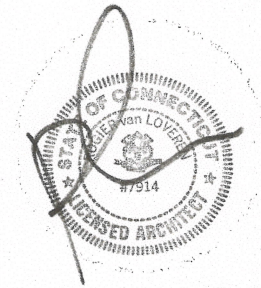
West Elevation



North Elevation



Architecture



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(914) 234-7823

Proposed Addition &
Alterations
to the residence of
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Stamford, CT

Project Title

Sections

Drawing Title

Tag	Description	Date
1	ZBA submission	5/17/21
2		

Drawn by

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Scale

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Project #

DD6

Drawing #

